

ADDENDUM NO. A

Date: January 8, 2026

Owner: Food Bank of Northern Nevada
550 Italy Drive
McCarran, Nevada 89434

To: All interested bidders

BUILDING OPEN - If anyone would like to get back into the building to look it will be open on Monday, January 12, 2026 from 1:00 to 2:00 pm

This addendum forms a part of the contract documents and modifies the original Construction Documents dated November 6, 2025. Please acknowledge receipt of this addendum on the Bid Form. Failure to acknowledge receipt of this addendum may result in disqualification of bidder.

Addendum 'A' consists of thirteen (13) items, thirty five (35) answered questions, and four (4) attachments

Revised Items

Item 1 - Slurry Seal

Sheets c1.0 and c2.0 have been revised to show detailed call out for the slurry seal at the parking areas required for base bid and also bid alternates.

Explanation: none

Item 2 - Fire water line

Sheet c2.0 has been revised to show the fire water line for bid alternate 6. Asphalt will be required to be patched, replace asphalt as required per City of Elko standard details.

Explanation: none

Item 3 - Dock guard rail and bollards

Sheet c3.0 has been revised to call out a specific guard rail for the dock

Explanation: the new guard rail must comply with IBC 1015. Bollards to be installed to protect all structural members near the dock and the cooler and freezer.

Item 4 - Trench drain

Sheet c4.0 has been revised to add call out for the trench drain at the dock.

Explanation: none

Item 5 - Conduit for cooler and freezer glycol line sets

Sheet c5.0 has been revised to show conduit for glycol lines sets for the freezer and cooler.

Explanation: Conduit to be placed by contractor at the time the slab is poured, conduit size to be determined. Assume 1" conduit for bidding purposes.

Item 6 - Concrete floor grinding and sealing and exterior metal siding paint

Sheet a5.2 has been revised to specify and call out concrete floor finish and the paint finish for the exterior metal soffit siding.

Explanation: The entire building will have finished concrete floors. The front areas including offices, pantry, conference room, rest rooms, break room and accessory

spaces to have a semi-gloss finish, the warehouse doesn't need an elevated level of polish. The entire exterior soffit is to be painted on all four sides of the building.

Item 7 - Existing floor conditions

Sheet a2.1 has been revised to show the existing flooring material in each existing room.

Explanation: It was requested to indicate on the plans to inform flooring contractors of the material that will need to be removed.

Item 8 - Tile walls at rest rooms and janitor room

Sheet a5.1 has been revised to clarify tile requirements.

Explanation: The base in each rest room with tile walls is to be a cove tile base. The top of the 5'-0" tile wall to be bullnose (no schulter). There will be approximately 15 s.f. of tile on the walls in the janitor room at the mop sink.

Item 9 - Roll-up doors

Sheet a5.1 has been revised to show dock doors are 10' wide by 12' tall.

Explanation: there was an error on the original door schedule, it has been revised.

Item 10 - Ceiling at offices

Sheet a5.1 has been revised to show ceilings in offices 104, 105, 106, 113, and 115 will have a framed gyp. bd. ceiling at 9'-0" a.f.f.

Explanation: there was inconsistency in the plans, the correct requirement is a framed ceiling. Electrical and mechanical plans will be updated prior to notice to proceed, please plan to accommodate hard-lid ceiling lighting and mechanical registers.

Item 11 - Window replacement

Sheet a5.1 has been revised to show mullions in the panels above and below the large window replacement.

Explanation: The mullions will provide support to alleviate long term sagging of the actual window frame. All windows are part of bid alternates 4 and 5. No window replacement of existing windows are part of the base bid.

Item 12 - Added light to exterior

Sheets e0.02, e3.01, and e5.00 were revised to show a new light at the canopy ceiling near the pantry entrance.

Explanation: none

Item 13 - Electrical drawing updates

Sheets 2.01 and e5.00 have been revised to call out low voltage connection requirements and minimum AIC rating for ATS

Explanation: none

Questions

1- The Room Finish Schedule A5.1 indicates that Offices will receive C2 Gypsum Board, while both the ceiling height notes and the Reflected Ceiling Plan indicate an Open to Structure condition. Please confirm which condition will govern. **Ceilings in offices 104, 105, 106, 113, and 115 will have a gyp bd, framed ceiling at 9'-0" a.f.f.**

2- Please confirm whether the walls in 'Open to Structure' areas are to be painted up to 12 feet in height. **Walls will need to be painted to the underside of the roof deck. Approx 15'-0" (height varies)**

3- Please confirm if Mechanical Room 116 is existing to remain per the call out on Floor Plan A2.2, with the exception of the south wall where a new door is indicated. **Yes**

4- Please confirm the finish for Door Types A & B (Solid Wood Doors)—are they to be painted on site, stained on site, or provided pre-finished? **Pre finished solid doors are acceptable.**

5- Please confirm whether the Overhead Roll-Up Door is to be painted on site or is existing to remain. **The existing roll-up door does not need to be painted on site, can remain as-is.**

6- Is there a specified material system (primer and finish coat) for the corrugated metal exterior siding? If so, please provide the specification. **See revision on Sheet a5.2 for system**

requirements.

7- Is the hazardous lead/asbestos survey previously completed by the Owner available to bidders? **A building inspection report is provided with this addendum. There is no asbestos or lead indicated. If asbestos or lead is discovered the owner will remediate.**

8- Will the owner provide construction power and water utilities at no cost to the contractor?
Yes

9- Is the owner salvaging any equipment and/or materials? **Only the generator that is in the warehouse.**

10- Are alternate manufacturers acceptable for the Lennox & Greenheck HVAC Equipment?
Yes. Mechanical engineer will need to approve to ensure the substitute is equal.

11- Will the new Furnaces and Air Conditioners be on 4" high housekeeping pads? **Yes**

12- Is seismic engineering for MEP required by the Contractor? **Yes**

13- Is Test and Balance required by a certified firm, or can a qualified contractor self-perform the TAB? **A qualified contractor can perform test and balance.**

14- Can the existing rooftop equipment be pulled and curbs capped with duct work removed below the deck? **Existing curbs will need to be removed with approved patch to existing roof or new roof if add alternate is accepted.**

15- Can the new unit heater vents be routed through the wall instead of the roof where applicable to code? **Yes, provided the combustion air comes from the same location.**

16- Please provide S/A zoning dampers and automatic damper locations for Honeywell Zone Bypassing Note 5 on Sheet M6.00 if systems are to be zoned. **No zoning dampers are required. Manual volume dampers will be provide for balancing.**

17- Please provide locations for any fire dampers. **Fire dampers are located at mechanical room walls.**

18- On Sheet M2.01 Item 12, please confirm that the walk-in evaporators and compressors will be by Contractor or if by Owner. **Owner will provide the entire cooler and freezer, contractor to coordinate installation.**

19- Please provide location and size of any access doors. **Minimum 12" X 8" access doors are required at each fire damper as required by code to service the fire damper. Access doors need to be provided at any mechanical components that are behind walls or ceilings that need maintenance or up keep.**

20- What is the existing roof deck insulation thickness? **This is not known, we assume 12"**

21- What are the existing concrete floor thicknesses and footing depths? **The original building plans are included in this addendum.**

23- What are the wall and ceiling gyp. finish levels? **Finish level 3. Tape embedded, with two coats on joints, two coats on fasteners, with no tool marks, eggshell texture.**

24- Please confirm that only the bathroom walls will have sound batting. **Yes**

25- Please confirm if MEP components can be painted the same color as the structure above. **No, as the plans call out, all exposed mechanical components must be painted in two accent colors t.b.d., that differs from the actual ceiling color to be painted a basic black.**

26- The one line diagram on E5.00 shows the ATS on the utility power side. Is this correct? **Record drawings do not indicate an ATS, however generator and ATS were discovered in field. Confirm exact wiring configuration in field, scope is to remove and replace existing ATS only. ATS shall be service entrance rated.**

27- Is the 100kaic rating on the main switchboard accurate? **No, the existing rating is unknown. Record drawings do not indicate AIC rating. Verify rating in field.**

28- What is the electrical contractor's responsibility on data, camera system, and access controls? Is all cabling done by owner's IT vendor? **The electrical contractor's responsibility is for conduit and cable to the point of connection, with final termination being performed by the owner's IT vendor.**

29- Does the conduit system on cameras and access controls need to be continuous to IT

room or just stubbed to accessible ceiling? **Ceiling is open in the majority of the building. Provide conduit in all areas with open ceiling.**

30- Does the fire alarm system need to be in conduit or can it be run in plenum rated cabling? **Fire alarm system plenum rated cabling is acceptable for 7ft above finish floor. Otherwise, provide conduit.**

31- What are rough in requirements for low voltage wiring? **The electrical contractor's responsibility is for conduit and cable to the point of connection, with final termination being performed by the owner's IT vendor. Provide conduit for entire run.**

32- Please provide a tentative racking plan for the warehouse that is typical of other locations as well as a list of typical commodity storage? Will the owner be handling seismic engineering for the racking, or is this by the contractor? **The racking layout is provided on sheet a0.3 and a2.2. Commodity storage is prepackaged food, nothing else. There is no requirement for the sprinkler system to be with-in the racking. The contractor is to provide 6" concrete bollards at each corner of the provided racking, see civil plans for bollard detail. The owner will provide seismic engineering along with the racking. Contractor to coordinate installation.**

33- Does the old roof need to be removed if Alternate #1 is accepted? **Yes, including all roof curbs. The existing roof is metal seam roof and will need to be removed to ensure a quality replacement.**

34- Please clarify scope of ALT 6. Does it include the sign - or will sign be by others? **The sign is part of the bid for contractors, this can be treated like a line item bid, provide a number and if the owner chooses a design that exceeds the bid, the owner will be responsible for the increase.**

35- Will the owner be handling provided material deliveries and storage? **No, if construction material is delivered to the site it is the contractors responsibility to receive it.**

Acknowledgment of _____ (bidder)

Doing business as _____ (corporation, partnership,

individual, doing business as) receipt of Addendum No. A and confirmation bid received by

Food Bank of Northern Nevada on _____ (date) is our construction bid for

consideration.

Attachments: (3) three architectural plans (5) five civil plans, (4) four electrical plans,
(1) original building plans

End of Addendum A



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PROJECT NAME



SHEET NAME

Existing Floor Plan
 Demolition Plan

REVISIONS

A 1.6.2026

DATE

11.6.2025

SHEET NUMBER

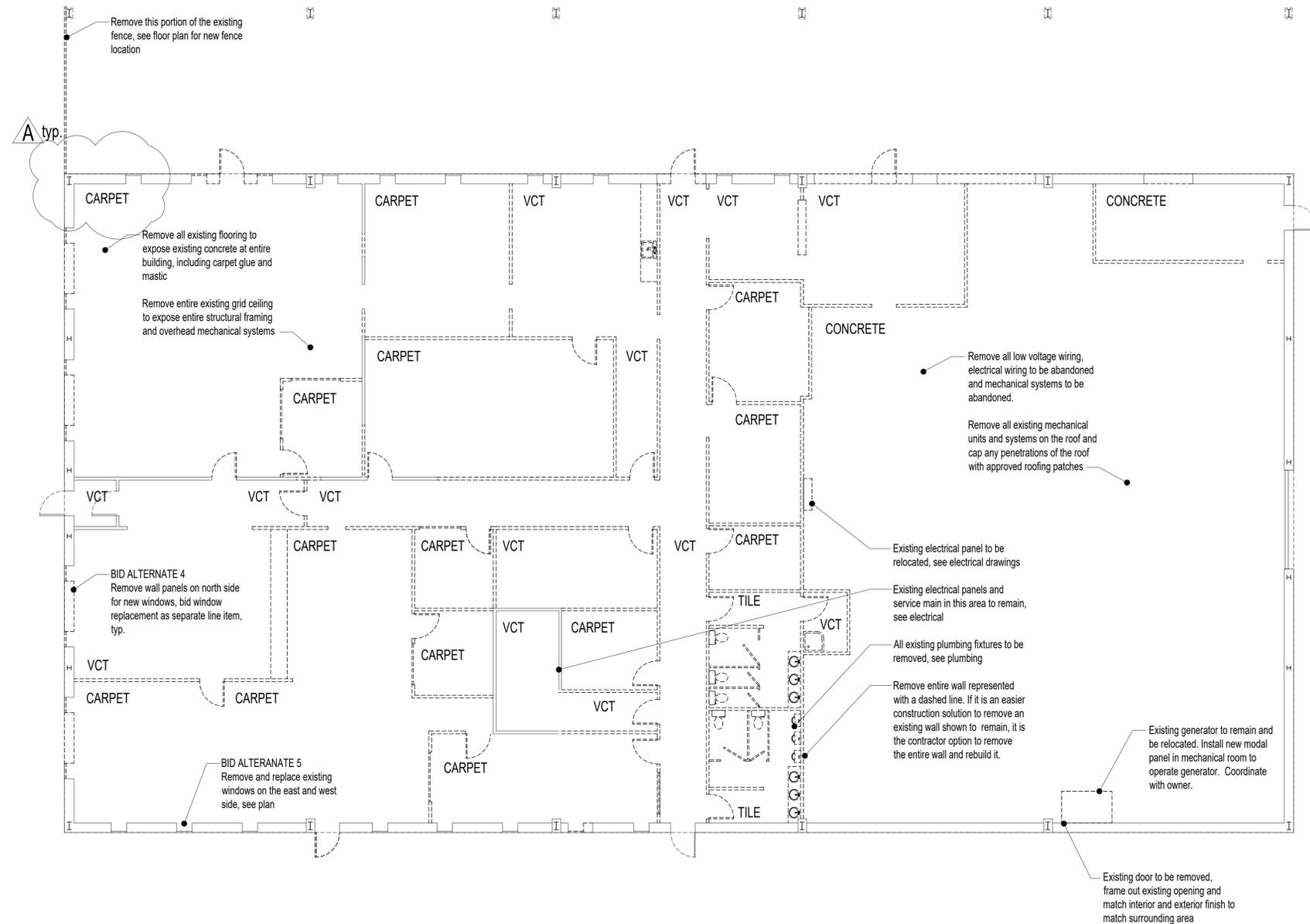
a2.1

Demolition Notes

- 1- The contractor shall field verify all existing conditions prior to the commencement of work. Any discrepancies shall be brought to the attention of the architect. No demolition work shall commence without field verification by the contractor, owner, and the architect.
- 2- It is the contractors responsibility to locate and remove all mechanical, electrical and miscellaneous equipment as required to complete the work. Refer to specific discipline sheets in this drawing set for demolition information.
- 3- The contractor shall provide all temporary structural bracing required during demolition to safely complete the work.
- 4- Any portion of the project to remain which is damaged as a result of construction activity shall be repaired or replaced to match pre-construction existing condition.
- 5- The contractor shall coordinate and arrange for the disconnection of all utilities and equipment with the owner and all applicable utility companies. Contractor shall cap off all unused utilities in a manner satisfactory to the owner, the architect and the utility company.
- 6- The contractor shall remove, disconnect and salvage all mechanical, electrical, plumbing and miscellaneous wall mounted equipment that is slated for reconnect and reinstallation and store them in a secure location for reconnect and reinstallation.
- 7- The contractor shall allow no debris to accumulate on the site or in the building. Immediately remove all debris and dispose of it in a safe acceptable manner. Contractor is responsible for all debris removal.
- 8- The owner has first right to all salvage items. Items not claimed by the owner shall become the contractors responsibility and shall be promptly disposed of from the site.
- 9- It is the contractor's responsibility to provide secure, dry storage with-in the designated contractor lay down area or an area designated by owner for owner retained items.
- 10- Contractor has the option to remove entire wall, when part of the wall is to be demolished.
- 11- Entire grid ceiling, existing lights, and all low voltage systems, including visible wiring, to be removed and demolished. ensure all existing wiring is safe before removal. All wiring to be replaced based on electrical drawings.
- 12- Remove all existing flooring, including carpet, under-layment, glue, mastic and anything else existing to expose the original concrete slab floor.
- 13- All plumbing fixtures will be removed and relocated protect existing plumbing lines that will be reused. Cap off existing plumbing that will not be reused below or at the finish slab level.

Demolition Legend

- Existing wall to remain
- - - Existing wall, door, window, and / or plumbing fixtures to be removed



Existing and Demo Building Floor Plan

Scale: 1/8" = 1'-0" - Do Not Scale Drawings



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PROJECT NAME

FOOD BANK
 OF NORTHERN NEVADA
 Tenant Improvement
 111 W. Front Street
 Elko, Nevada

SHEET NAME

Schedules

REVISIONS

△ 1.6.2026

DATE

11.6.2025

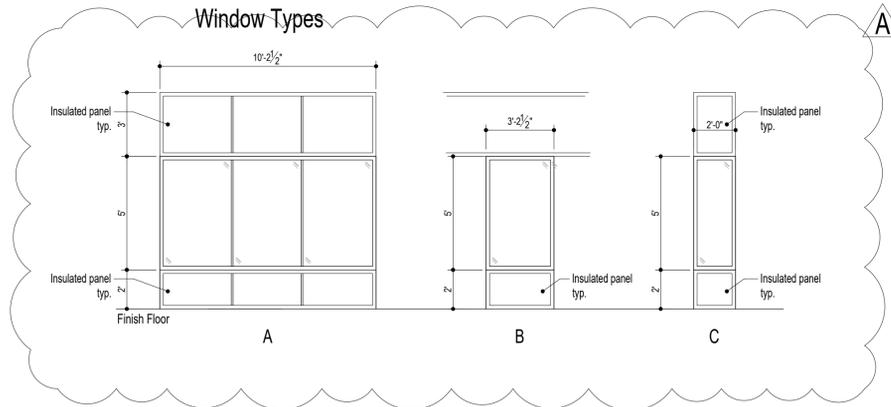
SHEET NUMBER

a5.1

Window Schedule								
Symbol	Rooms	Size	Operation	Total # of Windows	Material	Glazing	Mnfr.	Comments
First Floor								
A	Pantry, Conference Room	10'-0" x 5'-0"	fixed	4	aluminum	Low E	T. B. D.	Field Verify
B	Pantry	3'-3" x 5'-0"	fixed	1	aluminum	Low E	T. B. D.	Field Verify
C	Existing Office	2'-0" x 5'-0"	fixed	12	aluminum	Low E	T. B. D.	Field Verify

Window Notes

- 1- Verify all window dimensions in the field.
- 2- All glass within 18" of finish floor or an operable door must be tempered glass. "T" indicates tempered glass.
- 3- All operable windows to have locking hardware device.
- 4- All windows and doors with glass to have low "E" double pain, clear glass.
- 5- All doors and windows to be installed to meet manufacturers specifications and recommendations and to meet current codes for energy efficiency and security.
- 6- The maximum U-factor for all windows including glazing and frames to be max NFRC 100 or better.
- 7- Window A & C are BID ALTERNATES



Interior Finish Schedule											
Room Number	Room Name	Floor	Base	North Wall	East Wall	South Wall	West Wall	Ceiling	Specialty	Comments	Ceiling Height
First Floor											
101	Entrance	F-2	B-2	W-1/W-4	W-1/W-4	W-1/W-4	W-1/W-4	C-1			open
102	Hall	F-2	B-2	W-1	W-1	W-1	W-1	C-1			open
103	Pantry	F-2	B-2	W-1	W-1	W-1	W-1	C-1			open
104	Office	F-2	B-2	W-1	W-1	W-1	W-1	C-2			9'-0"
105	Office	F-2	B-2	W-1	W-1	W-1	W-1	C-2			9'-0"
106	Office	F-2	B-2	W-1	W-1	W-1	W-1	C-2			9'-0"
107	Conference Room	F-3	B-2	W-1	W-1	W-1	W-1	C-1			open
108	Break Room	F-3	B-2	W-1	W-1	W-1	W-1	C-1			open
109	Unisex Restroom	F-2	B-3	W-3	W-3	W-3	W-3	C-2			8'-0"
110	Unisex Restroom	F-2	B-3	W-3	W-3	W-3	W-3	C-2			8'-0"
111	Janitor	F-3	B-1	W-1	W-1	W-1	W-1	C-2		Partial ceramic tile at mop sink	8'-0"
112	Unisex Restroom	F-2	B-3	W-3	W-3	W-3	W-3	C-2			8'-0"
113	Office	F-2	B-2	W-1	W-1	W-1	W-1	C-2			9'-0"
114	Open Office	F-2	B-2	W-1	W-1	W-1	W-1	C-1			open
115	Office	F-2	B-2	W-1	W-1	W-1	W-1	C-2			9'-0"
116	Mechanical	F-2	B-1	W-4	W-4	W-1	W-4	C-3		Existing to remain	open
117	Walk-in Cooler	F-3								Pre-manufactured unit	open
118	Walk-in Freezer	F-3								Pre-manufactured unit	open
119	Warehouse	F-1	B-1	W-1	W-4	W-4	W-4	C-3	S-1	Warehouse racking	open
120	Water Room	F-1	B-1	W-1	W-1	W-1	W-4	C-3			open

Floor

- F-1 Remove all existing flooring, expose and clean existing concrete
- F-2 Remove all existing flooring, polish and seal existing concrete

Base

- B-1 4" Vinyl cove base - color l.b.d.
- B-2 6" Vinyl cove base
- B-3 Cove ceramic tile base to match wall tiles

Ceiling

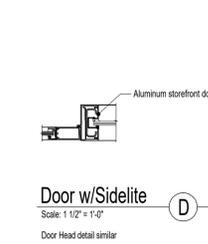
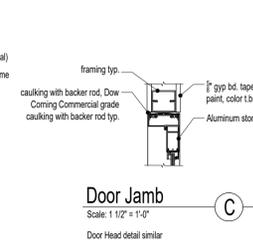
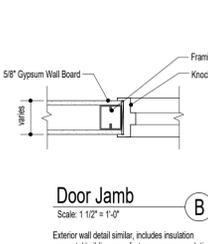
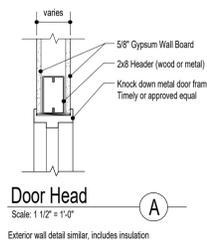
- C-1 Remove 2x4 acoustic grid ceiling to expose ceiling structure. Existing ceiling and all systems hanging from the ceiling to be painted with one base color and two accent colors
- C-2 5/8" Gyp bd. Finish Level 3, attached to ceiling framing, screw drywall as required by code, tape, texture and paint l.b.d.
- C-3 Existing to remain

Walls

- W-1 5/8" Gyp bd. attached to framing, screw drywall as required by code, tape, texture and paint with base color, l.b.d. Finish Level 3
- W-2 not used
- W-3 4x4 ceramic tile up to 5'-0" a.f.f. with finish gyp bd above to ceiling. Finish Level 3. All wet walls to be 5/8" green board gyp. bd. for water resistance. Tape texture and paint as required. Sound attenuation insulation.
- W-4 Existing to remain, patch and paint as required for new finish look

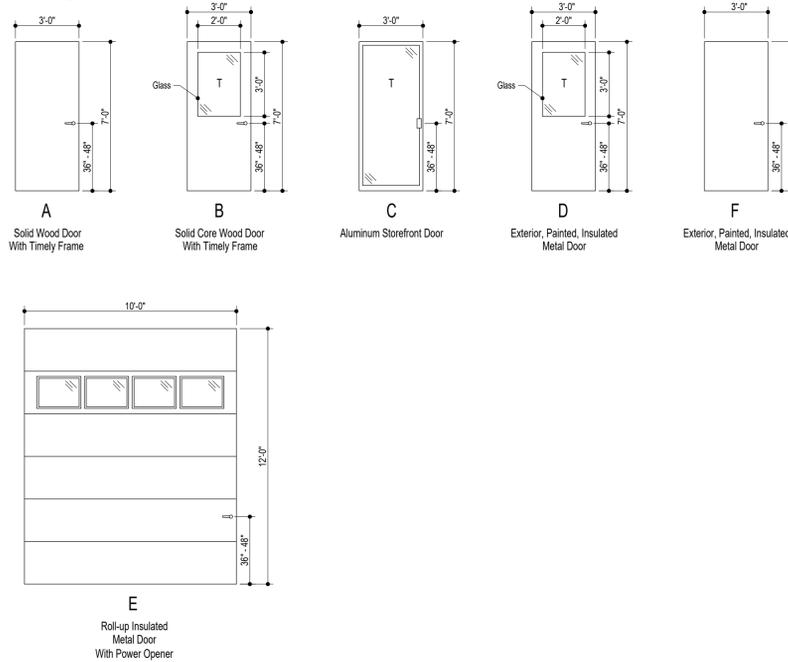
Specialty

- S-1 Seismic braced warehouse racking Racking provided by owner. Contractor to provide 6" concrete bollards at each outside rack corner, see civil plans for bollard detail



Door Schedule													
Symbol	Room Name	Size	Door			Frame			Fire Rating	Hardware Group	Automatic Closure	Comments	
			Existing to Remain	Double Door	Type	Glazing Material	Details						
							Head	Jamb					
101A	Entrance	3'-0" x 7'-0"	yes		C	yes	A	c / a5.1	c / a5.1	no	A	yes	Replace existing hardware to be compliant
101B	Entrance	3'-0" x 7'-0"	yes		C	yes	A	c / a5.1	c / a5.1	no	A	yes	Replace existing hardware to be compliant
102	Hall	3'-0" x 7'-0"		yes	B	yes	W	a / a5.1	b / a5.1	no	D	yes	
103A	Pantry	3'-0" x 7'-0"			B	yes	W	a / a5.1	b / a5.1	no	D		
103B	Pantry	3'-0" x 7'-0"			C	yes	A	c / a5.1	d / a5.1	no	A		Entrance only door, no interior lever
103C	Pantry	3'-0" x 7'-0"	yes		C	yes	A	c / a5.1	d / a5.1	no	A		Exit only door, no exterior lever
103D	Pantry	3'-0" x 7'-0"	yes		B	yes	W	a / a5.1	b / a5.1	no	D		
104	Office	3'-0" x 7'-0"			B	yes	W	a / a5.1	b / a5.1	no	B		
105A	Office	3'-0" x 7'-0"			B	yes	W	a / a5.1	b / a5.1	no	B		
105B	Office	3'-0" x 7'-0"			B	yes	W	a / a5.1	b / a5.1	no	B		
106	Office	3'-0" x 7'-0"			B	yes	W	a / a5.1	b / a5.1	no	B		
107A	Conference Room	3'-0" x 7'-0"		yes	B	yes	W	a / a5.1	b / a5.1	no	B		
107B	Conference Room	3'-0" x 7'-0"		yes	B	yes	W	a / a5.1	b / a5.1	no	B		
108A	Break Room	3'-0" x 7'-0"		yes	B	yes	W	a / a5.1	b / a5.1	no	B		
108B	Break Room	3'-0" x 7'-0"		yes	B	yes	W	a / a5.1	b / a5.1	no	B		
109	Unisex Rest Room	3'-0" x 7'-0"			A	W	a / a5.1	b / a5.1	b / a5.1	no	C	yes	
110	Unisex Restroom	3'-0" x 7'-0"			A	W	a / a5.1	b / a5.1	b / a5.1	no	C	yes	
111	Janitor Closet	3'-0" x 7'-0"			A	W	a / a5.1	b / a5.1	b / a5.1	no	B	yes	
112	Unisex Restroom	3'-0" x 7'-0"			A	W	a / a5.1	b / a5.1	b / a5.1	no	C	yes	
113	Office	3'-0" x 7'-0"			B	yes	W	a / a5.1	b / a5.1	no	B		
114A	Open Office	3'-0" x 7'-0"			B	yes	W	a / a5.1	b / a5.1	no	B		
114B	Storage	3'-0" x 7'-0"			A	W	a / a5.1	b / a5.1	b / a5.1	no	B		
115	Office	3'-0" x 7'-0"			B	yes	W	a / a5.1	b / a5.1	no	B		
116	Mechanical	3'-0" x 7'-0"			A	W	a / a5.1	b / a5.1	b / a5.1	no	B		
117	Walk-in Cooler	3'-0" x 7'-0"			M					no			Walk-in door part of pre-manufactured system
118	Walk-in Freezer	3'-0" x 7'-0"			M					no			Walk-in door part of pre-manufactured system
119A	Warehouse	10'-0" x 12'-0"			E	yes	M	see civil	see civil	no			Powered lift control
119B	Warehouse	10'-0" x 12'-0"			E	yes	M	see civil	see civil	no			Powered lift control
119C	Warehouse	3'-0" x 7'-0"	yes		D	yes	M	c / a5.1	c / a5.1	no	A		
119D	Warehouse	10'-0" x 12'-0"	yes		E	M	c / a5.1	c / a5.1	c / a5.1	no			Powered lift control
119E	Warehouse	3'-0" x 7'-0"	yes		D	yes	M	c / a5.1	c / a5.1	no	A		
120	Fire Riser	3'-0" x 7'-0"			F	M	a / a5.1	b / a5.1	b / a5.1	no			

Door Types



Door Notes

- 1- Due to multiple use some door details are reversed from direction shown.
- 2- Interior doors to be installed to clear finish floor material by 1/2"
- 3- All locksets on doors shall be ADA lever type.
- 4- All openings larger than 1/4" in exterior wall to use backer rod and commercial grade caulk for dust control.
- 5- Interior doors to have knock down Timely metal frames, color l.b.d.
- 6- Exterior metal doors to have welded paint grade metal frame.
- 7- not used
- 8- All stops to be industrial grade stainless steel, either pedestal or wall stops.
- 9- All door hardware to be mounted at 36" a.f.f. u.n.o.
- 10- All doors and entrances are to be accessible based on requirements of the Americans with Disabilities Act.
- 11- All panic hardware shall be listed in accordance with UL 305, fire exit hardware shall be listed with UL 10C and UL 305.
- 12- The actuating portion of the releasing device shall extend at least one-half of the door leaf width of any fire rated door.
- 13- The maximum unlatching force shall not exceed 15 lbs on any door with-in the path of travel of a designated exit.
- 14- Door 101 must have a visible sign on the interior, that reads "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED"
- 15- Door 101 to have access control and unlocking at the reception desk with a push button.

Door Hardware Sets

- A - Exterior Door (single)
 - 1 Interior push bar
 - 1 Exterior pull handle ADA compliant
 - 1 Deadbolt locking device with keyed pull side and thumb lock on push side
 - 1 Threshold
 - 1 Set weather stripping
 - 3 Hinges
 - 1 Pedestal stop (wall substitute as needed)
- B - Interior Door (single) - Finish l.b.d.
 - Schlage or equal
 - 1 Lever style knob to be ADA compliant keyed on push side free egress from egress side
 - 3 Hinges
 - 1 Wall stop
- C - Interior Door (single) - Finish l.b.d.
 - Schlage or equal
 - 1 Lever style knob to be ADA compliant Privacy lock on pull side
 - 3 Hinges
 - 1 Wall Stop (pedestal substitute as needed)
- D - Interior Door (double) - Finish l.b.d.
 - Schlage or equal
 - 1 Locking leaf with floor lever Keyed lock - side l.b.d.
 - 1 Lever style knob to be ADA compliant
 - 6 Hinges
 - 2 Wall Stop (pedestal substitute as needed)

Notes

- 1 - Materials not specifically described or shown will not be part of this contract unless required for minimum construction standards or code compliance. If more information is necessary to complete work contact the Architect / Owner.
2 - Where manufacturers have been specifically named, any alternate shall be approved in writing by the architect / owner prior to the commencement of work.

1- Excavation

Bearing soil, type assume 1,500 lbs soil bearing pressure

2- Foundation

Footings - concrete mix NA Strength psi Reinforcing
Foundation wall material NA Strength psi Reinforcing
Interior foundation wall material NA Party foundation wall NA
Columns NA Piers NA
Girders NA Sills NA
Basement entrance NA Basement windows NA
Waterproofing NA
Termite protection NA
Additional foundation notes See civil for dock and cooler foundation

3- Exterior Walls

Framing material NA
Paper or felt Corner bracing
Sheathing / thickness spacing
Exterior finish NA
Exterior veneer NA
Door sills NA Window sills NA Lintels
Flashing NA Exterior Finish NA
Gable walls same as walls other
Additional exterior wall notes Infill framing at existing door and window locations to match existing walls to remain. New window panels to be accent color

4- Floor Framing

First floor NA thickness reinforcing
Inside foundation insulation NA membrane yes
Fill under slab NA thickness
Mezzanine floor framing NA spacing NA anchors NA
Additional floors framing NA spacing anchors NA
Additional floor notes NA

5- Sub Flooring @ Main Level

Material Remove all existing flooring, finish and seal concrete size NA type NA
Material NA size NA type NA

6- Partition Framing

Studs 2x4 metal studs size & spacing 16" o.c. other
Plumbing studs 2x6 metal studs size & spacing 16" o.c. other typ. at all wet walls
Additional partition notes interior walls to go to underside of the roof deck

7- Ceiling Framing

Material NA size & spacing NA other NA
Additional ceiling framing notes NA

8- Roof Framing

Rafters NA Trusses NA
Spacing NA anchors see structural
Additional roof framing notes NA

9- Roofing

Sheathing NA Spacing
Roofing NA Style Size
Fastening NA
Underlay NA Thickness Nailing
Flashing NA Gage or weight
Gravel stops Snow guards no Ice shield yes
Roof Gutters NA Down spouts NA
Additional roofing notes

10- Interior Partition Walls

Wall finish material 5/8" gyp. bd. weight or thickness 5/8"
Ceiling finish material gyp. bd weight or thickness 5/8"
Joint treatment 2 layers drywall tape Finish Flat finish
Wet wall locations Green gyp. bd. weight or thickness 5/8"
Fire wall locations NA weight or thickness NA
Additional wall finish notes stain grade wainscot to 4' a.f. in stairwell and guest lobby, see interior elevations

11- Stairs

Tread / Size Riser / Size Strings / Size Handrail / Size Balusters
Location NA
Location
Location
Disappearing Garage Stair NA
Additional stair notes

12- Insulation

Table with 5 columns: Location, Thickness, Type, R-value, Vapor Barrier. Row 1: Restroom walls, 6", Sound Attenuation Batt.

13- Plumbing

Table with 6 columns: Fixture, Number, Locations, Make, Size, Color. Includes rows for Water heater type & size, Bathroom accessories, Kitchen Accessories.

14- Cabinets

Table with 4 columns: Cabinet material, lineal feet, exposed shelving lineal feet, NA. Includes rows for Breakroom lower cabinet material, Breakroom upper cabinet material, Office cabinet material, Conference Station cabinet material, Kitchen counter top material, Backsplash, Storage Rooms.

15- Sealers, Caulking, and Weatherproofing

All joints and openings larger than 1/4" to be caulked with Owens Corning commercial grade caulk or approved equal.
Weatherproofing requirements called out throughout plans, all exposed exterior surfaces need to be properly weatherproofed according to industry standards

16- Fire Protection Equipment

Fire sprinkler system is BID ALTERNATE - see plan
Fire extinguisher in stainless steel recessed, lockable cabinet - see plan for locations

17- Garage Special Instructions

See schedules for roll-up door specs

18- Patio & Porch Special Instruction

New covered patio at the front of the building to have 6'-0" chainlink fence with privacy slats on two sides.

19- Terraces & Balconies Special Instruction

NA

20- Walks & Driveways

Existing to remain - rehabilitate existing, see civil

21- Other On-site Improvements

See civil plans

22- Landscaping

Area to be landscaped indicated on site plan by owner - see civil
Topsoil thickness
Shade trees, deciduous
Evergreen trees
High shrubs
Medium shrubs
Low shrubs
Ground cover
Automatic sprinkler system
Additional landscaping notes

23- Special Equipment

List all other equipment including manufacturer item numbers, colors and other descriptive features to be supplied and/or installed by contractor or requires a contractor or subcontractors consideration.

All fixtures, furniture, and equipment by owner
Warehouse racking - see attached specifications
Walk-in cooler and freezer - see attached specifications

Contractor to coordinate installation and set-up of all specialty items
ALTERNATE 1 - ROOF REPLACEMENT
ALTERNATE 2 - FIRE SPRINKLER SYSTEM
ALTERNATE 3 - PARKING LOT CHIP SEAL
ALTERNATE 4 - REPLACE FRONT WINDOWS
ALTERNATE 5 - REPLACE SIDE WINDOWS
ALTERNATE 6 - EXTERIOR SIGN

Large cloud-shaped callout box containing detailed instructions for concrete sealer application, including preparation, application, and quality control steps.



421 RAILROAD STREET STE 208
ELKO, NEVADA 89801
p775.738.7829 f775.738.7817
www.R6STUDIO.com



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PROJECT NAME



SHEET NAME

Specifications

REVISIONS

1.6.2026

DATE

11.6.2025

SHEET NUMBER

a5.2

FOOD BANK OF NORTHERN NEVADA CIVIL CONSTRUCTION DRAWINGS

ELKO, NEVADA CONSTRUCTION DRAWINGS

CONSULTANT

Shanks Enterprises

1960 IDAHO ST.
ELKO, NV, 89801
shanksen@shanksen.com
775-934-9356(C) 775-389-5769(O)

Engineer: Michael E. Shanks, P.E.

SHEET INDEX

C1.0.....	TITLE SHEET
C2.0.....	SITE PLAN
C3.0.....	DOCK PLAN AND ELEVATIONS
C4.0.....	DOCK DETAILS
C5.0.....	OVER-HEAD DOOR, WALK IN COOLER & FRAMING DETAILS

PARCEL INFORMATION

SITE ADDRESS:
111 W FRONT ST
ELKO, NEVADA 89801
OWNER: FOOD BANK OF NORTHERN NEVADA INC.
LEGAL DESCRIPTION: PARCEL B MAP FILE 839428
SIZE: 2.12 ACRES
LAND ZONING = LI - LIGHT INDUSTRIAL
APN: 001710029

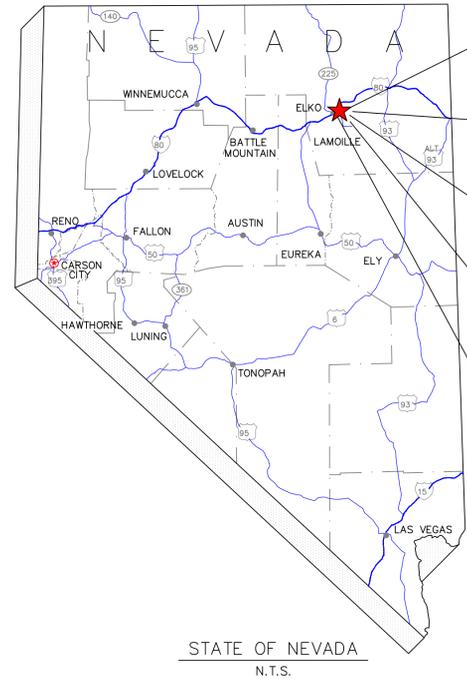
ABBREVIATIONS:

A.C.	ASPHALTIC CONCRETE	F.G.	FINISH GRADE
B.C.	BEGIN CURVE	F.H.	FIRE HYDRANT
B.V.C.	BEGIN VERTICAL CURVE	FL.	FLOW LINE
B.S.	BACK OF SIDEWALK	G.	GAS
C.I.P.	CAST IRON PIPE	GEO.	GEO THERMAL
C.B.	CATCH BASIN	G.V.	GATE VALVE
CL.	CENTERLINE	G.B.	GRADE BREAK
CH.	CHORD	HORIZ.	HORIZONTAL
C.M.P.	CORRUGATED METAL PIPE	INT.	INTERSECTION
CONC.	CONCRETE	I.E.	INVERT ELEVATION
C.P.	CONCRETE PIPE	LT.	LEFT
C.R.	CURB RETURN	LF.	LINEAR FEET
D.I.	DROP INLET	M.H.	MANHOLE
D.I.P.	DUCTILE IRON PIPE	R.W.	RIGHT OF WAY
DET.	DETAIL	R-O-W.	RIGHT OF WAY
E.	ELECTRICITY, ELECTRICAL	LT.	LEFT
EL.	ELEVATION	L.F.	LINEAR FEET
ELEV.	ELEVATION	M.H.	MANHOLE
E.C.	END OF CURVE	S.S.	SANITARY SEWER
E.V.C.	END OF VERTICAL CURVE	S.S.C.	SANITARY SEWER CLEANOUT
EXIST.	EXISTING	SEC.	SECTION
E.G.	EXISTING GRADE	S.W.	SIDEWALK
FIN.	FINISH	S.	SLOPE
F.F.	FINISH FLOOR	SHT.	SHEET
F.F.C.	FRONT FACE OF CURB	STA.	STATION
F.G.	FINISH GRADE	S.D.	STORM DRAIN, STORM SEWER
F.H.	FIRE HYDRANT	T.	TANGENT
FL.	FLOW LINE	T.	TELEPHONE
G.	GAS	TEL.	TELEPHONE
GEO.	GEO THERMAL	T.B.C.	TOP BACK OF CURB
G.V.	GATE VALVE	T.O.C.	TOP OF CONCRETE
G.B.	GRADE BREAK	T.C.	TOP OF CURB
HORIZ.	HORIZONTAL	T.P.	TOP OF PAVEMENT
INT.	INTERSECTION	TYP.	TYPICAL
I.E.	INVERT ELEVATION	T.S.W.	TOP OF SIDEWALK
LT.	LEFT	VERT.	VERTICAL
LF.	LINEAR FEET	V.C.	VERTICAL CURVE
M.H.	MANHOLE	V.P.I.	VERTICAL POINT OF INTERSECTION
		W.	WATER

III SAND SLURRY NOTES AND SPECIFICATIONS
1. AGGREGATES:
SAND SHALL BE NON PLASTIC AND MEET THE FOLLOWING GRADATION:
SIEVE SIZE PERCENT PASSING
20 100
NO. 4 90-100
NO. 10 75-100
NO. 20 65-100
NO. 40 55-100
NO. 60 45-100
NO. 80 35-100
NO. 100 25-100
NO. 150 15-100
NO. 200 10-100

2. SEALER SHALL BE W58-78
3. PROVIDE APPROVED MIX DESIGN 2 WEEKS PRIOR TO USE.
4. APPLY IN TWO COATS WITH EQUIPMENT CAPABLE OF CONTINUOUSLY MIXING ENTIRE CONTENTS CONTAINED IN THE UNIT AND DELIVER A PREDETERMINED PROPORTION OF AGGREGATE, WATER AND EMULSION IN AN ACCURATE MANNER.
5. TEMPERATURES SHALL BE 50 DEGREE AND RISING WITH DRY CONDITIONS
6. PRIOR TO PLACING SAND SLURRY, EXISTING CONCRETE SHALL BE CLEANED OF ALL VEGETATION, OILS AND DIRT
7. A CRACK SEALER SHALL BE PLACED IN ALL CRACKS AND HOLES PRIOR TO PLACEMENT OF SAND SLURRY AND ALLOWED TO CURE FOR 2 WEEKS
8. CRACK SEALER SHALL BE HOT APPLIED AND COMPATIBLE WITH W58-78 AND APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.

▲



STATE OF NEVADA
N.T.S.



NOTES:

- GENERAL AND CIVIL NOTES
- THE COORDINATE SYSTEM AND THE TOPOGRAPHY SHOWN ON THE PLANS ARE SHANKS ENTERPRISES INC, LLC FIELD SURVEY OF JUNE, 2025. THE BASIS OF BEARING IS THE NORTH AMERICAN DATUM OF 1983/94 (2011), NEVADA EAST ZONE (2701) COORDINATES USING THE CITY OF ELKO GIS. THE BASIS OF ELEVATION IS CITY OF ELKO GIS DATUM.
- ALL ELEVATIONS AND SLOPES SHOWN ON THE SHANKS ENTERPRISES PLANS ARE TO THE TOP OF FINISHED GRADE (FG, TC, OR AC) AT THE SURFACE COURSE. THE INFORMATION PROVIDED ON THE GRADING AND DRAINAGE PLAN MUST BE SUPPLEMENTED WITH THE SITE PLAN, DETAILS, ALL REVISIONS, AND ALL OTHER DRAWINGS AND DOCUMENTS ISSUED FOR THIS PROJECT. ANY CONFLICTS WITHIN THESE DRAWING AND DOCUMENTS OR ANY QUESTIONS REGARDING FINISHED SUBGRADE ELEVATIONS SHOULD BE RESOLVED WITH THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO THE EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS PRIOR TO CONSTRUCTION. HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT AT 811 AT LEAST TWO FULL BUSINESS DAYS PRIOR TO EXCAVATION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, CITY OF ELKO, AND ALL EFFECTED UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS OR THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADOPTED ("STANDARD SPECIFICATIONS"). FOR INFORMATION ON SPECIFICATIONS OR DETAILS NOT SHOWN ON THE PLANS OR SPECIFICATIONS, REFER TO THE "STANDARD SPECIFICATIONS".
- THE CONTRACTOR SHALL MAINTAIN A 24 HOUR DUST CONTROL AND EROSION CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. DUST CONTROL PROGRAM SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE, COUNTY AND CITY CODES AND ORDINANCES.
- ALL WORK IS SUBJECT TO MODIFICATION, DEPENDING ON FIELD REQUIREMENTS OR CONDITIONS OF THE PROJECT SITE.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING STRUCTURES, UTILITIES, PAVING, AND OTHER FACILITIES THAT ARE TO BE LEFT IN PLACE.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL MEASURES AT THE PROJECT SITE, AT ALL TIMES.
- EXCAVATION SHALL BE AS NEARLY VERTICAL AS POSSIBLE (SHEET AND SHORE IF SOIL CONDITIONS REQUIRE) IN EXISTING STREET SECTIONS, ALLEY SECTIONS, AND CONFINED AREAS, SUCH AS LIMITED EASEMENTS OR ADJACENT TO STRUCTURES. NATURAL ANGLE OF REPOSE WILL BE ALLOWED IN ALL OTHER AREAS; CITY OF ELKO - OSHA STANDARDS MINIMUM.
- THE CONTRACTOR SHALL MAINTAIN AN ONGOING PROCESS FOR REMOVAL OF SPILLAGE OF EXCAVATED MATERIAL OR TRACK OUT ON ALL PAVED STREETS. CONTRACTORS WILL LIMIT ACCESS AND EGRESS TO TRACK OUT LOCATIONS.
- ALL CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING ONSITE SPEED LIMITS OF THEIR PERSONNEL.
- CONTRACTOR TO ENSURE ALL APPLICABLE PERMITS HAVE BEEN OBTAINED PRIOR TO EXCAVATING WITHIN ANY RIGHT OF WAY.
- THE CONTRACTOR SHALL FIELD VERIFY, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL NOT HAVE A STAMPED AGENCY APPROVED SET OF PLANS AT THE WORK SITE DURING CONSTRUCTION. CONSTRUCTION SHALL NOT PROCEED UNTIL THIS SET OF PLANS IS ISSUED WITH INCLUDED REVISIONS AND COMMENTS MADE BY THE AGENCIES.
- ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE STABILIZED BY THE APPLICATION OF A DUST PALLIATIVE.
- ACCESS TO THE SITE AND FIRE HYDRANT MEET REQUIREMENTS OF NFPA 1142-SECTION 7.5. THE OWNER SHALL MAINTAIN THE ROAD SURFACE TO THE FIRE HYDRANT AND SURROUNDING STRUCTURES YEAR ROUND AND PROVIDE ACCESS FOR THE DESIGN FIRE TRUCK AS OUTLINED IN IFC SECTION 507 AND NFPA 1142 SECTION 7.5.
- GRADING AROUND BUILDINGS TO BE DONE IN A MANNER AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ACCORDANCE WITH ELKO COUNTY AND BUILDING CODE REQUIREMENTS.

- ALL CONCRETE PLACED ON THIS PROJECT SHALL COMPLY WITH THE LATEST EDITION OF THE ORANGE BOOK AND SHALL BE AN APPROVED MIX DESIGN. ALL PCC CURB, GUTTER, SIDEWALK, SLABS & APRONS, AND MANHOLES SHALL BE CLASS AA OR DA PORTLAND CEMENT CONCRETE WITH 4,000 PSI MINIMUM (AT 28 DAYS), 4% TO 7% AIR ENTRAINMENT, AND USE NO. 67 AGGREGATE, UNLESS OTHERWISE SPECIFIED. THESE STRUCTURES SHALL BE CAST IN PLACE OR APPROVED PRECAST. NO CONCRETE SHALL BE PLACED UNTIL FORMS AND BASE COURSE ARE INSPECTED BY THE OWNER OR HIS ASSIGNED AGENT.
- ROAD SURFACING MATERIAL SHALL CONFORM TO THE SPECIFICATIONS FOR TYPE 2 PLANTMIX BITUMINOUS PAVEMENT AND SHALL BE COMPACTED TO 96% MINIMUM DRY DENSITY, BASED ON THE MARSHALL UNIT WEIGHT. ASPHALT CEMENT SHALL BE PG 6422 OR APPROVED EQUAL.
- STRUCTURAL FILL SHALL BE COMPACTED TO 90% COMPACTION. THE TOP 6" OF SUBGRADE UNDER TRAFFIC AREAS SHALL BE COMPACTED TO 95% COMPACTION. COMPACTION SHALL BE PER ASTM D1557.
- AGGREGATE BASE UNDER ROADWAYS AND CONCRETE SHALL BE TYPE II CLASS B AGGREGATE BASE AND SHALL CONFORM TO SECTION 200.00-2 OF THE STANDARD SPECIFICATIONS. AGGREGATE BASE UNDER PARKING AREAS SHALL BE COMPACTED TO 95% COMPACTION. AGGREGATE BASE UNDER NON TRAFFIC AREAS SHALL BE COMPACTED TO 90% COMPACTION. COMPACTION SHALL BE PER ASTM D1557.
- THE DESIGN OF GAS, TELEPHONE, TV, AND ELECTRIC SHALL BE BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITIES SHOWN ON THESE PLANS ARE FOR GENERAL ARRANGEMENT AND TO SHOW POTENTIAL CONFLICTS ONLY.
- ADJUST ALL EXISTING UTILITY STRUCTURES TO FINISHED GRADE.
- VERTICAL AND HORIZONTAL SEPARATION OF ALL WATER AND SEWER (SANITARY AND STORM) UTILITIES SHALL BE MAINTAINED PER NAC. ENGINEER AND CONTRACTOR TO REFERENCE SECTION 445A.6715 TO SECTION 445A.6718 OF THE NEVADA ADMINISTRATIVE CODE FOR UTILITY SEPARATION AND CLEARANCES. VERTICAL CLEARANCE BETWEEN WATER LINES AND ALL OTHER EXISTING OR PROPOSED SANITARY OR STORM SEWER, GAS TELEPHONE, TV AND ANY OTHER LINES, SHALL BE A MINIMUM OF 18".
- ALL WATER MAINS SHALL BE CLASS 350 C-900 OR DUCTILE IRON PIPE, WITH POLYETHYLENE ENCASEMENT, OR DR18 C900 PVC PIPE, UNLESS OTHERWISE SHOWN OR SPECIFIED BY G.B.W.C.. ALL CONSTRUCTION TO BE AWWA C-600 OR AWWA C-605 COMPLIANT AS APPROPRIATE. MINIMUM COVER OVER THE WATER MAINS SHALL BE NO LESS THEN 42". ALL WATER SERVICE LINES SHALL BE AS SHOWN ON PLANS, COPPER TUBE SIZE (CTS) RATED 200 PSI POLYETHYLENE UNLESS OTHERWISE SHOWN.

- STRUCTURAL NOTES
1. DESIGN INFORMATION AND LIVE LOADS USED:
2018 INTERNATIONAL BUILDING CODE (IBC)
GROUND SNOW LOAD 50 PSF (SEE CALCS)
ROOF DEAD LOAD 10 PSF
FLOOR LIVE LOAD 40 PSF
WIND ZONE 115 MPH, EXPOSURE C
SEISMIC ZONE D
- FOUNDATIONS SPREAD FOOTINGS ARE TO BE FOUND ON THE NATURAL SOIL OR COMPACTED STRUCTURAL FILL. SPREAD FOOTINGS ARE DESIGNED FOR A MAXIMUM ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF WITH ALLOWABLE INCREASES.
- FOUNDATION CONCRETE:
COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS:
3,500 P.S.I.(5 SACK MIN) FOR FOOTINGS, 4,000 PSI FOR (6 SACK MINIMUM) FOR WALLS.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40.
MINIMUM CLEAR CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
3 INCHES FOR CONCRETE PLACED DIRECTLY AGAINST EARTH.
1-1/2 INCHES FOR FORMED SURFACES EXPOSED TO WEATHER OR EARTH.
3/8" FOR PRECAST CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND.
CENTER OF SLAB FOR SLABS ON GRADE.
REINFORCING SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS LAPPED SPLICES SHALL BE DESIGNED IN CONFORMANCE WITH THE CURRENT IBC. NO TWO ADJACENT BARS ARE TO BE SPLICED IN THE SAME LOCATION UNLESS SHOWN OTHERWISE.

PROJECT NAME



Tenant Improvement
111 W. Front Street
Elko, Nevada

SHEET NAME

TITLE SHEET

REVISIONS

▲ 12-22-2025



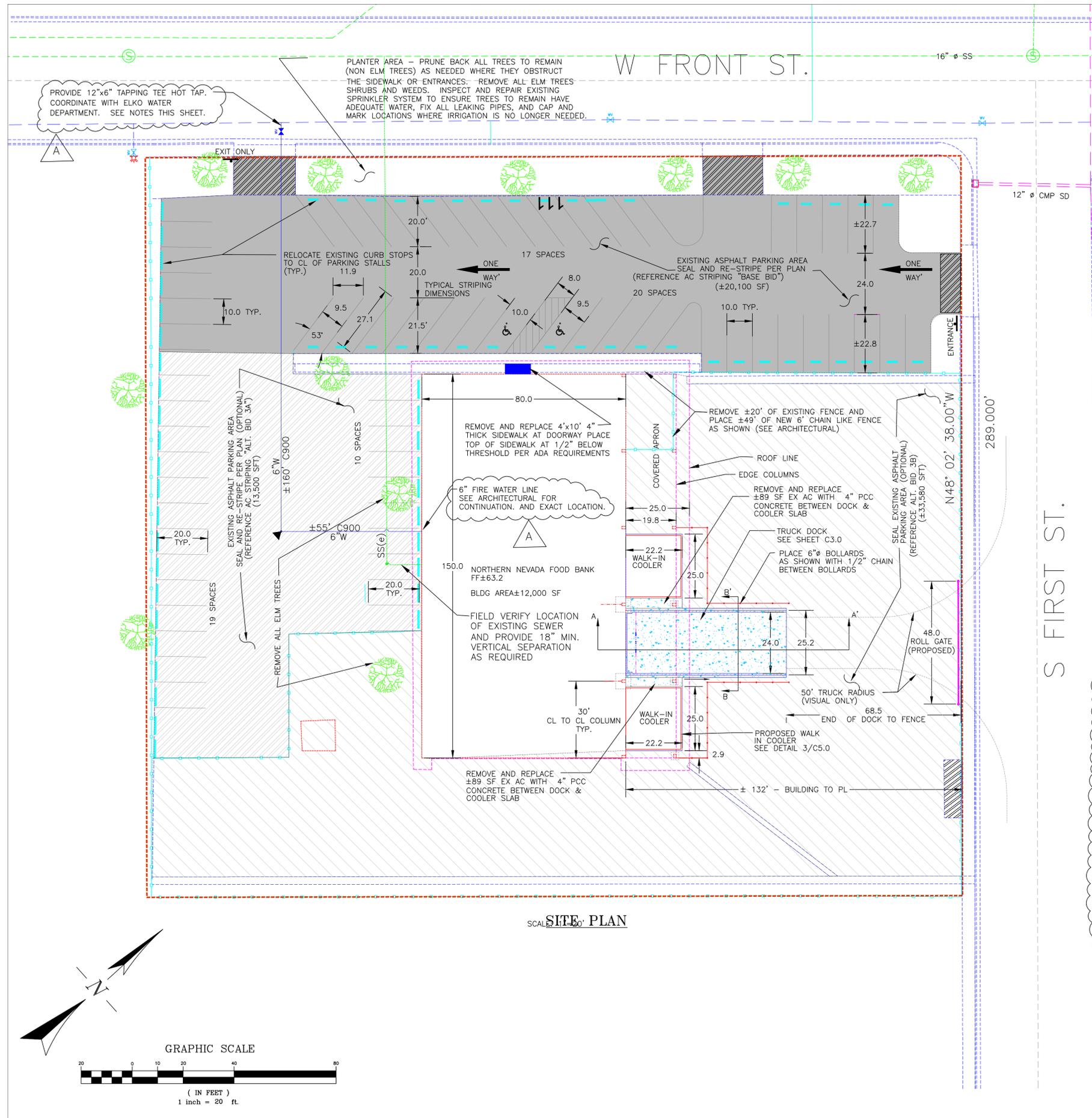
11/6/25

DATE

12-22-2025

SHEET NUMBER

c1.0



PARKING ANALYSIS		
TYPE	SPACES PROVIDED	SPACES REQUIRED
STANDARD SPACES	64	40 (1/300SFT)
HANDICAP SPACES	2	2
TOTAL PARKING SPACES	66	40

LEGEND

- PROPERTY LINE
- EXISTING STRUCTURE
- EXISTING ROOF LINE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING CHAIN LINK FENCE
- STORM GRATE
- THRUST BLOCK (SEE DETAIL 6/C7.1)
- EXISTING ASPHALT PAVEMENT
- PROPOSED CONCRETE FLATWORK
- PCC ENTRANCE/ EXIT
- TOP OF DOCK WALL
- SHORTER DOCK WALL AROUND FOUNDATIONS
- BASE BID SEAL COAT AREA (20,100 SQFT)
- SEAL COAT ALTERNATE BID 3A (13,500 SQFT)
- SEAL COAT ALTERNATE BID 3B (33,580 SQFT)

NOTES:

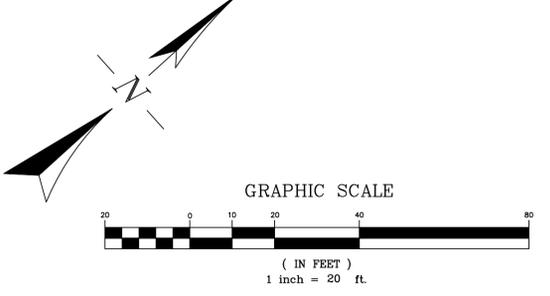
- REMOVE, SAW CUT AND PATCH BACK APPROXIMATELY 24" OF ASPHALT AROUND ALL NEW CONCRETE FLATWORK AND WALLS
- SEAL COAT SHALL BE A SAND SLURRY. SEE SHEET C1.0 FOR SEAL COAT SPECIFICATIONS.

UTILITY NOTES - GENERAL

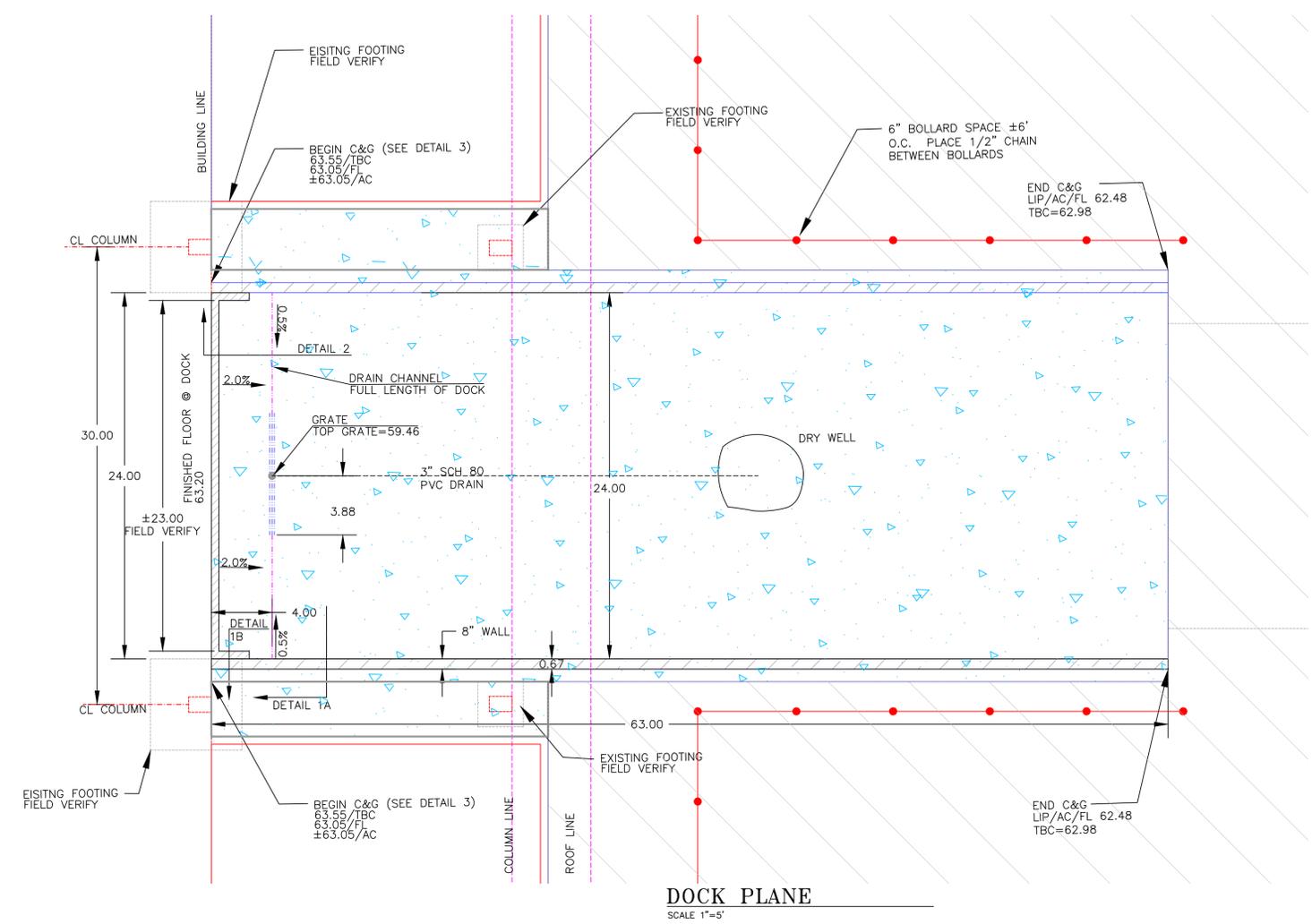
- ALL UTILITY TRENCHES SHALL CONFORM TO CITY OF ELKO AND UTILITY COMPANY SPECIFICATIONS INCLUDING NV ENERGY, SATVIEW, FRONTIER COMMUNICATIONS, AND SOUTHWEST GAS SPECIFICATIONS. CONTRACTOR TO COORDINATE INSTALLATION OF ALL UTILITIES WITH LOCAL UTILITIES.
- EXCAVATION AND BACKFILL SHALL BE AS SPECIFIED FOR "TRENCH AND BACKFILL" IN SECTIONS 305.00 OF THE "STANDARD SPECIFICATIONS".
- SOIL FOUNDATIONS FOR SEWER OR WATER PIPE SHALL BE FREE OF SOD, STUMPS, STONES, OR ANY OTHER ORGANIC OR DELETERIOUS MATERIALS.
- UPON INSTALLATION OF ALL UNDERGROUND PIPE, THE BEDDING AREA SHALL BE SHAPED TO PROVIDE CONTINUOUS CONTACT OF THE ENTIRE PIPE BOTTOM WITH THE FOUNDATION. THE PIPE BACKFILL SHALL BE FIRMLY TAMPED AT THE HAUNCHES IN ORDER TO PROVIDE THOROUGH COMPACTION.
- THE DESIGN OF GAS, TELEPHONE, TV, AND ELECTRIC SHALL BE BY THE RESPECTIVE UTILITY COMPANIES. ADJUST ALL EXISTING UTILITY STRUCTURES TO FINISHED GRADE.

UTILITY NOTES - WET UTILITIES

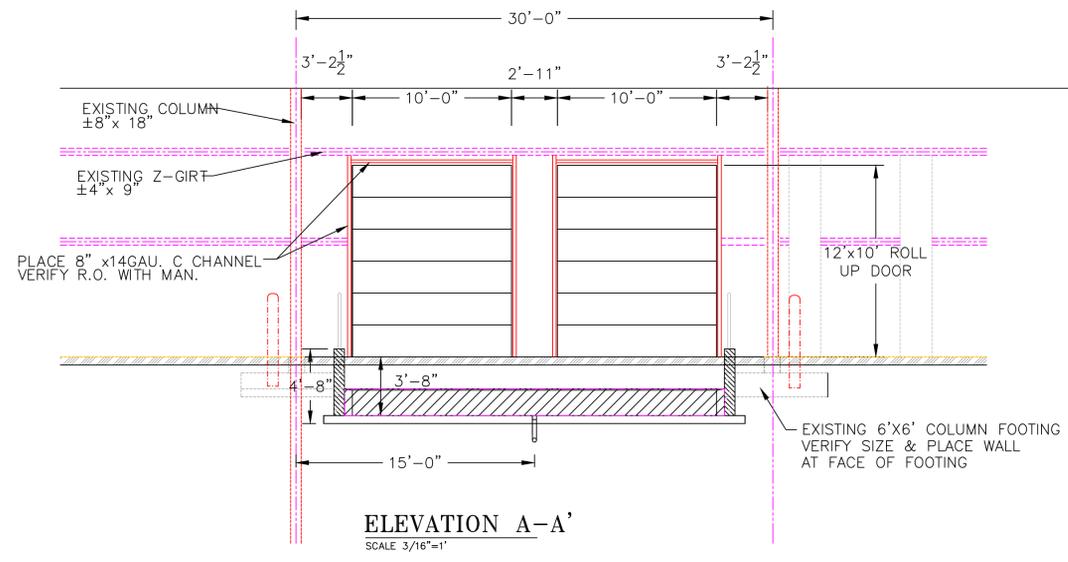
- VERTICAL AND HORIZONTAL SEPARATION OF ALL WATER AND SEWER (SANITARY AND STORM) UTILITIES SHALL BE MAINTAINED PER NAC. ENGINEER AND CONTRACTOR TO REFERENCE SECTION 445A.6715 TO SECTION 445A.6718 OF THE NEVADA ADMINISTRATIVE CODE FOR UTILITY SEPARATION AND CLEARANCES. VERTICAL CLEARANCE BETWEEN WATER LINES AND ALL OTHER EXISTING OR PROPOSED SANITARY OR STORM SEWER, GAS TELEPHONE, TV AND ANY OTHER LINES, SHALL BE A MINIMUM OF 18".
- 30 THE CITY OF ELKO UTILITY DEPARTMENT SHALL BE CONTACTED FOR AUTHORIZATION TO PLACE ANY NEW WATER SYSTEM EXTENSIONS, REPLACEMENTS IN EXISTING SYSTEMS AND VALVED SECTIONS INTO SERVICE FOR TESTING OR FINAL ACCEPTANCE, AND SHALL PERFORM OR SUPERVISE ALL LIVE TAPS ONTO CITY UTILITIES. ALL WATER TAPS TO BE IN ACCORDANCE WITH CITY DETAIL U-12.1. WATER TAPS ONTO WATER MAIN TO BE A MINIMUM OF 6 FEET FROM HYDRANT TAPS.
- FIRE WATER LINE TO MATCH FIRE SPRINKLER PLANS. FOR BID PURPOSES ASSUME 6" WATER LINE AND 12"x6" TAPPING TEE. WATER LINE TO BE DR 18 CLASS 350 C900 PVC PIPE, UNLESS OTHERWISE SHOWN. ALL CONSTRUCTION TO BE AWWA C-600 OR AWWA C-605 COMPLIANT AS APPROPRIATE. MINIMUM COVER OVER THE WATER AND SEWER MAINS SHALL BE 42".
- BEFORE BEING CERTIFIED BY AN ENGINEER OR ACCEPTED BY THE CITY OF ELKO, ANY NEW WATER SYSTEMS, EXTENSIONS, 32. REPLACEMENTS IN EXISTING SYSTEMS AND VALVE SECTIONS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH NAC445A.67145.7(a) AND (b), AND DISINFECTED IN ACCORDANCE WITH AWW C-651, "DISINFECTING WATER MAINS".
- GENERAL CONTRACTOR OR ARCHITECT TO ADVISE PLUMBING CONTRACTOR OF HIS/HER RESPONSIBILITY TO VERIFY WATER PRESSURE DURING STATIC CONDITIONS AT ALL SERVICE LOCATIONS. THE PLUMBING CONTRACTOR IS REQUIRED TO CONFORM TO THE MOST CURRENT EDITION OF THE UNIFORM PLUMBING CODE WHICH HAS BEEN ADOPTED BY THE CITY OF ELKO. SPECIAL ATTENTION SHOULD BE GIVEN TO THE SECTION OF THE CODE CONCERNING STATIC WATER PRESSURE IN EXCESS OF 80 PSI.
- SEE MECHANICAL PLANS FOR BACKFLOW PREVENTION WHICH IS TO BE INSTALLED INSIDE OF THE BUILDING.
- THE FIRE MAIN SHALL COMPLY WITH REQUIREMENTS OF NFPA SECTION 12.2.6 AND NFPA 13 SECTION 9.3.4.3. "CLEARANCE SHALL BE PROVIDED AROUND ALL PIPING EXTENDING THROUGH WALLS, FLOORS, PLATFORMS, AND FOUNDATIONS, INCLUDING DRAINS, FIRE DEPARTMENT CONNECTIONS, AND OTHER AUXILIARY PIPING." SLEEVES SHALL BE 4" LARGER THAN THE NOMINAL DIMENSION OF THE PIPE.
- THE BUILDING FIRE SPRINKLER AND SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND APPROVED PRIOR TO COMBUSTIBLE MATERIALS ON SITE AS PER THE 2009 INTERNATIONAL FIRE CODE SECTION 507.1 AND 1412.1.
- THE DESIGN OF UTILITIES ON THIS SHEET IS TO WITHIN 5' OF THE BUILDING. SEE THE RESPECTIVE AND PLUMBING, MECHANICAL, AND ELECTRICAL PLANS FOR CONTINUATION AND DESIGN INSIDE THE BUILDING AND TO 5' OUTSIDE OF THE BUILDING.
- SEE SHEET C-1 FOR GENERAL NOTES.



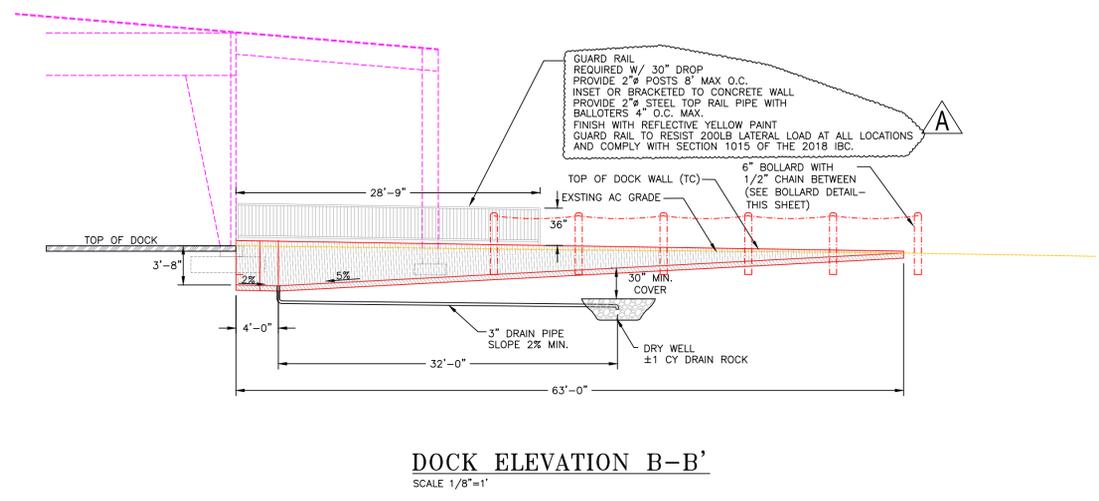
SITE PLAN
SCALE 1/4" = 1'-0"



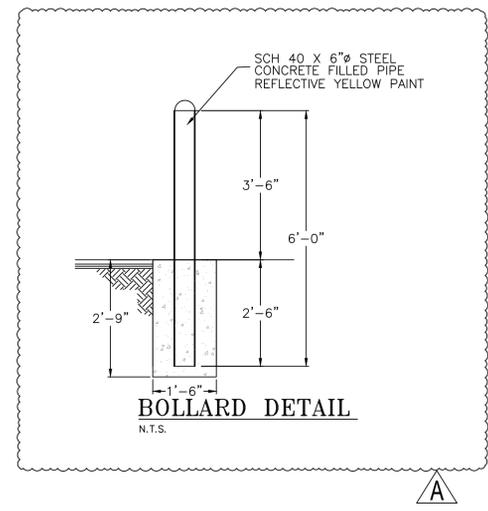
DOCK PLANE
SCALE 1"=5'



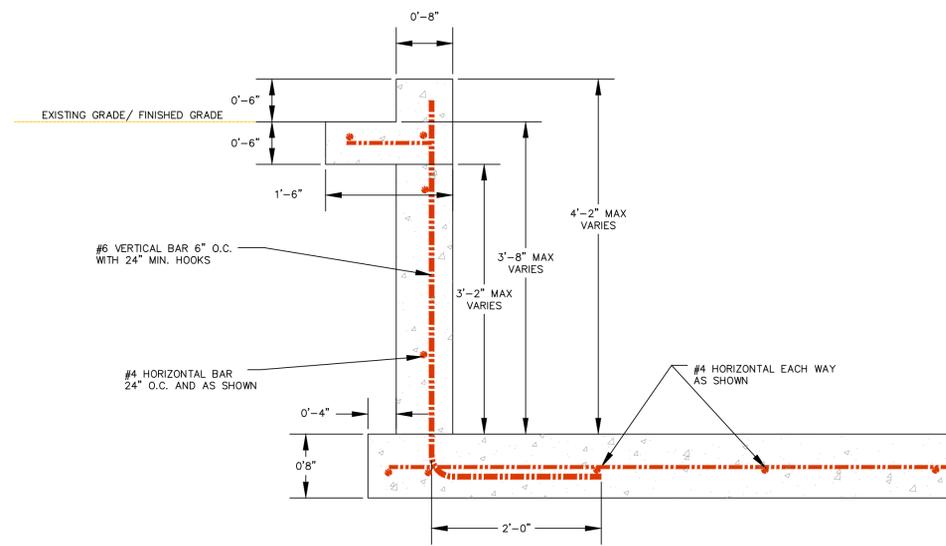
ELEVATION A-A'
SCALE 3/16"=1'



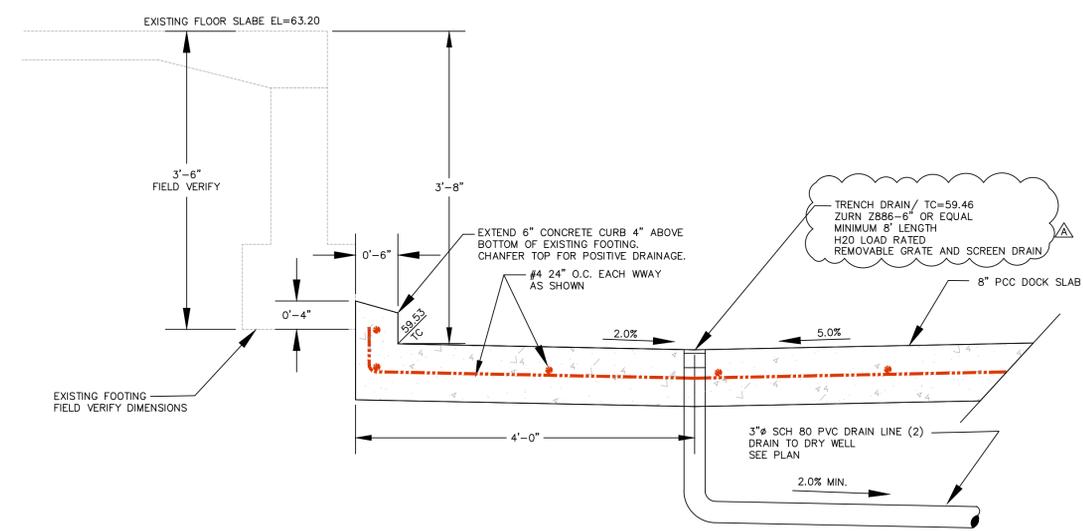
DOCK ELEVATION B-B'
SCALE 1/8"=1'



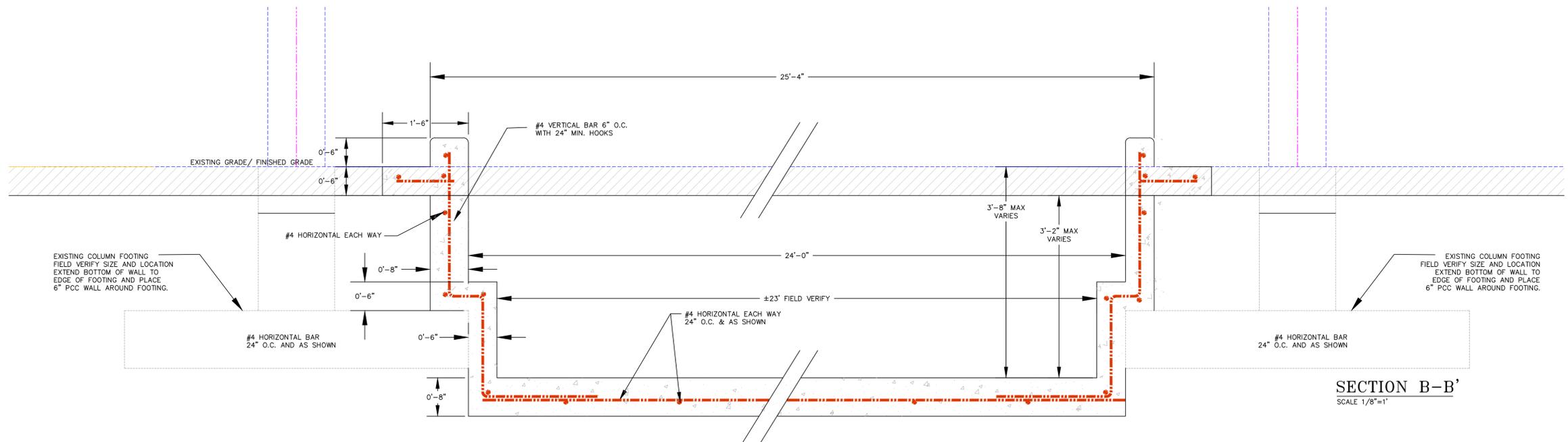
BOLLARD DETAIL
N.T.S.



DOCK WALL - DETAIL 1A
SCALE 1"=1'

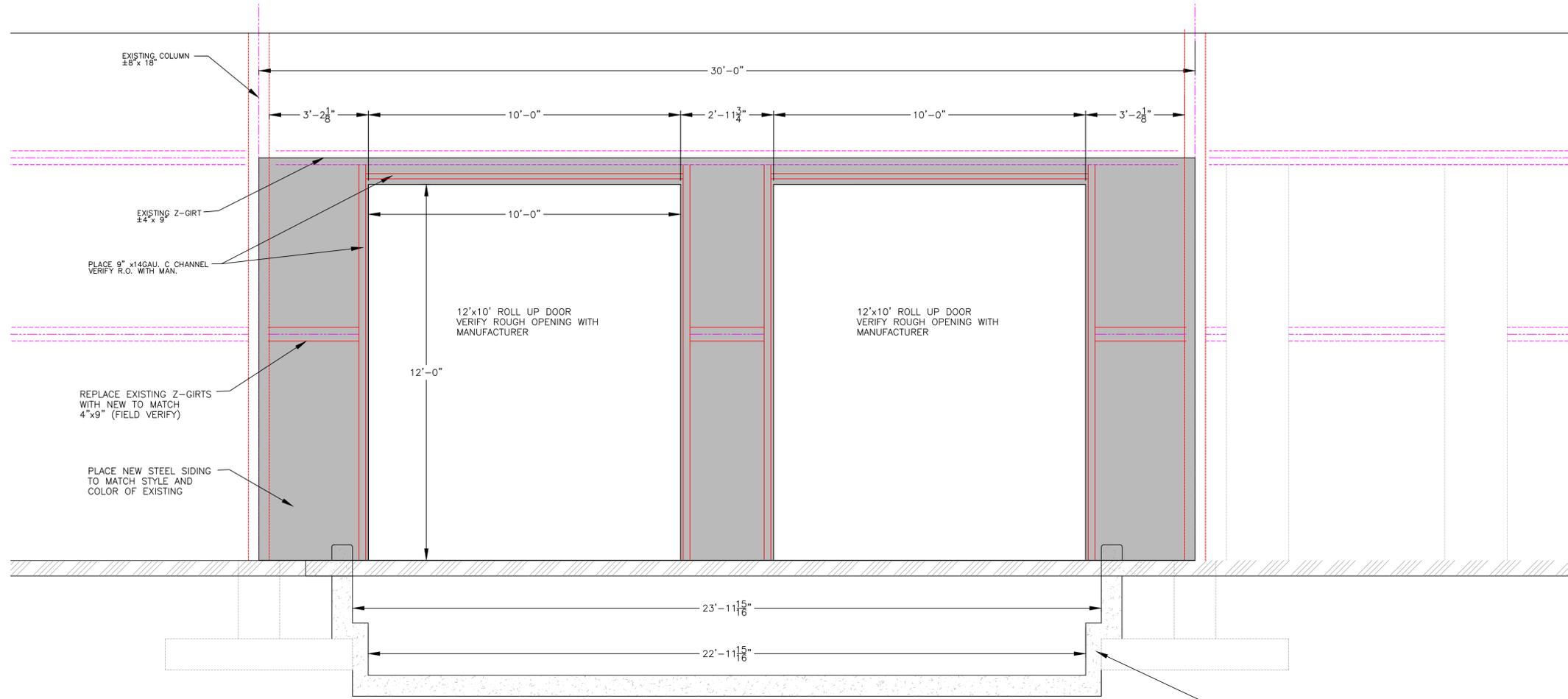


DOCK WALL AT BUILDING - DETAIL 2
SCALE 1"=1'

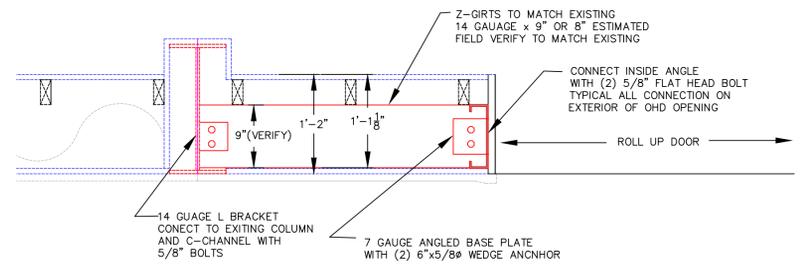


DOCK WALL DETAIL 1B
SCALE 1"=1'

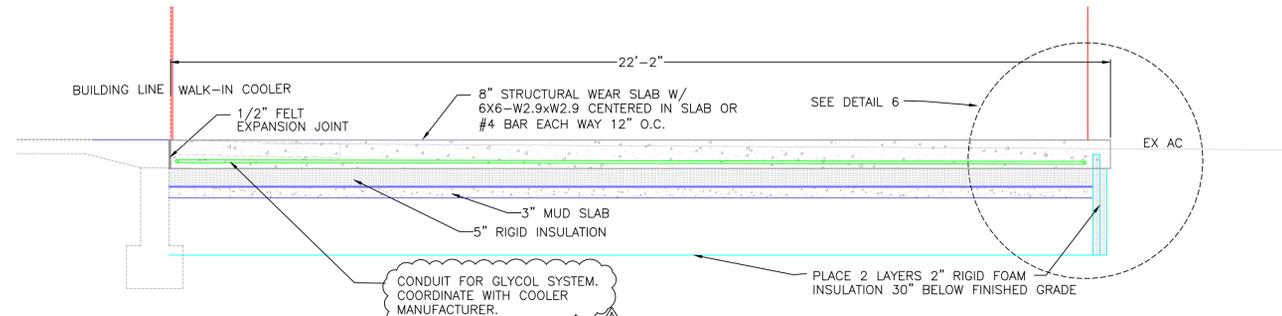
SECTION B-B'
SCALE 1/8"=1'



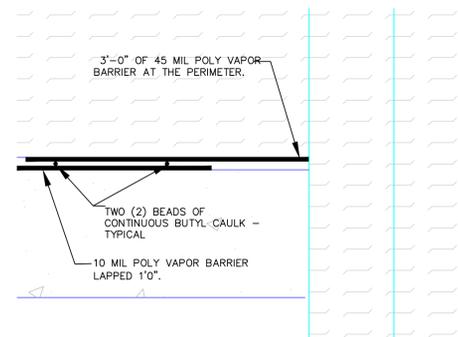
OVERHEAD DOOR WALL ELEVATION - DETAIL 3
 SCALE 1"=1'



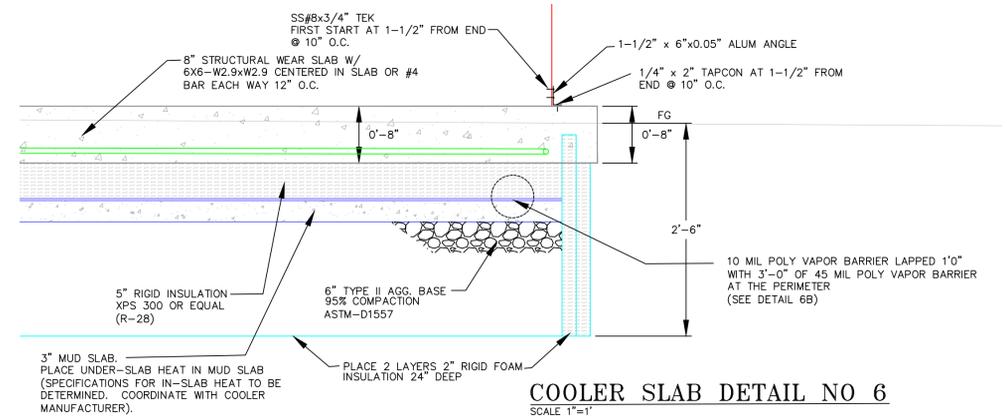
OVERHEAD DOOR WALL FRAMING SECTION - DETAIL 4
 SCALE 1"=1'



WALK IN COOLER CONCRETE SLAB DETAIL 5
 SCALE 1"=1'



VAPOR BARRIER DETAIL 6B
 SCALE 1"=1'



COOLER SLAB DETAIL NO 6
 SCALE 1"=1'

IECC LIGHTING COMPLIANCE



COMcheck Software Version 4.1.5.5

Interior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
 Project Title: Food Bank of Northern Nevada
 Project Type: Alteration

Construction Site: 111 W. Front Street, Elko, NV 89801
 Owner/Agent:
 Designer/Contractor: Scott Rutledge, NV5, 5155 W. Patrick Ln., Las Vegas, NV 89118

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B X C)
1-Warehouse	12000	0.48	5760
Total Allowed Watts =			5760

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Warehouse (12000 sq.ft.)				
LED 1: A, AE: 8' Lensed Strip Light: Other:	1	42	52	2184
LED 2: B, BE: 4' Lensed Strip Light: Other:	1	9	26	234
LED 3: C: 2' Wall Mounted Light: Other:	1	3	20	60
LED 4: DE: 6' Recessed Downlight: Other:	1	4	14	58
Total Proposed Watts =				2536

Interior Lighting PASSES

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title _____ Signature _____ Date _____

Project Title: Food Bank of Northern Nevada
 Data filename: \\NV5.com\Panzura\BTS\BLD\BLD2\Projects\2025\25-0004625\300 Design Info\308 Elec\2_Lighting\2018 IECC NN Food Bank.cck
 Report date: 01/08/26
 Page 1 of 8

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	MODEL	TYPE	COLOR	LUMENS	VOLTS	WATTS	NOTES
A	8' LENSED STRIP LIGHT	SUSPENDED	METALUX	8TSNX-82SL-LN-UNV-L835-CDI-FKO	LED	3500K	8053	120	52	SEE NOTE 11.
AE	8' LENSED STRIP LIGHT - EMERGENCY	SUSPENDED	METALUX	8TSNX-82SL-LN-UNV-L835-CDI-EL14W-FKO	LED	3500K	8053	120	52	SEE NOTE 11.
B	4' LENSED STRIP LIGHT	SUSPENDED	METALUX	4SNX-41SL-LN-UNV-L835-CDI-FKO	LED	3500K	4209	120	26	SEE NOTE 11.
BE	4' LENSED STRIP LIGHT - EMERGENCY	SUSPENDED	METALUX	4SNX-41SL-LN-UNV-L835-CDI-EL7W-FKO	LED	3500K	4209	120	26	SEE NOTE 11.
C	2' WALL LED LIGHT	SURFACE	METALUX	2SWLED-20SL-LW-UNV-L835-CD1-U	LED	3500K	1987	120	20	SEE NOTE 11.
DE	6" RECSSED DOWNLIGHT - EMERGENCY	RECESSED	HALO COMMERCIAL	HC615D010 HM60525835 61MDC	LED	3500K	1700	120	14.5	SEE NOTE 11.
F	CANOPY LIGHT	SURFACE	MCGRAW-EDISON	TT D5 740 U WQ WLS2	LED	4000K	9527	120	74	SEE NOTE 11.
WE	EMERGENCY WALL MOUNT INTEGRAL MOTION & DAYLIGHT SENSOR	SURFACE	LUMARK	AXCS2A WLSXX CBP	LED	4000K	2561	120	25	
EX	EDGE LIT EXIT SIGN SINGLE FACE	SURFACE	SURELITES	EUX71R	LED	-	INC	UNV	5	RED STROKE

GENERAL NOTES:

- FIXTURES SPECIFIED WITH CATALOG NUMBERS ARE THE BASIS OF DESIGN AND ESTABLISH QUALITY LEVEL FOR EQUAL FIXTURES FROM MANUFACTURERS LISTED WITHOUT CATALOG NUMBERS. WHERE ONLY ONE MANUFACTURER LISTED, THERE SHALL BE NO SUBSTITUTION.
 - VERIFY EXACT MOUNTING CONDITIONS AND PROVIDE APPROPRIATE ACCESSORIES AND HARDWARE TO ACCOMMODATE REQUIREMENTS.
 - FIXTURE TYPE INDICATED ONCE ON A CONTINUOUS ROW SHALL BE TYPICAL OF ALL FIXTURES IN THE ROW UNLESS NOTED OTHERWISE.
 - CONTINUOUS ROWS OF FIXTURES SHALL BE PROVIDED WITH ALL NECESSARY HARDWARE AND FILLERS TO PROVIDE THE EXACT LENGTHS AS INDICATED ON THE PLANS. FIXTURES IN SOFFITS SHALL BE CONTINUOUS END TO END.
 - FIXTURES WITH MAXIMUM THD OF 15%, PF GREATER THAN 90%, DRIVERS SHALL BE UL LISTED.
 - EFFICIENCY SHALL BE GREATER THAN THAT REQUIRED TO ENSURE THAT THE VALUE LISTED FOR INPUT WATTS IS NOT EXCEEDED.
 - MINIMUM CRI SHALL BE 80.
 - PROVIDE EXIT SIGNS WITH ARROWS AND MOUNTING ACCESSORIES AS INDICATED ON THE PLANS.
 - DRIVERS SHALL HAVE FULL RANGE DIMMING CAPABILITIES FROM 10% TO 100% UNLESS NOTED OTHERWISE.
 - BATTERY BACKED DRIVERS SHALL PROVIDE A MINIMUM OF 50% OF THE FIXTURE LUMENS FOR 90 MINUTES. DRIVERS SHALL UL LISTED AND HAVE A 5 YEAR WARRANTY.
- FIXTURE SPECIFIC NOTES:
- REFER TO ARCHITECTURAL PLANS FOR EXACT MOUNTING HEIGHT/SUSPENSION LENGTH.
 - AREA LIGHT TO BE SUPPLIED WITH MOTION SENSOR FOR DIMMING OPERATION FOR MOUNTING HEIGHT SPECIFIED. PROVIDE WITH PROGRAMMING REMOTE CONTROL (ONE PER PROJECT) FOR OWNER AT PROJECT CLOSEOUT.



COMcheck Software Version 4.1.5.5

Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
 Project Title: Food Bank of Northern Nevada
 Project Type: Alteration
 Exterior Lighting Zone: 2 (Residential mixed use area (LZ2))

Construction Site: 111 W. Front Street, Elko, NV 89801
 Owner/Agent:
 Designer/Contractor: Scott Rutledge, NV5, 5155 W. Patrick Ln., Las Vegas, NV 89118

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
Pedestrian and vehicular entrances and exits	15 ft of door	14	Yes	210
Entry canopy	605 ft ²	0.25	Yes	151
Total Tradable Watts (a) =				361
Total Allowed Watts =				361
Total Allowed Supplemental Watts (b) =				400

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
 (b) A supplemental allowance equal to 400 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Pedestrian and vehicular entrances and exits (15 ft of door width): Tradable Wattage				
LED 1: WE: Other:	1	6	25	150
Entry canopy (605 ft²): Tradable Wattage				
LED 2: F: Other:	1	1	75	75
Total Tradable Proposed Watts =				225

Exterior Lighting PASSES

Exterior Lighting Compliance Statement

Compliance Statement: The proposed exterior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title _____ Signature _____ Date _____

Project Title: Food Bank of Northern Nevada
 Data filename: \\NV5.com\Panzura\BTS\BLD\BLD2\Projects\2025\25-0004625\300 Design Info\308 Elec\2_Lighting\2018 IECC NN Food Bank.cck
 Report date: 01/08/26
 Page 2 of 8

CONSULTANT



5155 W Patrick Lane
 Las Vegas, NV 89118

T. 702-362-9200
 www.NV5.com
 NV5 Project # - 25-0004625

PROJECT NAME



FOOD BANK
 OF NORTHERN NEVADA
 Tenant Improvement
 111 W. Front Street
 Elko, Nevada

SHEET NAME

ELECTRICAL IECC AND
 SCHEDULES

REVISIONS

ADDENDUM 'A' 12/22/2025



DATE

11.06.2025

SHEET NUMBER

E0.02

DEMOLITION & REMODEL NOTES

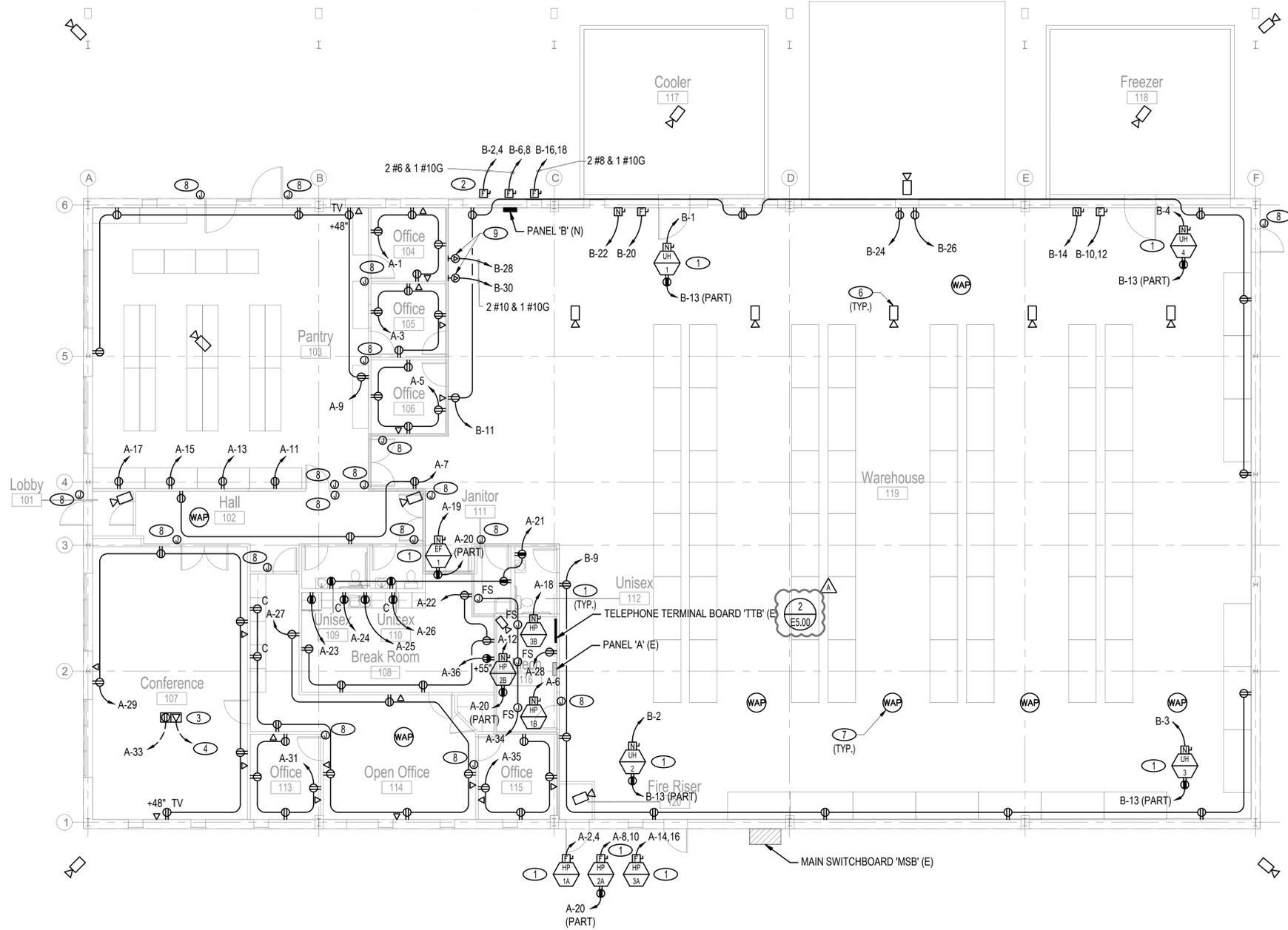
- (E) EXISTING DEVICE OR FIXTURE TO REMAIN. SHOWN FOR REFERENCE ONLY. RECIRCUIT TO NEW CIRCUIT AND CONTROL DEVICES ONLY IF SPECIFICALLY SHOWN.
- (RE) RELOCATE EXISTING DEVICE OR FIXTURE. LOCATION SHOWN IS EXISTING (FIELD VERIFY). REFER TO NEW PLAN FOR NEW LOCATION AND CONNECTION REQUIREMENTS. EXISTING DEVICES OR FIXTURES CONNECTED IN SERIES WITH RELOCATED DEVICE OR FIXTURE SHALL BE RECONNECTED TO EXISTING BRANCH CIRCUIT AND CONTROL DEVICES AS REQUIRED.
- (RN) NEW LOCATION OF RELOCATED DEVICE OR FIXTURE. EXTEND CONDUIT AND CONDUCTORS FROM EXISTING LOCATION TO NEW LOCATION AS REQUIRED OR AS SHOWN. NEW COMMUNICATION CABLING SHALL BE PROVIDED WHERE EXISTING CABLING IS NOT IN SUITABLE CONDITION FOR REUSE (NO SPLICES ALLOWED IN COMMUNICATION CABLING). EXISTING BRANCH CIRCUIT CONDUCTORS SHALL BE REPLACED WITH NEW WHERE THE EXISTING CONDUCTORS ARE NOT IN SUITABLE CONDITION FOR REUSE.
- (X) REMOVE EXISTING DEVICE SHOWN. REMOVE CONDUCTORS BACK TO NEXT DEVICE OR TO PANELBOARD AS REQUIRED. EXISTING DEVICES OR FIXTURES CONNECTED IN SERIES WITH REMOVED DEVICE OR FIXTURE SHALL BE RECONNECTED TO EXISTING BRANCH CIRCUIT AND CONTROL DEVICES AS REQUIRED.
- (C) CHANGE EXISTING DEVICE TO NEW DEVICE SHOWN.
- (N) NEW DEVICE OR FIXTURE TO BE PROVIDED AND INSTALLED AS SHOWN. PROVIDE CONDUIT AND CONDUCTORS AS SHOWN OR SPECIFIED.

SHEET NOTES

1. ALL DEMOLITION WORK SHALL BE COORDINATED WITH OWNER FOR TEMPORARY LOSS OF SERVICE TO FACILITY OR PORTIONS OF FACILITY AS REQUIRED. ALL EXISTING WALLS, FLOORS, ETC. AFFECTED BY THE REMOVAL OF EXISTING EQUIPMENT OR INSTALLATIONS SHALL BE PATCHED, REPAIRED AND FINISHED TO MATCH ADJACENT. ALL EXISTING FIRE RATED ASSEMBLIES AFFECTED BY THE DEMOLITION SHALL BE REPAIRED WITH FIRE STOPPINGS AND CAULKINGS AS REQUIRED TO MAINTAIN THE INTEGRITY OF FIRE RATED CONSTRUCTIONS.
2. EXISTING EQUIPMENT SHOWN ON THIS PLAN IS BASED ON AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR. ALL DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER IN WRITING PRIOR TO BID.
3. EXISTING ELECTRICAL INSTALLATIONS IN WALLS AND BUILDING ELEMENTS THAT ARE TO BE DEMOLISHED OR CHANGED SHALL BE MODIFIED OR RELOCATED AS NECESSARY. REFER TO ARCHITECTURAL PLANS FOR IDENTIFICATION OF BUILDING ELEMENTS AND FIELD VERIFY EXISTING ELECTRICAL INSTALLATIONS IN THESE AREAS PRIOR TO BID.
4. EXISTING LIGHT FIXTURES THAT ARE TO BE REUSED SHALL BE CLEANED AND RELAMPED WITH NEW LAMPS. ALL EXISTING EMERGENCY BATTERY PACKS FOR EXIT SIGNS AND EMERGENCY LIGHTS SHALL BE REPLACED WITH NEW. NORMAL BALLASTS THAT ARE NOT IN WORKING ORDER SHALL BE REPLACED WITH NEW BALLAST THAT IS COMPATIBLE WITH EXISTING FIXTURES.
5. ALL EXISTING WIRING DEVICES AND COMMUNICATION OUTLETS THAT ARE TO REMAIN OR BE RELOCATED SHALL BE REPLACED WITH NEW WIRING DEVICES AND COVERS TO MATCH NEW DEVICES BEING INSTALLED AS PART OF THIS PROJECT. CONTRACTOR SHALL FIELD VERIFY EXISTING TYPES AND QUANTITIES PRIOR TO BID.
6. CONTRACTOR SHALL TAKE CARE TO PROTECT IN PLACE ALL INSTALLATIONS RUNNING THROUGH THIS TENANT SPACE THAT SERVE HOUSECOMMON AREA EQUIPMENT. INSTALLATIONS THAT RUN THROUGH SPACE FOR TENANTS ABOVE OR BELOW AND INSTALLATIONS THAT SERVE EQUIPMENT WITHIN THIS TENANT SPACE THAT IS IDENTIFIED AS EXISTING TO REMAIN. WHERE SUCH INSTALLATIONS RUN THROUGH WALLS THAT ARE TO BE DEMOLISHED CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY THE INSTALLATIONS AND NOTIFY ENGINEER IN WRITING TO DETERMINE WHAT MODIFICATIONS MAY BE REQUIRED.
7. ALL COMMUNICATION SYSTEM CABLING TO BE CONCEALED ABOVE CEILING OR IN CONDUIT EXCEPT FOR IN TELEPHONE BOARD ROOM. LEAVE 36" TAILS FOR SECURITY CONNECTIONS IN IT ROOM, AND 48" TAILS FOR SWITCHES AT IT ROOM FOR TERMINATION. LEAVE 24" TAILS AT ALL OTHER POINTS OF CONNECTION FOR TERMINATION. COORDINATE NUMBER OF CABLES AND ROUTING WITH OWNER PRIOR TO INSTALLATION.

KEY NOTES (XX)

1. REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE ON SHEET E5.00 FOR DISCONNECTING MEANS, CONDUIT, CONDUCTOR, AND CONNECTION REQUIREMENTS.
2. PROVIDE NEMA 3R DISCONNECT FOR CONDENSING UNITS FOR COOLER AND FREEZER. COORDINATE EXACT LOCATION WITH ARCHITECT AND EQUIPMENT VENDOR. FUSE PER MANUFACTURER'S RECOMMENDATION.
3. PROVIDE FLUSH RECESSED FLOOR BOX FOR POWER. FLOOR BOX SHALL BE STEEL CAT# 600-3C WITH P80-DS SERIES BRASS COVER OR EQUAL. FLOOR BOX TO BE INSTALLED FLUSH WITH FINISHED FLOOR WITH ALL DEVICES INDICATED ON PLANS. PROVIDE ALL ACCESSORIES, MOUNTING CLIPS, HARDWARE, ETC. REQUIRED FOR A COMPLETE INSTALLATION.
4. 3/4" EC TO EXISTING TELEPHONE TERMINAL BOARD 'TTB'.
5. CONNECTION TO FIRE/SMOKE DAMPER. COORDINATE REQUIREMENTS WITH FIRE ALARM SYSTEM AND MECHANICAL CONTROL DIAGRAMS.
6. LOCATION OF CAMERA. RUN CONDUIT AND CABLE AS NECESSARY TO POINT OF CONNECTION. VERIFY EXACT ROUGH-IN LOCATION AND REQUIREMENTS WITH OWNER'S I.T. VENDOR.
7. LOCATION OF CEILING MOUNTED WIRELESS ACCESS POINT. RUN CONDUIT AND CABLE AS NECESSARY TO POINT OF CONNECTION. VERIFY EXACT ROUGH-IN LOCATION AND REQUIREMENTS WITH OWNER'S I.T. VENDOR.
8. ACCESS CONTROL DEVICE. RUN CONDUIT AND CABLE AS NECESSARY TO POINT OF CONNECTION. COORDINATE EXACT ROUGH IN LOCATION AND REQUIREMENTS WITH OWNER'S SECURITY VENDOR.
9. NEMA L6-30 RECEPTACLE FOR FORKLIFT CHARGER CABLE. VERIFY WITH FORKLIFT MANUFACTURER.



ELECTRICAL POWER PLAN
 1/8" = 1'-0"

1
 E2.01

PROJECT NAME

FOOD BANK
 OF NORTHERN NEVADA
 Tenant Improvement
 111 W. Front Street
 Elko, Nevada

SHEET NAME

ELECTRICAL POWER PLAN

REVISIONS

ADDENDUM 'A' 12/22/2025



DATE

11.06.2025

SHEET NUMBER

E2.01

DEMOLITION & REMODEL NOTES

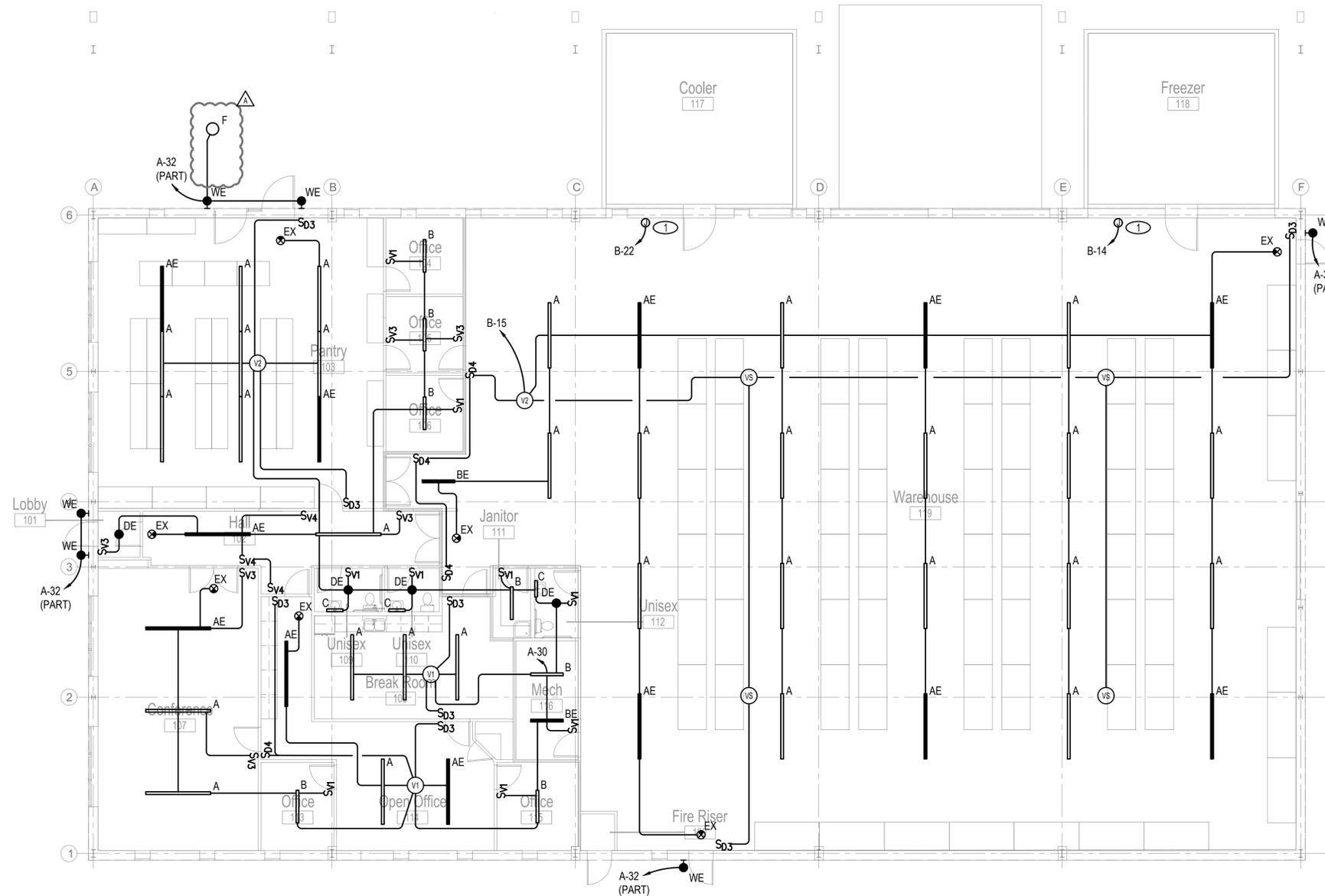
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5. ALL EXISTING WIRING DEVICES AND COMMUNICATION OUTLETS THAT ARE TO REMAIN OR BE RELOCATED SHALL BE REPLACED WITH NEW WIRING DEVICES AND COVERS TO MATCH NEW DEVICES BEING INSTALLED AS PART OF THIS PROJECT. CONTRACTOR SHALL FIELD VERIFY EXISTING TYPES AND QUANTITIES PRIOR TO BID.
6. CONTRACTOR SHALL TAKE CARE TO PROTECT IN PLACE ALL INSTALLATIONS RUNNING THROUGH THIS TENANT SPACE THAT SERVE HOUSE COMMON AREA EQUIPMENT. INSTALLATIONS THAT RUN THROUGH SPACE FOR TENANTS ABOVE OR BELOW AND INSTALLATIONS THAT SERVE EQUIPMENT WITHIN THIS TENANT SPACE THAT IS IDENTIFIED AS EXISTING TO REMAIN. WHERE SUCH INSTALLATIONS RUN THROUGH WALLS THAT ARE TO BE DEMOLISHED CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY THE INSTALLATIONS AND NOTIFY ENGINEER IN WRITING TO DETERMINE WHAT MODIFICATIONS MAY BE REQUIRED.

KEY NOTES

1. COORDINATE CONNECTION OF WALK-IN UNIT LIGHTING WITH EQUIPMENT VENDOR.



ELECTRICAL LIGHTING PLAN

1/8" = 1'-0"

1
E3.01

5155 W Patrick Lane
Las Vegas, NV 89118

T. 702-362-9200
www.NV5.com
NV5 Project # - 25-0004625

PROJECT NAME



Tenant Improvement
111 W. Front Street
Elko, Nevada

SHEET NAME

ELECTRICAL LIGHTING PLAN

REVISIONS

△ ADDENDUM 'A' 12/22/2025



DATE

11.06.2025

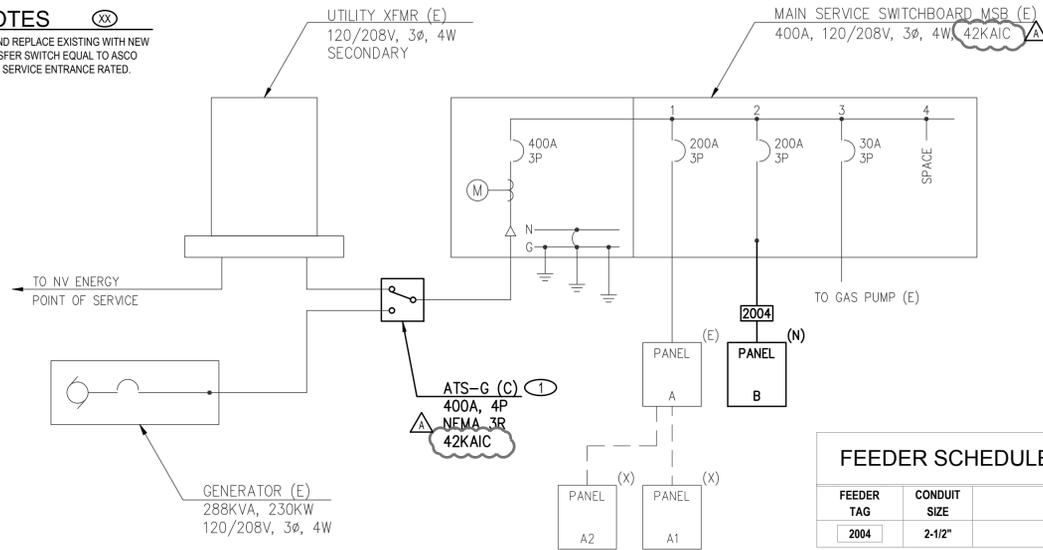
SHEET NUMBER

E3.01

SERVICE LOAD CALCULATION - MSB				
SERVICE VOLTAGE	208			
NUMBER OF PHASES	3			
LOAD DESCRIPTION	QUANTITY	LOAD	DEMAND FACTOR	LOAD W/ DEMAND
PANEL LOADS				
PANEL A	1	38236 VA	100%	38236 VA
PANEL B	1	42390 VA	100%	42390 VA
GAS PUMP	1	6485 VA	100%	6485 VA
TOTAL LOAD (VA) =		87111 VA		
TOTAL LOAD (AMPERES) =		242 AMPS		
SERVICE SIZE (AMPERES) =		400 AMPS		

KEY NOTES

- REMOVE AND REPLACE EXISTING WITH NEW 400A TRANSFER SWITCH EQUAL TO ASCO 300 SERIES SERVICE ENTRANCE RATED.



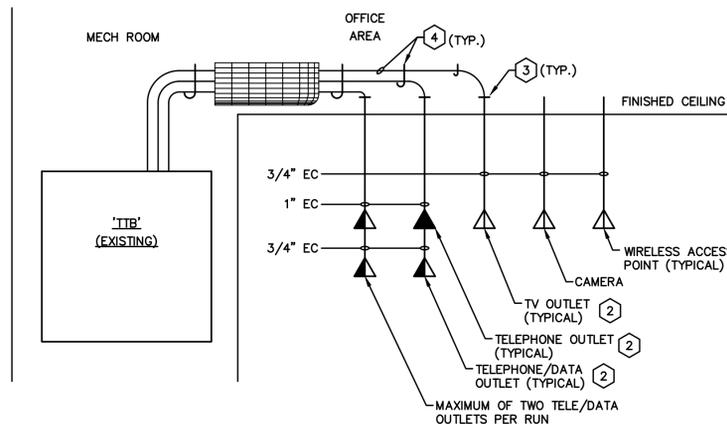
FEEDER SCHEDULE (75° C CU WIRE)

FEEDER TAG	CONDUIT SIZE	CONDUCTORS
2004	2-1/2"	4 #3/0 & 1 #6 GRD

LIGHT LINES ON SINGLE LINE DIAGRAM INDICATE EXISTING EQUIPMENT TO REMAIN AND BOLD LINES INDICATE NEW EQUIPMENT OR INSTALLATIONS TO BE PROVIDED AS PART OF THIS PROJECT. CONTRACTOR SHALL FIELD VERIFY THAT EQUIPMENT RATINGS, CONNECTIONS AND CONFIGURATIONS ARE ACCURATE PRIOR TO BID AND SHALL NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN DESIGN DRAWINGS AND ACTUAL FIELD CONDITIONS.

THREE PHASE SHORT CIRCUIT AND VOLTAGE DROP CALCULATION SUMMARY

PROJ. NAME:	FOOD BANK OF NORTHERN NEVADA TI					
PROJ. NUMBER:	25-0004625					
CALC. BY:	Joseph G. Crapo, P.E.					
DATE:	7/28/25					
	LAST UPDATED ON 1/8/26 10:28 AM					
DISTRIBUTION POINT ID	LOCATION	FEEDER SIZE (AWG)	NUMBER OF CONDUCTORS PER PHASE	FEEDER LENGTH (FEET)	AVAILABLE FAULT CURRENT (ISC) (AMPS)	VOLTAGE DROP (VD)
F1	MAIN SERVICE	#3/0	2	25	38104	0.00%
F2	PANEL A	#3/0	1	50	17047	0.62%
F3	PANEL B	#3/0	1	130	9047	1.62%



DETAIL GENERAL NOTES

- ALL CONDUIT TERMINATIONS SHALL HAVE INSULATED BUSHINGS.
- ALL COMMUNICATIONS CABLES SHALL BE PLENUM RATED.

DETAIL KEYNOTES

- PROVIDE INTERSYSTEM BONDING TERMINATION (12"x2"x1/4" COPPER GROUND TERMINAL BAR ON INSULATED STANDOFFS) AT MAIN ELECTRICAL SERVICE (EXTERNAL TO ELECTRICAL ENCLOSURES). TERMINAL BAR SHALL BE INSTALLED INSIDE ADJACENT WALL WITH 6"x6" ACCESS PANEL COVER FOR INSPECTION OF CONNECTIONS. PROVIDE (1) 3/4", 1 #6 CU TO MAIN SERVICE GROUNDING ELECTRODE CONDUCTOR. PROVIDE (3) 1/2" EMPTY CONDUITS FROM TERMINAL BAR TO ACCESSIBLE SPACE IN CEILING WITHIN THE BUILDING. INSTALLATION SHALL COMPLY WITH NEC 250.94.
- SEE ELECTRICAL PLANS FOR COMMUNICATION OUTLET TYPES, QUANTITIES AND LOCATIONS.
- STUB CONDUIT ABOVE CEILING.
- CABLING TO BE SUSPENDED FROM STRUCTURE ABOVE CEILING USING CADDY "CAT-LINKS J-HOOKS", SIZED PER MANUFACTURER RECOMMENDATIONS FOR NUMBER OF CABLES, SPACED AT NO MORE THAN 5' INTERVALS MAXIMUM OR AS REQUIRED TO MAINTAIN LESS THAN 12" OF VERTICAL CABLE SAG BETWEEN SUPPORTS. IN AREAS WHERE NO CEILING IS INSTALLED (OPEN TO STRUCTURE ABOVE) PROVIDE CONDUIT TO TELEPHONE ROOM, CABLE TRAY OR TO CONCEALED SPACE ABOVE CEILING IN ADJACENT ROOM. ALL COMMUNICATION SYSTEM CABLES TO BE CONCEALED ABOVE CEILING OR IN CONDUIT EXCEPT FOR THE TELEPHONE ROOM. COORDINATE NUMBER OF CABLES AND ROUTING WITH OWNER PRIOR TO INSTALLATION.

COMMUNICATION RISER DIAGRAM

SCALE: NONE

2
E5.00

SINGLE LINE DIAGRAM



1
E5.00

EXISTING PANELBOARD														
PANELBOARD A NEMA 1														
VOLTS: 208Y/120V, 3 PH, 4W SURFACE MOUNT														
BUS RATING (AMPS): 225 BOLT ON CIRCUIT BREAKERS														
MAIN: 200 A MLO ALUMINUM BUS LOCATION MECH RM 116														
MIN. AIC RATING: 22K														
CKT. NO.	CIRCUIT DESCRIPTION	NOTE	BKR. SIZE	POLE	LOAD TYPE	LOADS (VA)			BKR. SIZE	POLE	NOTE	CIRCUIT DESCRIPTION	CKT. NO.	
						A	B	C						
1	OFFICE 104 RECEP		20	1	R	720	////	////				HP-1A	2	
3	OFFICE 105 RECEP		20	1	R	720	////	////				HP-1B	4	
5	OFFICE 106 RECEP		20	1	R	720	////	////				HP-2A	6	
7	HALL RECEP		20	1	R	540	////	////				HP-2A	8	
9	PANTRY RECEP		20	1	N	720	////	////				HP-2B	10	
11	PANTRY FREEZER		20	1	N	1000	////	1000				HP-2B	12	
13	PANTRY FRIDGE		20	1	N	1000	////	1000				HP-3A	14	
15	PANTRY FRIDGE		20	1	N	1000	////	1000				HP-3A	16	
17	PANTRY FRIDGE		20	1	N	1000	////	1000				HP-3B	18	
19	EF-1		20	1	M	90	////	////				MECH RECEP	20	
21	BATHROOM RECEP		15	1	R	720	////	////				BREAK ROOM RECEP	22	
23	BREAK ROOM FRIDGE		20	1	R	1000	////	1000				BREAK ROOM COUNTER	24	
25	SINK GARBAGE DISPOSAL		20	1	R	180	////	////				BREAK ROOM COUNTER	26	
27	OPEN OFFICE RECEP		20	1	R	1440	////	////				MECH RM RECEP	28	
29	CONFERENCE RECEP		20	1	R	900	////	////				OFFICE/PANTRY LITG	30	
31	OFFICE 113 RECEP		20	1	R	720	////	////				EXTERIOR EM LITG	32	
33	CONFERENCE TABLE		20	1	R	360	////	////				HIRE DAMPERS	34	
35	OFFICE 115 RECEP		20	1	R	720	////	////				MONITOR	36	
37	EXTERIOR LTS	RE	20	1	L	500	////	////				SPARE	38	
39	EXTERIOR LTS	RE	20	1	L	500	////	////				SPARE	40	
41	SITE POLE LTS	RE	20	1	L	700	////	////				SPARE	42	
FEED THROUGH LOAD						0	0	0	93% PERCENT BALANCE					
TOTAL CONN. LOAD (VA)						12458	13388	12000	LOAD ABBREVIATIONS AND DEMAND FACTORS:					
TOTAL DEMAND LOAD (VA)						12683	13513	12525	C=CONTINUOUS LOAD=125%, K=KITCHEN EQUIP.=100%					
PHASE DEMAND AMPS						106	113	104	L=LIGHTING LOAD=125%, LM=LARGEST MOTOR=125%					
TOTAL PANEL DEMAND (VA)						38721			M=MOTOR LOAD=100%, N=NON-CONTINUOUS LOAD=100%					
PANEL DEMAND AMPS						113			P=PANEL LOAD=100%, R=RECEPTACLE LOAD=100%					
SPECIAL PROVISIONS: RE - EXISTING CIRCUIT TO BE RECONNECTED TO NEW CIRCUIT BREAKER														
PANEL NOTES:														

NEW PANELBOARD														
PANELBOARD B NEMA 1														
VOLTS: 208Y/120V, 3 PH, 4W SURFACE MOUNT														
BUS RATING (AMPS): 200 BOLT ON CIRCUIT BREAKERS														
MAIN: 200 A MLO ALUMINUM BUS LOCATION WAREHOUSE														
MIN. AIC RATING: 10K														
CKT. NO.	CIRCUIT DESCRIPTION	NOTE	BKR. SIZE	POLE	LOAD TYPE	LOADS (VA)			BKR. SIZE	POLE	NOTE	CIRCUIT DESCRIPTION	CKT. NO.	
						A	B	C						
1	UH-1		15	1	M	672	////	////				WALK-IN FREEZER CU	2	
3	UH-2		15	1	M	672	////	////				WALK-IN FREEZER CU	4	
5	UH-3		15	1	M	672	////	672				WALK-IN FREEZER CU	6	
7	UH-4		15	1	M	672	////	////				WALK-IN FREEZER CU	8	
9	WAREHOUSE RECEP		20	1	R	1260	////	////				WALK-IN FREEZER FANS	10	
11	WAREHOUSE RECEP		20	1	R	1080	////	1080				WALK-IN FREEZER CU	12	
13	MECH RECEP		20	1	R	720	////	////				WALK-IN FREEZER LTS	14	
15	WAREHOUSE LTS		20	1	L	1200	////	////				WALK-IN COOLER CU	16	
17	SPARE		20	1		////	////	0				WALK-IN COOLER LTS	18	
19	SPARE		20	1		0	////	////				WALK-IN COOLER FANS	20	
21	SPARE		20	1		0	////	////				WALK-IN COOLER LTS	22	
23	SPARE		20	1		0	////	////				DIESEL BLOCK HEATER	24	
25	SPARE		20	1		0	////	////				DIESEL BLOCK HEATER	26	
27	SPARE		20	1		0	////	////				FORKLIFT CHARGER	28	
29	SPARE		20	1		0	////	////				FORKLIFT CHARGER	30	
31	SPARE		20	1		0	////	////				SPARE	32	
33	SPARE		20	1		0	////	////				SPARE	34	
35	SPARE		20	1		0	////	////				SPARE	36	
37	SPARE		20	1		0	////	////				SPARE	38	
39	SPARE		20	1		0	////	////				SPARE	40	
41	SPARE		20	1		0	////	////				SPARE	42	
FEED THROUGH LOAD						0	0	0	90% PERCENT BALANCE					
TOTAL CONN. LOAD (VA)						13396	13196	13156	LOAD ABBREVIATIONS AND DEMAND FACTORS:					
TOTAL DEMAND LOAD (VA)						14567	14667	13156	C=CONTINUOUS LOAD=125%, K=KITCHEN EQUIP.=100%					
PHASE DEMAND AMPS						121	122	110	L=LIGHTING LOAD=125%, LM=LARGEST MOTOR=125%					
TOTAL PANEL DEMAND (VA)						42390			M=MOTOR LOAD=100%, N=NON-CONTINUOUS LOAD=100%					
PANEL DEMAND AMPS						122			P=PANEL LOAD=100%, R=RECEPTACLE LOAD=100%					
SPECIAL PROVISIONS:														
PANEL NOTES:														

MECHANICAL EQUIPMENT CONNECTION SCHEDULE

MECH. EQUIP. I.D.	VOLTS	PHASE	WIRE	FLA/ MCA	MFA	FED FROM (SOURCE)	LOAD (VA)	BRANCH CIRCUIT SIZE	INDOOR/ OUTDOOR	DISCONNECTING MEANS TYPE	DISC. SIZE	NEMA TYPE	REMARKS
UH-1	120	1	2	5.6	15	B - 1	672	1/2", 2 #12, 1 #12 GRD	INDOOR	NON-FUSED DISC. SW.	30	1	
UH-2	120	1	2	5.6	15	B - 3	672	1/2", 2 #12, 1 #12 GRD	INDOOR	NON-FUSED DISC. SW.	30	1	
UH-3	120	1	2	5.6	15	B - 5	672	1/2", 2 #12, 1 #12 GRD	INDOOR	NON-FUSED DISC. SW.	30	1	
UH-4	120	1	2	5.6	15	B - 7	672	1/2", 2 #12, 1 #12 GRD	INDOOR	NON-FUSED DISC. SW.	30	1	
HP-1A	208	1	2	17.8	25	A - 2,4	3702	1/2", 2 #10, 1 #10 GRD	OUTDOOR	FUSED DISC. SWITCH	30	3R	PROVIDE FUSING PER MANUFACTURER'S RATINGS.
HP-1B	120	1	2	7.7	15	A - 6	924	1/2", 2 #12, 1 #12 GRD	INDOOR	NON-FUSED DISC. SW.	30	1	
HP-2A	208	1	2	17.8	25	A - 8,10	3702	1/2", 2 #10, 1 #10 GRD	OUTDOOR	FUSED DISC. SWITCH	30	3R	PROVIDE FUSING PER MANUFACTURER'S RATINGS.
HP-2B	120	1	2	7.7	15	A - 12	924	1/2", 2 #12, 1 #12 GRD	INDOOR	NON-FUSED DISC. SW.	30	1	
HP-3A	208	1	2	29.5	50	A - 14,16	6136	3/4", 2 #6, 1 #10 GRD	OUTDOOR	FUSED DISC. SWITCH	60	3R	PROVIDE FUSING PER MANUFACTURER'S RATINGS.
HP-3B	120	1	2	10.1	15	A - 18	1212	1/2", 2 #12, 1 #12 GRD	INDOOR	NON-FUSED DISC. SW.	30	1	
EF-1	120	1	2	0.5	15	A - 19	60	1/2", 2 #12, 1 #12 GRD	OUTDOOR	NON-FUSED DISC. SW.	30	3R	

PROJECT NAME



SHEET NAME

ELECTRICAL SINGLE LINE
DIAGRAM AND SCHEDULES

REVISIONS

ADDENDUM 'A' 12/22/2025



DATE

11.06.2025

SHEET NUMBER

E5.00



DE LORENZO/LONG ARCHITECTS
 415 Idaho Street
 Elko, Nevada 89601
 phone (702) 738-4735

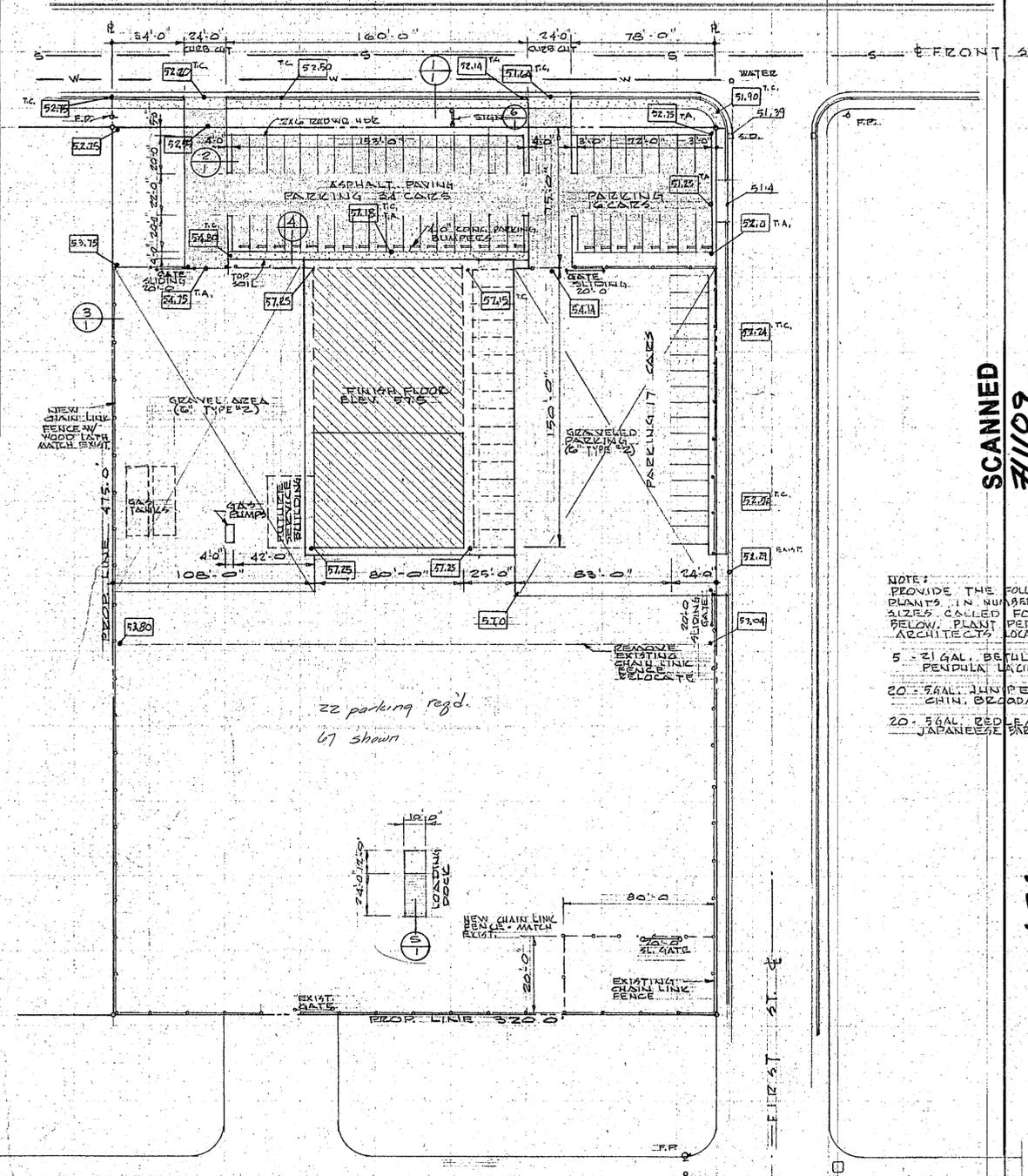
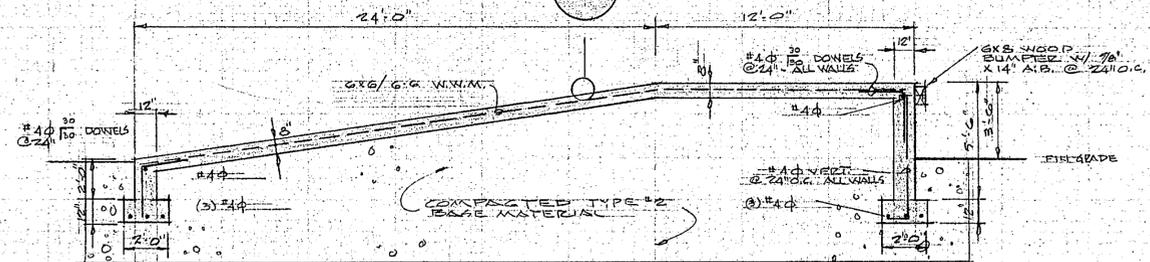
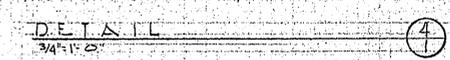
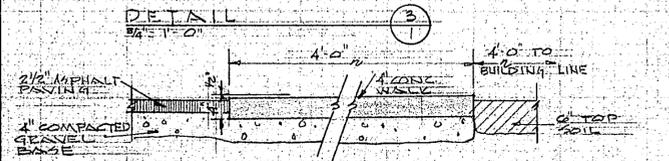
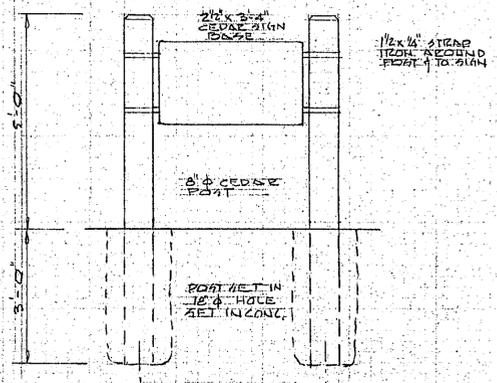
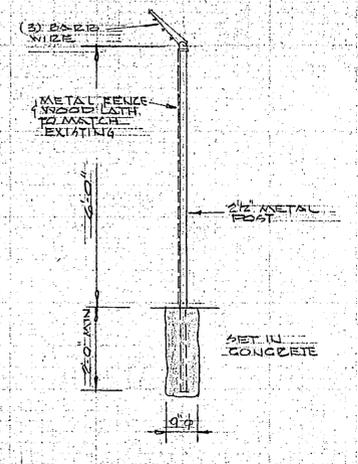
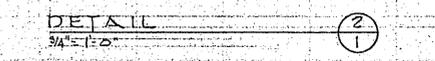
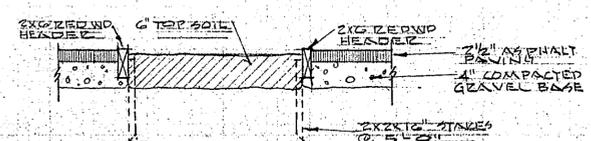
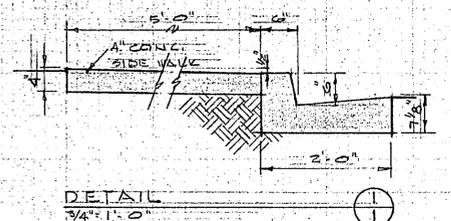


NATIONAL TELEPHONE
 WAREHOUSE & SERVICE CENTER
 FRONT FIRST STREET
 ELKO, NEVADA

#124

Location: **Front 1st St**
 Address: **Front 1st St**
 Owner: **C.P. National Tele**
 Project: **Office Warehouse**

SHEET INDEX	
1	PLOT PLAN INDEX
2	FOUNDATION SLAB PLAN DETAILS
3	FLOOR PLAN
4	SECTIONS
5	ELEVATIONS
6	INTERIOR ELEVATIONS SCHEDULES
7	DETAILS
E1	ELECTRICAL SITE PLAN
E2	LIGHTING PLAN
E3	POWER SIGNAL PLAN
E4	POWER DISTRIBUTION DIAGRAM
M1	MECHANICAL
P1	PLUMBING



NOTE: PROVIDE THE FOLLOWING PLANTS IN NUMBER & SIZES CALLED FOR BELOW. PLANT PER ARCHITECT'S LOCATION:
 5 - 2 1/2 GAL. BETHUNIA PENNIPULI LACINIATA
 20 - 5 GAL. JAPANESE SPIDER
 20 - 5 GAL. RED JAPANESE SPIDER

SCANNED
 #1109





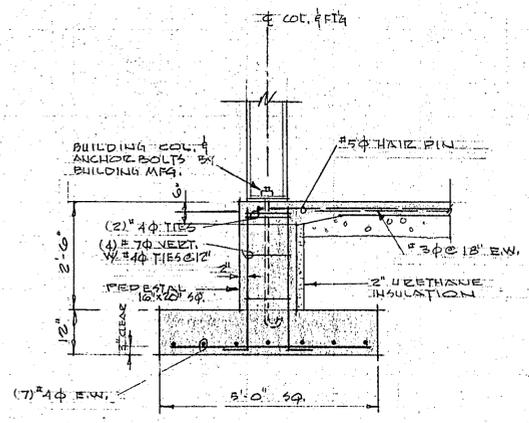
DE LORENZO/LONG ARCHITECTS
415 Idaho Street
Elko, Nevada 89801



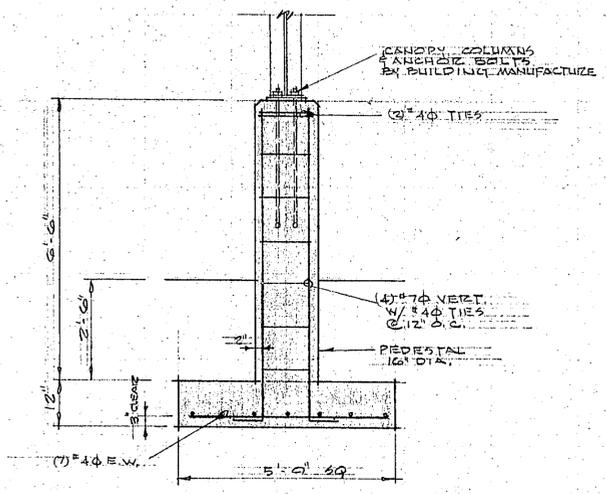
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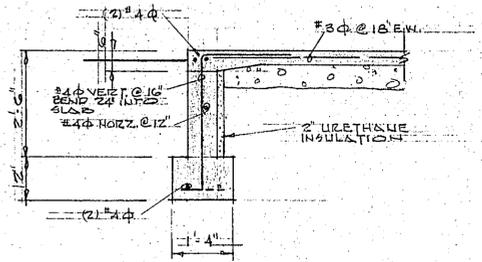
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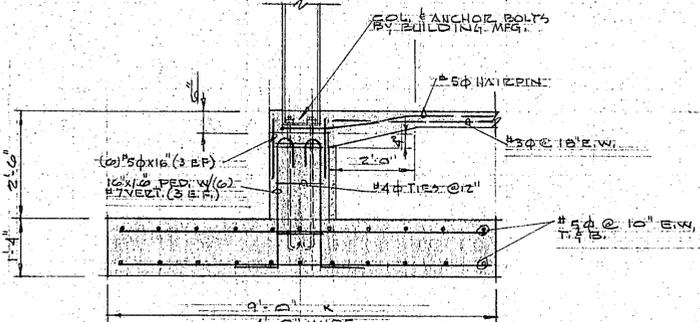
DETAIL 1
1/2" = 1'-0"



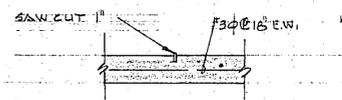
DETAIL 2
1/2" = 1'-0"



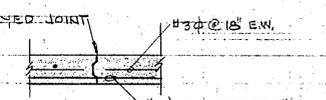
DETAIL 3
1/2" = 1'-0"



DETAIL 4
1/2" = 1'-0"



DETAIL 5
1" = 1'-0"



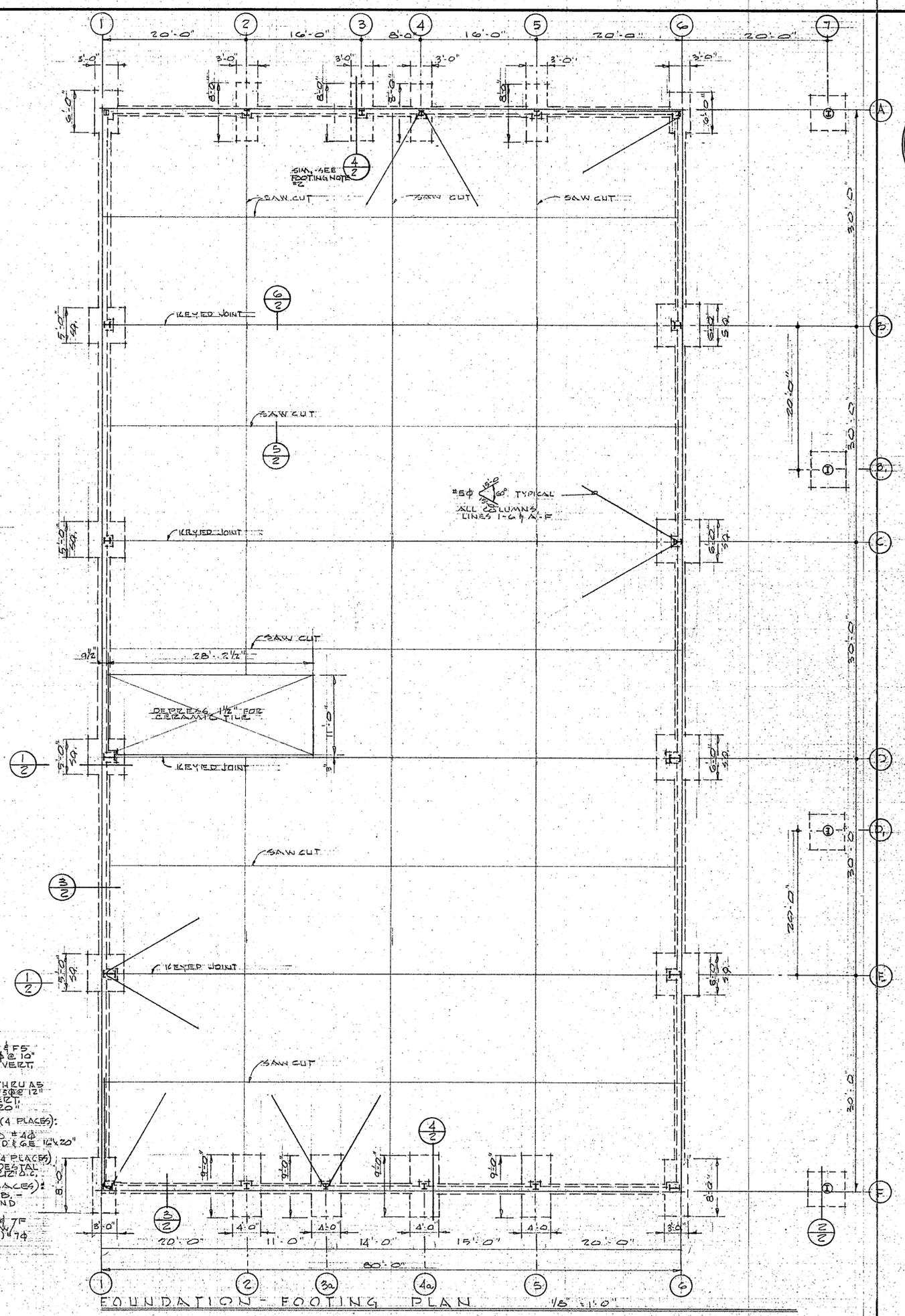
DETAIL 6
1" = 1'-0"

GENERAL NOTES

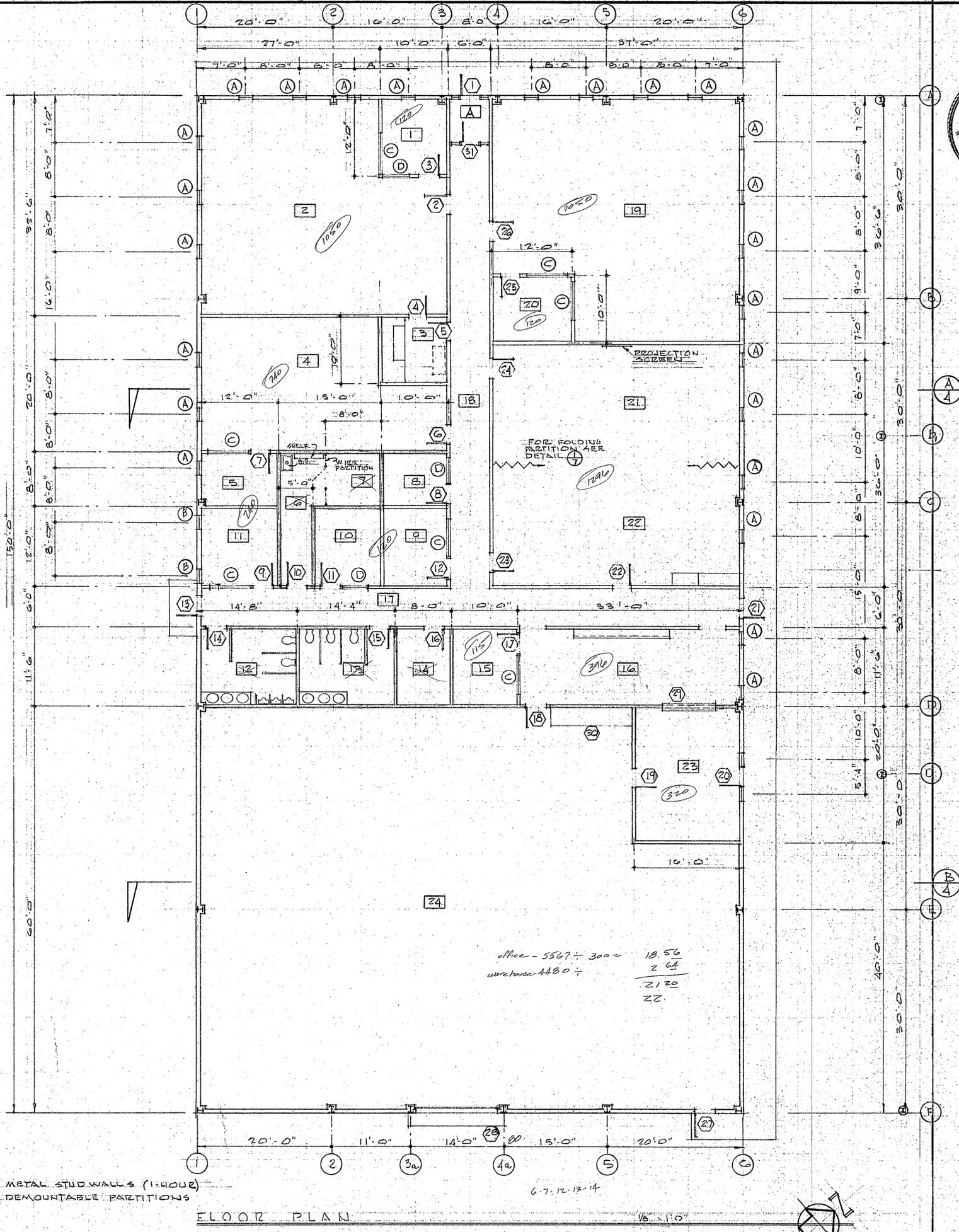
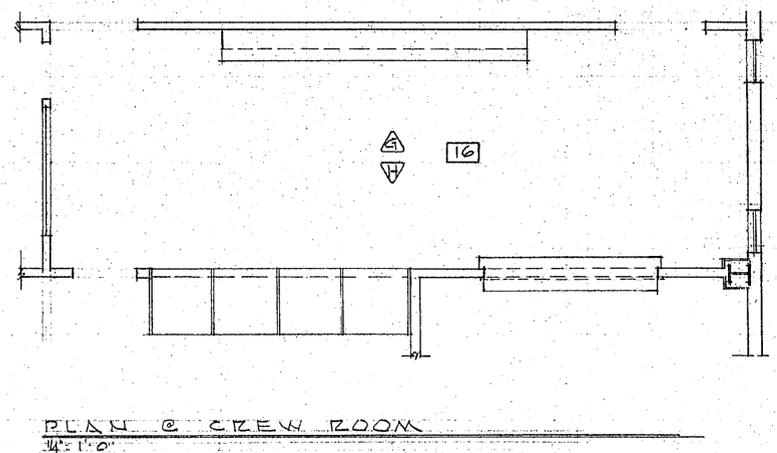
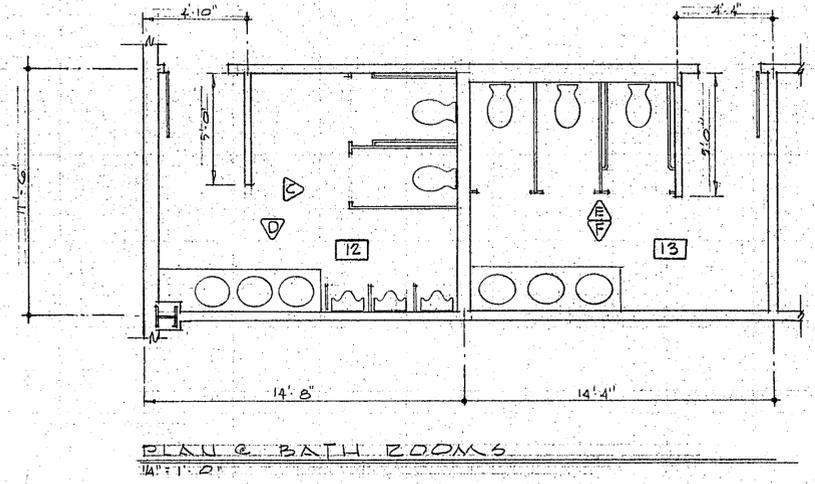
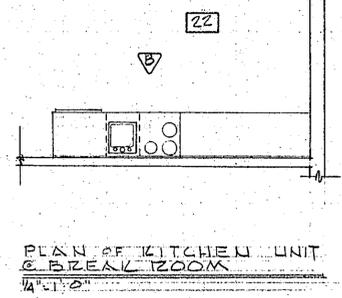
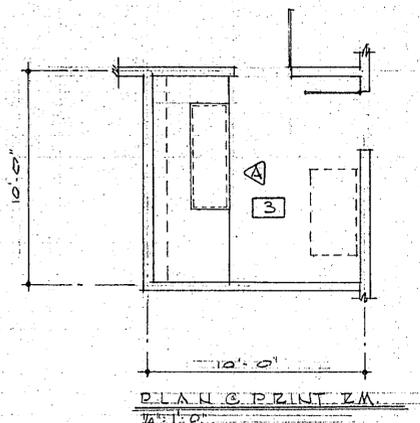
- NOTE 1.
FOOTINGS ARE DESIGNED FOR PRELIMINARY COLUMN REACTION AS PROVIDED BY "BUTLER MANUFACTURING CO." FOR THEIR LANDMARK BUILDING SYSTEM (LM-69 LOADING). IF FINAL COLUMN REACTION AS PROVIDED BY MANUFACTURE DIFFER FROM PRELIMINARY REACTION, FOOTING DESIGN SHALL BE REVISED AS REQUIRED.
- NOTE 2.
FOOTINGS ARE DESIGNED TO PRODUCE A MINIMUM SOIL BEARING PRESSURE OF 2000 PSF. BOTTOM OF FOOTING SHALL BE A MINIMUM OF 5'-0" BELOW FINISH GRADE ON ENHANCED FULL TEST SOIL REPORT #7044 001, 05 BY "HARDING LAMSON", AVAILABLE AT THE ARCHITECTS OFFICE, FOR FOOTING & SITE PREPARATION RECOMMENDATIONS.
- NOTE 3.
CONCRETE FOR FOOTINGS, COLUMNS, STEM WALLS & SLABS ON GRADE SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. MAXIMUM SLUMP SHALL BE 4" OR AS SET FORTH IN THE SPECIFICATIONS. ALL CONCRETE EXCEPT SLABS ON GRADE SHALL BE MECHANICALLY VIBRATED. CURE SLABS WITH OPAQUE POLYETHYLENE OR OTHER APPROVED METHODS FOR SEVEN DAYS.
- NOTE 4.
REINFORCING BARS & WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A 615 GRADE 60 AND ASTM A 616 RESPECTIVELY. REINFORCING SHALL BE DETAILED, FABRICATED & PLACED IN ACCORDANCE WITH ACI MANUAL OF STANDARD PRACTICE.

FOOTING NOTES

- FOOTINGS @ COL. LINE F2, F3, F4 & F5 (4 PLACES): 4'-0" x 9'-0" x 1'-4" DEEP W/ #3 @ 10" E.W. TIES - PEDESTAL 10" x 16" W/ (6) #7 VERT. AND #4 @ 12" O.C.
- FOOTINGS @ COL. LINE F1, F6 & F7 THRU F8 (6 PLACES): 3'-0" x 8'-0" x 1'-4" DEEP W/ #3 @ 10" E.W. TIES - PEDESTAL 10" x 16" W/ (4) #7 VERT. AND #4 @ 12" O.C.
- FOOTINGS @ COL. LINE G0 THRU G6 (4 PLACES): 3'-0" x 7'-0" x 1'-4" DEEP W/ (6) #7 VERT. AND #4 @ 12" O.C. - PEDESTAL 10" x 16" W/ (4) #7 VERT. AND #4 @ 12" O.C.
- FOOTINGS @ COL. LINE H0 THRU H6 (4 PLACES): 3'-0" x 6'-0" x 1'-4" DEEP W/ (4) #7 VERT. AND #4 @ 12" O.C. - PEDESTAL 10" x 16" W/ (4) #7 VERT. AND #4 @ 12" O.C.
- FOOTINGS @ COL. LINE A1 & A6 (2 PLACES): 3'-0" x 6'-0" x 1'-4" DEEP W/ #4 @ 12" E.W. TIES - PEDESTAL 10" x 16" W/ (4) #7 VERT. AND #4 @ 12" O.C.
- FOOTINGS @ COL. LINE J1, J5, J7, J8 & J9 (4 PLACES): 5'-0" x 5'-0" x 1'-4" DEEP W/ #4 E.W. - PEDESTAL 10" DIA. W/ (4) #7 VERT. AND #4 @ 12" O.C.



FOUNDATION-FOOTING PLAN 1/8" = 1'-0"



office - 5567 - 300 - 18.56
 warehouse - 4480 - 2.64
 21.20
 22.

METAL STUD WALLS (1-HOUR)
 DEMOUNTABLE PARTITIONS

FLOOR PLAN

6-7-12-13-14



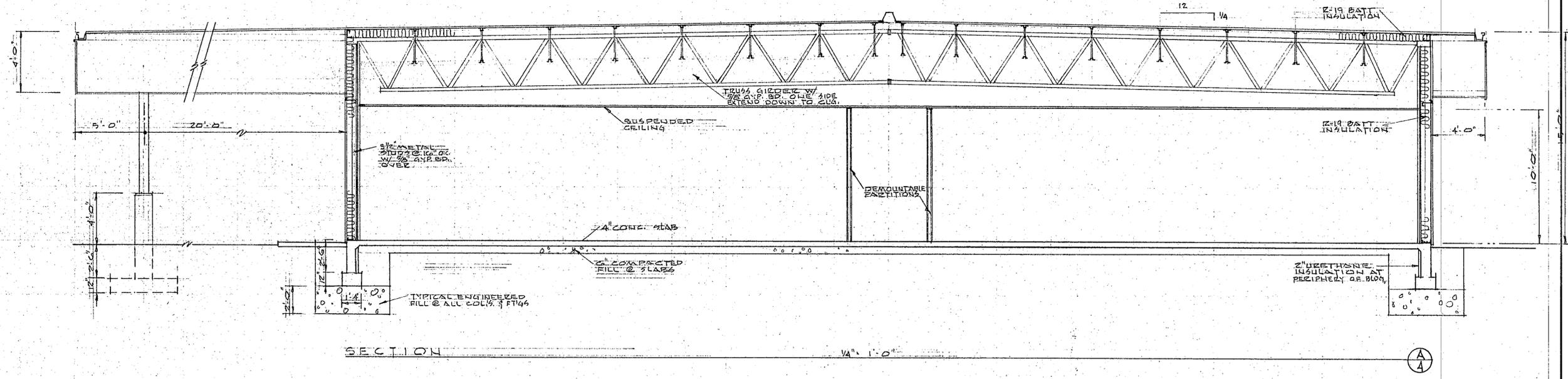
DE LORENZO / LONG ARCHITECTS
 415 Idaho Street Suite 211
 Elko, Nevada 89801 phone (702) 738-4735



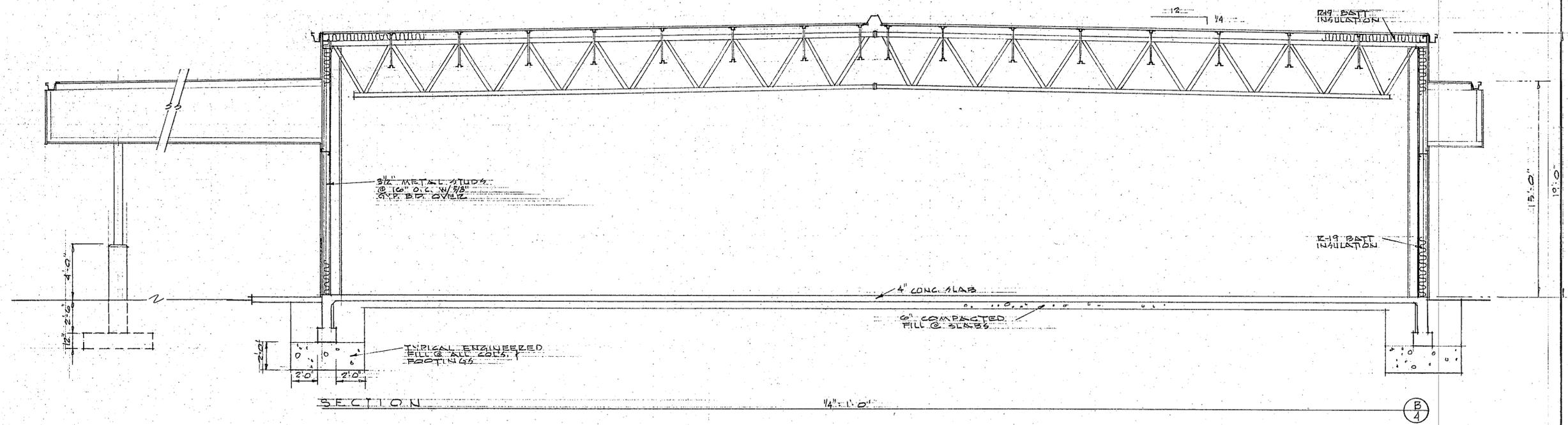
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 ELKO, NEVADA

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date	
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checked by	
project no.	738-1172
sheet no.	3

675 TELETYPE POST BLANK 144
 RECORD NO. 8835 8X1 GRID



SECTION A-A



SECTION B-B



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 Elko, Nevada 89801
 phone (702) 738-4735

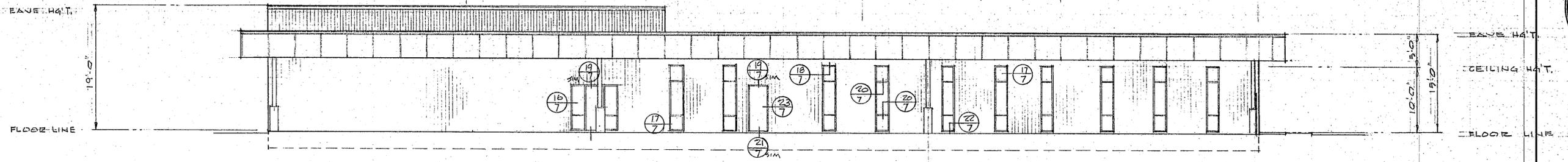


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 WAREHOUSE & SERVICE CENTER
 FRONT & FIRST STREET
 ELKO NEVADA

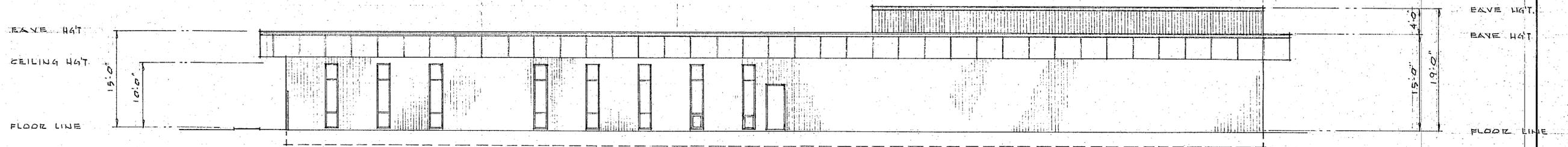
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 project no. 738-11172

sheet no. 4

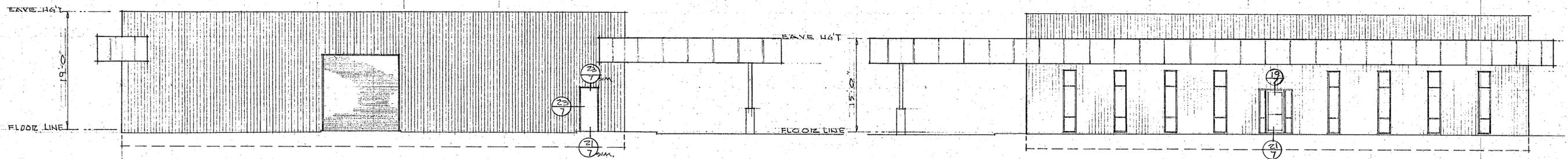
738 TELEPHONE WAREHOUSE & SERVICE CENTER
 RECORDED NO. 88726 SKX OPD



NORTH ELEVATION $1/8" = 1'-0"$



SOUTH ELEVATION $1/8" = 1'-0"$



EAST ELEVATION $1/8" = 1'-0"$

WEST ELEVATION $1/8" = 1'-0"$

DE LORENZO/LONG ARCHITECTS
 415 Idaho Street Suite 211
 Elko, Nevada 89801 phone (702) 738-4735



NATIONAL TELEPHONE
 WATER SERVICE CENTER
 415 IDAHO STREET
 ELKO NEVADA

revised date	
date	
drawn by	
checked by	
738-11172	project no.

5
 sheet no.

ROOM FINISH SCHEDULE

NO.	ROOM	FLOOR	BASE	WALLS				CEILING	FIN.	HEIGHT	REMARKS
				NORTH	EAST	SOUTH	WEST				
1	OFFICE	CARPET	RUBBER	GYP. BD.	V. GYP. BD.	V. GYP. BD.	V. GYP. BD.	P	SUSPENDED	10'-0"	
2	O.P.E.	CARPET						P			
3	PRINTING	V.A.T.						V			
4	C.O.E.	CARPET						P			
5	OFFICE	CARPET						P			
6	JANITOR	V.A.T.						P			SOUND INSUL. IN WALLS
7	MECHANICAL	V.A.T.						P			" " " "
8	OFFICE	CARPET						P			
9	OFFICE	CARPET						P			
10	OFFICE	CARPET						P			
11	OFFICE	CARPET						P			
12	MEN'S TOILET	C. TILE	ETILE	P/T	P/T	P/T	P/T	GYP. BD. (3/8)			SOUND INSUL. IN WALLS
13	WOMEN'S TOILET	C. TILE	ETILE	P/T	P/T	P/T	P/T	GYP. BD. (3/8)			" " " "
14	STORAGE	V.A.T.	RUBBER					V	SUSPENDED		
15	OFFICE	CARPET						V			
16	CREW ROOM	V.A.T.						V			
17	CORRIDOR	V.A.T.						P			
18	CORRIDOR	V.A.T.						V			
19	SERVICE ENTR.	CARPET						P			
20	OFFICE	CARPET						V			
21	MEETING	CARPET						V			
22	BREAK	V.A.T.						P			
23	VEHICLE OFFICE	CARPET						P			
24	WAREHOUSE	CONCRETE						P			
A	ENTRY	V.A.T.	RUBBER					V			

NOTES:
1. SEE SPECS FOR PAINTS
2. FINISHES: P=PAINT
V=VINYL
T=TILE

WINDOW SCHEDULE

NO.	SIZE	FRAME	FINISH	GLASS	REMARKS
A	2'-0" x 5'-0"	ALUM.	ANODIZED	1/2" INSULATED-BRONZE	
B	2'-0" x 7'-6"	"	"	"	
C	6'-0" x 3'-0"	"	"	1/4" CLEAR	
D	4'-0" x 3'-0"	"	"	"	

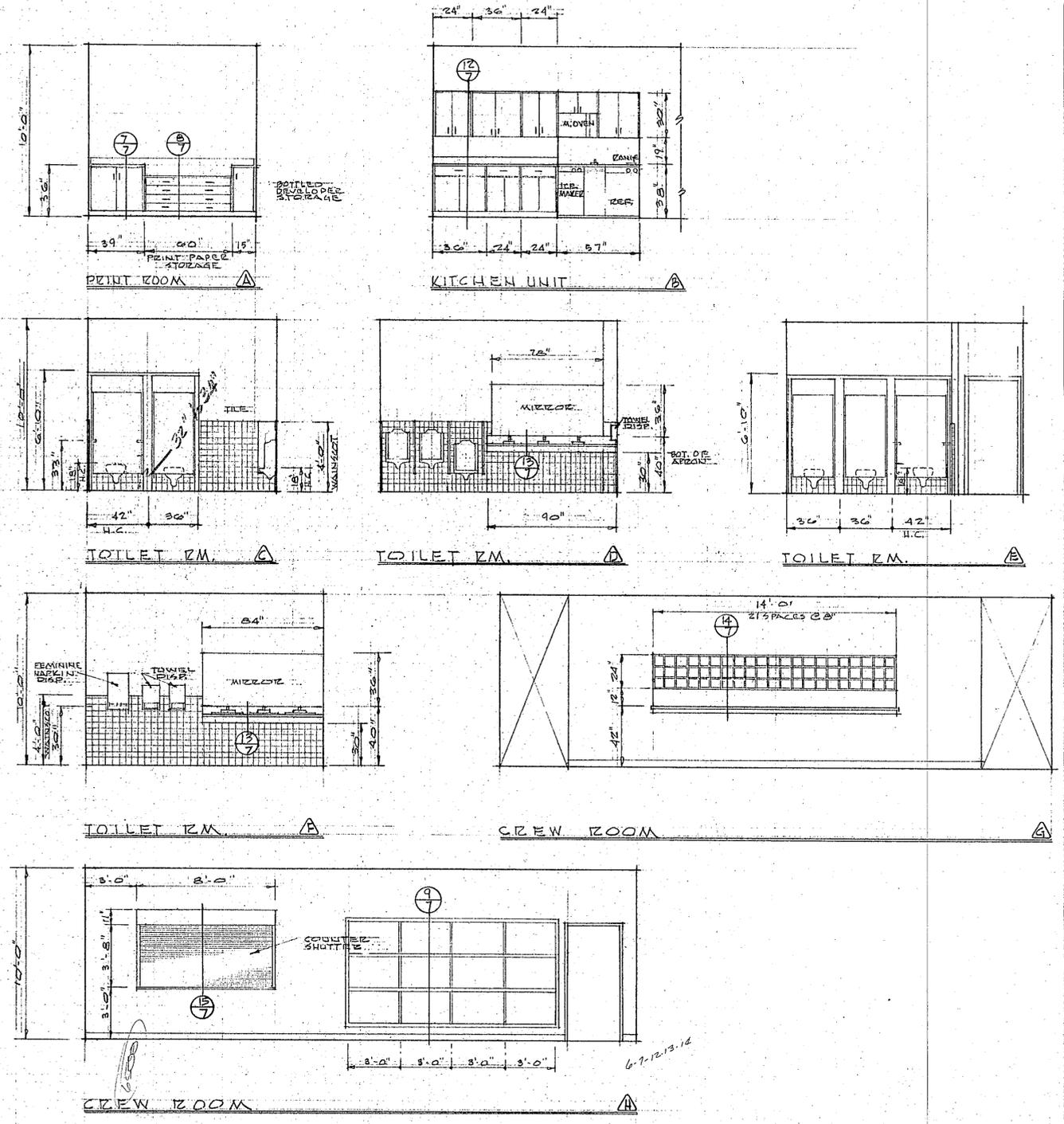


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Elko, Nevada 89801 phone (702) 738-4735

DOOR SCHEDULE

NO.	SIZE	THICKNESS	MATERIAL	HARDWARE	THRESHOLD	REMARKS
1	3'-0" x 6'-8"	1 3/4"	METAL/ALS	1	ALUM.	
2	2'-8" x 6'-8"	1 3/4"	WOOD, S.C.	7		
3	2'-8" x 6'-8"	1 3/4"	"	7		
4	2'-8" x 6'-8"	1 3/4"	"	7		
5	2'-8" x 6'-8"	1 3/4"	"	7		
6	3'-0" x 6'-8"	1 3/4"	"	7		
7	2'-8" x 6'-8"	1 3/4"	"	7		
8	2'-8" x 6'-8"	1 3/4"	"	7		
9	2'-8" x 6'-8"	1 3/4"	"	7		
10	3'-0" x 6'-8"	1 3/4"	"	6		1 HOUR RATED
11	2'-8" x 6'-8"	1 3/4"	"	7		
12	2'-8" x 6'-8"	1 3/4"	"	7		
13	3'-0" x 6'-8"	1 3/4"	METAL	2	ALUM.	INSULATED
14	3'-0" x 6'-8"	1 3/4"	WOOD, S.C.	5		
15	3'-0" x 6'-8"	1 3/4"	"	5		
16	2'-8" x 6'-8"	1 3/4"	"	5		
17	2'-8" x 6'-8"	1 3/4"	"	7		
18	3'-0" x 6'-8"	1 3/4"	METAL	4	ALUM.	1 HOUR RATED
19	2'-8" x 6'-8"	1 3/4"	"	4		1 HOUR RATED
20	3'-0" x 6'-8"	1 3/4"	"	3	ALUM.	INSULATED
21	3'-0" x 6'-8"	1 3/4"	"	2	ALUM.	INSULATED
22	2'-8" x 6'-8"	1 3/4"	WOOD, S.C.	7		
23	2'-8" x 6'-8"	1 3/4"	"	7		
24	2'-8" x 6'-8"	1 3/4"	"	7		
25	2'-8" x 6'-8"	1 3/4"	"	7		
26	3'-0" x 6'-8"	1 3/4"	"	7		
27	2'-8" x 6'-8"	1 3/4"	METAL	3	ALUM.	
28	12'-0" x 12'-0"		METAL	-		ROLL UP DOOR
29	8'-0" x 3'-8"		METAL	-		COUNTER SHUTTER (SEE NOTE)
30	12'-0" x 7'-2"	1 3/4"	WOOD, S.C.	8		(4) 3'-0" x 7'-0" BY-PASS DOORS
31	3'-0" x 6'-8"	1 3/4"	METAL/ALS	*		ELEC. OPERATED RELEASE

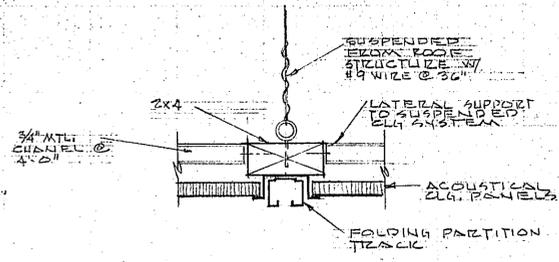
NOTES:
1. HARDWARE FOR DOOR #31 SAME AS DOOR #1 EXCEPT NO THRESHOLD
2. MANUFACTURE FOR COUNTER SHUTTER TO BE OVERHEAD DOOR CO. OR APPROX. EQUAL MODEL CB-4



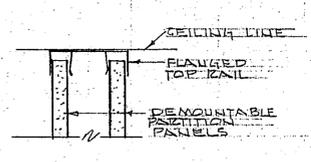
INTERIOR ELEVATIONS 1/4" = 1'-0"

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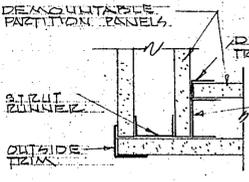
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drawn by
checked by
738-1117
project no.
sheet no.



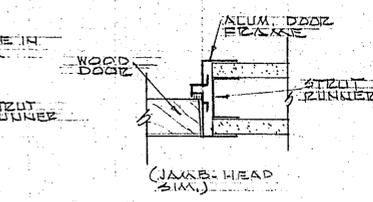
DETAIL 1
3/4" = 1'-0"



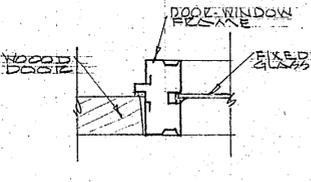
DETAIL 2
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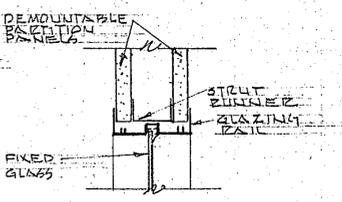
DETAIL 3
3/4" = 1'-0"



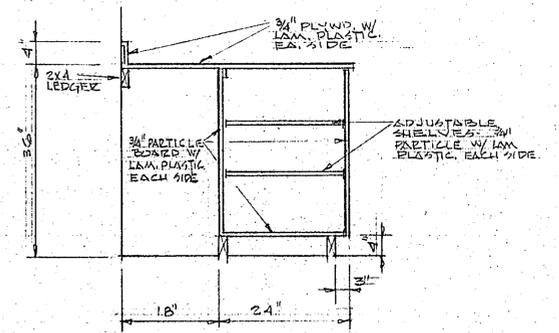
DETAIL 4
3/4" = 1'-0"



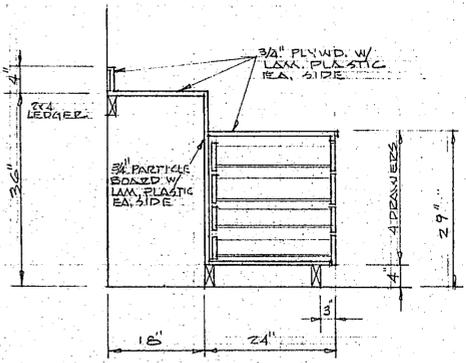
DETAIL 5
3/4" = 1'-0"



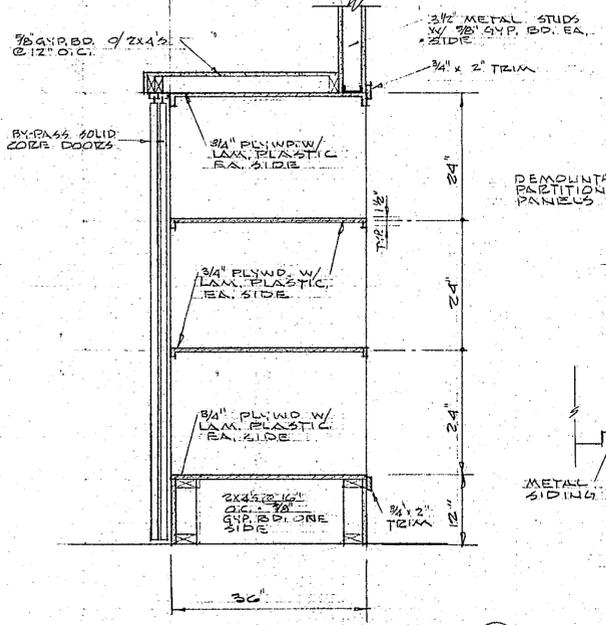
DETAIL 6
3/4" = 1'-0"



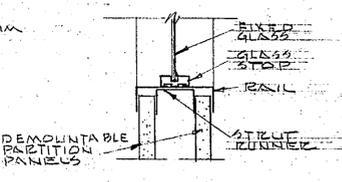
CABINET SECTION 7
3/4" = 1'-0"



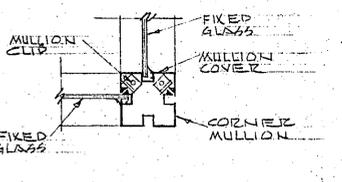
CABINET SECTION 8
3/4" = 1'-0"



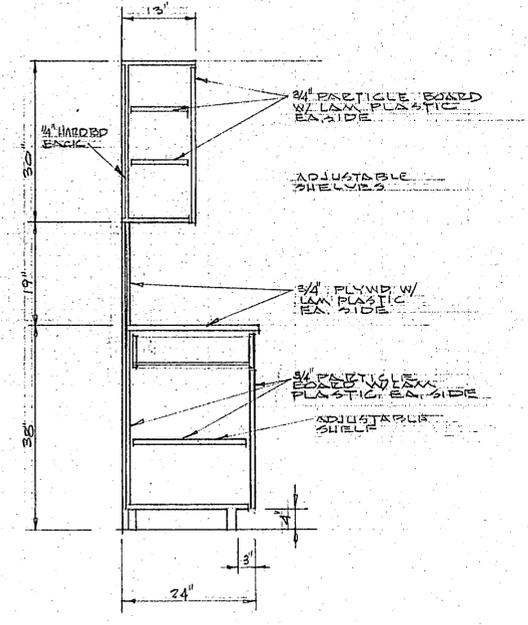
CABINET SECTION 9
3/4" = 1'-0"



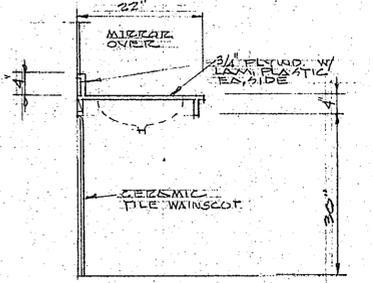
DETAIL 7
3/4" = 1'-0"



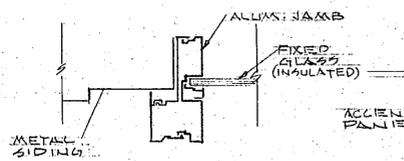
DETAIL 10
3/4" = 1'-0"



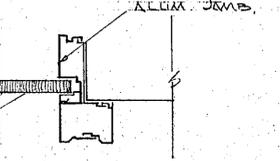
CABINET SECTION 10
3/4" = 1'-0"



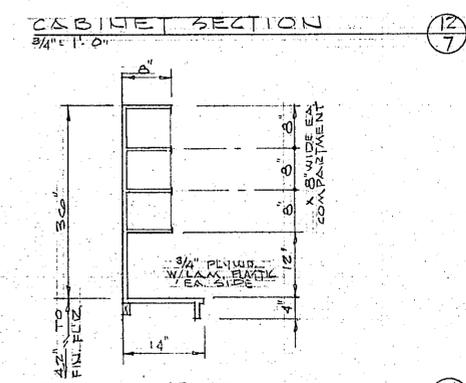
CABINET SECTION 11
3/4" = 1'-0"



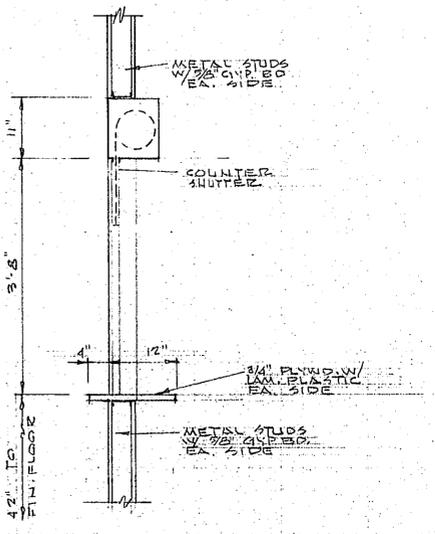
DETAIL 11
3/4" = 1'-0"



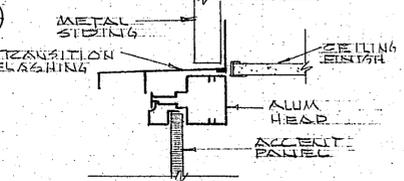
DETAIL 17
3/4" = 1'-0"



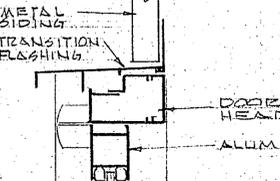
CABINET SECTION 12
3/4" = 1'-0"



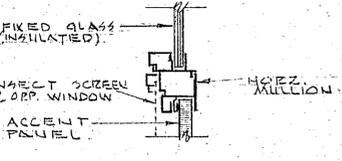
COUNTER SECTION 13
3/4" = 1'-0"



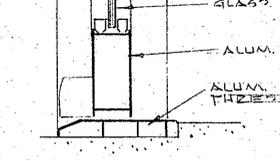
DETAIL 12
3/4" = 1'-0"



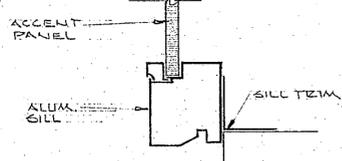
DETAIL 18
3/4" = 1'-0"



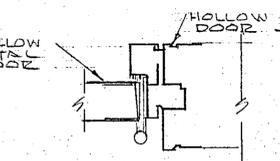
DETAIL 19
3/4" = 1'-0"



DETAIL 20
3/4" = 1'-0"



DETAIL 21
3/4" = 1'-0"



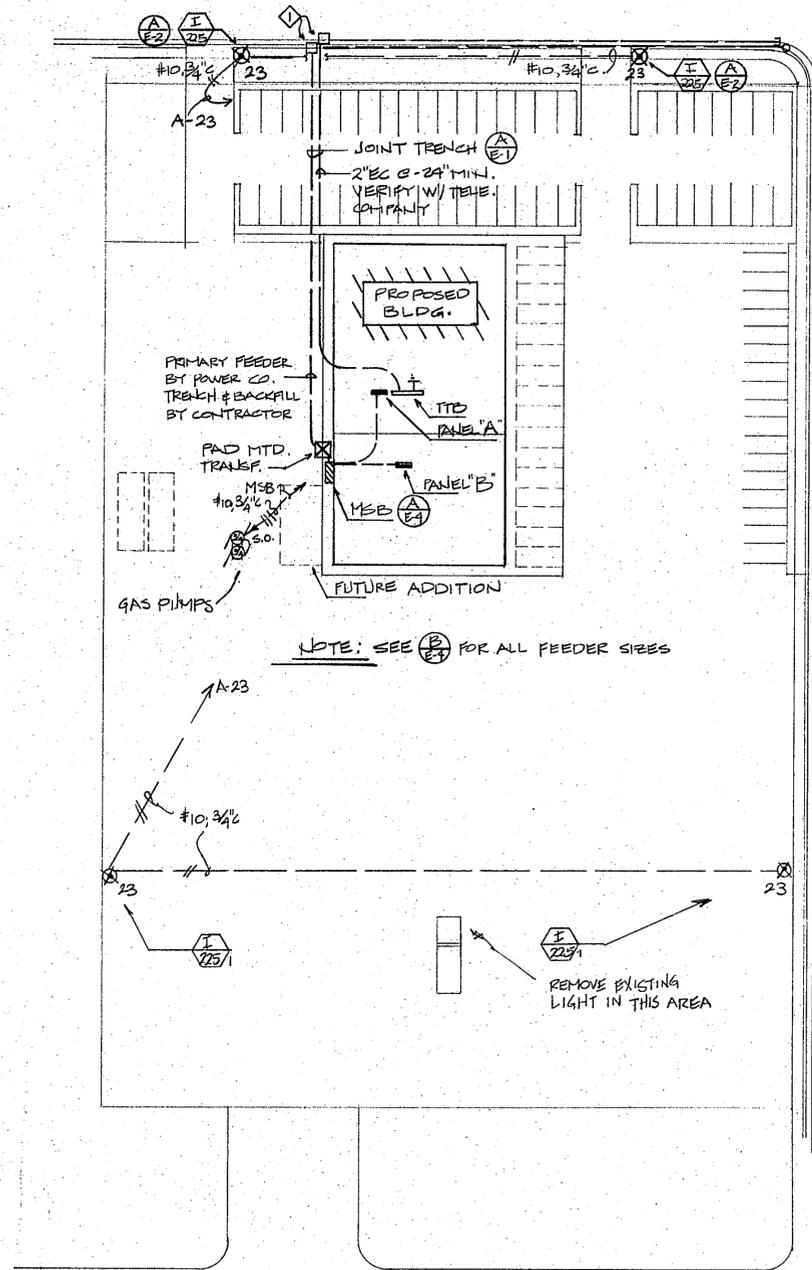
DETAIL 22
3/4" = 1'-0"



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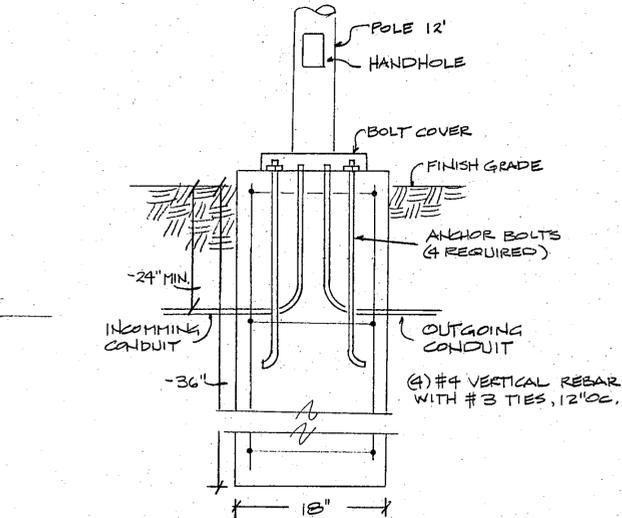


revised date	
date	
drawn by	J.D.L.
checked by	
project no.	738-11172



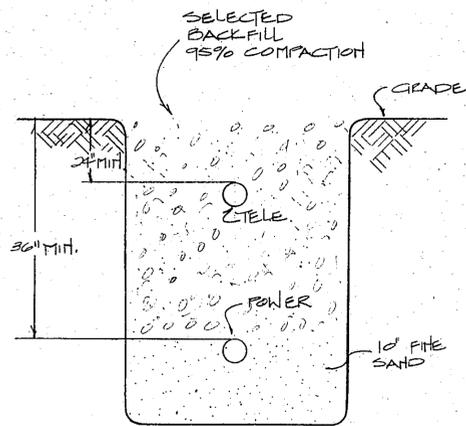
ELECTRICAL SITE PLAN

1" = 40'-0"



POLE BASE DETAIL

NO SCALE



JOINT TRENCH DETAIL

NO SCALE

SYMBOL LIST

- CONDUIT RUN CONCEALED IN OR ON CEILING OR WALL
- - - CONDUIT RUN IN OR UNDER FLOOR OR UNDERGROUND
- HOME RUN TO PANEL WITH PANEL AND CIRCUIT DESIGNATION
- ## HASHES INDICATE THE # OF #12 AWG CONDUCTORS IF MORE THAN TWO.
- ⊙ INCANDESCENT LIGHT FIXTURE, WALL OR CEILING MOUNTED
- ⊠ FLUORESCENT FIXTURE, SURFACE MOUNTED
- ⊡ FLUORESCENT FIXTURE, RECESSED
- ⊞ FIXTURE DESIGNATION AND WATTAGE
- ⊞⊞ EXIT LIGHT
- ⊞⊞ EMERGENCY BATTERY POWERED LIGHT
- S SINGLE POLE SWITCH
- S3 THREE WAY SWITCH
- S2 TWO POLE SWITCH
- SM MANUAL MOTOR CONTROL SWITCH
- DISCONNECT SWITCH
- ⊞ MOTOR OUTLET AND CONNECTION, # INDICATES HORSEPOWER
- ⊞ RECESSED EXHAUST FAN FRACTIONAL HORSEPOWER
- ⊞ 120V. DUPLEX CONVENIENCE OUTLET MTD @ +12" UNLESS NOTED OTHERWISE
- ⊞ JUNCTION BOX, SIZE AS REQUIRED BY N.E. CODE.
- ▭ PANEL BOARD
- ▭ TERMINAL CABINET
- ▭ SERVICE EQUIPMENT
- ⊞ * INDICATES DETAIL, "E-1" INDICATES SHEET NUMBER
- ◇ SHEET NOTE DESIGNATION
- EC EMPTY CONDUIT
- WP WEATHER PROOF
- RGS RIGID GALVANIZED STEEL CONDUIT
- NL NIGHT LIGHT
- ⊞ THERMOSTAT OUTLET, VERIFY TYPE AND ORIENTATION OF OUTLET BOX
- TTB TELEPHONE TERMINAL BOARD
- ⊞ TELEPHONE OUTLET
- ⊞ COMBINATION STARTER
- TS TIME SWITCH
- ⊞ FIRE ALARM PULL BOX MTD @ +52"
- FACP FIRE ALARM CONTROL PANEL
- ⊞ FIRE ALARM BELL MTD @ +196"
- ⊞ RECESSED H.I.D. FIXTURE
- ⊞ WALL BRACKET H.I.D. FIXTURE
- ⊞ NIGHT THERMOSTAT
- ST BY PASS TIMER

SHEET NOTES

- ◇ PROVIDE PRIMARY PULL BOX AS SHOWN. VERIFY TYPE WITH POWER COMPANY (ESTIMATED AS 5040 BOX)
- ◇ PROVIDE TELEPHONE PULL BOX AS SHOWN. VERIFY TYPE WITH TELE. COMPANY. (ESTIMATED AS CHRISTY 144 BOX.)



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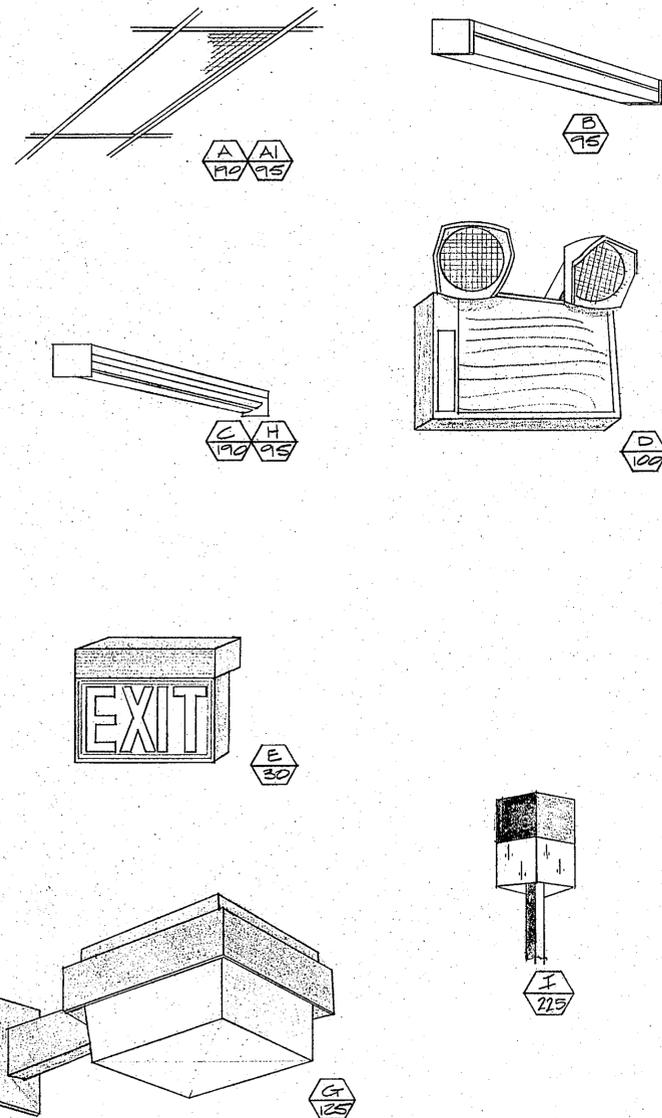
5/19/81
 DATE

DM
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MS
 CHECKED BY

PROJECT NO.

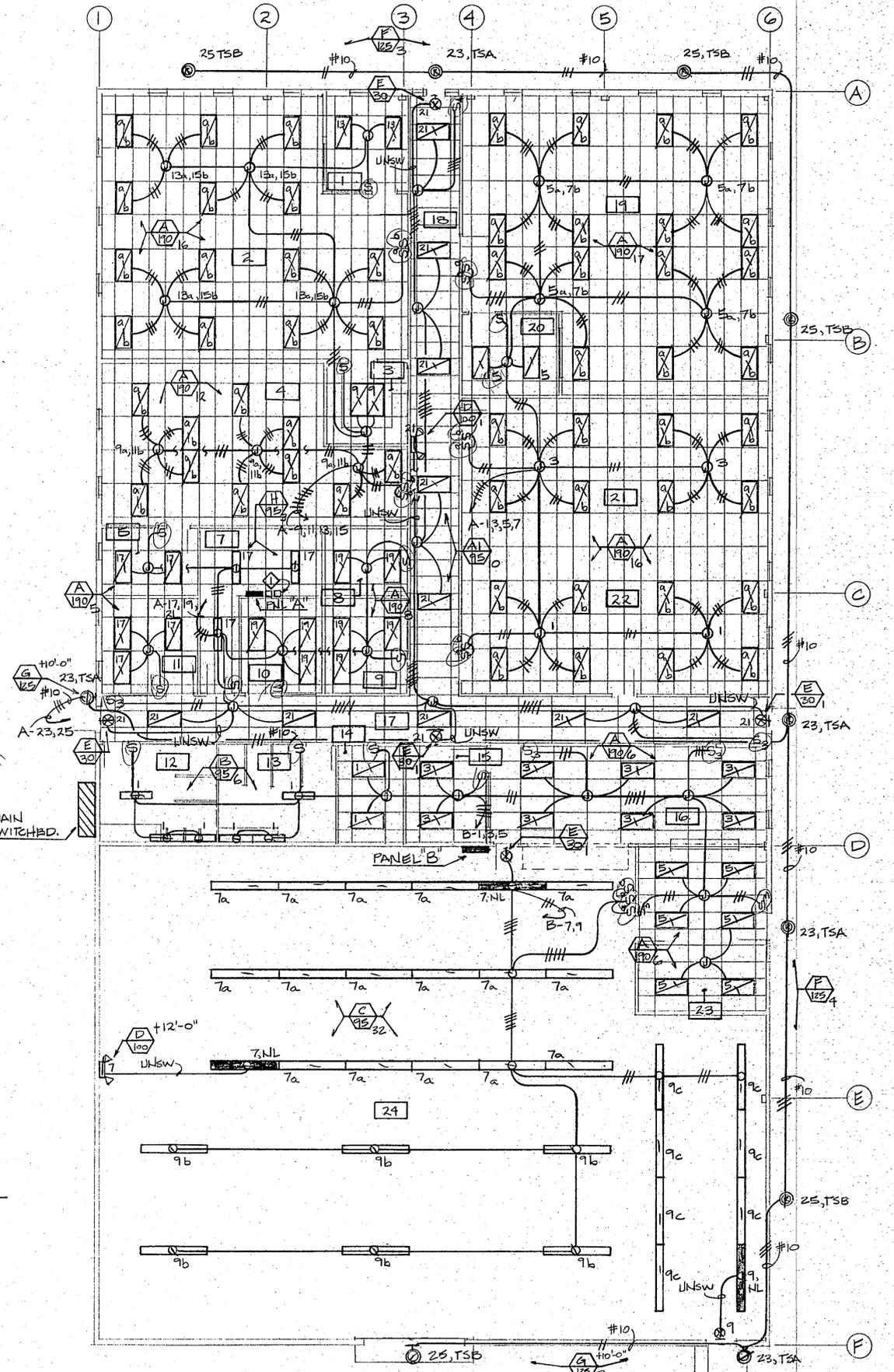
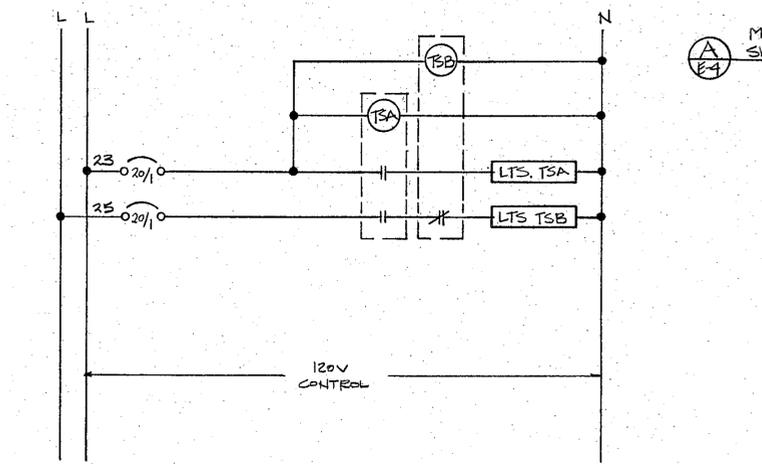
6 of 4
 SHEET NO.



FIXTURE SCHEDULE		
SYMBOL	DESCRIPTION & MANUFACTURER	LAMPS
A (17)	FLUORESCENT 2'x4' 4 LAMP FIXTURE RECESSED, HINGE DOOR, ACRYLIC LENS LITHONIA #2CL-448RS-120V	(4) F40RS CW
AI (95)	SAME AS TYPE "A" EXCEPT 2-LAMP LITHONIA #2CL-248RS-120V	(2) F40RS CW
B (75)	FLUORESCENT 2 LAMP SURFACE MTD FIXTURE MTD 4" ABOVE MIRROR WHERE APPLICABLE LITHONIA #B 240A-120V	(2) F40RS CW
C (95)	FLUORESCENT SURFACE MTD OPEN STRIP SINGLE TANDEM LAMP LITHONIA #8T-140-120V	(2) F40RS CW
D (100)	EMERGENCY BATTERED POWERED LIGHT 2 LAMP DUAL LITE #CL2-120V	FURNISHED W/FIXTURE
E (30)	EXIT LIGHT UNIVERSAL ARROWS & MTC. ALUM TRIM, GREEN LETTERS DUAL LITE #WGNK9-120V	FURNISHED W/FIXTURE
F (125)	MERCURY VAPOR RECESSED FIXTURE DROPPED PRISMATIC LENS, 12" SQUARE MARCO DURATHON II HMS22-THT7-120V	(1) 100W M.V.
G (125)	MERCURY VAPOR WALL BRACKET PRISMATIC LENS 12" SQ MARCO DURATHON II # HMWP21-120V	(1) 100W M.V.
H (95)	FLUORESCENT SURFACE MTD 2 LAMP OPEN STRIP LITHONIA #C-240-120V	(2) F40RS CW
I (225)	MERCURY VAPOR 12" BRONZE CUBE ON 12" SQ. POLE SPAULDING # NEW YORKER SERIES-120V	(1) 175W MV

SHEET NOTES

1 TSA & TSB SHALL BE YORK # 7300 2L TIME CLOCKS, 120V. SURFACE MOUNT NEXT TO PNL. "A"



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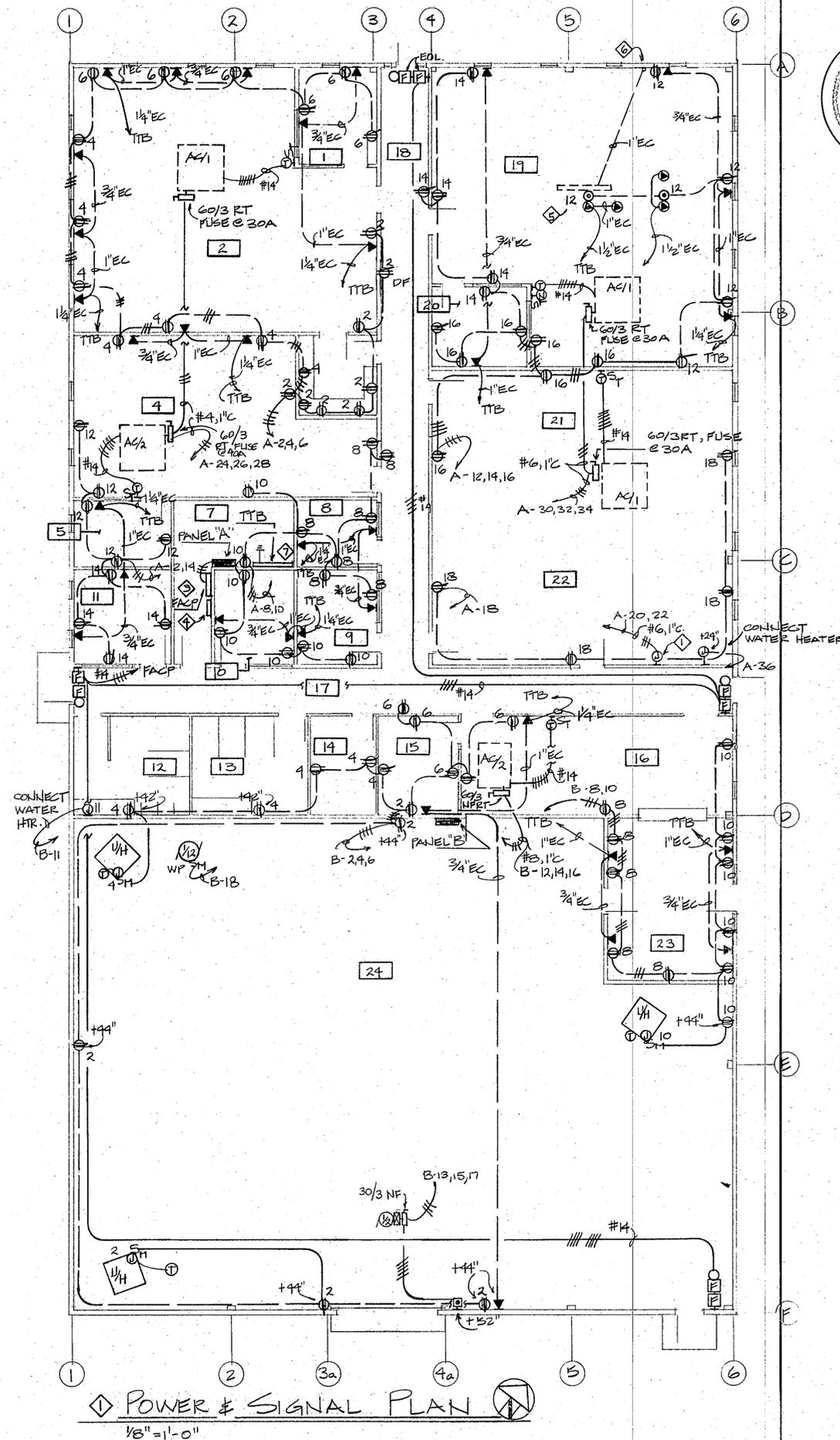
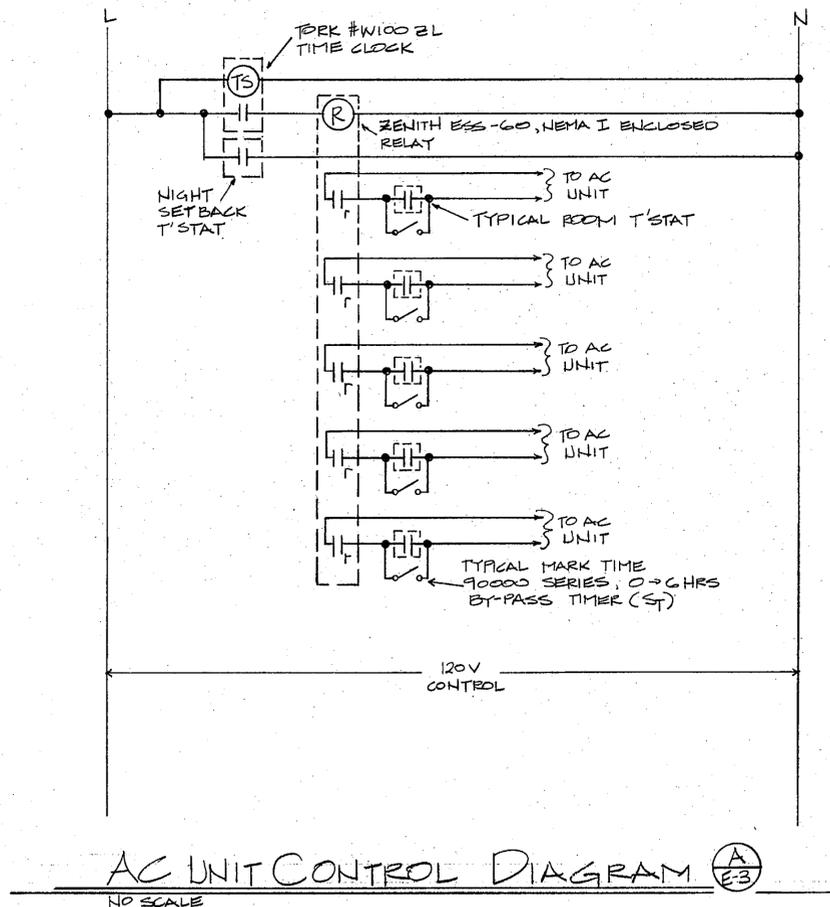
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 DATE
 DM
 DRAWN BY
 MS
 CHECKED BY
 PROJECT NO.
E-2
 of 4
 SHEET NO.

13.8
 14.4
 15.4
 15.6
 1.122
 32 switch
 90 outlets
 122 total

SHEET NOTES

- ① JUNCTION BOX FOR KITCHEN UNIT, VERIFY EXACT LOCATION BEFORE ROUGH-IN
- ② VERIFY EXACT LOCATION OF ALL MECHANICAL EQUIPMENT BEFORE ROUGH-IN.
- ③ FACP SHALL BE SINGLE ZONE, EDWARDS E66 SERIES OR EQUAL.
- ④ MECHANICAL AC UNIT CONTROL DEVICES SEE (A) E-3
- ⑤ #4 UNDERFLOOR WALKERDUST W/ KNOCKOUTS 24" OC. PROVIDE A 1" EC. STUB-UP TO ROOM # NEAR TTBS.
- ⑥ STUB-UP +6" AND CAP FOR OWNER FURNISHED EQUIPMENT.
- ⑦ TTBS SHALL BE 3/4" X 4' X 8' PLYWOOD. PROVIDE A 3/4" EC GROUND.



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PROJECT NO.	
E-3	
64	
SHEET NO.	

DIRECTORY		LOAD	BKR	CIR	CIR	SN	CIR	BKR	LOAD	DIRECTORY
LIGHTING	21	1520	20/11	3	4	2	20/11	1000	RECEPTACLES	2
	21	1520	20/11	3	4	4	20/11	1200		2
	19	1800	5	6	7	8	1400			2
	19	1420	7	8	10	11	1400			8,9,9,7
	4	150	9	10	12	13	1800			4,5
	2	1710	13	14	16	17	1400			11,14
	2	130	15	16	18	19	1400			19,20
	5,7,11	1235	17	18	20	21	1400			22
	10,9,8	1520	19	20	22	23	1400			KITCHEN UNIT
	17,18	1130	21	22	24	25	1400			(2) WEST AC UNITS
	PERIMETER	625	23	24	26	27	1400			(2) EAST AC UNITS
	SPACE	625	25	26	28	29	1400			WTR. HEATER
			27	28	30	31	1400			FIRE ALARM
			29	30	32	33	1400			SPACE
			31	32	34	35	1400			
			33	34	36	37	1400			
			35	36	38	39	1400			
			37	38	40	41	1400			
			39	40	42					
			41	42						

PANEL 120V/208 3P 4W
225A BUS MID.
SURFACE FITZ.
BOTTOM FEED

CONNECTED LOAD: 22.4 KVA (185A)

PANEL "A"

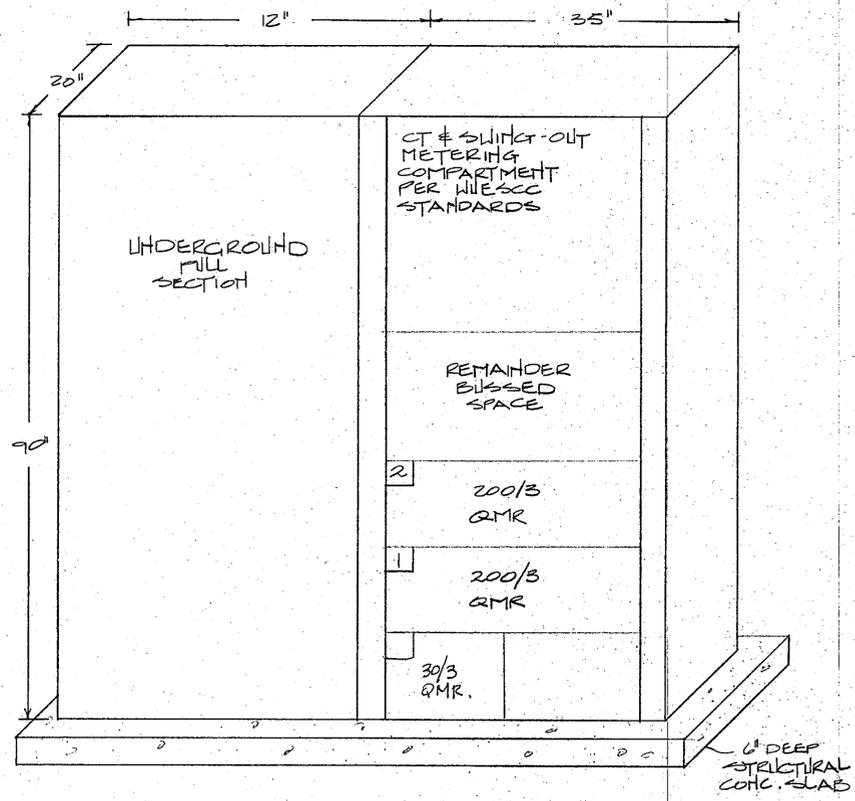
DIRECTORY		LOAD	BKR	CIR	CIR	SN	CIR	BKR	LOAD	DIRECTORY
LIGHTING	12,13,14	150	20/11	2	3	4	20/11	1000	RECEPTACLES	24
	15,16	1520	3	4	5	6	1000			13,13,12
	23	1140	5	6	7	8	1000			16
	24	1800	7	8	9	10	1000			23
	24	1350	9	10	11	12	1200			23
	WTR. HTR.	1520	20/11	13	14	15	1400			AC UNIT
	OVERHEAD DOOR	1200	15/3	16	17	18	20/11	1000		EXH. FAN
	SPACE		19	20	21	22	1400			STAFF
			21	22	23	24	1400			
			23	24	25	26	1400			
			25	26	27	28	1400			
			27	28	29	30	1400			
			29	30	31	32	1400			
			31	32	33	34	1400			
			33	34	35	36	1400			
			35	36	37	38	1400			
			37	38	39	40	1400			
			39	40	41	42	1400			

PANEL 120V/208 3P 4W
225A BUS MID.
SURFACE FITZ.
BOTTOM FEED

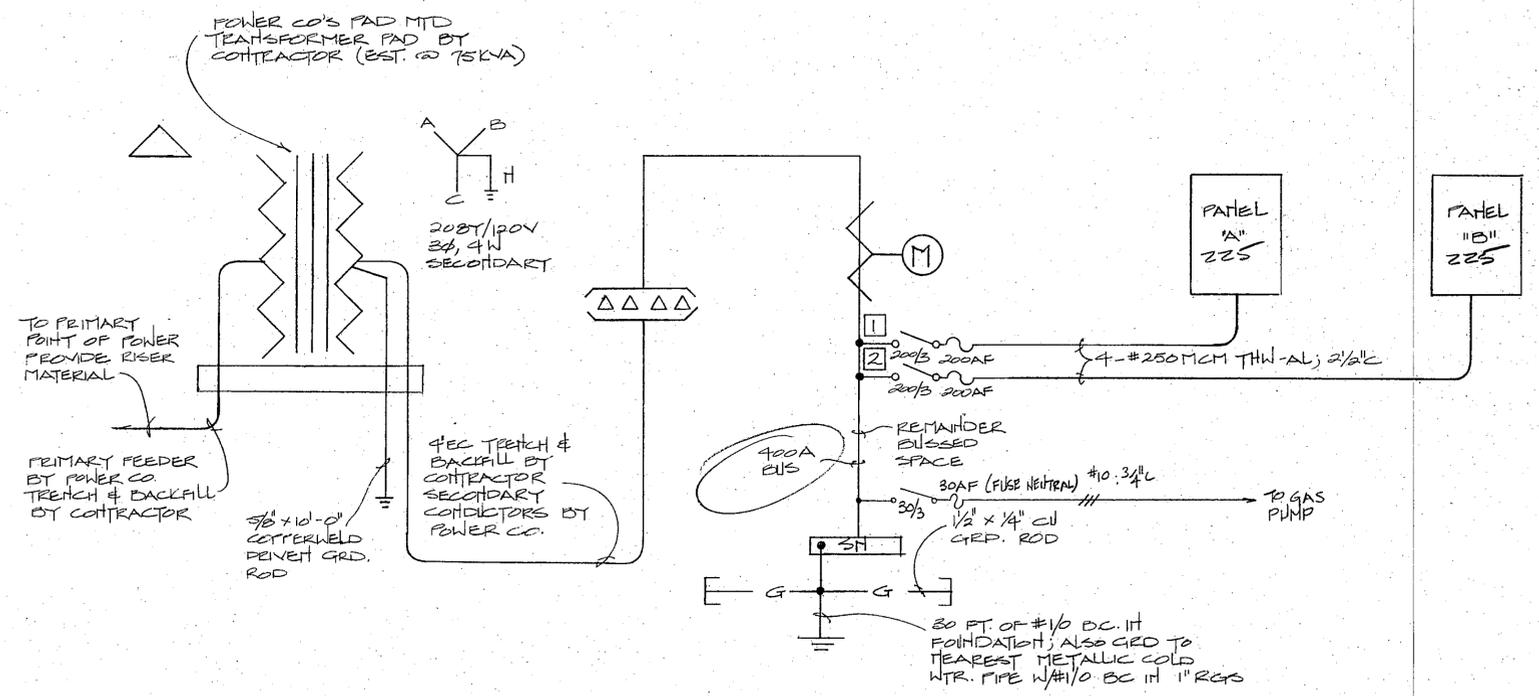
CONNECTED LOAD: 22.4 KVA (185A)

PANEL "B"

NAMEPLATES	
ITEM	DESCRIPTION
1	PANEL "A"
2	PANEL "B"



(A) E-4 MAIN SWITCHBOARD DETAIL
NTS



(B) E-4 POWER DISTRIBUTION DIAGRAM
NTS



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064
SHEET NO.

MECHANICAL EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION, MAKE, MODEL & SIZE	LOCATION	CAPACITY	ACCESSORIES	HP/KW	ELECT.	WT.	REMARKS	NO. REQ'D.
AC/1	ROOFTOP PACKAGED AC UNIT, GAS/ELECTRIC, "PATHE", MODEL 585B, SIZE 0300TS	ROOF	1300 CFM @ 0.25" S.P., 3 TONS NOM. COOLING, 60 MBH HEAT INPUT, 45 MBH NOM. HEAT OUTPUT	THERMOSTAT, PREFAB ROOF CURB, FLENUM PACKAGE, FLENUM MOUNTED, TWO-POSITION ECONOMIZER	28.4a, 5.91 KW	208V 3φ	400		3
AC/2	SAME AS AC/1, BUT SIZE 04212S	ROOF	1600 CFM @ 0.25" S.P., 4 TONS NOM. COOLING, 100 MBH HEAT INPUT, 75 MBH NOM. HEAT OUTPUT	SAME AS AC/1	28.4a, 5.91 KW	208V 3φ	500		2
UH/1	GAS FIRED UNIT HEATER, "PATHE", MODEL 150-UHE	WAREHOUSE	150 MBH INPUT, 120 MBH NOM. OUTPUT	INTEGRAL THERMOSTAT	28.4a, 5.91 KW	120V 1φ		EXTEND 8" φ FLENUM PIPE UP THRU ROOF	3
EF/1	TOILET EXHAUST FAN, "GREENHECK", MODEL CE-10-B	ROOF	800 CFM @ 0.25" S.P.	PREFAB ROOF CURB, BAROMETRIC DAMPER, SPEED CONTROL	1/2 HP	120V 1φ	75		1

DIFFUSER & REGISTER SCHEDULE

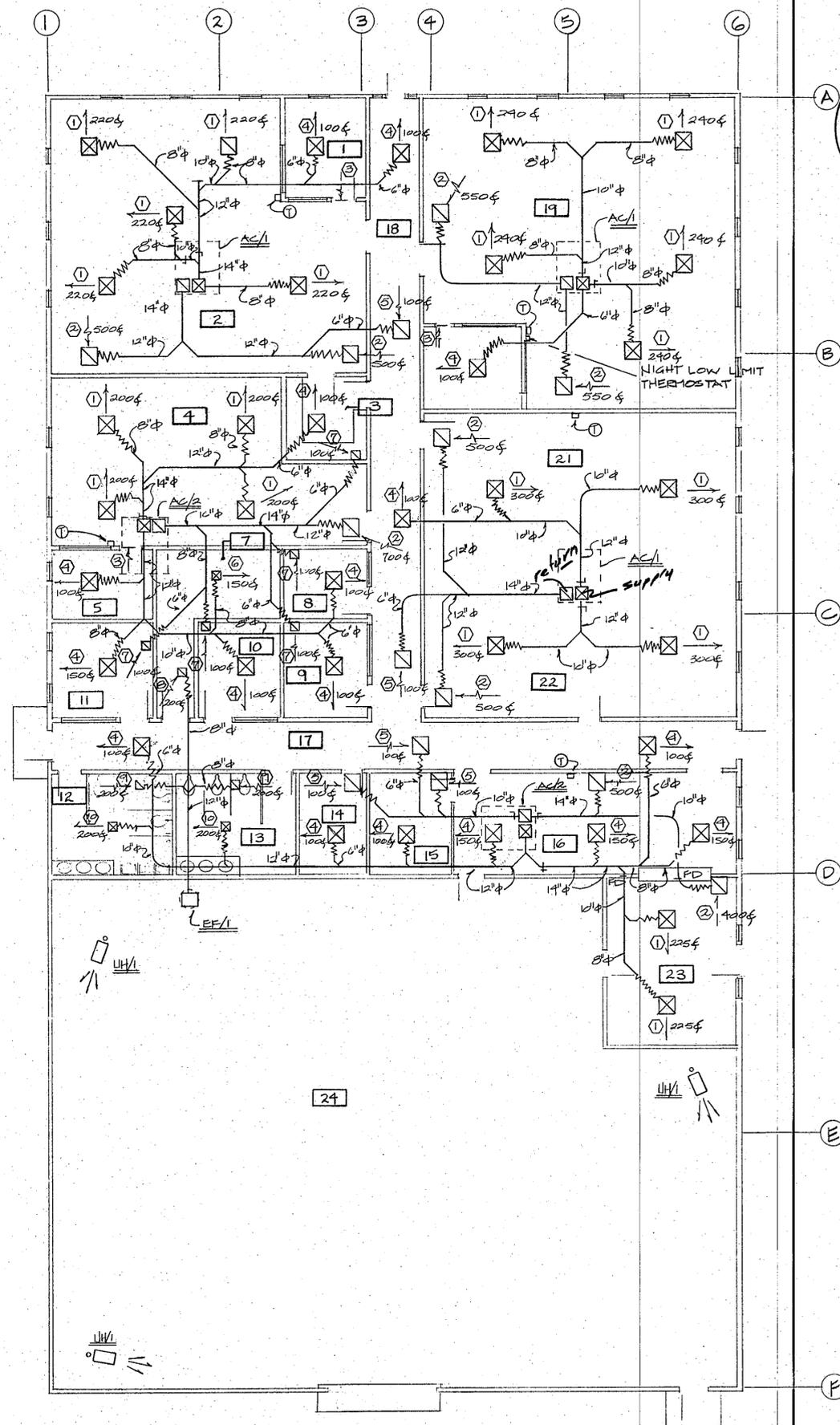
SYMBOL	MANUFACTURER	MODEL #	SIZE	PATTERN	OPD	FINISH	REMARKS
1	ENVIRONMENTAL AIR PRODUCTS	SERIES 450	10" φ	4-WAY	YES	OFF-WHITE	24" x 24" PERFOR. FACE
2	"	SERIES 459	12" φ	—	YES	"	"
3	"	SERIES D10	10" x 10"	—	NO	STD BROWN	FINISH TO MILL CONTR. FOR INSTALLATION
4	"	SERIES 450	8" φ	4-WAY	YES	OFF-WHITE	24" x 24" PERFOR. FACE
5	"	SERIES 459	6" φ	—	YES	"	"
6	"	MODEL F-4	4" x 9"	4-WAY	YES	"	WITH FIRE DAMPER
7	"	MODEL E-5	6" x 6"	—	YES	"	"
8	"	MODEL E-5	10" x 10"	—	YES	"	WITH FIRE DAMPER
9	"	MODEL E-5	12" x 12"	—	YES	"	"
10	"	MODEL F-4	12" x 12"	4-WAY	YES	"	"

NOTES:

- INSTALLATION SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
- DUCTWORK SHALL BE GALV. STEEL OF GAGES AND INSTALLED AS PER "SMACNA" MANUAL.
- FLEX DUCT MAY BE USED WHERE SHOWN. INDIVIDUAL RUNS SHALL NOT EXCEED 3'-0" LENGTH.
- FIBERGLASS DUCT MAY BE USED IN LIEU OF STEEL IN CONCEALED SPACES.
- DUCTS SHALL BE ACOUSTICALLY LINED FOR 15'-0" FROM AC UNITS AND EXHAUST FANS.
- ALL STEEL SUPPLY DUCTS SHALL HAVE 1" THERMAL LITING INSULATION.
- INSIDE OF DUCT BEHIND AIR OUTLETS SHALL BE PAINTED BLACK.

SYMBOLS

- BALANCING DAMPER
- FIRE DAMPER



MECHANICAL PLAN

1/8" = 1'-0"

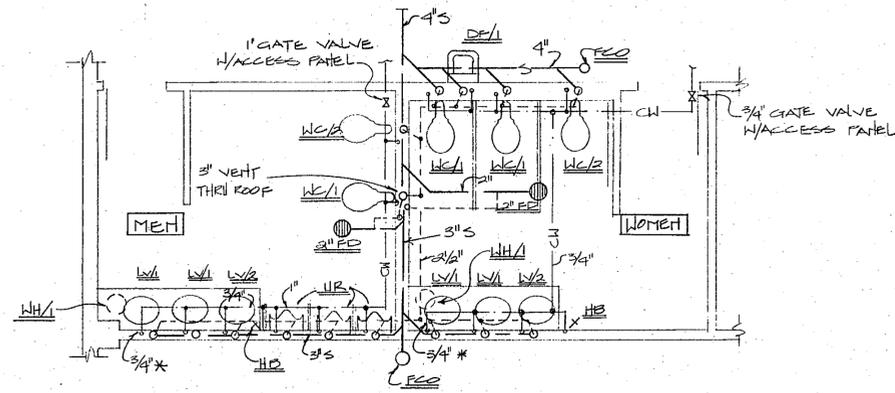
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DELORENZO/LONG ARCHITECTS
415 IDAHO STREET
ELKO NEVADA 89801

C.P. NATIONAL TELEPHONE
WAREHOUSE AND SERVICE CENTER
FRONT & FIRST STREET
ELKO, NEVADA

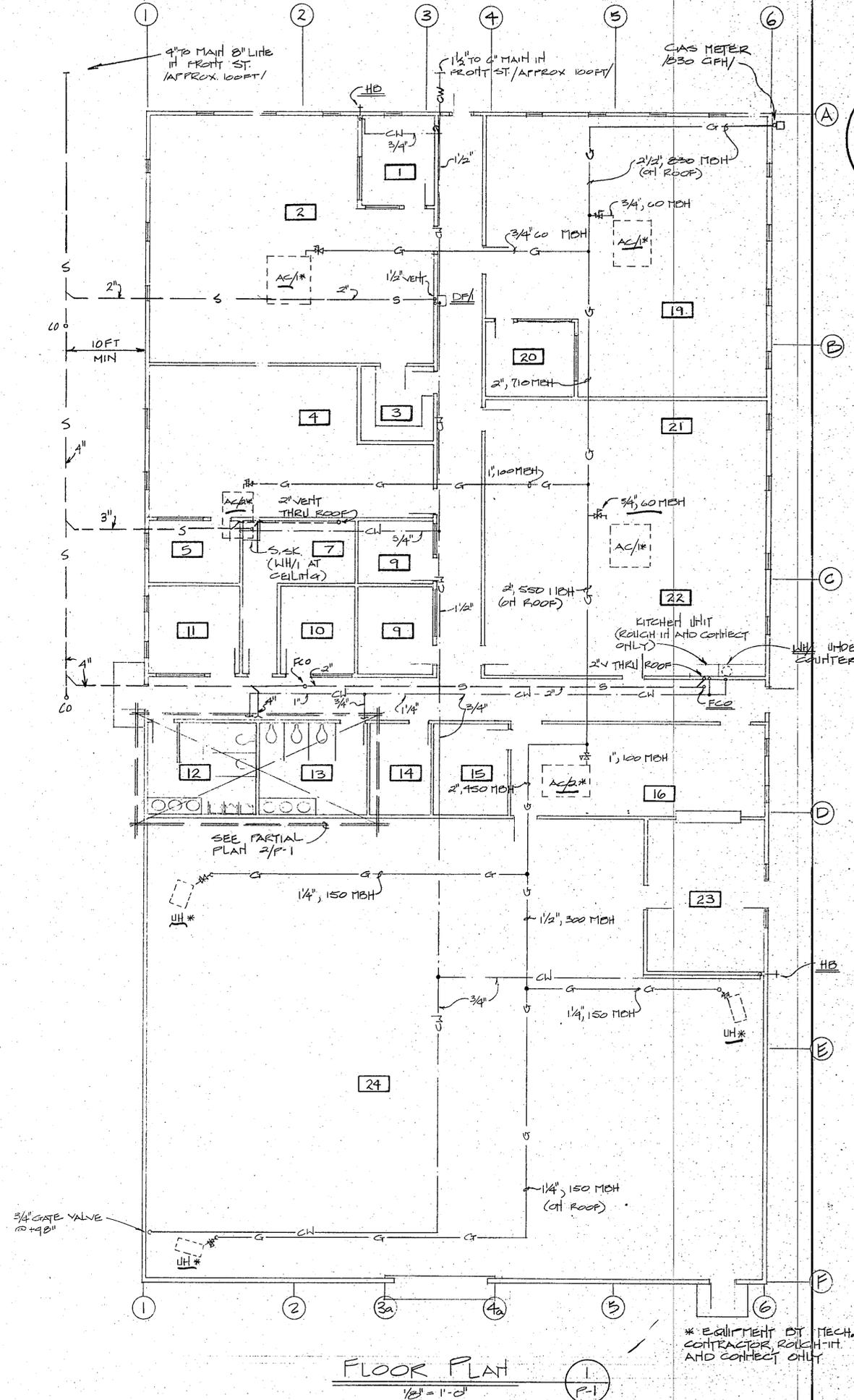
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SHEET 15



PARTIAL PLAN
1/4" = 1'-0"

* BRING 3/4" CN TO WH/1. DISTRIBUTE HH PIPING TO LAVATORIES UNDER COUNTERS.

PLUMBING FIXTURE SCHEDULE			
SYMBOL	MANUFACTURER & MFR. NUMBER	TRIM	
WC/1	WATER CLOSET AM. ST. 2109.395	SUPPLY FITTING, OLSONITE #47 SEAT	
WC/2	WATER CLOSET AM. ST. 2108.62	SAME AS WC/1	FOR HANDICAPPED USERS.
UR	URINAL AM. ST. 6560.015	SLOAN, ROYAL 186 VALVE	
LV/1	LAVATORY AM. ST. 0993.015	2103.596 FAUCET P-TRAP & SUPPLIES	
LV/2	LAVATORY SAME AS LV/1	2103.315 FAUCET P-TRAP & SUPPLIES	OFFSET ALL PIPING UNDER COUNTER AGAINST WALL TO PROVIDE KNEE SPACE FOR WHEEL CHAIR
S.S.K.	SERVICE SINK SERVICATOR, SB-302-R	AM. ST., 8344.111 FAUCET	ST. ST. CAPS ON ALL LEDGES
WH/1	WATER HEATER A.O. SMITH, EW-6	T&F RELIEF VALVE	1500W, 208V, 1φ
FD	FLOOR DRAIN ZURN, Z-415-B		Y' STRAINER IN TILE
HB	HOSE BIBB WOODFORD #34		USE #85 ON OUTSIDE WALL
DF/1	DRINKING FOUNTAIN HANS, HHC-8		1/4 HP, 120V, 1φ



FLOOR PLAN
1/8" = 1'-0"

* EQUIPMENT BY TECH. CONTRACTOR, ROUGH-IN AND CONNECT ONLY



DELORENZO/LONG ARCHITECTS
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