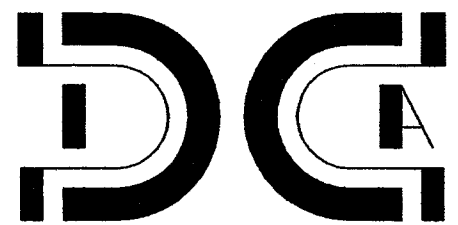


1 SOUTH - FRONT ELEVATION
 A-1 SCALE: 1/8" = 1'-0" Note: field verify all dimensions



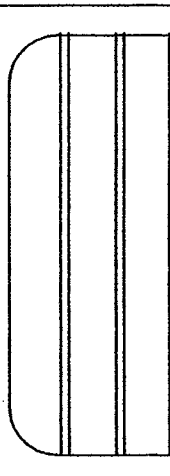
DCA ARCHITECTS
 3612 ASHLEY ESTATES
 MARIETTA, GEORGIA 30067
 PHONE (770) 850-1552 FAX (770) 850-1554

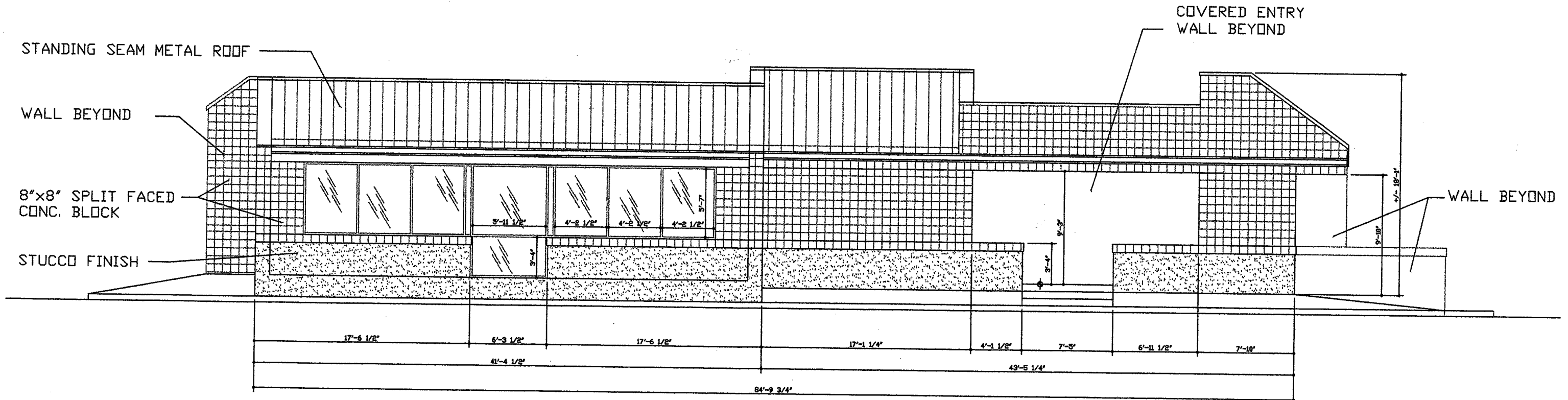
RETAIL - INTERIOR RENOVATION FOR :

1-800-FLOWERS

2365 Windy Hill Road, Marietta, Georgia 30368

Cobb County -- Bldg. Permit # 2012-001703



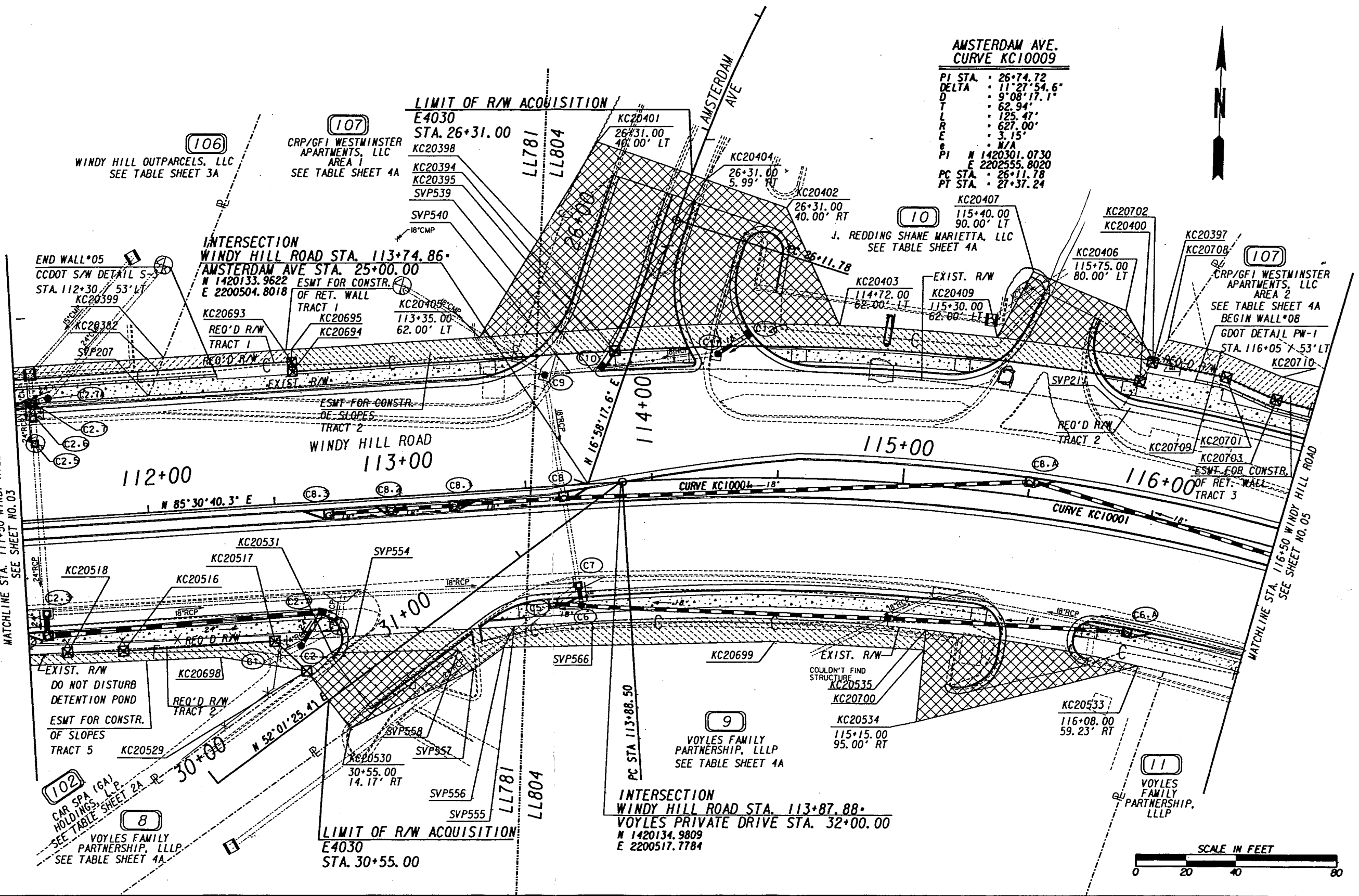


1
A-1

SOUTH - FRONT ELEVATION

SCALE: 1/8" = 1'-0" Note: field verify all dimensions

Handwritten:
 JENSEN
 KERRAN
 COOP DOT
 770 528-1600
 X 1658



AMSTERDAM AVE. CURVE KC10009
 PI STA. 26+74.72
 DELTA 11°27'54.6"
 D 9'08"17.1"
 T 62.94'
 L 125.47'
 R 627.00'
 E 3.15'
 N/A
 PI N 1420301.0730
 E 2202555.8020
 PC STA. 26+11.78
 PT STA. 27+37.24



PROPERTY AND EXISTING R/W LINE -----E-----
 REQUIRED R/W LINE -----C-----F-----
 CONSTRUCTION LIMITS
 EASEMENT FOR CONSTR. & MAINTENANCE OF SLOPES [Hatched pattern]
 EASEMENT FOR CONSTR OF SLOPES [Diagonal hatched pattern]
 EASEMENT FOR CONSTR OF DRIVES [Cross-hatched pattern]

BEGIN LIMIT OF ACCESS.....BLA
 END LIMIT OF ACCESS.....ELA
 LIMIT OF ACCESS
 REQ'D R/W & LIMIT OF ACCESS [Double line]
 ESM'T FOR CONSTR OF RET. WALL [Hatched pattern]
 ESM'T FOR CONST & MAINT OF RET. WALL [Diagonal hatched pattern]



MA MORELAND-ALTOBELLI ASSOC., INC.
 (770) 263-5945
 DESIGN BY: BCE
 DRAWN BY: JMG
 CHECKED BY: MJS
 SUPERVISED BY: BRAD HALE P.E.

DATE	REVISIONS	DATE	REVISIONS

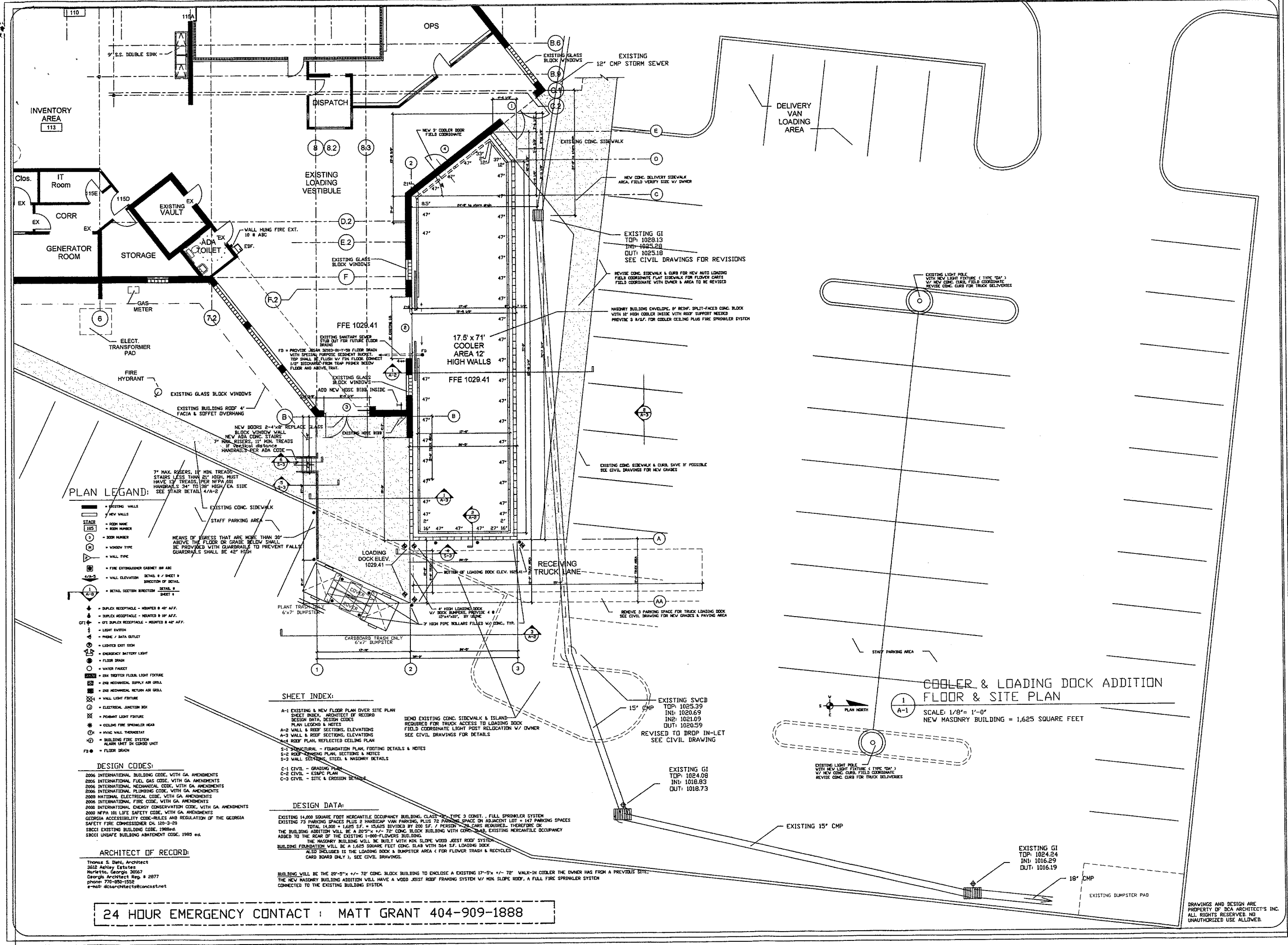
COBB COUNTY DEPARTMENT OF TRANSPORTATION
RIGHT OF WAY MAP
 PROJECT NO: E4030
 COUNTY: COBB
 LAND LOT NO: 781, 804
 LAND DISTRICT: 17TH
 GMD
 DATE 4/23/13 SH 4 OF 26

JOB NO.	12494
DATE:	9-13-2013
REVISIONS	

WAREHOUSE WALK-IN COOLER ADDITION FOR:
1-800-FLOWERS
 2365 Windy Hill Road, SE, Marietta, Georgia 30067
 Cobb County

DCA ARCHITECTS
 3612 ASHLEY ESTATES
 MARIETTA, GEORGIA 30067
 PHONE: (770) 850-1552 FAX: (770) 850-1554

SHEET NO.
A-1



24 HOUR EMERGENCY CONTACT : MATT GRANT 404-909-1888

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JOB NO.	12494
DATE	9-13-2013
REVISIONS	
STAIR RAILING DETL.	12-2-2013
1, 3 & 6A-2	

WALK-IN COOLER ADDITION FOR :

1-800-FLOWERS

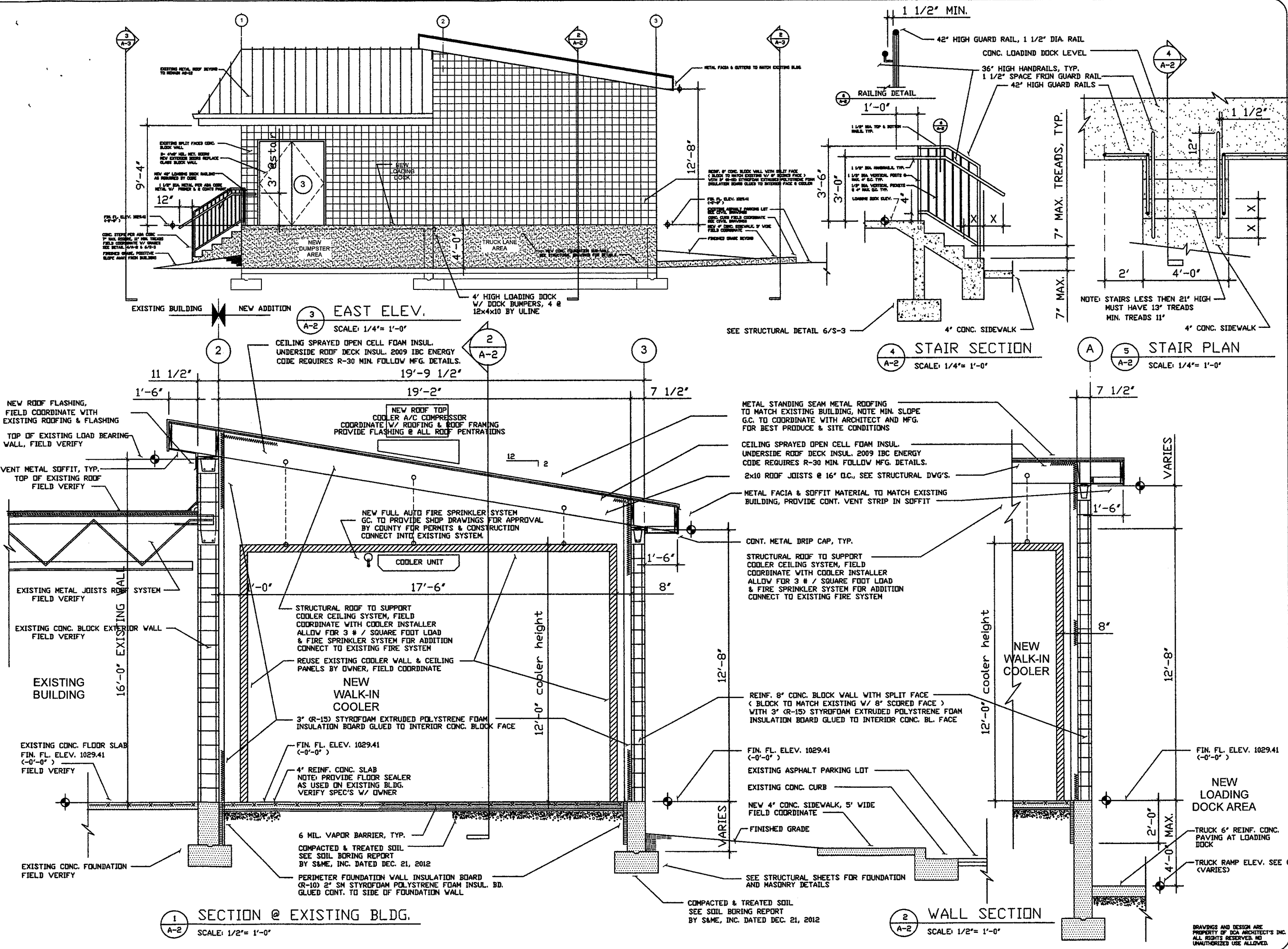
2365 Windy Hill Road, SE. Marietta, Georgia 30067
Cobb County

DCA ARCHITECTS
3612 ASHLEY ESTATES
MARIETTA, GEORGIA 30067
PHONE: 770-650-1552 FAX: 770-650-1554

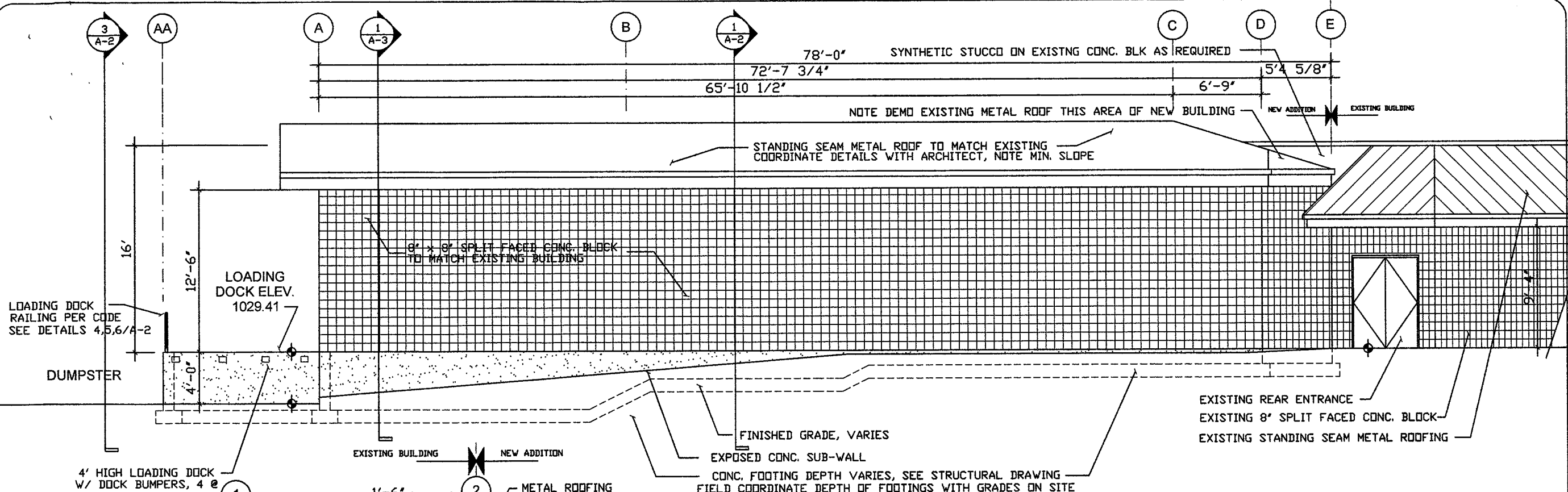
SHEET NO.

A-2

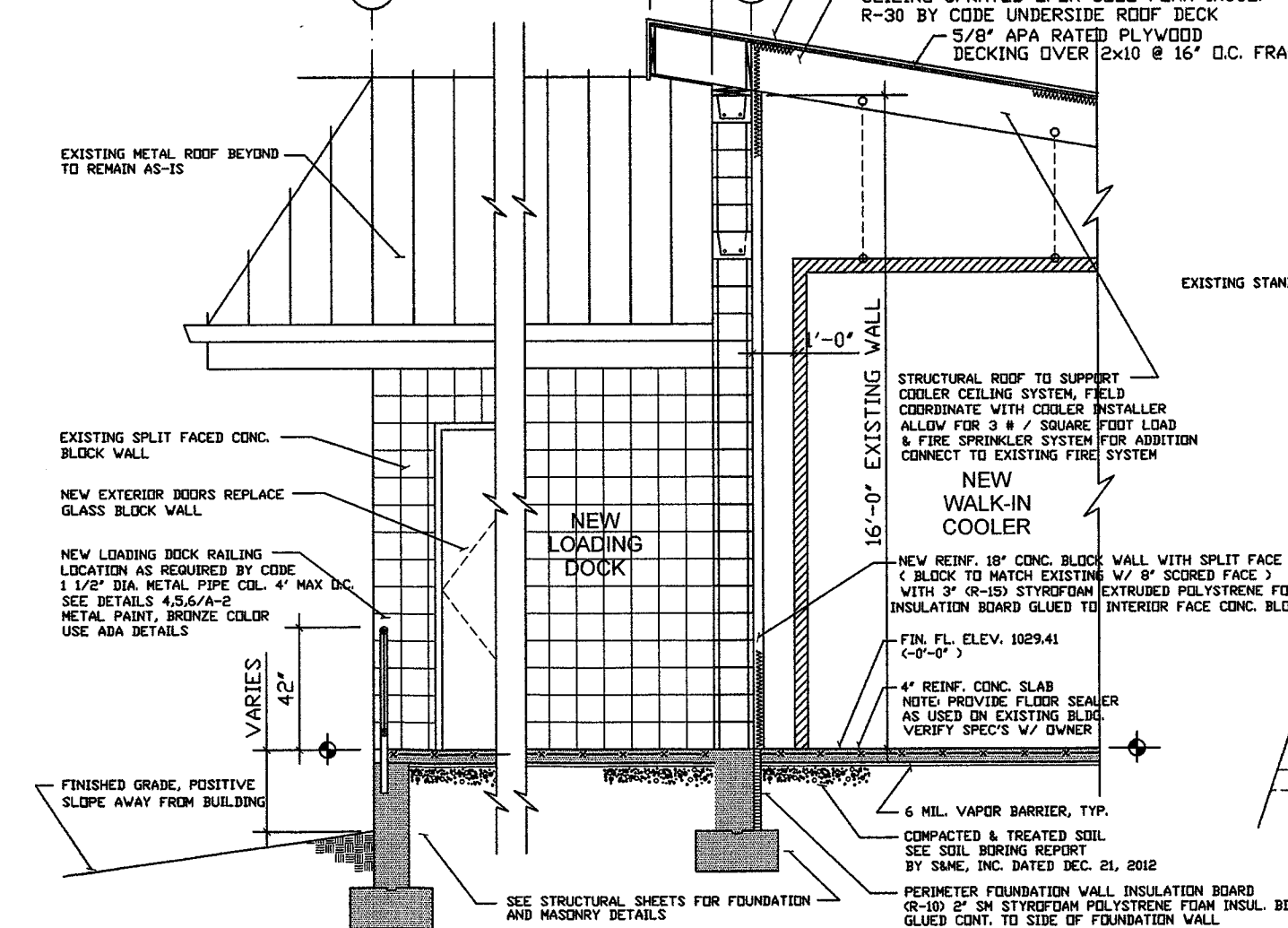
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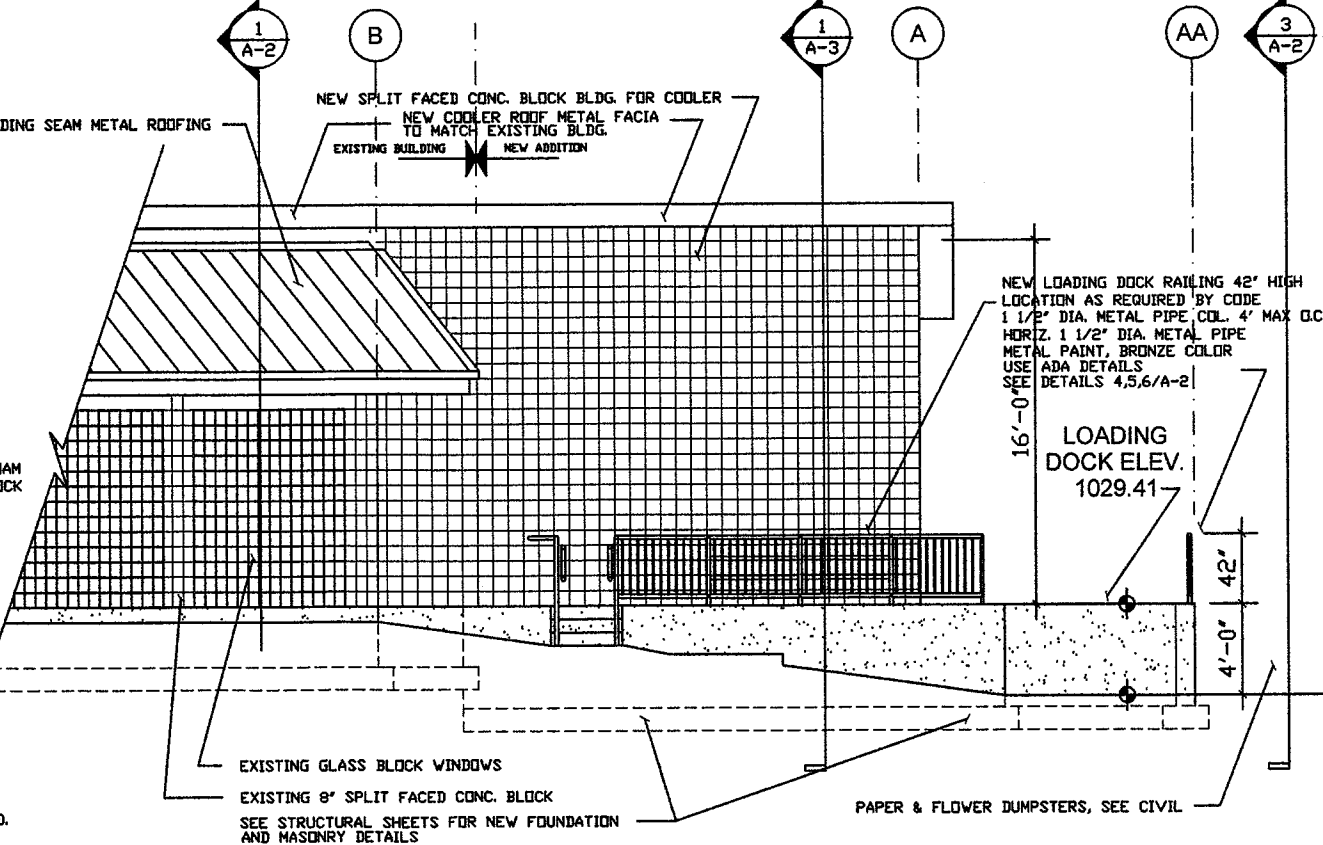
JOB NO.	12494
DATE	9-13-2013
REVISIONS	
STAIR RAILING DET.	12-2-2013
4.5.6/A-2	



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SECTION @ EX. BLDG. & NEW LOADING DOCK
SCALE: 1/2" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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WALK-IN COOLER ADDITION FOR:
1-800-FLOWERS
2365 Windy Hill Road, SE. Marietta, Georgia 30067
Cobb County

DCA ARCHITECTS
3612 ASHLEY ESTATES
MARIETTA, GEORGIA 30067
PHONE: 770-850-1556 FAX: 770-850-1554

SHEET NO.
A-3

LIGHT FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURE	CATALOG NUMBER	LAMPS	MOUNTING	REMARKS
A	FLUORESCENT STRIP	DAY-BRITE	T232-UNV-1/2EB	(2) F32T8/TL741	SURFACE	(6)
AE	FLUORESCENT STRIP	DAY-BRITE	T232-UNV-1/2EB-E3	(2) F32T8/TL741	SURFACE	(2) (6)
X	LED EXIT SIGN	MCPHILBEN	ERSSL-V-1-12/2TR	LED	UNIVERSAL	(7)
EM	EMERGENCY BATTERY PACK	MCPHILBEN	PDNB	---	SURFACE	(4)
H	BUILDING WALL PACK	LSI	GBVM-FT-175MH-120V-BR2	(1) 175W PSH4	WALL	(5)
DA	POLE MOUNTED H.L.D.	LSI	GBR-3-1000-NHR-CT-208	(1) 1000W MH	POLE	(9)

NOTES:
 GENERAL CONTRACTOR MUST FIELD VERIFY EXISTING ELECTRICAL SYSTEM BEFORE STARTING CONSTRUCTION. PROVIDE WRITTEN REPORT OF PROBLEMS TO OWNER & ARCHITECT BEFORE STARTING CONSTRUCTION.
 (2) PROVIDE 2 LAMP EMERGENCY BALLAST, CHLORIDE C1406.
 (4) COORDINATE MOUNTING HEIGHT AND LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
 (5) MOUNT CENTER OF FIXTURE AT 18'-0" AFF.
 (6) COORDINATE FIXTURE LOCATIONS WITH STRUCTURE AND OTHER TRADES.
 (7) COORDINATE EXACT LOCATION AND AIMING WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.
 (8) REUSE EXISTING POLES, COORDINATE WITH EXISTING POLE DETAILS, PROVIDE HOUSE SIDE SHIELD. FIELD VERIFY WITH OWNER NUMBER OF POLE LIGHTS NEEDED. LIGHTS MUST BE AIMED AWAY FROM RESIDENTIAL AREA.

PLAN LEGEND:

- EXISTING WALLS
- NEW WALLS
- STAIR
- ROOM NAME
- ROOM NUMBER
- DOOR NUMBER
- WINDOW TYPE
- WALL TYPE
- FIRE EXTINGUISHER CABINET 10# ABC
- WALL ELEVATION DETAIL # / SHEET #
- SECTION OF DETAIL
- DETAIL SECTION DIRECTION DETAIL # / SHEET #
- DUPLX RECEPTACLE - HEIGHTED 8' 4" AFF.
- DUPLX RECEPTACLE - HEIGHTED 8' 10" AFF.
- DUPLX RECEPTACLE - HEIGHTED 8' 4" AFF.
- LIGHT SWITCH
- PHONE / DATA OUTLET
- LIGHTED EXIT SIGN
- EMERGENCY BATTERY LIGHT
- FLOOR BRUSH
- WATER FAUCET
- 2X4 TRUSSER FLOOR LIGHT FIXTURE
- 2X6 MECHANICAL SUPPLY AIR GRILL
- 2X6 MECHANICAL RETURN AIR GRILL
- WALL LIGHT FIXTURE
- ELECTRICAL JUNCTION BOX
- PENDANT LIGHT FIXTURE
- CEILING FIRE SPRINKLER HEAD
- INAC WALL THERMISTAT
- BUILDING FIRE SYSTEM ALARM UNIT IN CONDO UNIT
- FLOOR DRAIN

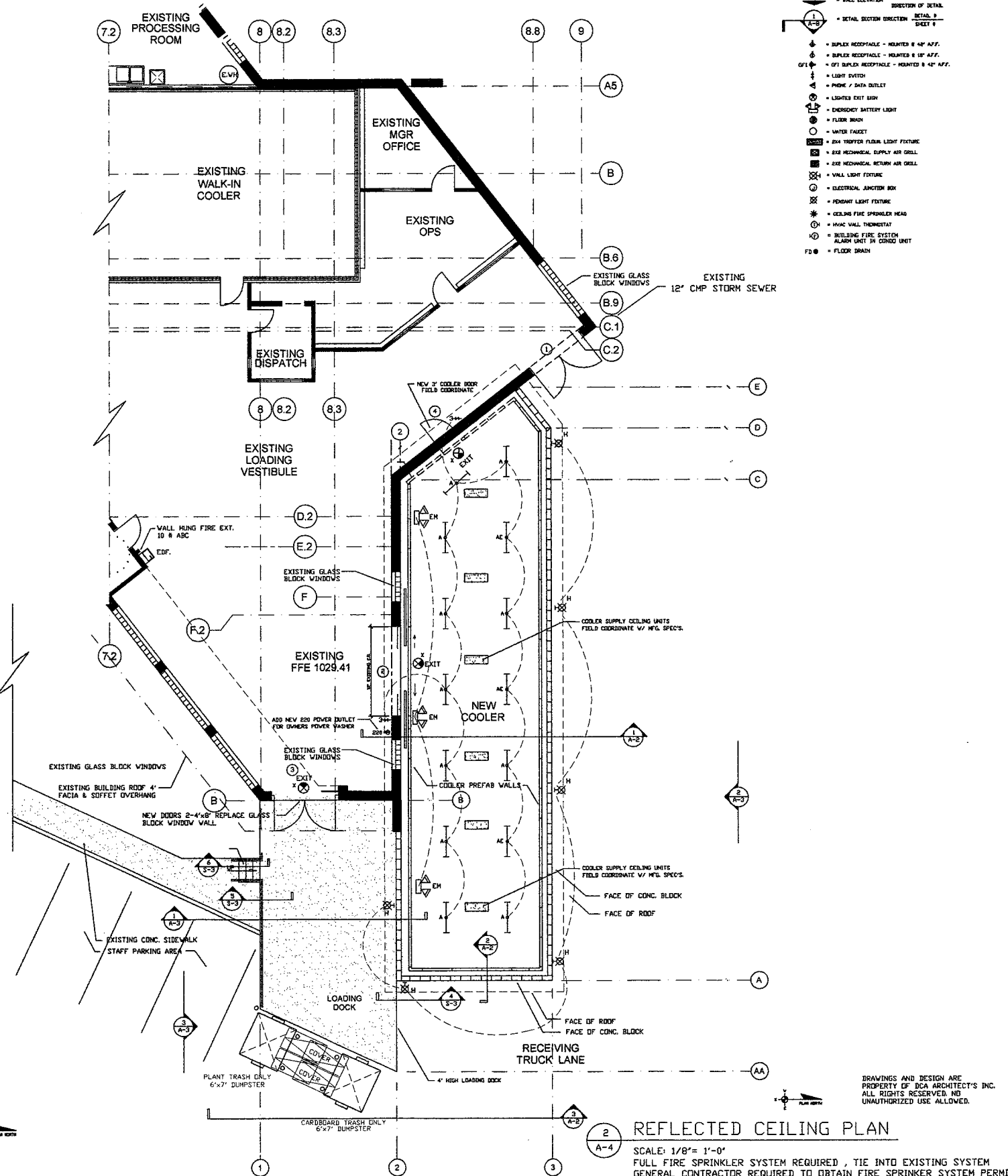
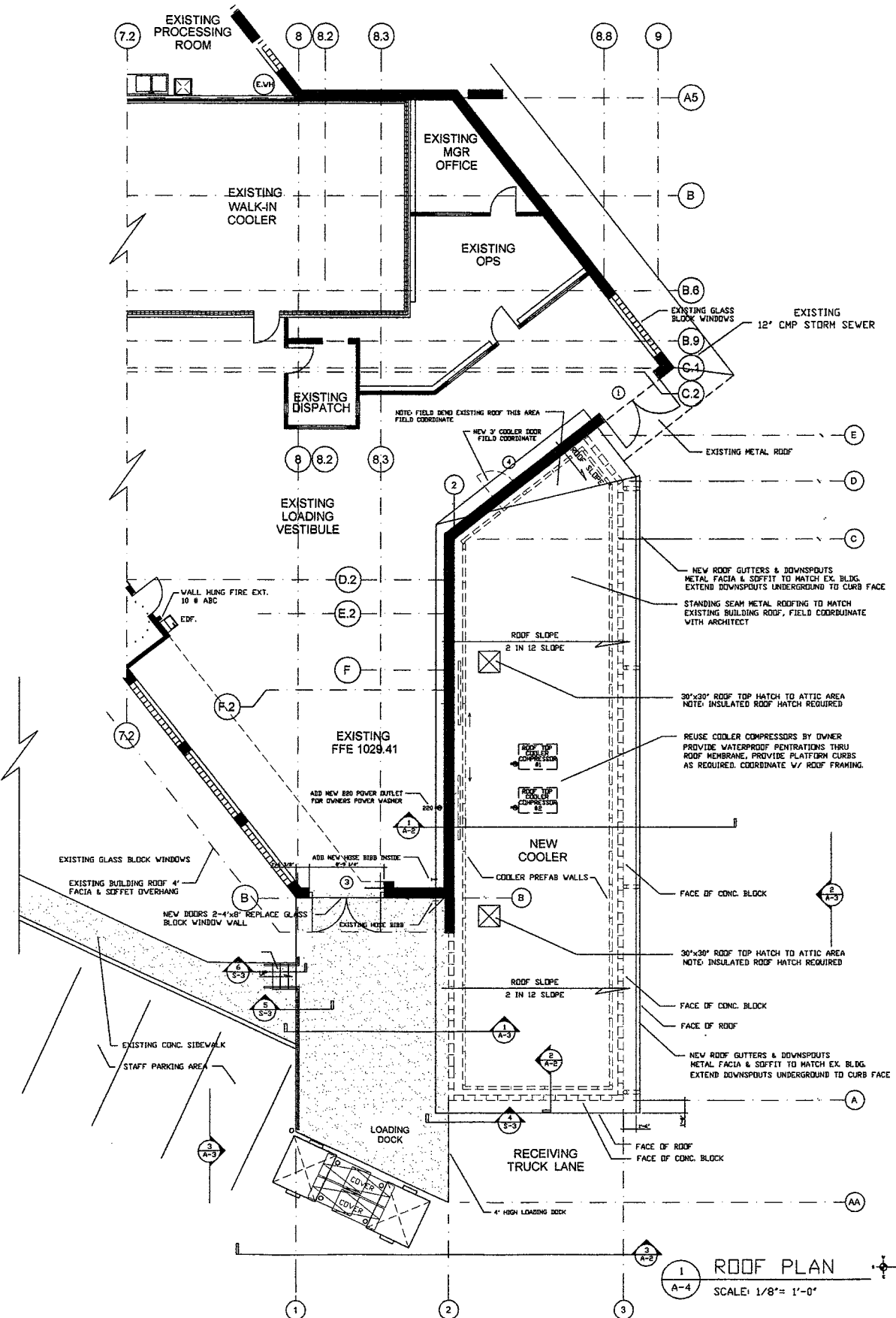
JOB NO.	12494
DATE	9-13-2013
REVISIONS	

WAREHOUSE WALK-IN COOLER ADDITION FOR:
1-800-FLOWERS
 2365 Windy Hill Road, SE, Marietta, Georgia 30067
 Cobb County

DCA ARCHITECTS
 3612 ASHLEY ESTATES
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SHEET NO.
A-4



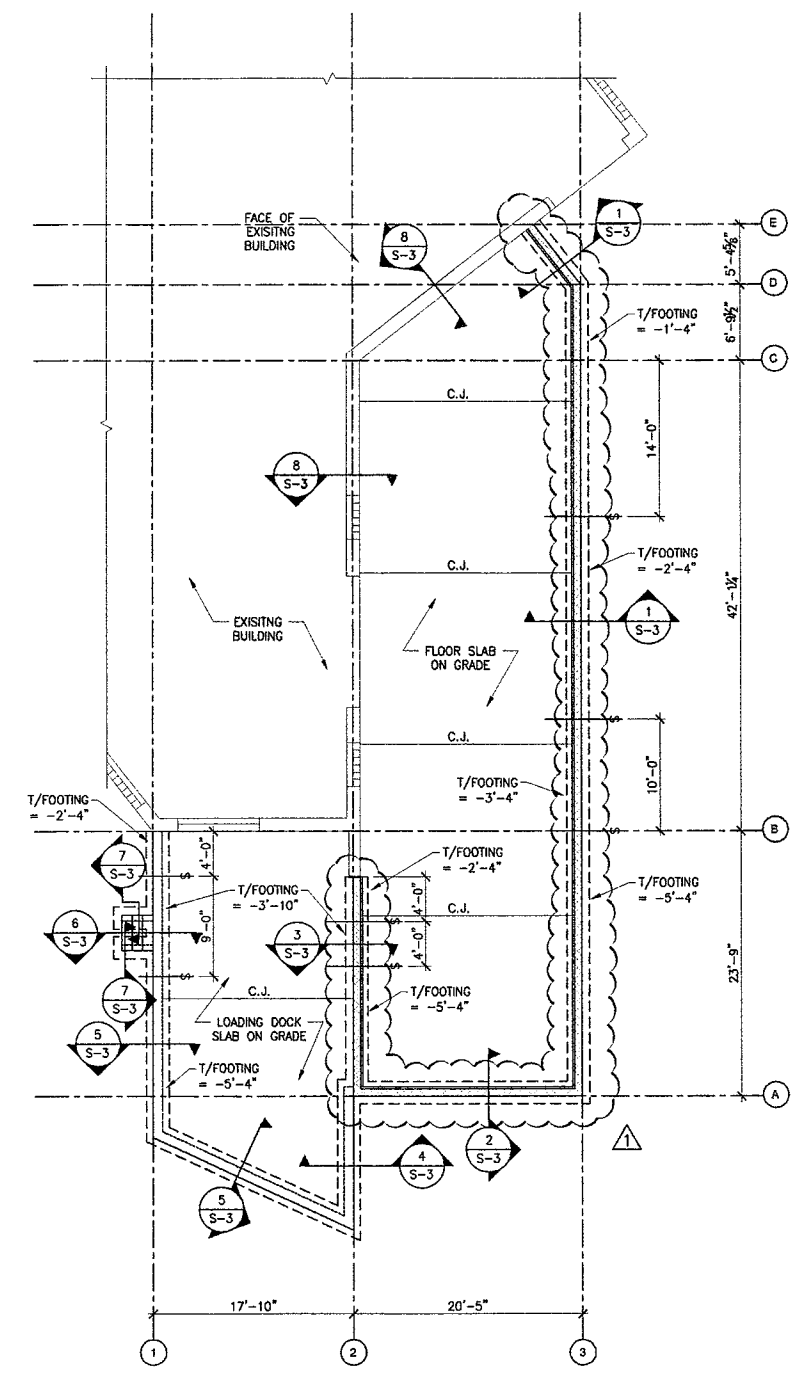
JOB NO.	12494
DATE	09-13-2013
REVISIONS	
1	12-04-2013

WAREHOUSE WALK-IN COOLER ADDITION FOR :
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 2365 Windy Hill Road, SE. Marietta, Georgia 30067
 Cobb County

DCA ARCHITECTS
 3612 ASHLEY ESTATES
 MARIETTA, GEORGIA 30067
 PHONE: (770) 850-1552 FAX: (770) 850-1554

REGISTERED PROFESSIONAL ENGINEER
 No. 26884
 RELEASED FOR CONSTRUCTION

SHEET NO. **S-1**



1 FOUNDATION PLAN
 SCALE: 3/8"=1'-0"

- FOUNDATION PLAN NOTES:**
1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER. FOR ADDITIONAL INFORMATION SEE ARCHITECTURAL DRAWINGS.
 2. TOP OF CONCRETE SLAB ELEVATION = +0'-0". CORRESPONDING TO AN ACTUAL ELEVATION = 1029.41'. ALL OTHER DIMENSIONS ARE MEASURED FROM THIS DATUM.
 3. SLAB ON GRADE SHALL BE 4" NORMAL WEIGHT CONCRETE, REINFORCED WITH 6x6 WT. 4xW1.4 W.W.F. LOCATED 1/2" BELOW THE TOP OF SLAB, UNO.
 4. C.J. INDICATES CONTROL JOINT, SEE 2/S-1.
 5. SEE ARCHITECTURAL DRAWINGS FOR ANY SLOPES, DEPRESSIONS, TRENCHES, ECT. IN SLAB ON GRADE.
 6. TOP OF FOOTING ELEVATION VARIES, SEE PLAN. CONFIRM TOP OF FOOTING ELEVATIONS SHOWN WITH FINISHED GRADE ELEVATIONS. TOP OF FOOTING SHOULD BE A MINIMUM OF 1'-0" BELOW FINISHED GRADE.
 7. ↗ INDICATES STEP IN FOOTING ELEVATION, SEE 4/S-1.

THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE 2006 INTERNATIONAL BUILDING CODE WITH GEORGIA AMENDMENTS AND ASCE 7. THE FOLLOWING CRITERIA APPLY:

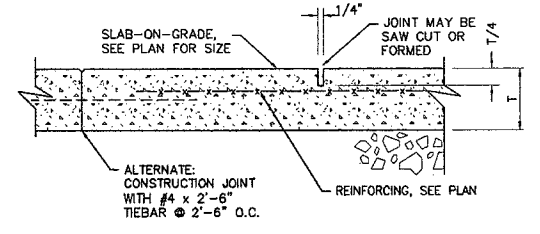
ROOF LIVE LOAD = 20 psf (DOES NOT INCLUDE MECHANICAL UNITS)	SEISMIC IMPORTANCE FACTOR, I = 1.0
ROOF DEAD LOAD = 20 psf	MAPPED SPECTRAL ACCELERATIONS: S _s = 0.248, S ₁ = 0.089
ROOF DEAD LOAD (AVAILABLE TO RESIST UPLIFT) = 5 psf	SITE CLASS (SOIL TYPE) = D
FLOOR LIVE LOAD = 100 psf	SPECTRAL RESPONSE COEFFICIENTS: SD _s = 0.265, SD ₁ = 0.142
GROUND SNOW LOAD, P _g = 5 psf	SEISMIC DESIGN CATEGORY = C
BASIC WIND SPEED = 90 mph	SEISMIC FORCE RESISTING SYSTEM: ORDINARY REINFORCED MASONRY SHEAR WALLS
WIND IMPORTANCE FACTOR, I _w = 1.0	DESIGN BASE SHEAR = 10.4 KIPS
WIND EXPOSURE CATEGORY: B	SEISMIC RESPONSE COEFFICIENT, C _s = 0.133
INTERNAL PRESSURE COEFFICIENT: ±0.18	RESPONSE MODIFICATION FACTOR, R = 2.0
COMPONENTS & CLADDING:	ANALYSIS PROCEDURE: E.L.F. PROCEDURE

ALLOWABLE SOIL BEARING IS 2500 psf ON PROPERLY PREPARED SUBGRADE PER RECOMMENDATIONS IN GEOTECHNICAL REPORT, GEOTECHNICAL REPORT # 1801-12-405 BY S&M, INC., DATED DECEMBER 21, 2012
SAFE FLOOR LOADS SHALL BE POSTED IN CONSPICUOUS PLACES.

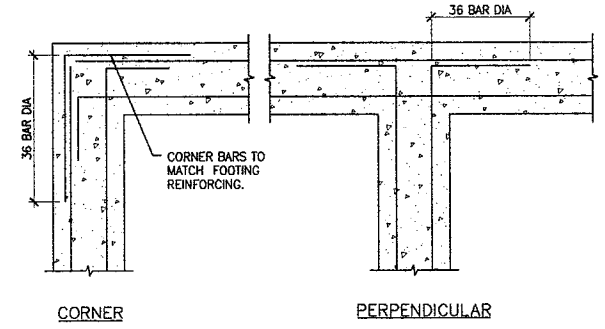
(A = EFFECTIVE WIND AREA, α = 3'-0", ADJUSTMENT FACTOR = 1.00, SEE FIG. 6-3, ASCE 7-05 FOR ZONE LAYOUT AND ADD. INFO.)

NOTES :

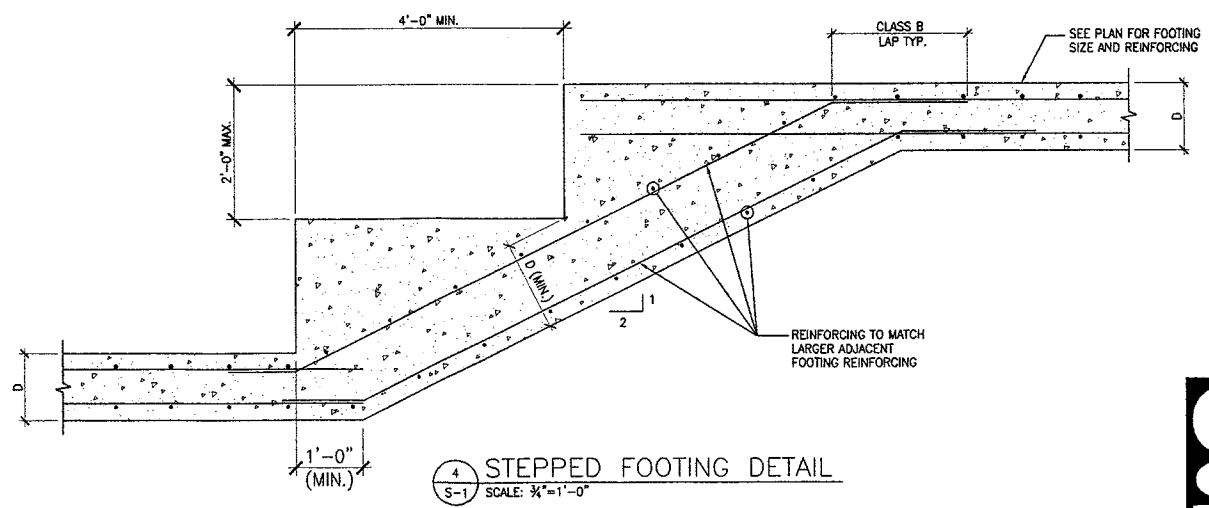
- GENERAL:**
1. STRUCTURAL DRAWINGS INDICATE TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY. SHOP DRAWINGS SHALL DETAIL ALL CONDITIONS IN ACCORDANCE WITH SPECIFIED STANDARDS AND THE SPECIFIC REQUIREMENTS OF THIS PROJECT.
 2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
 3. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK.
- EXISTING CONDITIONS:**
1. WHERE EXISTING CONDITIONS ARE SHOWN THEY HAVE BEEN DERIVED FROM AVAILABLE DRAWINGS AND REPRESENT THE ENGINEER'S BEST ESTIMATE OF ACTUAL CONDITIONS. DEPICTED EXISTING CONDITIONS MAY NOT, IN ALL CASES, BE CORROBORATED BY FIELD INVESTIGATIONS.
 2. ALL DIMENSIONS AND DETAILS OF EXISTING WORK INDICATED ON THE DRAWINGS SHALL BE FIELD MEASURED AND VERIFIED BEFORE PROCEEDING WITH WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
 3. NECESSARY PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR UNDERMINE ANY EXISTING BUILDING FOUNDATIONS OR STRUCTURE AND SHORING SHALL BE PROVIDED AS REQUIRED.
- CONCRETE:**
1. CONCRETE FOR ALL STRUCTURAL ELEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 psi AND SHALL BE NORMAL WEIGHT.
 2. UNLESS NOTED OTHERWISE, SLABS ON GRADE SHALL BE A MINIMUM OF FOUR INCHES THICK, SHALL BE REINFORCED WITH 6x6-W1.4xW1.4 W.W.F. AND PLACED OVER A MINIMUM 4" THICK LAYER OF FREE-DRAINING MATERIAL SUCH AS CRUSHED STONE.
 3. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE A MINIMUM WATER/CEMENT RATIO OF 0.45 AND SHALL BE AIR ENTRAINED 5% +/-.
 4. ALL STRUCTURAL CONCRETE SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH THE "ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION.
 5. CONCRETE TEST REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
- REINFORCING:**
1. REINFORCING STEEL SHALL BE ASTM 615, GRADE 60, EXCEPT TIES AND STIRRUPS SHALL BE GRADE 40 OR 60. LAP SPICE LENGTH IS NO LESS THAN 43" FOR #6 BARS, 36" FOR #5 BARS, AND 29" FOR #4 BARS. PROVIDE BENT CORNER BARS.
 2. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A185. LAP ALL W.W.F. A MINIMUM OF ONE SPACE AT ALL SIDES AND SPLICES.
- MASONRY:**
1. MORTAR FOR ALL MASONRY SHALL BE TYPE "S" WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 1800 psi AT 28 DAYS, AND SHALL CONFORM TO ASTM C270.
 2. WHERE MASONRY IS REINFORCED, CELLS ARE TO BE GROUTED SOLID WITH A GROUT OF 3,000 psi STRENGTH AT 28 DAYS. SEE ASTM C476.
 3. MASONRY SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH (f_m) OF 1500 psi AT 28 DAYS AND SHALL CONFORM TO ASTM C90.
 4. VERTICAL REINFORCING BARS SHALL BE CENTERED IN GROUT FILLED BLOCK CELLS AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS OVER 2 FEET WIDE AND AS SHOWN ON PLANS.
- WOOD:**
1. STRUCTURAL WOOD COMPONENTS (BEAMS, JOISTS, RAFTERS, ETC.) SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES OF NO. 2 SOUTHERN PINE CONFORMING TO THE LATEST EDITION OF NDS, AS FOLLOWS UNLESS NOTED OTHERWISE:
 SHEAR F_v = 90 psi
 BENDING 2X6 F_b = 1,250 psi
 BENDING 2X8 F_b = 1,200 psi
 BENDING 2X10 F_b = 1,050 psi
 BENDING 2X12 F_b = 975 psi
 2. WOOD IN CONTACT WITH CONCRETE OR MASONRY, AND AT OTHER LOCATIONS AS SHOWN ON STRUCTURAL DRAWINGS, SHALL BE PROTECTED OR PRESURE TREATED IN ACCORDANCE WITH AMERICAN WOOD - PRESERVERS' ASSOCIATION STANDARDS. MEMBER SIZES SHOWN ARE NOMINAL UNLESS NOTED OTHERWISE.
 3. PLYWOOD FLOOR, WALL AND ROOF SHEATHING ARE DESIGNED AS DIAPHRAGMS AND SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 23 OF THE BUILDING CODE. UNLESS SHOWN OTHERWISE, SPAN RATED PANELS SHALL BE FASTENED TO NOMINAL 2X SOUTHERN PINE FRAMING SPACED UP TO 24" O/C. IN ACCORDANCE WITH THE FOLLOWING:
 PANELS UP TO 1/2" THICK: 8d NAILS AT 6" O/C. EDGE, 12" O/C. ELSEWHERE.
 PANELS UP TO 5/8" THICK: 10d NAILS AT 6" O/C. EDGE, 12" O/C. ELSEWHERE.
 PANELS UP TO 3/4" THICK: 12d NAILS AT 6" O/C. EDGE, 12" O/C. ELSEWHERE.



2 CONTROL JOINT
 SCALE: 3/4"=1'-0"



3 TYP. FOOTING INTERSECTION DETAIL
 SCALE: 3/4"=1'-0"



4 STEPPED FOOTING DETAIL
 SCALE: 3/4"=1'-0"

GGSE
GOODMAN & GIANNAVOLA STRUCTURAL ENGINEERS
 311 14th STREET SUITE 2 ATLANTA, GA 30318 GGSE.US

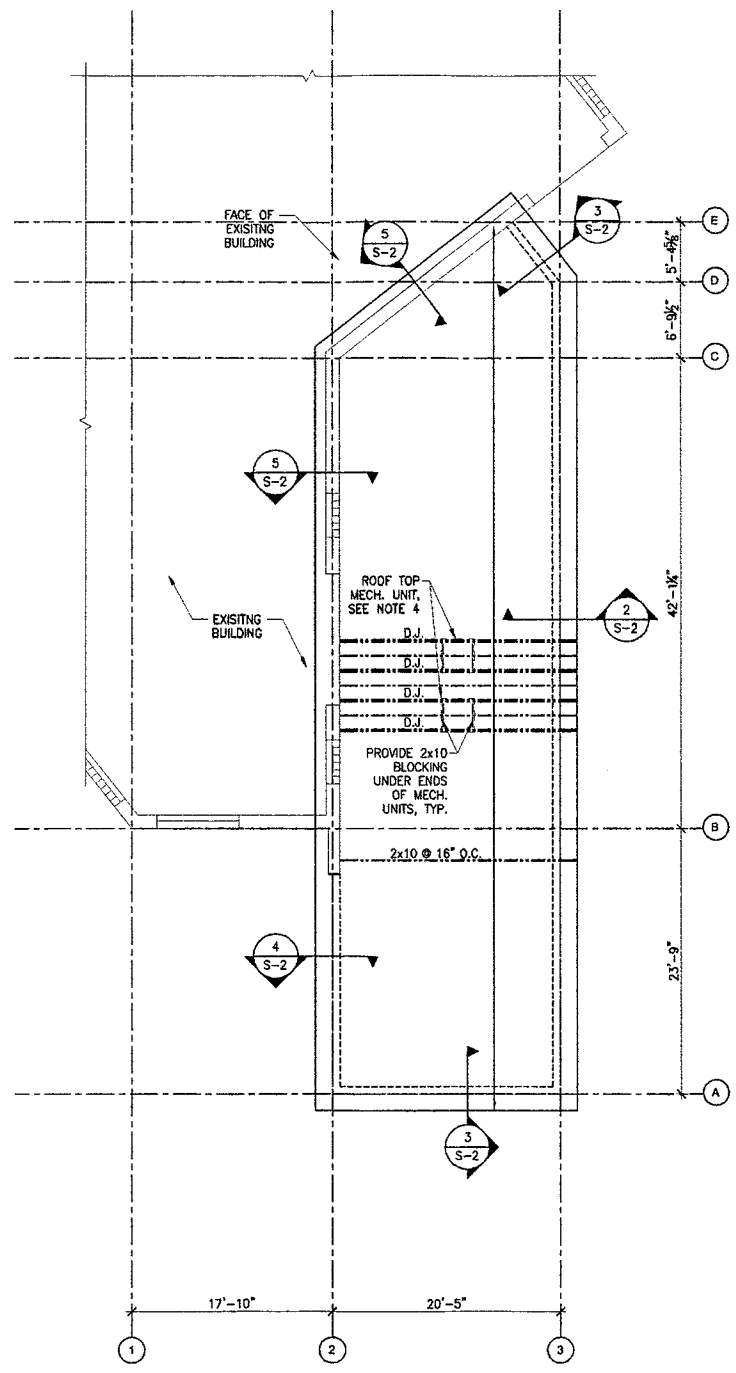
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1-800-FLOWERS
 2365 Windy Hill Road, SE, Marietta, Georgia 30067
 Cobb County

DCA ARCHITECTS
 3612 ASHLEY ESTATES
 MARIETTA, GEORGIA 30067
 PHONE: (770) 850-1552 FAX: (770) 850-1554

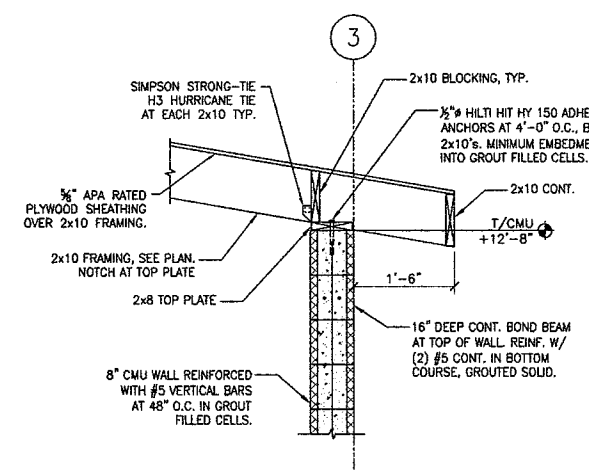
REGISTERED PROFESSIONAL ENGINEER
 No. 26694
 GEORGIA
 RELEASED FOR CONSTRUCTION

SHEET NO.
S-2

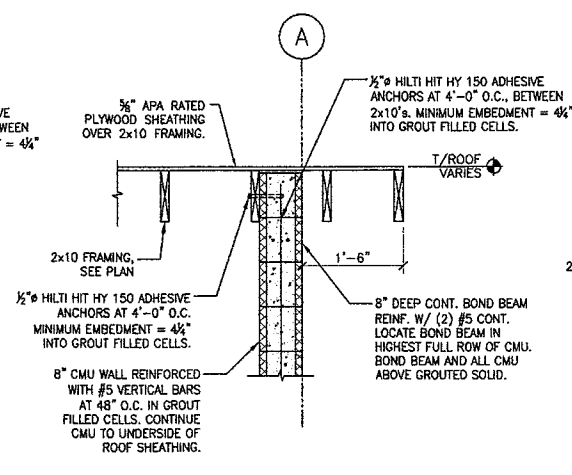


1 ROOF FRAMING PLAN
 S-2 SCALE: 1/8"=1'-0"

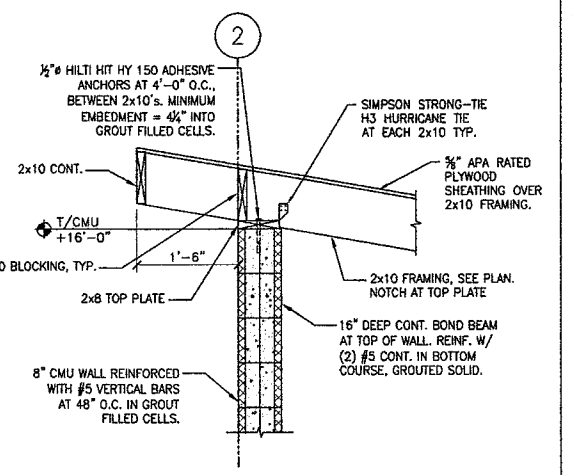
- ROOF FRAMING PLAN NOTES:**
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER. FOR ADDITIONAL INFORMATION SEE ARCHITECTURAL DRAWINGS.
 - SEE ARCHITECTURE FOR TOP OF FINISHED ROOF ELEVATIONS, ROOF SLOPES AND ROOF DRAIN LOCATIONS.
 - COORDINATE SIZE AND LOCATION OF ALL OPENINGS IN ROOF WITH ARCH. MECH. AND PLUMBING DRAWINGS.
 - D.J. INDICATES DOUBLE 2x10 ROOF JOISTS SUPPORTING SIDES OF ROOF TOP MECHANICAL UNITS. COORDINATE LOCATION OF MECHANICAL UNITS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.



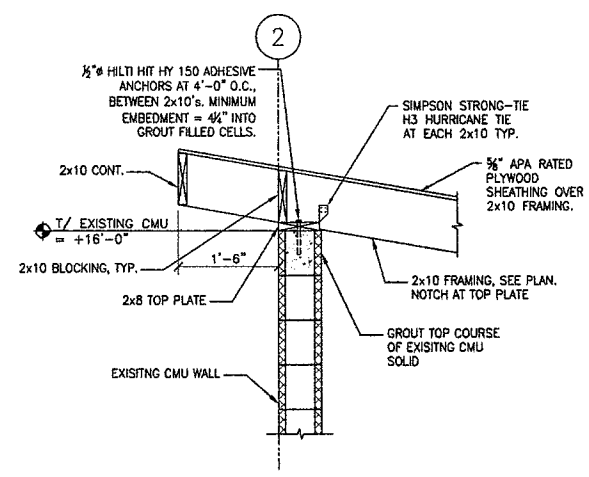
2 SECTION
 S-2 SCALE: 3/4"=1'-0"



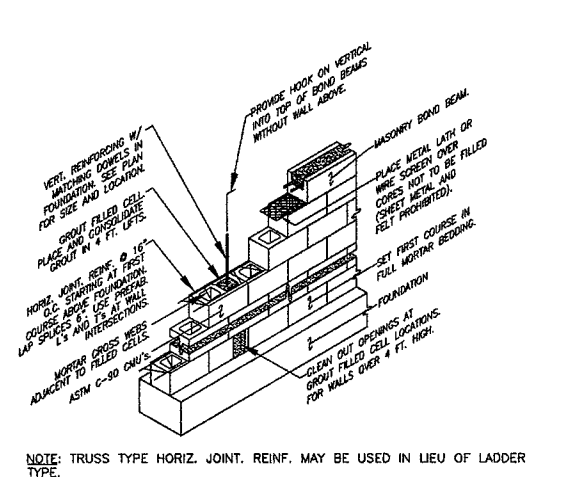
3 SECTION
 S-2 SCALE: 3/4"=1'-0"



4 SECTION
 S-2 SCALE: 3/4"=1'-0"



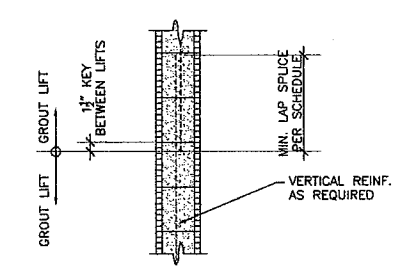
5 SECTION
 S-2 SCALE: 3/4"=1'-0"



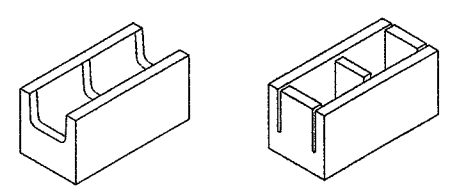
5 TYP. MASONRY WALL CONSTRUCTION
 S-4 NOT TO SCALE

LAP SPLICE SCHEDULE

BAR	LAP SPLICE
#3	18"
#4	24"
#5	30"
#6	36"
#7	42"



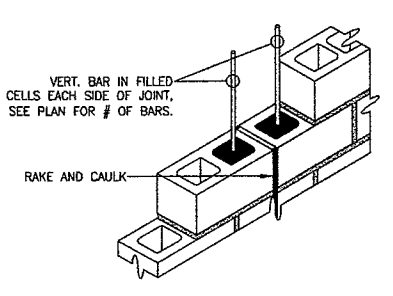
6 TYP. CMU LAP SPLICE
 S-4 NOT TO SCALE



Depressed Web Bond Beam Unit **Knock-Out Bond Beam Unit**

- NOTES:**
- BOND BEAMS SHALL BE 8" DEEP, REINFORCED WITH (2) #5 CONTINUOUS AT BEAM MID-DEPTH, U.N.O. PROVIDE (2) #5 x 2'-6" CORNER BARS AT ALL CORNERS AND INTERSECTIONS.
 - BOND BEAMS SHALL BE LOCATED AT THE TOP OF ALL MASONRY WALLS AND AS INDICATED IN SECTIONS AND DETAILS.

7 TYP. MASONRY BOND BEAM
 S-4 NOT TO SCALE

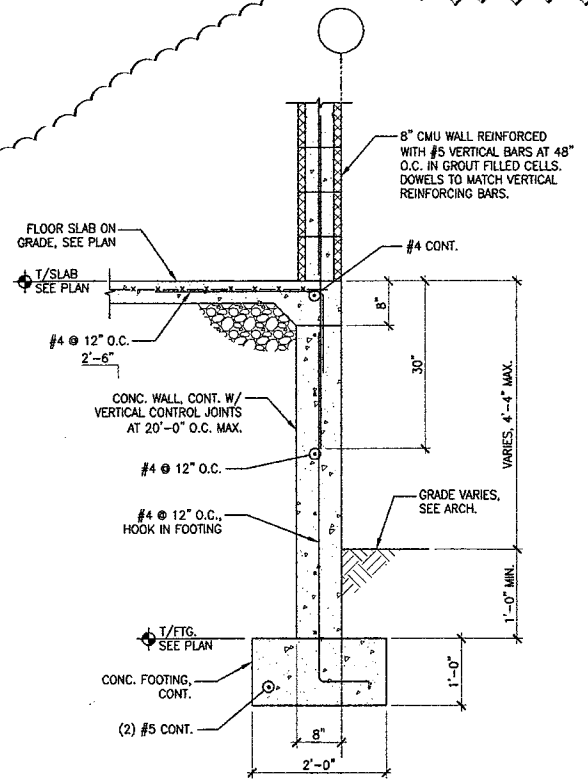


8 TYP. MASONRY CONTROL JOINT
 S-4 NOT TO SCALE

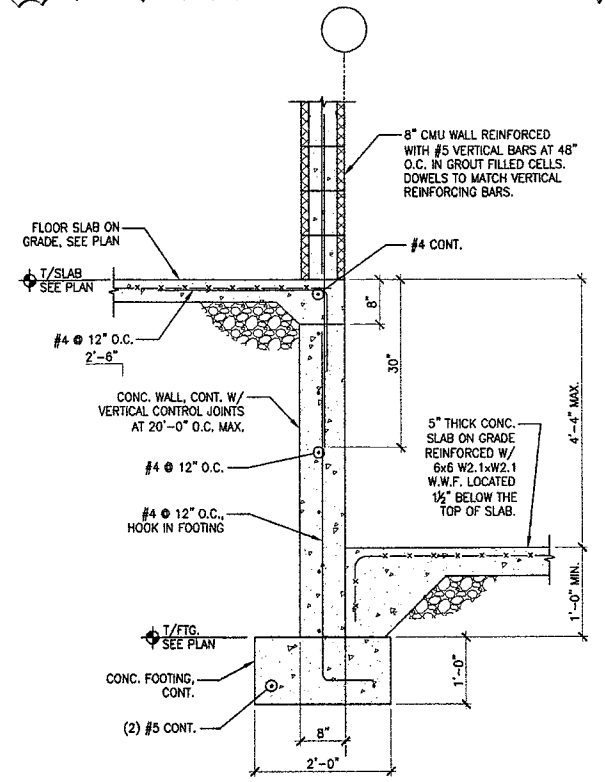
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 311 14th STREET SUITE 2
 ATLANTA, GA 30318
 GGSE.US

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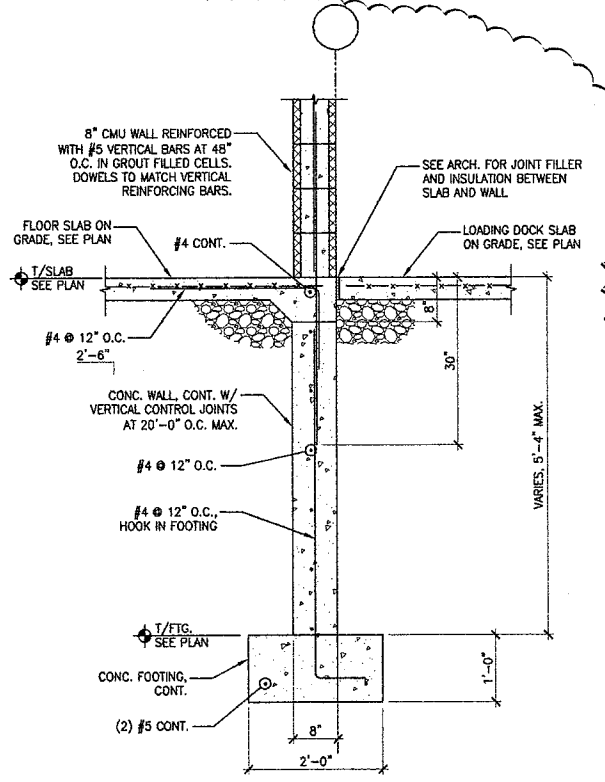
JOB NO.	12494
DATE	09-13-2013
REVISIONS	
1	12-04-2013



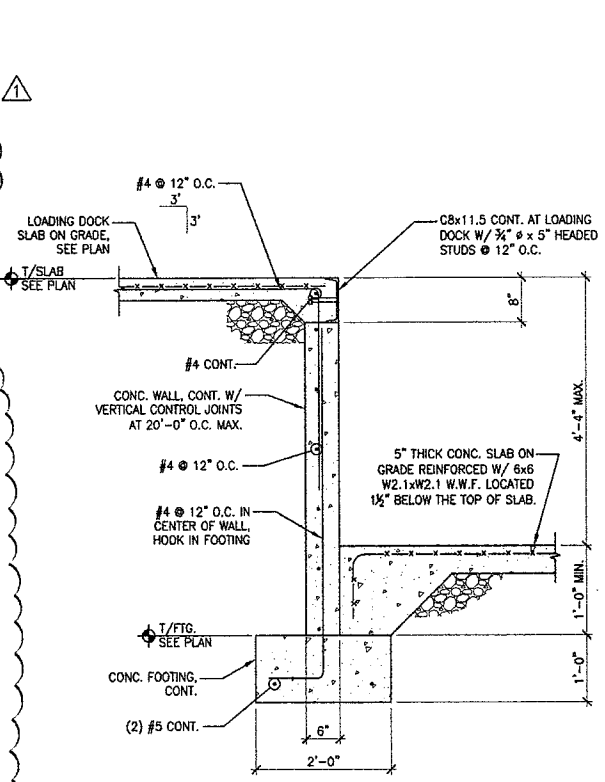
1 TYP. WALL SECTION @ FLOOR SLAB
S-3 SCALE: 3/4"=1'-0"



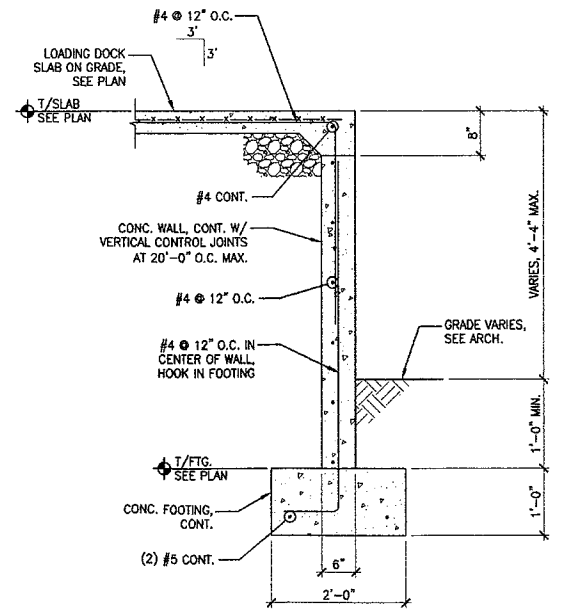
2 TYP. WALL SECTION @ FLOOR SLAB
S-3 SCALE: 3/4"=1'-0"



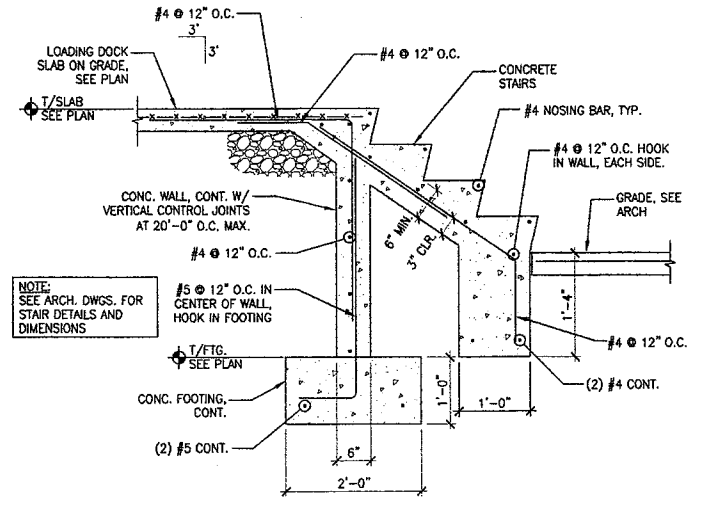
3 TYP. WALL SECTION @ FLOOR SLAB
S-3 SCALE: 3/4"=1'-0"



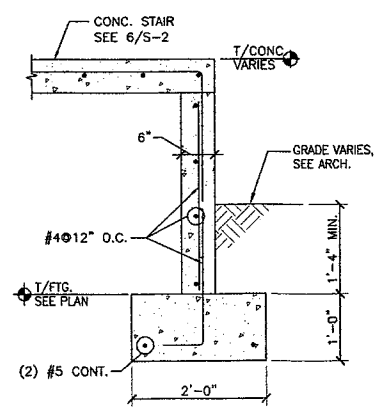
4 WALL SECTION @ LOADING DOCK
S-3 SCALE: 3/4"=1'-0"



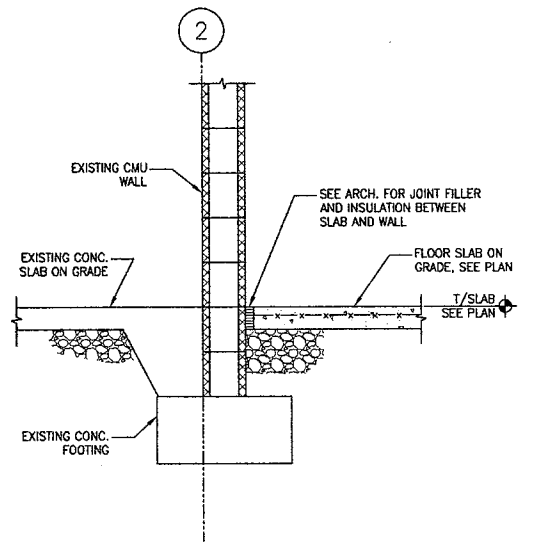
5 WALL SECTION @ LOADING DOCK
S-3 SCALE: 3/4"=1'-0"



6 WALL SECTION @ CONCRETE STAIR
S-3 SCALE: 3/4"=1'-0"



7 SECTION @ SIDE OF CONCRETE STAIR
S-3 SCALE: 3/4"=1'-0"



8 NEW SLAB @ EXISTING WALL
S-3 SCALE: 3/4"=1'-0"

WAREHOUSE WALK-IN COOLER ADDITION FOR:
1-800-FLOWERS
2365 Windy Hill Road, SE, Marietta, Georgia 30067
Cobb County

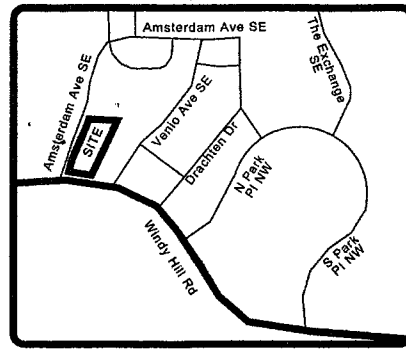
DCA ARCHITECTS
3612 ASHLEY ESTATES
MARIETTA, GEORGIA 30067
PHONE: (770) 850-1552 FAX: (770) 850-1554

REGISTERED PROFESSIONAL ENGINEER
A. GIANNIVOLA
RELEASED FOR CONSTRUCTION

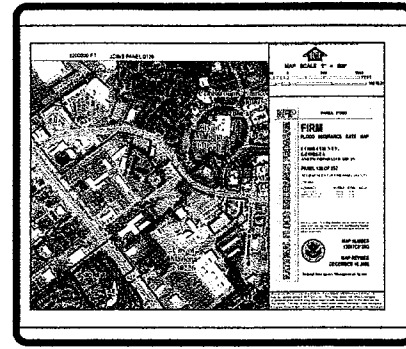
GGSE GOODMAN & GIANNIVOLA STRUCTURAL ENGINEERS
311 14th STREET SUITE 2 ATLANTA, GA 30316 GGSE.US

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SHEET NO. S-3



Location Map
N.T.S.



FEMA Map
N.T.S.

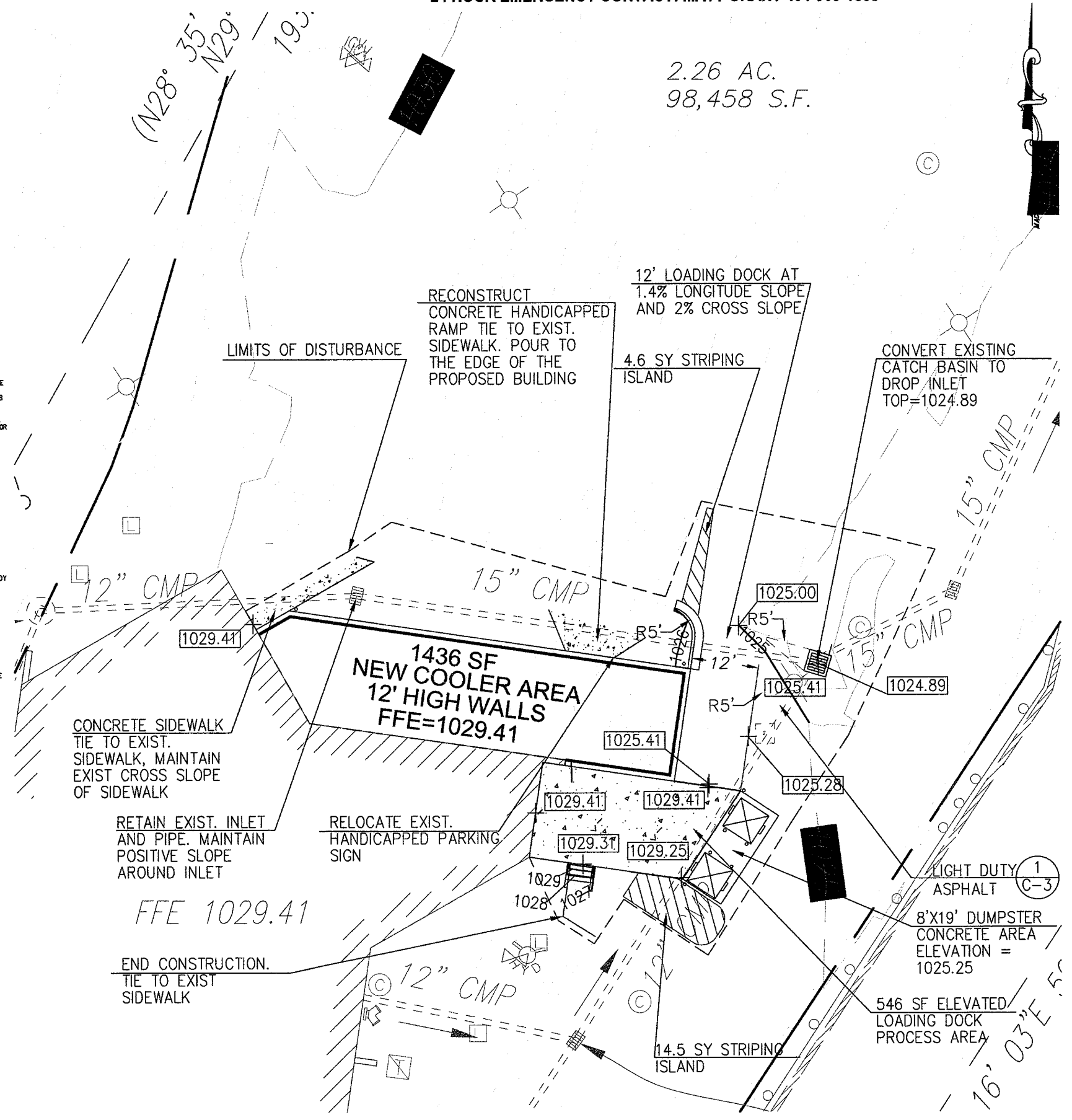
Site Notes:

- THE SITE CONTAINS 2.26 ACRES - SEE ARCHITECTURAL DRAWINGS FOR OVERALL PLAN AND SURVEY. PROPERTY TOTAL DISTURBED ACREAGE: 0.11 ACRES. TOTAL INCREASE IN IMPERVIOUS ACREAGE: 2069 SF.
- SITE ADDRESS: 2365 WINDY HILL ROAD, MARETTA, GA 30067. PARCEL ID NUMBER: 17080100290.
- ZONING: GC.
- EXISTING SITE INFORMATION TAKEN FROM SITE VISIT AND CITY, COUNTY, AND STATE GIS INFORMATION, AS WELL AS SITE VISIT PERFORMED ON 12-19-12.
- THIS PROPERTY IS NOT INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP #13067C1038 G, DATED DECEMBER 16, 2008.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE. EXACT UTILITY LOCATING WILL BE THE CONTRACTOR'S RESPONSIBILITY WITH A PRIVATE LOCATING SERVICE.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT NEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY. EXACT UTILITY LOCATING WILL BE THE CONTRACTOR'S RESPONSIBILITY WITH A PRIVATE LOCATING SERVICE.
- TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS THAT EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE A PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.

Grading Notes:

- EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION.
- ALL EARTHWORK MUST ACHIEVE 95% STD COMPACTION RATE.
- ALL SLOPES AND AREAS TO BE LANDSCAPED OR GRASSED SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. NOTE USE OF TOPSOIL DOES NOT CHANGE FINISH GRADE CONTOURS.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS DIRECTED BY THE ONSITE INSPECTOR OR DESIGN PROFESSIONAL.
- FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS, I.E. MANDATORY STOP WORK ORDER.
- DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
- CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
- MAXIMUM GRADED SLOPES ALLOWED 2H:1V.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EARTHWORK AND GRADING OPERATIONS FROM GRADING, SEDIMENTATION, OR DAMAGE DURING CONSTRUCTION. REPAIR OR REPLACEMENT OF EARTHWORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER. REMOVING AND CLEANING UP SEDIMENT ACCUMULATIONS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE ALL EXCAVATING, FILLING, BACKFILLING, IMPORTING, EXPORTING, AND GRADING REQUIRED TO BRING ENTIRE PROJECT TO THE FINAL GRADES AND ELEVATIONS SHOWN IN THE DESIGN DOCUMENTS.

2.26 AC.
98,458 S.F.



Know what's below.
Call before you dig.

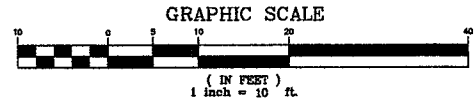
TOTAL SITE ACRES = 2.26 ACRES
TOTAL LIMITS OF DISTURBANCE = 0.11 ACRES

I CERTIFY UNDER THE PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

CERTIFIED BY: *[Signature]* DATE: 9-9-13

Tree Protection Note:

- NO TREES WILL BE DISTURBED AS A PART OF THIS PROJECT.

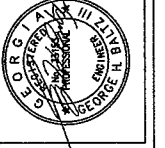


Prepared By:
CRESCENT VIEW ENGINEERING, LLC.
3459 Acworth Due West Road, Suite 202
Acworth, Georgia 30101
678-324-8410
www.crescentvieweng.com

Prepared For
1-800-Flowers
2365 Windy Hill Road
Marietta, GA 30067
404-496-9869

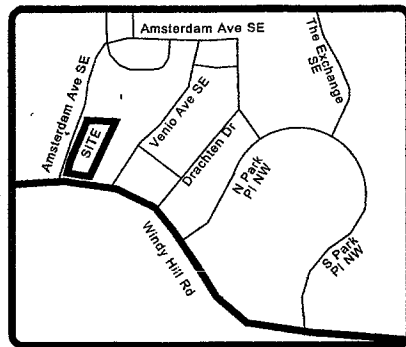
Grading Plan

DATE	SCALE	AS SHOWN	DRAWN	G/H/B	PZ
9-9-2013	AS SHOWN				



Construction Plans For
1-800-FLOWERS
Land Lot 804 17th District, 2nd Section
Cobb County, Georgia

Sheet No.
C-1



Location Map
NTS

Basin Sediment Calculations

DRAINAGE AREA = 0.33 ACRES; DISTURBED AREA = 0.11 ACRES
 DRAINAGE AREA STORAGE REQUIRED = 0.33 X 67 = 22.11 CY
 COMPOSITE FILTER SOCK PROVIDED = 199 LINEAR FEET (0.04 CU YD PER LF)
 TYPE C SILT FENCE PROVIDED = 67 LINEAR FEET (0.045 CU YD PER LF)
 INLET SEDIMENT TRAP TYPE F PROVIDED = 1 EA (14.02 CU YD PER EA)*
 INLET SEDIMENT TRAP TYPE P PROVIDED = 2 EA (1.34 CU YD PER EA)
 * ONE INLET SEDIMENT TRAP WILL BE EXCAVATED TO PROVIDE ADDITIONAL ONSITE SEDIMENT STORAGE
 SEE DETAILS ON SHEET C-2
 TOTAL STORAGE PROVIDED = 199 X 0.04 + 67 X 0.045 + 1 X 14.02 + 2 X 1.34
 = 27.68 CY > 22.11 CY REQUIRED.

ES&PC Notes:

- THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
- SAND BAG BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
- ALL GRASSING SHALL BE IN ACCORDANCE WITH CHAPTER 6, SECTION II "VEGETATIVE PRACTICES" OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- ALL OTHER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS SAME MANUAL.
- EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RE-TOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
- ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
- TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN TWO WEEKS.
- ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY COBB COUNTY INSPECTORS.
- PERSON RESPONSIBLE FOR EROSION CONTROL MEASURES IS: 24 HOUR EMERGENCY CONTACT: JOE AMSZYNSKI 770-616-7391
- SEDIMENTATION & EROSION CONTROL MEASURES TO BE INSPECTED DAILY.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

Cobb ES&PC Notes:

- EROSION CONTROL PRACTICES MUST COMPLY WITH THE MINIMUM BEST MANAGEMENT PRACTICES FOR EROSION CONTROL. COBB CO. CODE SECT. 50-75, AND SHALL COMPLY WITH THE STANDARDS/SPECIFICATIONS IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- IN CONCENTRATED FLOW AREAS, ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT TEN FEET OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATING OR BLANKET.
- MULCH TEMPORARY VEGETATION ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE.
- DISTURBED AREAS LEFT IDLE FOR 5 DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION (DS2). ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION (DS3) IMMEDIATELY UPON COMPLETION.
- WHEN PLANTING VEGETATION, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING.
- COBB COUNTY LAND DISTURBANCE PERMIT/BUILDING PERMITS MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A COUNTY ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL (770) 528-2134 WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- SEDIMENT/EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.
- THE USE OF POLYMERS (PAMS) IS ACCEPTED AS A BMP AS RECOMMENDED BY THE STATE SOIL & WATER CONSERVATION COMMISSION BMP "GREEN BOOK". COBB COUNTY ALSO REQUIRES THAT POLYMERS USED TO STABILIZE CONSTRUCTION SITES MUST BE USED IN CONJUNCTION WITH MULCHING AND OR HYDRO SEEDING.
- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY COBB COUNTY.
- IF STREAMS ARE ON YOUR SITE, COBB COUNTY WILL REQUIRE THAT THE STREAM BUFFERS BE LEFT UNDISTURBED AND A CONSERVATION EASEMENT OR A RESTRICTIVE COVENANT BE PLACED ON THAT PROPERTY. FOR MORE INFORMATION, PLEASE FEEL FREE TO CONTACT DANA JOHNSON WITH THE PLANNING DIVISION @ 770-528-2139 OR DANA.JOHNSON@COBBCOUNTY.GA.GOV.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

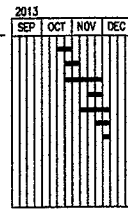
EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR FOR EFFECTIVE EROSION IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ANY DISTURBED AREAS REMAINING IDLE FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.

Construction Activity Schedule

INSTALLATION OF INITIAL EROSION CONTROL MEASURES
 CONSTRUCT S22-HB
 INSTALL NEW BUILDING AND LOADING DOCK
 TEMPORARY GRASSING
 MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES
 FINAL LANDSCAPING, GRASSING, ETC (IF REQUIRED).
 BMP REMOVAL



Vegetation Plan:

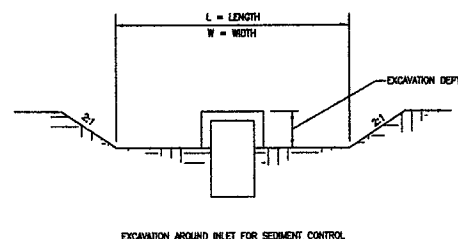
DISTURBED AREA STABILIZATION METHODS & SAMPLES

- DS1** (MULCHING ONLY) - A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL. ON OR BEFORE THE 14TH DAY (OR DS2)
- DS2** (TEMPORARY SEEDING) - ESTABLISH A TEMPORARY VEGETATIVE COVER W/FAST GROWING SEEDS APPLIED TO ROUGH GRADED AREAS THAT WILL BE EXPOSED FOR LESS THAN 6 MONTHS. (THEN DS3)
- DS3** (PERMANENT VEGETATION) - AFTER (30) DAYS ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOO OR LEGUMES. (AND/OR DS4)
- DS4** SOO FOR HIGHLY ERODIBLE OR CRITICALLY ERODED LANDS-ALLOWS IMMEDIATE GROUND COVER REDUCING RUNOFF, EROSION, DUST & SEDIMENT.

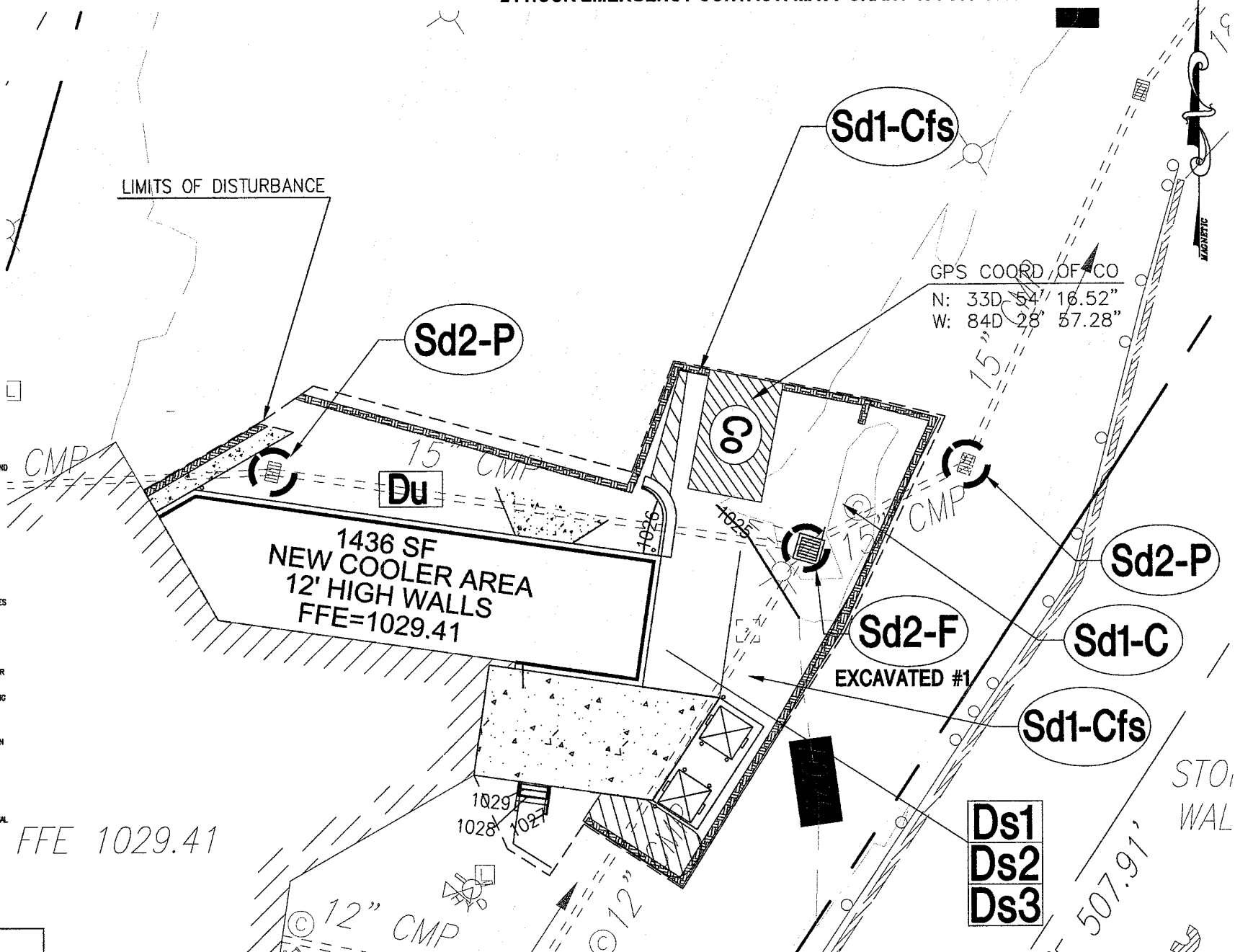
FERTILIZER REQUIREMENTS FOR PERMANENT VEGETATION (lbs)			
TYPES OF SPECIES	PLANTING YEAR	FERTILIZER RATE (lbs./acre)	N TOP DRESSING RATE (lbs./acre)
COOL SEASON GRASSES	FIRST	6-12-12 1500	0-90
	SECOND MAINTENANCE	6-12-12 1000	---
COOL SEASON GRASSES & LEGUMES	FIRST	6-12-12 1500	50-100
	SECOND MAINTENANCE	0-10-10 400	30-100
WARM SEASON GRASSES	FIRST	6-12-12 1500	50
	SECOND MAINTENANCE	6-12-12 800	---
WARM SEASON GRASSES & LEGUMES	FIRST	6-12-12 1500	50-100
	SECOND MAINTENANCE	0-10-10 400	---

NOTES:

- SEE SHEET FOR EXCAVATED Sd-2 CALCULATIONS
- SEDIMENT STORAGE REQUIRED BASED ON 67 CY/AC. SEDIMENT MUST BE REMOVED WHEN SEDIMENT PROTECTION IS COMPLETE AND SUITABLE FILL ADDED TO BERM AREA UP TO SUBGRADE BEFORE APPLYING BASE AND PAVEMENT.
- MAINTENANCE OF THIS EROSION CONTROL PRACTICE TO COMPLY WITH PRACTICES FOUND IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA MOST CURRENT EDITION



EXCAVATED INLET SEDIMENT TRAP Sd2
NOT TO SCALE



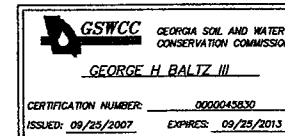
TOTAL SITE ACRES = 226 ACRES
 TOTAL LIMITS OF DISTURBANCE = 0.11 ACRES

TO BE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN

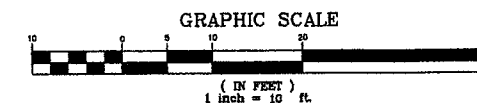
If the EXCAVATED INLET SEDIMENT TRAP is used, show the following information

Structure ID # 1

- Drainage area = 0.21 ac
- Required Sediment Storage = 67cy/ac * drainage area = 14.07 cy = 379.89 cf
- Required sediment storage = 14.07 cy = 379.89 cf
- Assume excavation depth (minimum of 1.5 ft.) = 3 ft
- Determine required surface area
 $SA_{min} = \text{Required sediment storage} / \text{excavation depth}$
 $SA_{min} = 379.89 \text{ cf} / 3 \text{ ft} = 126.63 \text{ sf}$
- Assume shape of excavation and determine dimensions.
 (A rectangular shape with 2:1 length to width ratio is recommended.)
 Shape: Rect
 Dimensions: L = 16 ft W = 8 ft diameter = N/A ft



SIGNED: *George H. Baltz III*
 EXPIRES 9-25-13
 0000045830
 NUMBER



State Waters Statement:

NO WATERS OF THE STATE EXIST ON OR WITHIN 200 FEET OF THE PROJECT SITE. (ONSITE POND IS MAN MADE WITH PERMANENT POOL PIPED TO POND). PROJECT RECEIVING WATERS ARE THE CHATTAHOOCHEE RIVER.

Soil Legend:

Ubp - URBAN LAND AND BORROW PITS

Prepared By:
CRESCENT VIEW ENGINEERING, LLC.
 Acworth, Georgia 30101
 www.crescentvieweng.com

Prepared For
1-800-Flowers
 2365 Windy Hill Road
 Marietta, GA 30067
 404-908-3969

ES&PC Plan		REVISIONS	
DATE	9-9-2012	AS SHOWN	PZ
SCALE		DRAWN	GHB
		CHECKED	

Construction Plans For
1-800-FLOWERS
 Land Lot 804 17th District, 2nd Section
 Cobb County, Georgia

Sheet No.
C-2

APPLICATION OF MULCH

DRY STRAW OR HAY APPLIED TO DEPTH OF 2 - 4 INCHES
WOOD CHIPS, BARK, SHAVINGS APPLIED TO DEPTH OF 2 - 3 INCHES

SPECIES	BROADCAST RATES 1/2-PLS. 2/ PER ACRE	PLANTING DATES BY RESOURCE AREAS	REMARKS	SPECIES	BROADCAST RATES 1/2-PLS. 2/ PER ACRE	PLANTING DATES BY RESOURCE AREAS	REMARKS
BARLEY (HORDEUM VULGARE)	3 bu. (144 lb.) 1/2 bu. (24 lb.)	M-L P	14,000 SEED PER POUND. DENSE COVER. MAY REACH 5 FEET IN HEIGHT. NOT RECOMMENDED FOR MIXTURES.	BAMA PENSACOLA (PASPALUM NOTATUM)	50 bu. 1.1 bu.	M-L P	100,000 SEED PER POUND. QUICK GROWING. SOFT FOLIAGE. NOT RECOMMENDED FOR MIXTURES.
LESPEDEZA ANNUAL (LESPEDEZA STRATA)	40 bu. 0.9 bu.	M-L P	200,000 SEED PER POUND. MAY WINTERKILL FOR SEVERAL YEARS. USE INOCULANT. USE INOCULANT EL.	BAMA MARION (PASPALUM NOTATUM)	50 bu. 1.1 bu.	M-L P	100,000 SEED PER POUND. QUICK GROWING. SOFT FOLIAGE. NOT RECOMMENDED FOR MIXTURES.
LESPEDEZA PERENNIAL (LESPEDEZA CYRILLI)	4 bu. 0.1 bu.	M-L P	1,500,000 SEED PER POUND. LAST FOR SEVERAL YEARS. MIX WITH SERPENTINA LESPEDEZA.	BAMA MARION (PASPALUM NOTATUM)	50 bu. 1.1 bu.	M-L P	100,000 SEED PER POUND. QUICK GROWING. SOFT FOLIAGE. NOT RECOMMENDED FOR MIXTURES.
MILLET, BROWN TOP (PANICUM FASCICULATUM)	40 bu. 0.9 bu.	M-L P	137,000 SEED PER POUND. QUICK GROWING. DENSE COVER. WILL PROMOTE TOO MUCH COMPETITION IN MIXTURES IF SEEDS AT HIGH RATES.	BAMA MARION (PASPALUM NOTATUM)	50 bu. 1.1 bu.	M-L P	100,000 SEED PER POUND. QUICK GROWING. SOFT FOLIAGE. NOT RECOMMENDED FOR MIXTURES.

TEMPORARY GRASSING

NOT TO SCALE

Ds2

DUST CONTROL ON DISTURBED AREAS

SITE MUST BE CONTROLLED TO PREVENT SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION AREAS. CONTRACTOR SHALL UTILIZE ADDITIONAL MEASURES TO CONTROL DUST AS REQUIRED - TEMPORARY METHODS: Ds1-MULCHING, T-JACKERS AND BINDERS, Ds2-TEMPORARY SEEDING, SPRAY ON ADHESIVES, IRRIGATION PERMANENT METHODS: Ds3-PERMANENT VEGETATION, Ds4-SODDING

Du

SPECIES	BROADCAST RATES 1/2-PLS. 2/ PER ACRE	PLANTING DATES BY RESOURCE AREAS	REMARKS	SPECIES	BROADCAST RATES 1/2-PLS. 2/ PER ACRE	PLANTING DATES BY RESOURCE AREAS	REMARKS
BAMA PENSACOLA (PASPALUM NOTATUM)	50 bu. 1.1 bu.	M-L P	100,000 SEED PER POUND. QUICK GROWING. SOFT FOLIAGE. NOT RECOMMENDED FOR MIXTURES.	BAMA PENSACOLA (PASPALUM NOTATUM)	50 bu. 1.1 bu.	M-L P	100,000 SEED PER POUND. QUICK GROWING. SOFT FOLIAGE. NOT RECOMMENDED FOR MIXTURES.
BAMA MARION (PASPALUM NOTATUM)	50 bu. 1.1 bu.	M-L P	100,000 SEED PER POUND. QUICK GROWING. SOFT FOLIAGE. NOT RECOMMENDED FOR MIXTURES.	BAMA MARION (PASPALUM NOTATUM)	50 bu. 1.1 bu.	M-L P	100,000 SEED PER POUND. QUICK GROWING. SOFT FOLIAGE. NOT RECOMMENDED FOR MIXTURES.
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PERMANENT GRASSING

NOT TO SCALE

Ds3

CURB INLET FILTER

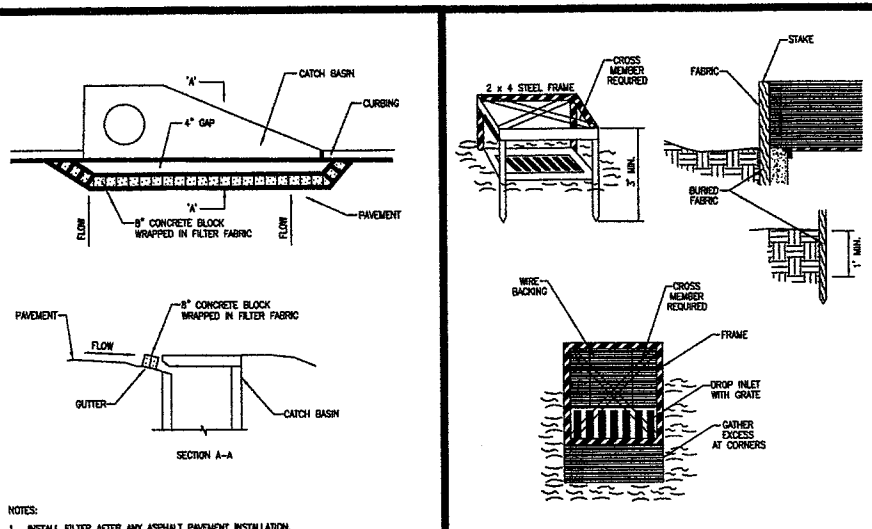
NOT TO SCALE

Sd2-P

INLET SEDIMENT TRAP

NOT TO SCALE

Sd2-F



NOTES:
1. INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION.

FERTILIZER REQUIREMENTS

TOP OF SPECIES	YEAR	ANALYSIS OF SOIL/PLANT	RATE	N PRESSINGS RATE
1. COOL SEASON GRASSES	FIRST SEEDING	6-12-12	1000 lb./ac.	50
	MAINTENANCE	10-10-10	400 lb./ac.	10-50 lb./ac. 1/2
2. COOL SEASON GRASSES AND LEGUMES	FIRST SEEDING	6-12-12	1000 lb./ac.	50
	MAINTENANCE	10-10-10	400 lb./ac.	10-50 lb./ac. 1/2
3. WARM SEASON GRASSES	FIRST SEEDING	10-10-10	1300 lb./ac. 3/4	50
	MAINTENANCE	10-10-10	1100 lb./ac.	10-50 lb./ac. 1/2
4. PINE SEEDING	FIRST SEEDING	20-10-5	ONE 21-GRAM PELLET PER SEEDLING PLACED IN THE CLOSING HOLE	
5. SHRUB LESPEDEZA	FIRST SEEDING	6-12-12	700 lb./ac.	30
	MAINTENANCE	10-10-10	400 lb./ac.	10-50 lb./ac. 1/2
6. TEMPORARY COVER CROPS SOILED ALONE	FIRST SEEDING	10-10-10	500 lb./ac.	30 lb./ac. 5/8
7. WARM SEASON GRASSES	FIRST SEEDING	6-12-12	1500 lb./ac.	50-100 lb./ac. 2/3
	MAINTENANCE	10-10-10	800 lb./ac.	10-50 lb./ac. 1/2
8. WARM SEASON GRASSES AND LEGUMES	FIRST SEEDING	6-12-12	1500 lb./ac.	50
	MAINTENANCE	10-10-10	1000 lb./ac.	10-50 lb./ac. 1/2

1) APPLY IN SPRING FOLLOWING SEEDING.
2) APPLY IN SPLIT APPLICATIONS WHEN HIGH RATES ARE USED.
3) APPLY IN 3 SPLIT APPLICATIONS.
4) APPLY WHEN PLANTS ARE TREED.
5) APPLY TO GRASS SPECIES ONLY.
6) APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

LINE APPLICATION REQUIREMENT - 2 TONS/ACRE

50% PASS THROUGH 10 - MESH SIEVE
25% PASS THROUGH 20 - MESH SIEVE
25% PASS THROUGH 30 - MESH SIEVE

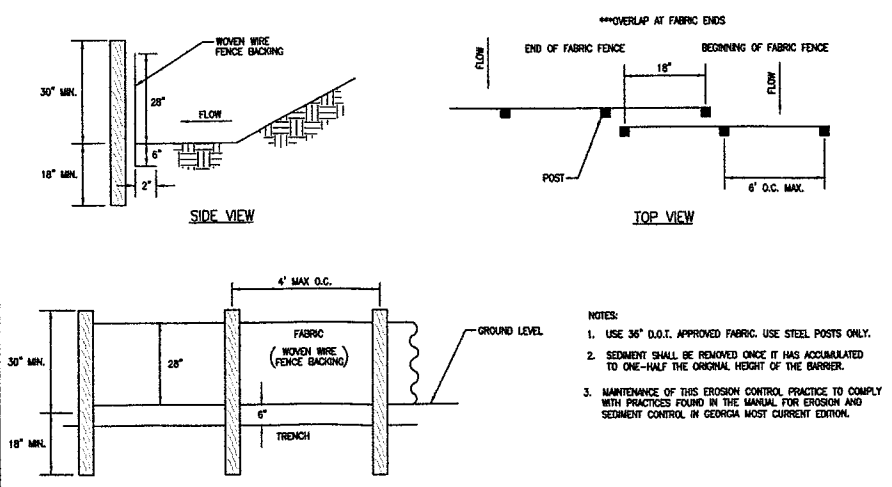
FERTILIZERS

NOT TO SCALE

CONSTRUCTION EXIT

NOT TO SCALE

Co



TYPE 'C' SILT FENCE

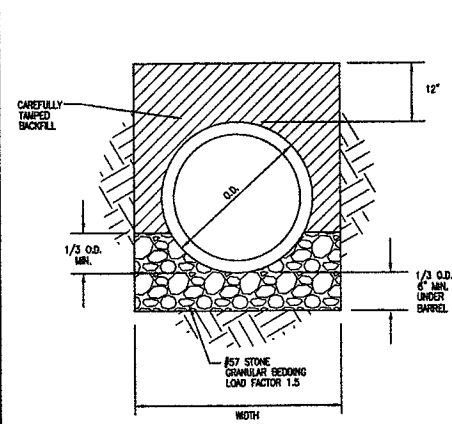
NOT TO SCALE

Sd1-C

LIGHT DUTY ASPHALT PAVING & CURB (6-2-1)

NOT TO SCALE

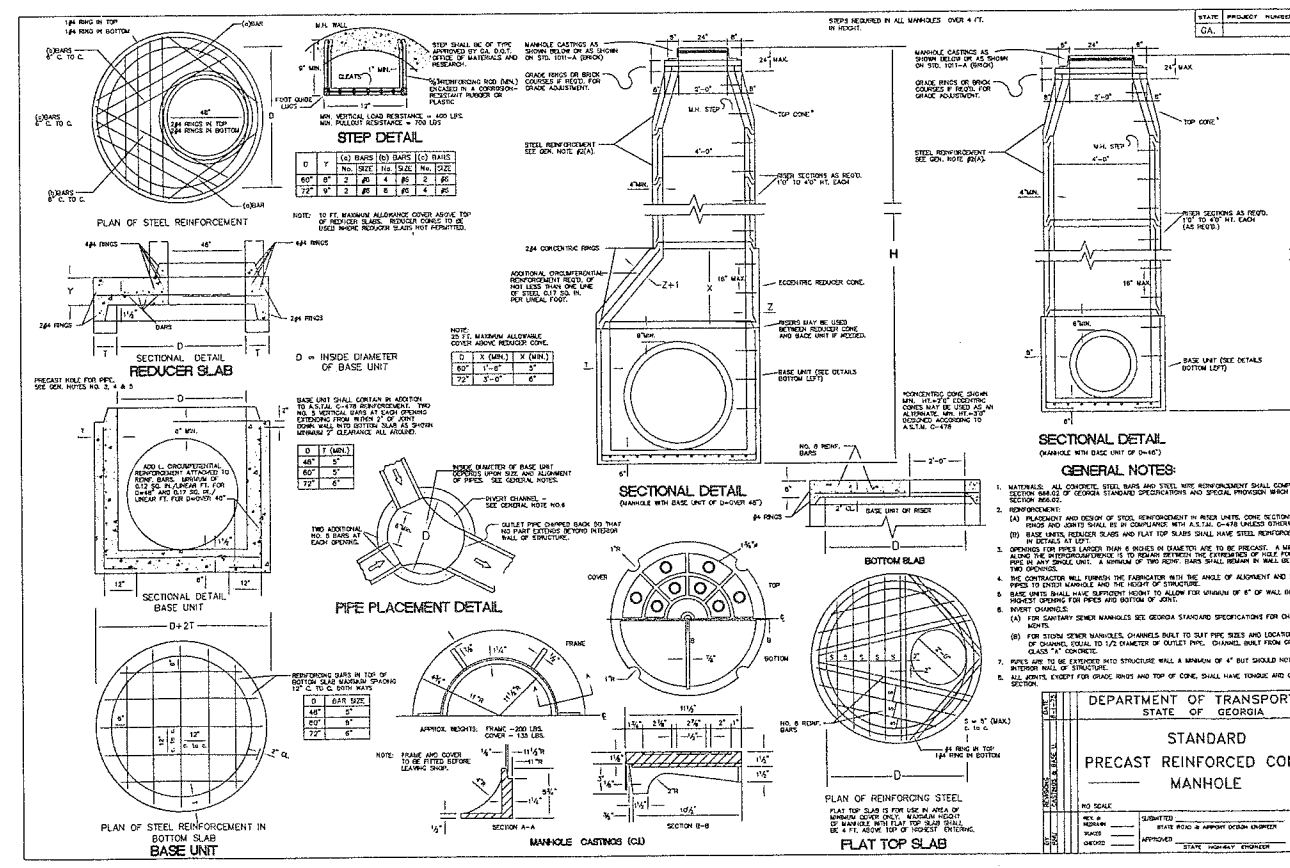
1



CLASS 'C' PIPE BEDDING

NOT TO SCALE

2



DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA

STANDARD PRECAST REINFORCED CONCRETE MANHOLE

NO SCALE

1011-A

PRECAST

Prepared By:
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Marietta, GA 30067
404-905-3996

Site & Erosion Details

DATE	SCALE	DRAWN	CHECKED
12-31-2012	AS SHOWN	GHB	GHB



Construction Plans For
1-800-Flowers
Land Lot 804 17th District, 2nd Section
Cobb County, Georgia

Sheet No.
C-3