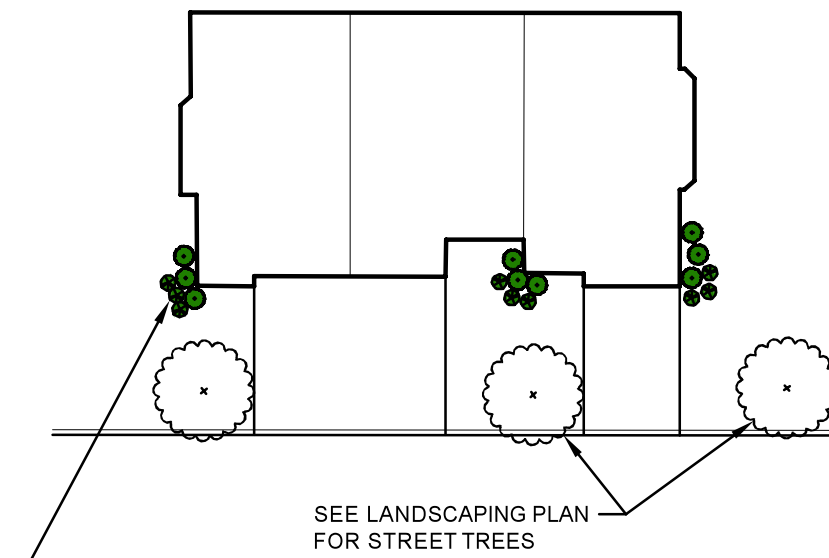


LEGEND

- PROJECT PERIMETER PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED BUILDING ENVELOPE
- PROPOSED SEWER
- WETLAND BOUNDARY (L&D)
- 50' WETLAND BUFFER (L&D)
- WETLAND BOUNDARY (V&B)
- WETLAND BUFFER (V&B)
- STREAM
- EXISTING TREE LINE
- EXISTING GROUND CONTOUR

TREE AND SHRUB PLANTING SPECIFICATIONS

- ALL PLANT MATERIALS SHALL CONFORM TO THE INTERNATIONAL SOCIETY OF ARBORICULTURE PRINCIPALS AND PRACTICES OF PLANTING TREES AND SHRUBS, AND THE MOST RECENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1.
- ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN APRIL 1ST AND JUNE 30TH, NO PLANTING SHALL BE DONE WHEN THERE IS SNOW COVER, FROZEN GROUND OR UNSATISFACTORY WEATHER CONDITIONS. SOME PLANTINGS CAN OCCUR BETWEEN AUGUST 1ST AND SEPTEMBER 30TH WITH APPROVAL BY THE ENGINEER PRIOR TO PLANTING. IF SPECIAL CONDITIONS EXIST THAT WARRANT A VARIANCE FROM THESE PLANTING TIMES, A WRITTEN REQUEST SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO PLANTING ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE GUARANTEE PERIOD.
- ALL PLANTS SHALL HAVE A PRELIMINARY INSPECTION BY THE ENGINEER AT THE TIME OF DELIVERY. PLANTS THAT HAVE DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUN SCALD, INSECT DAMAGE, DISFIGURING KNOTS, OR CUTS OF LIMBS GREATER THAN 3/4" WILL BE REJECTED. PLANTS WITH EXCESSIVE SOIL ON TOP OF THE ROOT FLARE AND/OR MINIMAL ROOT BALL WILL BE REJECTED.
- ALL PLANTS THAT ARE TEMPORARILY STORED IN DESIGNATED AREAS ON SITE UNTIL READY FOR INSTALLATION SHALL BE PROTECTED FROM THE SUN AND DRYING WINDS. ALL PLANT ROOT BALLS SHALL BE KEPT SHADED AND PROTECTED WITH SOIL, SHREDDED HARDWOOD MULCH OR OTHER ACCEPTABLE MATERIAL AND REGULARLY WATERED.
- PRIOR TO INSTALLATION OF LANDSCAPE PLANTINGS, CONTRACTOR SHALL DETERMINE WHERE EXISTING UNDERGROUND UTILITIES ARE LOCATED TO AVOID INTERFERENCE.
- DO NOT PRUNE SHRUBS EXCEPT FOR DEAD OR CRUSHED ROOTS AND DEAD OR INJURED BRANCHES.
- EACH SHRUB AND PERENNIAL MUST BE PLANTED SUCH THAT THE ROOT FLARE AND MAIN ORDER ROOTS ARE VISIBLE AT THE TOP OF THE ROOT BALL, WHERE THE MAIN ORDER ROOTS ARE NOT VISIBLE, EXCESS SOIL SHALL BE REMOVED TO LOCATE THEM. PLANT SHRUBS AND PERENNIALS SO THAT THE MAIN ORDER ROOTS ARE AT FINISHED GRADE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL OR MORE THAN 1" OF MULCH.
- EXAMINE EVERY TREE AND SHRUB AND REMOVE ALL NURSERY TAGS, TREE WRAP, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
- CUT AND COMPLETELY REMOVE WIRE MESH BASKET, ROPE, AND BURLAP WRAP AFTER PLACEMENT IN PLANTING PIT.
- WATER ALL TREES AND SHRUBS THOROUGHLY ONCE PLANTED TO PULL SOIL AGAINST ROOT BALL AND SETTLE AIR POCKETS. ADDITIONAL SOIL MAY BE NEEDED. WATER AGAIN TO ENSURE COMPLETE COMPACTION. RE-SET SETTLED ROOTS TO PROPER GRADE AND POSITION. RESTORE ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
- ONCE ALL TREES AND SHRUBS HAVE BEEN INSTALLED, PLACE A LAYER OF SHREDDED HARDWOOD MULCH AS SHOWN IN THE DETAIL. NO DYED MULCH WILL BE ACCEPTED.
- THE MINIMUM WATERING INTERVAL DURING THE WARRANTY PERIOD SHALL BE TWICE WEEKLY. TREES SHALL RECEIVE A MINIMUM OF 10 GALLONS AND SHRUBS SHALL RECEIVE A MINIMUM OF 5 GALLONS.
- CORRECTIVE WORK SHALL OCCUR AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER PERMITS.
- ALL TREES AND SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL PLANTINGS AND SHALL INCLUDE PRUNING, WEEDING, AND WATERING NECESSARY TO MAINTAIN PLANTS IN GOOD HEALTH AND FREE OF INSECTS AND DISEASE UNTIL FINAL ACCEPTANCE.



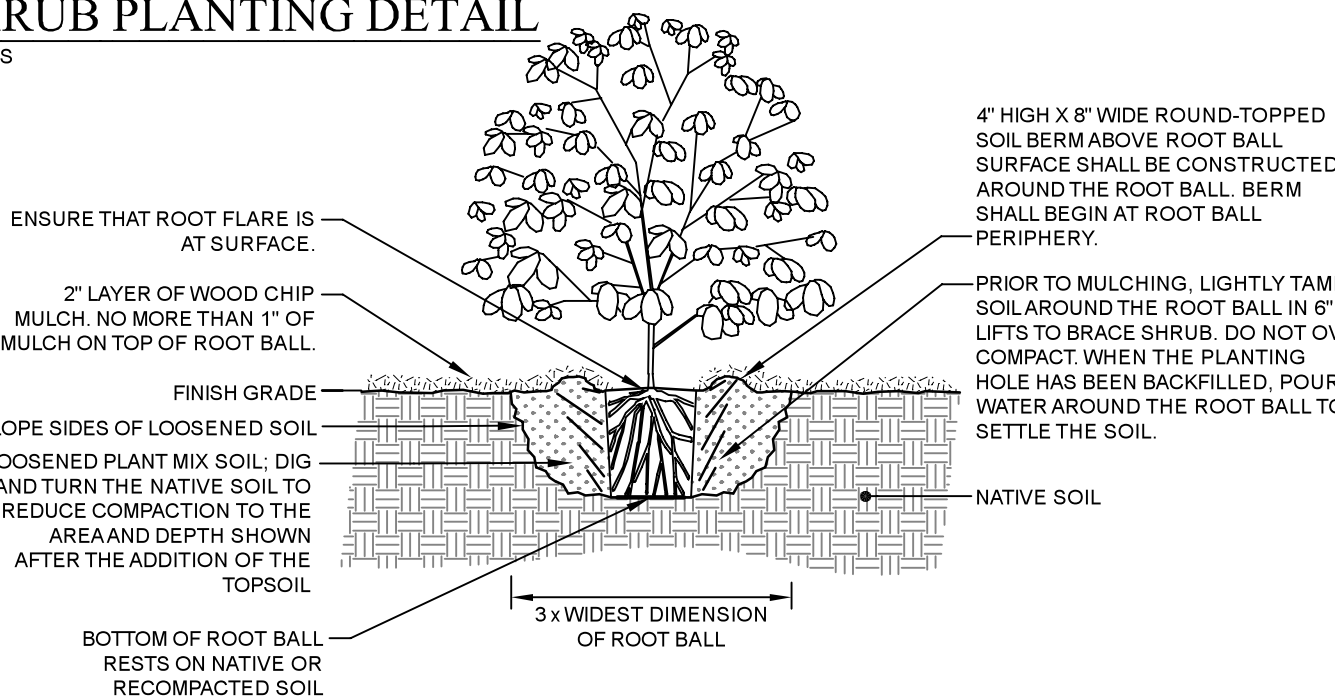
TYPICAL PLANTING PLAN FOR MULTI-FAMILY BUILDINGS

NTS

THIS IS THE TYPICAL PLANTING PLAN FOR THE MULTI FAMILY BUILDING. PLANTS MAY BE ADJUSTED IN THE FIELD DURING PLANTING. PLANTS MAY BE SUBSTITUTED USING SIMILAR SPECIES IDENTIFIED IN THE PLANT LIST ON THIS SHEET.

SHRUB PLANTING DETAIL

NTS



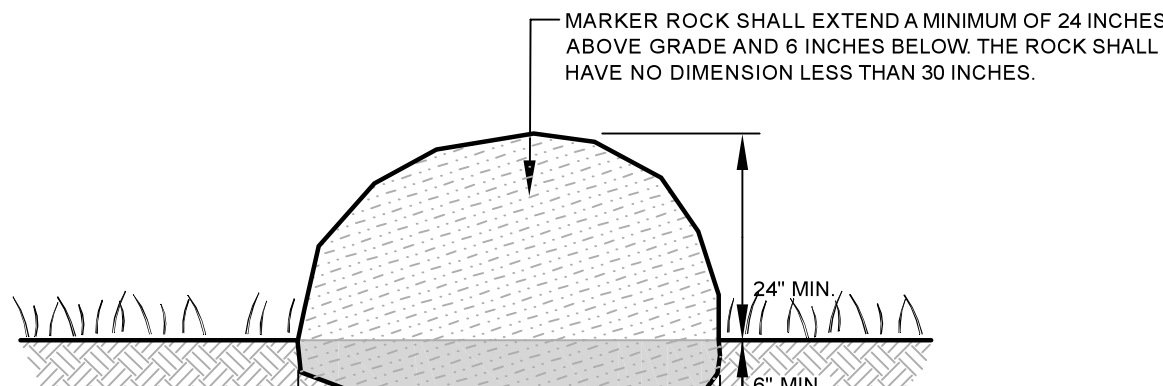
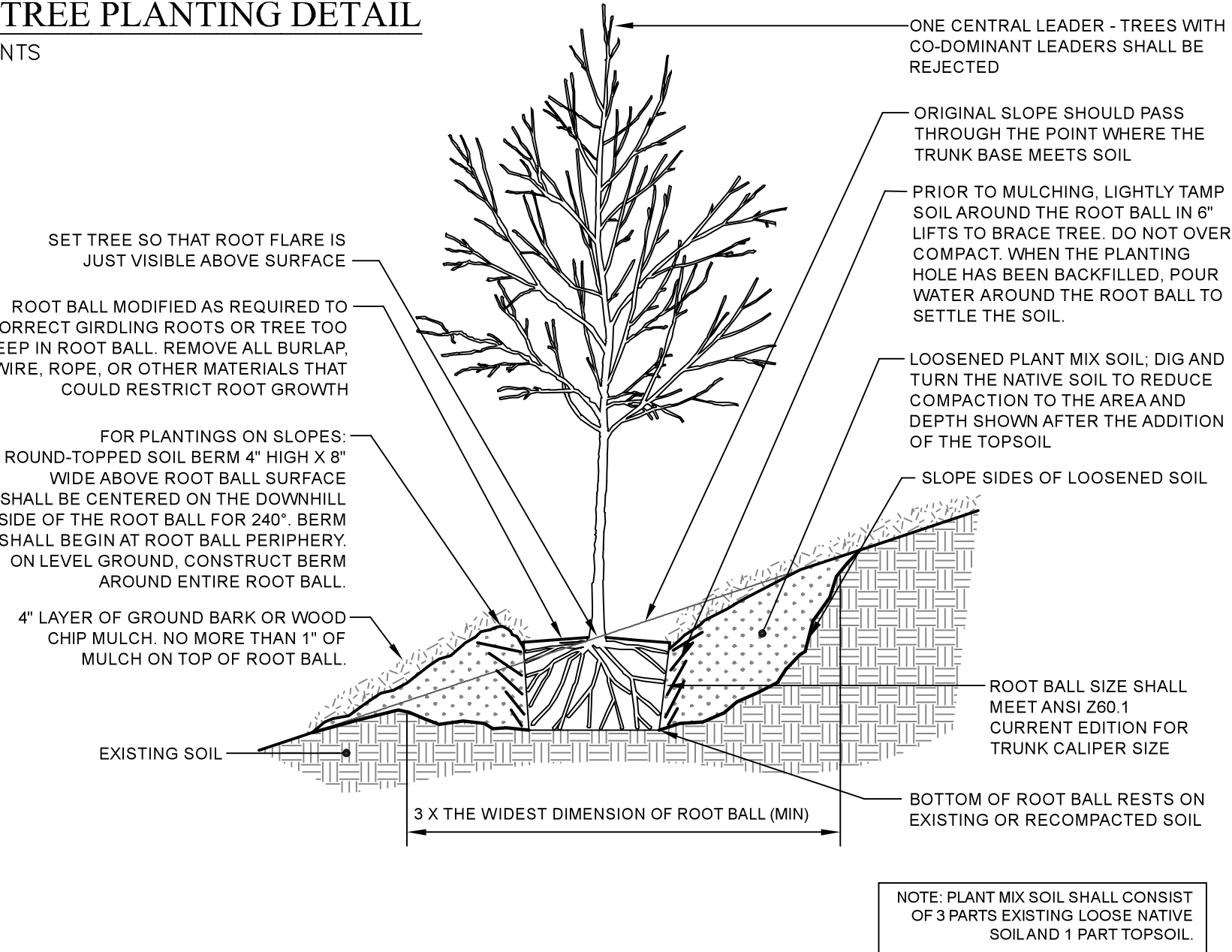
PLANTING SCHEDULE

Key	Botanical Name	Common Name	Size	Quantity	Remarks
<strong>Large Trees</strong>					
At	<i>Acer x freemanii</i> 'Sienna Glen'	Freeman Maple	2 1/2" caliper	7	B&B, container
Bn	<i>Betula nigra</i> 'Heritage'	River Birch	2 1/2" caliper	7	B&B, container
Co	<i>Celtis occidentalis</i> 'Prairie Pride'	Common Hackberry	2 1/2" caliper	9	B&B, container
Gd	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	2 1/2" caliper	9	B&B, container
Gt	<i>Gleditsia triacanthos</i> 'Shademaster'	Honeylocust	2 1/2" caliper	8	B&B, container
Qr	<i>Quercus rubra</i>	Northern Red Oak	2 1/2" caliper	8	B&B, container
Tt	<i>Tilia tomentosa</i> 'Green Mountain'	Silver Linden	2 1/2" caliper	6	B&B, container
Ua	<i>Ulmus americana</i> 'Valley Forge'	American Elm	2 1/2" caliper	6	B&B, container
<strong>Small Trees</strong>					
Ac	<i>Amelanchier canadensis</i> 'Traditional'	Shadblow Serviceberry	2" caliper	3	B&B, container
Calt	<i>Cornus alternifolia</i>	Pagoda Dogwood	2" caliper	2	B&B, container
He	<i>Halesia carolina</i>	Carolina Silverbell	2" caliper	1	B&B, container
Jv	<i>Juniperus virginiana</i> 'Canaert'	Eastern Red Cedar	48" height	6	B&B, container
To	<i>Thuja occidentalis</i> 'Smaragd'	Northern White Cedar	48" height	6	B&B, container
Vp	<i>Viburnum prunifolium</i>	Blackhaw	2" caliper	3	B&B, container
<strong>Shrubs</strong>					
Aa	<i>Aronia arbutifolia</i> 'Brilliantissima'	Red Chokeberry	18" to 24" Height	5	Container
Ca	<i>Corylus americana</i>	American Hazelnut	18" to 24" Height	5	Container
Cs	<i>Cornus sericea</i> 'Cardinal'	Red Osier Dogwood	18" to 24" Height	6	Container
Ivf	<i>Ilex verticillata</i> 'Winter Red'	Winterberry (female)	18" to 24" Height	14	Container
Ivm	<i>Ilex verticillata</i> 'Southern Gentleman'	Winterberry (male)	18" to 24" Height	2	Container
Po	<i>Physocarpus opulifolius</i> 'Center Glow'	Common Ninebark	18" to 24" Height	10	Container
Vd	<i>Viburnum dentatum</i>	Northern Arrowwood	18" to 24" Height	3	Container

- NOTES
- Unless a cultivar is designated, plants shall be the species.
  - Trees shall be single-stemmed.
  - Reject trees with co-dominant leaders.
  - The lowest branching height for trees to be planted near pavement or sidewalks shall be 6 ft above the root flare. Trees shall be selected at the nursery to comply with branching requirements without the need for pruning.

TREE PLANTING DETAIL

NTS



BOULDERS SHALL BE INSTALLED ALONG THE EDGE OF THE CLASS 2 WETLAND BUFFER/WATERSHED PROTECTION BUFFER AT A MAXIMUM SPACING OF 50 FEET

WATERSHED PROTECTION BUFFER DEMARCATION  
N.T.S.

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw, and all conditions imposed on the approval of Discretionary Permit #DP 19-11, the Williston Zoning Administrator approved the final plans on the \_\_\_\_ day of \_\_\_\_\_, 2020.

11-19-19	REVISED LOTS 3-6 & 8 AND MOVED TREES	DJG
08-23-19	ADDED WATERSHED BUFFER DEMARCATION DETAIL	NDS
03-06-19	CREATE LANDSCAPING PLAN	BJT
Date	Revision	By

These plans shall only be used for the purpose shown below:

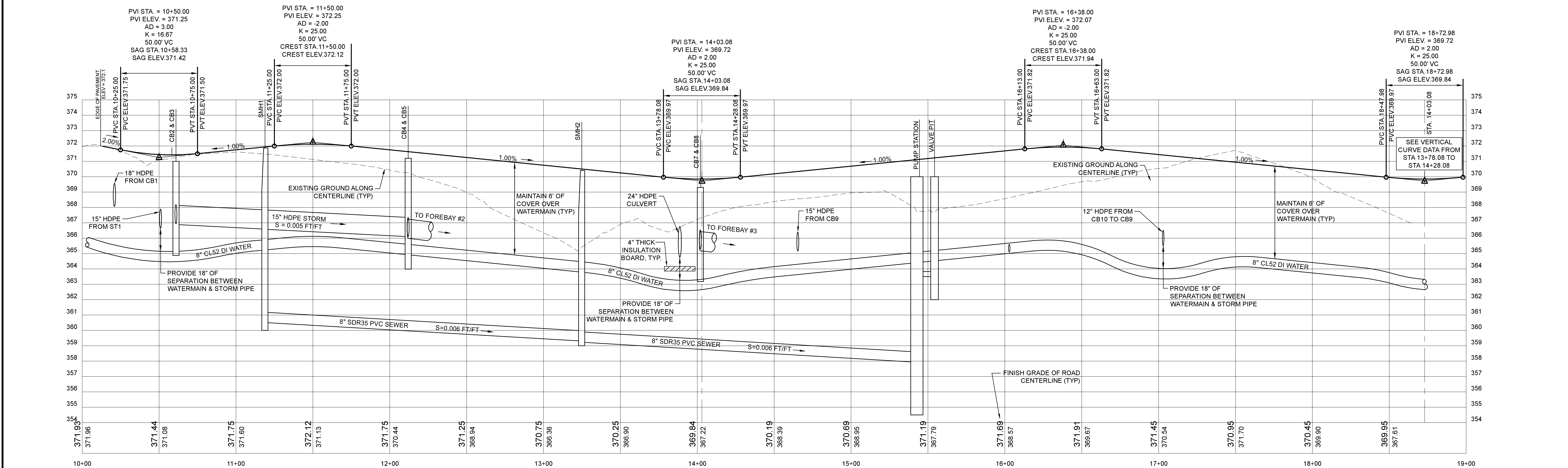
- |   |   |
|---|---|
| <input type="checkbox"/> Sketch/Concept   | <input type="checkbox"/> Act 250 Review |
| <input type="checkbox"/> Preliminary      | <input type="checkbox"/> Construction   |
| <input checked="" type="checkbox"/> Final | <input type="checkbox"/> Record Drawing |

Adams Real Properties, LLC  
Proposed Mixed Use/Open Space Development  
700 Mountain View Road Williston, Vermont

LANDSCAPING PLAN, DETAILS & SPECIFICATIONS

Lamoureux & Dickinson  
Consulting Engineers, Inc.  
14 Morse Drive, Essex, VT 05452  
802-878-4450 www.LDengineering.com

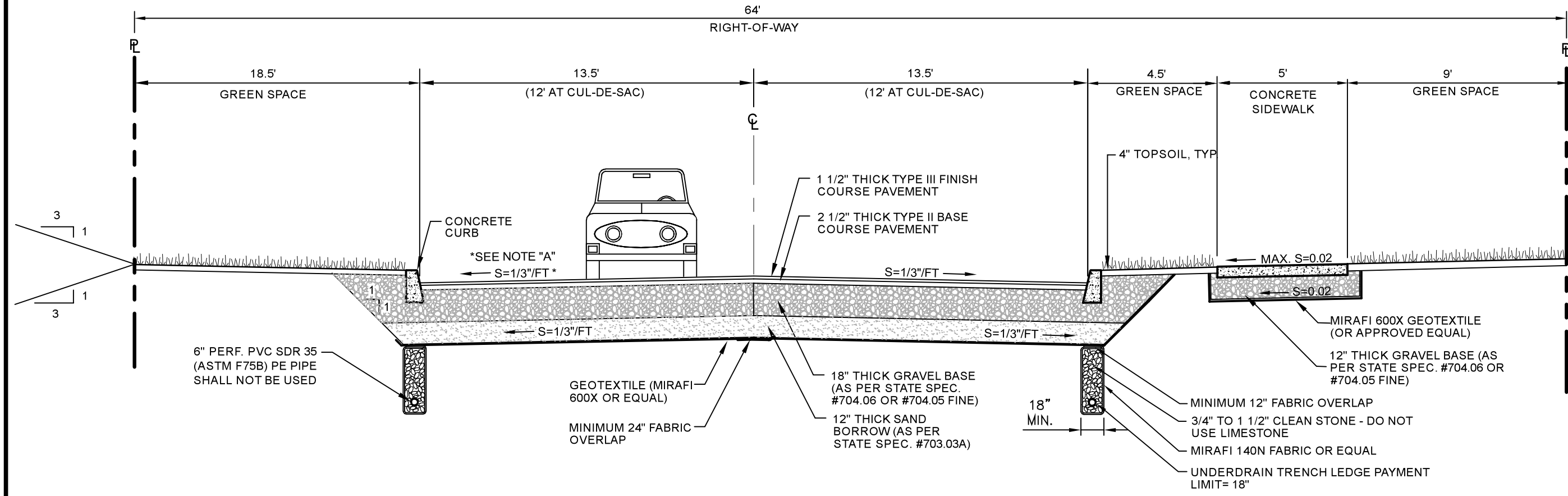
Project No. 18016  
Survey  
Design DJG/BJT  
Drawn DJG/BJT  
Checked ABR  
Date 4/15/19  
Scale AS SHOWN  
Sheet number



ROAD PROFILE

1" = 30' HORIZ.

1" = 3' VERT.



64' WIDE TYPICAL PRIVATE ROAD SECTION

NTS

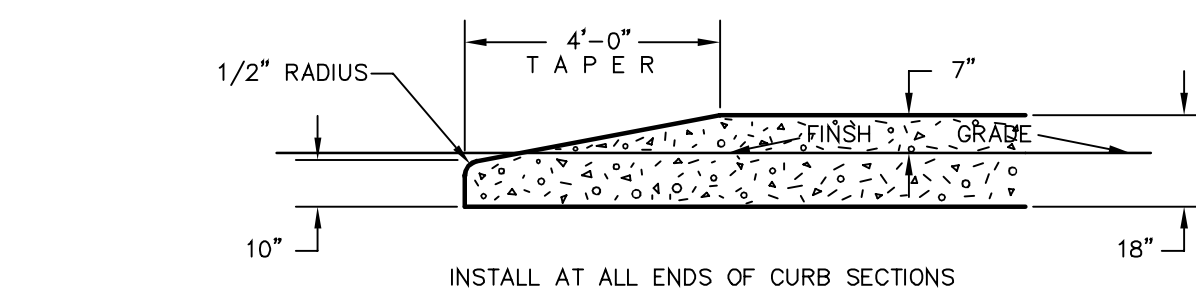
NOTE "A" - THE ROAD GRADING AROUND THE CUL-DE-SAC SHALL BE SUPERELEVATED AT 1/3" FT TOWARD THE INSIDE OF THE CUL-DE-SAC.

TYPICAL STREET CROSS-SECTION NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN PUBLIC WORKS SPECIFICATIONS, THE 2011 VERMONT STATE STANDARD SPECIFICATIONS FOR CONSTRUCTION, AND THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
- EMULSION WILL BE PLACED ON THE FACE OF THE CURB WHERE IT WILL BE IN CONTACT WITH THE PAVEMENT.
- EMULSION WILL BE PLACED BETWEEN THE BASE AND FINISH COATS OF PAVEMENT WHEN THE FINISH COURSE IS NOT PLACED IMMEDIATELY AFTER THE BASE COURSE PLACEMENT.
- THE STREET FINISH GRADE SHALL HAVE A MINIMUM SLOPE OF 0.5%
- WHERE LEDGE EXISTS IT SHALL BE SHATTERED TO A MINIMUM OF 2'-6" BELOW SUBGRADE.
- YELLOW OR ORANGE WARNING TAPE SHALL BE BURIED 15" ABOVE ALL GAS, ELECTRIC, TELEPHONE AND T.V. LINES
- PRIOR TO INSTALLING THE UNDERDRAINS, THE FABRIC AND GRAVEL, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR INSPECTION OF THE SUBGRADE SOILS. THE CONTRACTOR SHALL FURNISH A LOADED DUMP TRUCK FOR TRAVELING ON THE SUBGRADE WHEN THE ENGINEER PERFORMS THE INSPECTION. THE CONTRACTOR SHALL OVER-EXCAVATE UNSUITABLE SOILS AND ADD ADDITIONAL SAND BASE AS REQUESTED BY THE ENGINEER.
- PRIOR TO PLACEMENT OF SAND BORROW OR GRAVEL BASE MATERIALS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER A GRADATION ANALYSIS FOR EACH MATERIAL SOURCE TO BE USED DEMONSTRATING COMPLIANCE WITH THE REQUIRED SPECIFICATION. THIS GRADATION ANALYSIS SHALL BE REPRESENTATIVE OF THE MATERIAL TO BE USED. SUBSEQUENT SAMPLES SHALL BE TAKEN FROM ON-SITE MATERIAL IN PLACE FOR GRADATION ANALYSIS BY THE ENGINEER.
- ALL PAVEMENT MARKINGS ON PUBLIC STREETS SHALL BE DURABLE MARKINGS (3M TAPE). TEMPORARY PAINT MARKINGS SHALL BE PROVIDED ON BASE COURSE PAVEMENT.

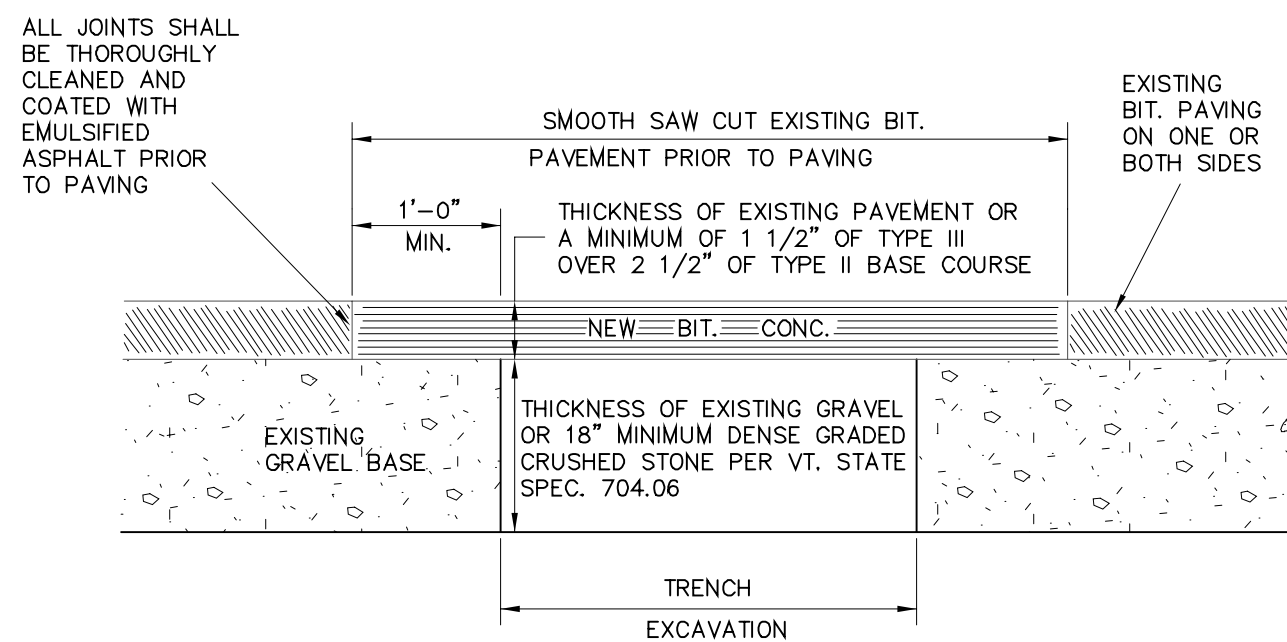
LEDGE REMOVAL SPECIFICATIONS

- ALL LEDGE BLASTING AND REMOVAL WORK SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL EXCAVATE ROCK, IF ENCOUNTERED, TO THE LINES AND GRADES INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER, PROPERLY DISPOSE OF THE ROCK AND BACKFILL WITH ACCEPTABLE MATERIAL. ROCK IN PIPE TRENCHES SHALL BE EXCAVATED SO AS NOT TO BE LESS THAN SIX INCHES FROM THE BOTTOM OF THE PIPE AFTER IT HAS LAD.
- ROCK EXCAVATION SHALL MEAN BOULDERS EXCEEDING ONE CUBIC YARD IN VOLUME OR SOLID LEDGE ROCK, WHICH, IN THE OPINION OF THE ENGINEER, REQUIRES ITS REMOVAL DRILLING AND BLASTING, WEDGING, SLEDGING, OR BARRING. NO HARDPAN, SOFT, OR DISINTEGRATED ROCK WHICH CAN BE REMOVED WITH A PICK; LOOSE, SHAKEN, OR PREVIOUSLY BLASTED ROCK OR BROKEN STONE SMALLER THAN ONE CUBIC YARD IN ROCKFILLING OR ELSEWHERE, AND NO ROCKS EXTERIOR TO THE MAXIMUM LIMITS OF EXCAVATIONS BY THE APPROVED BY THE ENGINEER WHICH MAY FALL INTO THE TRENCH OR OTHER EXCAVATIONS, WILL BE MEASURED OR ALLOWED AS ROCK EXCAVATION.
- IN ROCK EXCAVATION, IT IS ESPECIALLY REQUIRED THAT BLASTING SHALL BE CONDUCTED WITH ALL POSSIBLE CARE SO AS TO AVOID INJURY TO PERSONS AND PROPERTY; THAT ROCK SHALL BE WELL COVERED WITH EFFECTIVE APPLIANCES; THAT SUFFICIENT WARNING SHALL BE GIVEN TO ALL PERSONS IN THE VICINITY OF WORK BEFORE BLASTING; THAT CARE SHALL BE TAKEN TO AVOID INJURY TO WATER PIPES, GAS PIPES, SEWERS, DRAINS, OR OTHER STRUCTURES; AND THAT CAPS OR OTHER PRIMERS SHALL NOT BE KEPT IN THE SAME PLACE WHERE DYNAMITE OR OTHER EXPLOSIVES ARE STORED.
- THE CONTRACTOR SHALL OBSERVE ALL LAWS AND ORDINANCES RELATING TO STORAGE AND HANDLING OF EXPLOSIVES.



TYPICAL TAPERED CURB

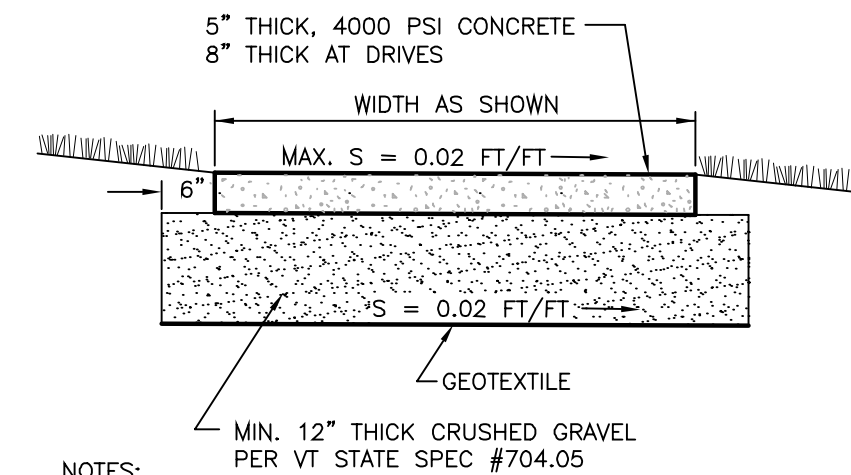
NTS



- SET UP AND MAINTAIN SIGNS AND OTHER SAFETY CONTROL DEVICES IN ACCORDANCE WITH VTRANS E-STANDARDS AND THE MUTCD.
- RESHAPE HOLE AND PATCH AREA BY CUTTING WITH CONCRETE SAW INTO A SQUARE OR RECTANGULAR SHAPE. CUT SIDE FACES VERTICALLY. RESHAPE DOWNWARD TO SOLID MATERIAL AND AROUND HOLE TO SOLID PAVEMENT.
- BACKFILL TRENCH IN 6" LIFTS AND COMPACT EACH LIFT TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR.
- REMOVE ALL LOOSE MATERIAL AND THOROUGHLY SWEEP THE HOLE AREA CLEAN OF MUD AND STANDING WATER.
- APPLY LIQUID EMULSION (RS-1) TO VERTICAL FACES IN A UNIFORM MANNER. DO NOT PUDDLE EMULSION ON BOTTOM OF THE HOLE.
- PLACE TYPE II BASE COURSE PAVEMENT A MINIMUM OF 2 1/2" THICK.
- FILL TOP OF HOLE WITH TYPE III BITUMINOUS CONCRETE AND COMPACT IN LIFTS OF NO MORE THAN 2". FINAL LIFT SHOULD BE 1/2" TO 1" ABOVE ADJOINING PAVEMENT BEFORE COMPACTION SO THAT AFTER COMPACTION THE PATCH IS LEVEL WITH THE EXISTING PAVEMENT. EACH LIFT SHOULD BE THOROUGHLY COMPACTED WITH A VIBRATORY PLATE COMPACTOR OR A VIBRATORY PORTABLE ROLLER. HAND TAMP SHOULD ONLY BE USES FOR SMALL AREAS (LESS THAN 1 S.F.).
- CLEAN UP AREA. DO NOT LEAVE EXCESS FILL OR EXCAVATED MATERIAL ON THE PAVEMENT. REMOVE SAFETY SIGNS AND DEVICES.

REPLACEMENT of EXISTING BITUMINOUS PAVEMENT

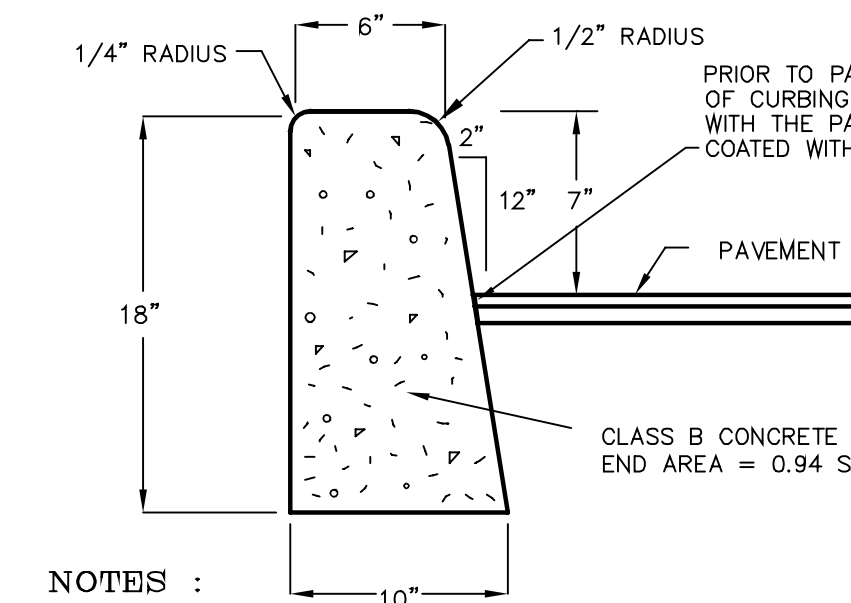
NTS



- NOTES:
- CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 4,000 PSI AT 28 DAYS, AIR ENTRAINED WITH AN ADMIXTURE PRODUCING AN AIR CONTENT OF BETWEEN 5% AND 7% BY VOLUME.
  - HALF INCH (1/2") TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT EXCEEDING TWENTY FEET (20'). SIDEWALKS SHALL BE SCORED TO A DEPTH OF ONE INCH (1") EVERY FIVE (5) FEET. CURB AND SIDEWALK SECTIONS SHALL BE SEPARATED BY ASPHALT TREATED FELT.
  - AFTER THE INITIAL CURING PERIOD IS OVER (APPROXIMATELY 28 DAYS), ALL EXPOSED SURFACES SHALL RECEIVE TWO COATS OF ANTI-SPALLING COMPOUND.

CONCRETE SIDEWALK DETAIL

N.T.S.

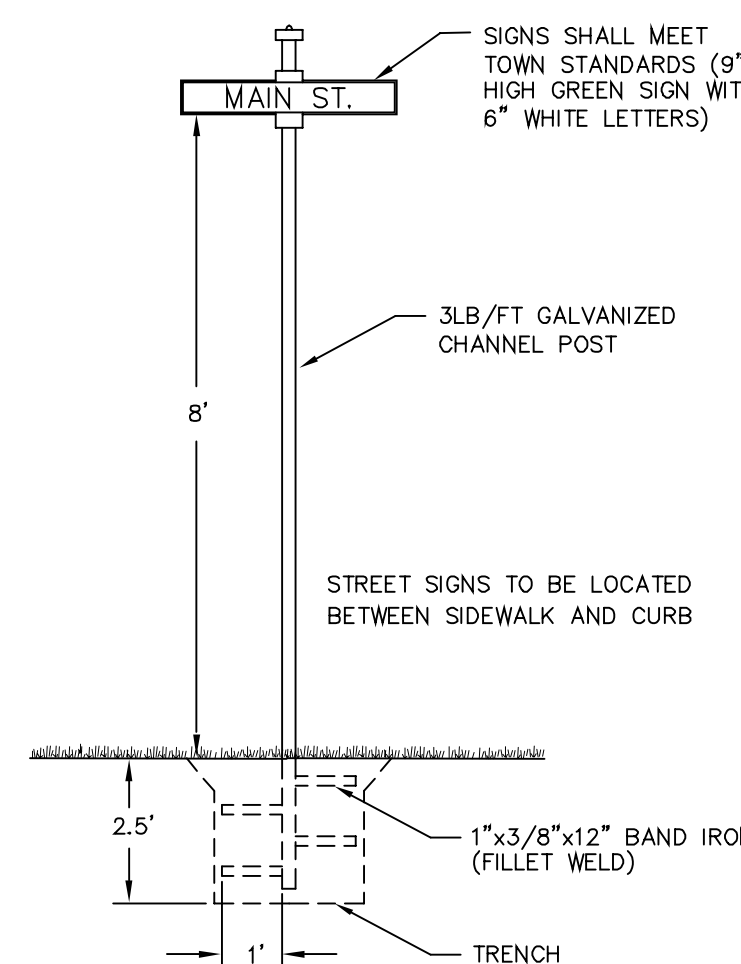


NOTES :

- CURBING SHALL BE CONSTRUCTED IN 10' SECTIONS WITH 1/8" JOINT BETWEEN SECTIONS.
- CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' AND SHALL BE CONSTRUCTED OF MATERIAL CONFORMING TO AASHTO DESIGNATION M-153 ( 1/2" SPONGE RUBBER OR CORK. )
- ALL EXPOSED CONCRETE CURB SHALL RECEIVE TWO COATS OF ANTI-SPALLING COMPOUND AFTER THE INITIAL CURING PERIOD (APPROXIMATELY 28 DAYS)

CONCRETE CURB

NTS



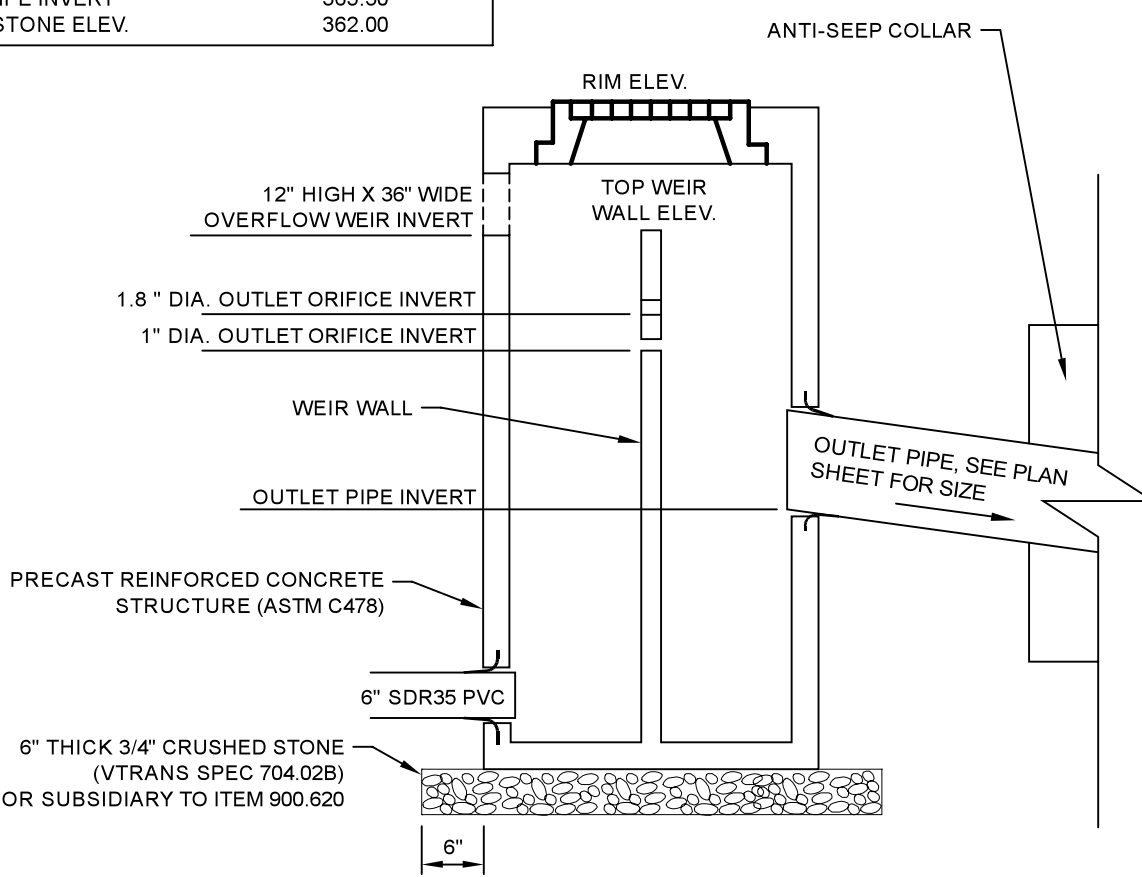
STREET NAME SIGN

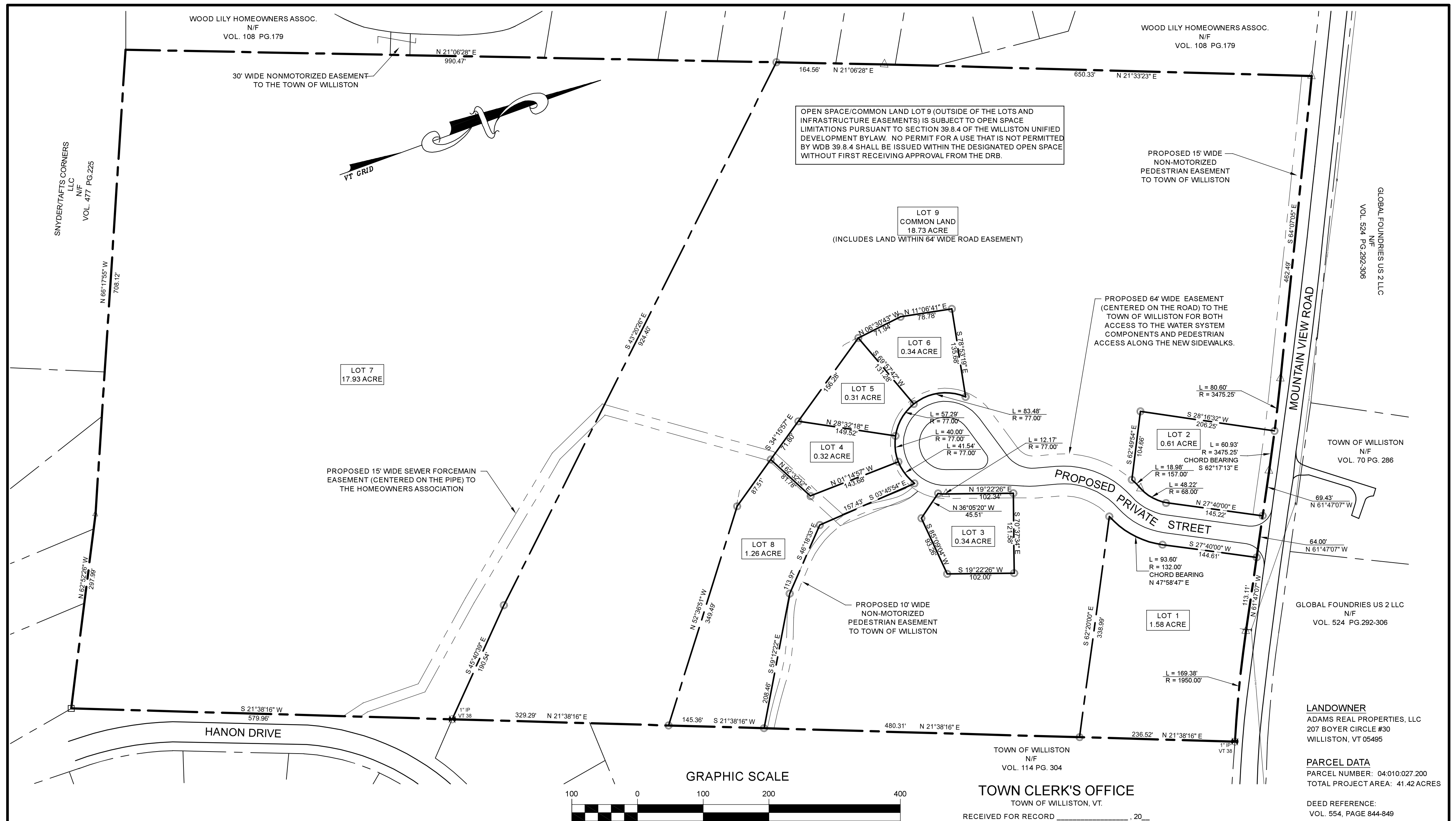
N.T.S.

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw, and all conditions imposed on the approval of Discretionary Permit #DPP 19-11, the Williston Zoning Administrator approved the final plans on the \_\_\_\_ day of \_\_\_\_\_, 2020.

11-19-19	REVISED ROAD SECTION TO INCLUDE SUPERELEVATION NOTE		DJG
Date	Revision	By	
These plans shall only be used for the purpose shown below:			
<input type="checkbox"/>	Sketch/Concept	<input type="checkbox"/>	Act 250 Review
<input type="checkbox"/>	Preliminary	<input type="checkbox"/>	Construction
<input checked="" type="checkbox"/>	Final	<input type="checkbox"/>	Record Drawing
Adams Real Properties, LLC <i>Proposed Mixed Use/Open Space Development</i> 700 Mountain View Road Williston, Vermont			Project No. 18016 Survey - Design DJG Drawn DJG Checked ABR Date 4/15/19 Scale AS SHOWN Sheet number
ROAD PROFILE, DETAILS & SPECIFICATIONS			
LD Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDEngineering.com			6

PARCEL # 04:010:027.200 DP #19-11






















NOTES:

1. THIS PLAT WAS COMPILED FROM FIELD SURVEYS AND RECORD RESEARCH INCLUDING THE USE OF THE FOLLOWING PLATS:
  - A. "BOUNDARY SURVEY- IBM WILLISTON VERMONT SITE, ESSEX VERMONT" DATED 6-09-15, BY SUMMIT ENGINEERING INC. AS RECORDED IN SLIDE 123D OF THE TOWN OF WILLISTON LAND RECORDS.
  - B. "BRENNAN WOODS A PLANNED RESIDENTIAL DEVELOPMENT, MOUNTAIN VIEW ROAD, WILLISTON VERMONT- REVISED OVERALL PROPERTY PLAT , SHEET #2." LAST REVISED 8-16-02, BY LAMOUREUX, STONE & O'LEARY CONSULTING ENGINEERS, AS RECORDED ON SLIDE 668 OF THE TOWN OF WILLISTON LAND RECORDS.
2. THE PURPOSE OF THIS PLAN IS TO PRESENT THE PROPOSED NEW LOTS AND OPEN SPACE AND COMMON AREAS.
3. BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE BEARINGS SHOWN ON THE SURVEY REFERENCED IN NOTE 1.A. ABOVE.
4. THIS PROPERTY MAY BE SUBJECT TO OTHER EASEMENTS AND/OR RIGHTS-OF-WAY.
5. THE FIELD SURVEY WAS COMPLETED IN SEPTEMBER, 2018.
6. MONUMENTATION FOUND IS AS NOTED ON PLAN. IRON PIPES SET ARE 1" DIAMETER WITH A PLASTIC CAP.
7. THE RIGHT-OF-WAY FOR MOUNTAIN VIEW ROAD OF THREE RODS (49.5') IS BASED ON THE ABOVE REFERENCED PLANS AND MONUMENTATION FOUND.

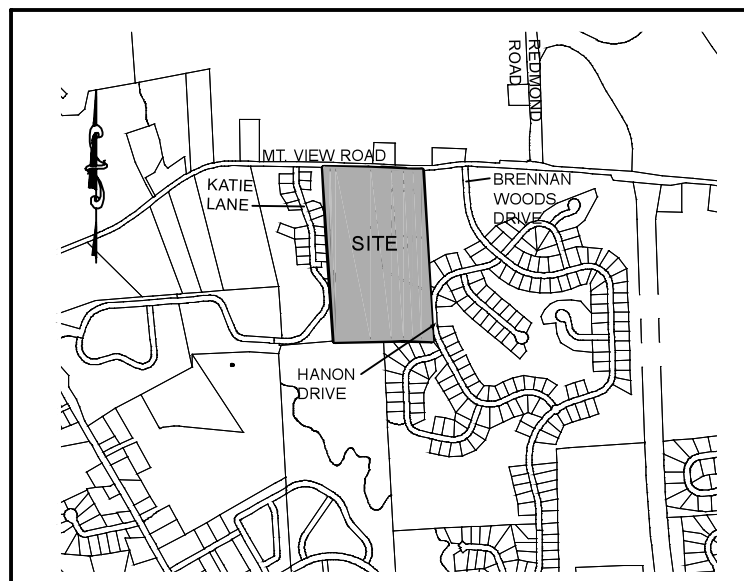
## LEGEND


			PROJECT PROPERTY LINE	
			ABUTTING PROPERTY LINE	
			NEW PROPERTY LINE	
				SIDELINE OF EASEMENT
			IRON PIPE FOUND	
			IRON PIPE TO BE SET	
			CONCRETE MONUMENT FOUND	
			SURVEY POINT - NO MARKER FOUND OR SET	
N/F			NOW OR FORMERLY	

Upon finding that the final plans complied with all requirements of the *Williston Development Bylaw*, and all conditions imposed on the approval of Discretionary Permit #DP 19-11, the Williston Zoning Administrator approved the final plans on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

TO THE BEST OF MY KNOWLEDGE, THIS PLAT IS BASED  
ON INFORMATION ABSTRACTED FROM PERTINENT  
DEEDS AND/OR OTHER OFFICIAL RECORDS, AND  
MARKERS EVIDENT ON THE PROPERTY, AND  
CONFORMS WITH THE REQUIREMENTS OF 27 VSA  
§1403. DATED THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_

## LOCATION MAP

$$1'' = 2000'$$


11.12.19	REVISED LOTS 3, 4, 5, 6, & 8	DJG
date	description	by
REVISIONS		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> SKETCH/CONCEPT	<input type="checkbox"/> ACT 250 REVIEW	
<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	
<input checked="" type="checkbox"/> FINAL LOCAL REVIEW	<input type="checkbox"/> RECORD DRAWING	
<div>Lands of</div> <div>Adams Real Properties, LLC</div> <div>700 Mountain View Road    Williston, Vermont</div>		<div>PROJECT NO 18016</div> <div>SURVEY L&amp;D</div> <div>DESIGN DJG</div> <div>DRAWN DJG/DLH</div> <div>CHECKED ABR</div> <div>DATE 3-21-19</div> <div>SCALE AS NOTED</div> <div>SHT. NO.</div>
<div></div> <div>LAMOREUX &amp; DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450</div>		<div>PROPERTY PLAT</div> <div>PL-1</div>