

Contract Documents and Specifications

FOR

Montrone Building – Bearing Support Repairs

244 North 6th Street
Allentown, PA 18102

Owner:
Allentown Housing Authority
1339 West Allen Street
Allentown, PA 18102

Date: January 2024
Project #: 1084123.000



5420 Crackersport Road, Allentown, PA 18104
2325 Heritage Center Drive, Suite 315, Furlong, PA 18925
1003 Egypt Road, Phoenixville, PA 19460
420 N. Park Road, Suite 202, Wyomissing, PA 19610
2 Market Plaza Way, Suite 7, Mechanicsburg, PA 17055
8 W. Broad Street, Suite 1100, Hazleton, PA 18201
1170 Highway 315, Suite 3, Wilkes-Barre, PA 18702
1444 E. Lackawanna Avenue, Suite 214, Olyphant, PA 18447
525 Main Street, Suite 200, Stroudsburg, PA 18360



610.398.0904	610.481.9098
267.454.2260	610.481.9098
610.935.2175	610.481.9098
484.346.7640	484.346.7639
717.795.8575	717.795.9110
570.455.2999	570.454.9979
570.285.8200	570.285.8201
570.497.8360	610.481.9098
272.200.2050	272.200.2051



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Division 00
Procurement &
Contracting Requirements



Bidding Instructions



📍 5420 Crackersport Road, Allentown, PA 18104

☎ 610.398.0904 📠 610.481.9098

🌐 barryisett.com

Date: January 2024

Project #: 1084123.000

To: Bidding Contractor

From: Eric Lapos, Project Manager, Barry Isett & Associates, Inc.

RE: REQUEST FOR PROPOSAL FOR BEARING SUPPORT REPAIRS

On behalf of the Allentown Housing Authority (AHA), Barry Isett & Associates, Inc. is seeking quotes to complete the bearing support repairs at the Montrone Building, located at 244 North 6th Street, Allentown, PA 18102

You have been invited along with other Contractors to provide a quote for this work.

If interested, please provide a quote for the work description below on the attached Quote Form. The two-page design drawings have been attached for the scope of work and basis of your proposal and shall be considered the contract documents.

A summary of the work includes:

1. Install 2' wide by 4" thick reinforced concrete slab atop existing basement floor to encase damaged column bases.
2. Install 2'x6' stud wall to bear on new concrete slab, with connection details, bridging, spacing, access opening, and other details as indicated.

A pre-bid meeting will be held at **1:30 PM on Monday, February 26, 2024**, onsite at the Montrone Building (244 North 6th Street, Allentown, PA). All bidders are encouraged to attend. Questions may be submitted via email to elapos@barryisett.com on or before **4:00 PM on Thursday, February 29, 2024**. Quotes shall be submitted on the attached Quote Form. Davis-Bacon wage rates apply.

If you have any questions, please feel free to contact Eric Lapos at elapos@barryisett.com.

Quotes are due via email to elapos@barryisett.com Tuesday, March 12, 2024 by 3:00 PM.

Plan Attachments:

CS – COVER SHEET

S1.0 – FRAMING PLANS, SECTIONS, AND NOTES

Memo



Bidding Documents

QUOTE FORM

ALLENTOWN HOUSING AUTHORITY
MONTRONE BUILDING – BEARING SUPPORT REPAIRS
244 NORTH 6TH STREET, ALLENTOWN, PA 18102

TO: Allentown Housing Authority
1339 West Allen Street
Allentown, PA 18102

FROM:

Company

Address

Phone Number

State of Incorporation

I, the undersigned, having familiarized (himself) (itself) (themselves) with the existing conditions of the project areas affecting the cost of the work and with the "Contract Documents," including the Agreement, hereby proposes to furnish all permits (if required), supervision, technical personnel, labor, materials, machinery, tools, appurtenances, equipment and services, including utility, transportation services, and traffic control, required to perform and complete this contract, all in accordance with the Contract Documents, including addenda (if applicable), for the following lump sum price.

In submitting this Quote, Contractor represents, as more fully set forth in the agreement, that Contractor has examined and carefully studied the Project Documents and Drawings and has observed the site conditions.

Contractor shall be completely familiarized with all contract documents. By submitting a cost proposal to complete the work Contractor represents that they are familiar with the conditions under which the work will be performed.

PROJECT QUOTE DESCRIPTION AS FOLLOWS

To obtain all permits (if required), and to provide all materials and labor necessary to perform the work of the Montrone Building Bearing Support Repairs project as defined by the Contract Documents, including but not limited to installation of 2x6 structural stud wall and underlying new concrete bearing slab, and all other associated work shown and/or reasonably implied.

LUMP SUM QUOTE

Dollar \$

(written)

(numbers)

The Allentown Housing Authority retains the right to award the Base Bid based upon the best interest of the Organization.

Signature:

Title:

Date:

Quotes are due via email (elapos@barryisett.com) or at the Engineer's office located at 5420 Crackersport Road, Allentown, PA 18104 on or before the time and date set forth in the Request for Quote. Quotes must be firm for **90 days** from the date due.



Contracting Requirements

"General Decision Number: PA20240094 01/12/2024

Superseded General Decision Number: PA20230094

State: Pennsylvania

Construction Type: Building

County: Lehigh County in Pennsylvania.

BUILDING CONSTRUCTION PROJECTS (does not include single family homes or apartments up to and including 4 stories).

Note: Contracts subject to the Davis-Bacon Act are generally required to pay at least the applicable minimum wage rate required under Executive Order 14026 or Executive Order 13658. Please note that these Executive Orders apply to covered contracts entered into by the federal government that are subject to the Davis-Bacon Act itself, but do not apply to contracts subject only to the Davis-Bacon Related Acts, including those set forth at 29 CFR 5.1(a)(1).

If the contract is entered into on or after January 30, 2022, or the contract is renewed or extended (e.g., an option is exercised) on or after January 30, 2022:	<ul style="list-style-type: none">. Executive Order 14026 generally applies to the contract.. The contractor must pay all covered workers at least \$17.20 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract in 2024.
If the contract was awarded on or between January 1, 2015 and January 29, 2022, and the contract is not renewed or extended on or after January 30, 2022:	<ul style="list-style-type: none">. Executive Order 13658 generally applies to the contract.. The contractor must pay all covered workers at least \$12.90 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on that contract in 2024.

The applicable Executive Order minimum wage rate will be adjusted annually. If this contract is covered by one of the Executive Orders and a classification considered necessary for performance of work on the contract does not appear on this wage determination, the contractor must still submit a conformance request.

Additional information on contractor requirements and worker protections under the Executive Orders is available at <http://www.dol.gov/whd/govcontracts>.

Modification Number	Publication Date
0	01/05/2024
1	01/12/2024

ASBE0023-008 06/26/2023

	Rates	Fringes
ASBESTOS WORKER/HEAT & FROST INSULATOR - MECHANICAL (Duct, Pipe & Mechanical System Insulation).....	\$ 38.70	29.06

* BOIL0013-008 01/01/2024

	Rates	Fringes
BOILERMAKER.....	\$ 52.10	35.38

BRPA0005-068 05/01/2018

	Rates	Fringes
BRICKLAYER (Including Pointing, Caulking, and Cleaning).....	\$ 33.24	17.78
MASON - STONE.....	\$ 33.24	17.78

BRPA0005-075 05/01/2022

	Rates	Fringes
TILE FINISHER.....	\$ 30.20	16.41
TILE SETTER.....	\$ 31.12	21.11

CARP0167-003 05/01/2023

	Rates	Fringes
CARPENTER (Including Acoustical Ceiling Installation, Batt Insulation, Drywall Hanging, Metal Stud Installation, Firestopping, Form Work, Metal Flashing Installation, Metal Roof Installation, Scaffold Building (Excluding Masonry/Brick), Siding Installation- Metal, Aluminum and Vinyl; Excluding Floor Laying- Hardwood, Carpet and Vinyl).....	\$ 37.81	27.27

CARP0219-006 05/01/2023

	Rates	Fringes
MILLWRIGHT.....	\$ 48.41	33.95

CARP0251-009 05/01/2023

	Rates	Fringes
CARPENTER (Floor Laying- Hardwood, Carpet and Vinyl Only).....	\$ 39.04	28.22

ELEC0375-011 06/01/2023

	Rates	Fringes
ELECTRICIAN (Includes Alarm Installation, Installation of Sound and Communication Systems, Low Voltage Wiring, and Solar Panel Wiring and Installation).....	\$ 45.15	24.03

ELEV0084-005 01/01/2023

	Rates	Fringes
ELEVATOR MECHANIC.....	\$ 56.46	37.335+a+b

FOOTNOTES:

A. VACATION CREDIT: Employer contributes 8% basic hourly rate for 5 years or more of service as vacation pay credit, and 6% for 6 months to 5 years of service.

B. Eight Paid Holidays (provided employee has worked 5 consecutive days before and the working day after the holiday): New Year's Day; Memorial Day; Independence Day; Labor Day; Veteran's Day; Thanksgiving Day and the Friday after Thanksgiving Day, and Christmas Day.

ENGI0066-046 06/01/2014

	Rates	Fringes
POWER EQUIPMENT OPERATOR Pump.....	\$ 28.36	18.10

ENGI0542-035 05/01/2017

	Rates	Fringes
POWER EQUIPMENT OPERATOR Backhoe/Excavator/Trackhoe, Bobcat/Skid/Steer/Skid Loader, Boom, Bulldozer, Concrete Pump, Hoist (With Two Towers), Mechanic, Roller (High Grade Finishing), Drill Rig Caissons, Heat Planer, Loader, Forklift (20 ft. and over, Excludes Masonry work).....	\$ 34.96	23.48
Compressor.....	\$ 31.09	22.35
Crane.....	\$ 37.49	24.23
Hoist (Single Drum), Forklift (under 20 ft, excludes masonry work).....	\$ 32.23	22.68
Oiler.....	\$ 29.77	21.95
Roller.....	\$ 31.09	22.35

IRON0404-027 07/01/2023

Rates Fringes

IRONWORKER, ORNAMENTAL.....\$ 36.26 31.38

LAB01174-012 05/01/2017

Rates Fringes

LABORER

Concrete Worker; Tamper
(Hand Held).....\$ 25.39 17.34
Forklift (Masonry Work
Only); Scaffold Builder
(Brick and Masonry); Mason
Tender-Brick.....\$ 26.74 17.34
Plaster Tender.....\$ 26.74 17.34

PAIN1269-001 05/01/2015

Rates Fringes

PAINTER (Brush, Roller, and
Spray).....\$ 26.45 16.30
PAINTER (Drywall
Finishing/Taping Only).....\$ 27.01 16.30

PLUM0420-011 05/01/2023

Rates Fringes

PIPEFITTER (Including HVAC
Pipe Installation).....\$ 57.07 41.68

PLUM0690-012 05/01/2023

Rates Fringes

PLUMBER.....\$ 52.48 34.16

ROOF0030-012 05/01/2021

Rates Fringes

ROOFER (Excludes Metal Roof
Installation and
Waterproofing).....\$ 40.33 32.62

* SFPA0669-004 01/01/2024

Rates Fringes

SPRINKLER FITTER (Fire
Sprinklers).....\$ 44.33 28.37

SHEE0019-015 06/01/2022

Rates Fringes

SHEET METAL WORKER (Includes
HVAC Duct Installation).....\$ 40.22 40.39

FOOTNOTE: Paid Holiday: Election Day

* UAVG-PA-0020 01/01/2023

Rates Fringes

LABORER: Mason Tender -
 Cement/Concrete.....\$ 27.89 19.81

* UAVG-PA-0026 01/01/2023

	Rates	Fringes
HVAC MECHANIC (HVAC Temperature Controls Installation Only).....	\$ 49.90	32.49

SUPA2011-052 08/20/2014

	Rates	Fringes
CEMENT MASON/CONCRETE FINISHER...\$	24.55	15.38
GLAZIER.....\$	29.22	15.73
IRONWORKER, REINFORCING.....\$	26.24	14.49
IRONWORKER, STRUCTURAL.....\$	33.55	23.11
LABORER: Common or General.....\$	23.72	12.47
OPERATOR: Drill.....\$	28.55	15.78
OPERATOR: Gradall.....\$	32.70	18.43
OPERATOR: Grader/Blade.....\$	32.51	17.98
OPERATOR: Paver (Asphalt, Aggregate, and Concrete).....\$	33.01	18.37
ROOFER: Waterproofing Only.....\$	28.60	18.02
TRUCK DRIVER: Dump Truck.....\$	23.36	7.60

WELDERS - Receive rate prescribed for craft performing operation to which welding is incidental.

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Note: Executive Order (EO) 13706, Establishing Paid Sick Leave for Federal Contractors applies to all contracts subject to the Davis-Bacon Act for which the contract is awarded (and any solicitation was issued) on or after January 1, 2017. If this contract is covered by the EO, the contractor must provide employees with 1 hour of paid sick leave for every 30 hours they work, up to 56 hours of paid sick leave each year. Employees must be permitted to use paid sick leave for their own illness, injury or other health-related needs, including preventive care; to assist a family member (or person who is like family to the employee) who is ill, injured, or has other health-related needs, including preventive care; or for reasons resulting from, or to assist a family member (or person who is like family to the employee) who is a victim of, domestic violence, sexual assault, or stalking. Additional information on contractor requirements and worker protections under the EO is available at <https://www.dol.gov/agencies/whd/government-contracts>.

Unlisted classifications needed for work not included within the scope of the classifications listed may be added after

award only as provided in the labor standards contract clauses (29CFR 5.5 (a) (1) (iii)).

The body of each wage determination lists the classification and wage rates that have been found to be prevailing for the cited type(s) of construction in the area covered by the wage determination. The classifications are listed in alphabetical order of ""identifiers"" that indicate whether the particular rate is a union rate (current union negotiated rate for local), a survey rate (weighted average rate) or a union average rate (weighted union average rate).

Union Rate Identifiers

A four letter classification abbreviation identifier enclosed in dotted lines beginning with characters other than ""SU"" or ""UAVG"" denotes that the union classification and rate were prevailing for that classification in the survey. Example: PLUM0198-005 07/01/2014. PLUM is an abbreviation identifier of the union which prevailed in the survey for this classification, which in this example would be Plumbers. 0198 indicates the local union number or district council number where applicable, i.e., Plumbers Local 0198. The next number, 005 in the example, is an internal number used in processing the wage determination. 07/01/2014 is the effective date of the most current negotiated rate, which in this example is July 1, 2014.

Union prevailing wage rates are updated to reflect all rate changes in the collective bargaining agreement (CBA) governing this classification and rate.

Survey Rate Identifiers

Classifications listed under the ""SU"" identifier indicate that no one rate prevailed for this classification in the survey and the published rate is derived by computing a weighted average rate based on all the rates reported in the survey for that classification. As this weighted average rate includes all rates reported in the survey, it may include both union and non-union rates. Example: SULA2012-007 5/13/2014. SU indicates the rates are survey rates based on a weighted average calculation of rates and are not majority rates. LA indicates the State of Louisiana. 2012 is the year of survey on which these classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. 5/13/2014 indicates the survey completion date for the classifications and rates under that identifier.

Survey wage rates are not updated and remain in effect until a new survey is conducted.

Union Average Rate Identifiers

Classification(s) listed under the UAVG identifier indicate that no single majority rate prevailed for those classifications; however, 100% of the data reported for the classifications was union data. EXAMPLE: UAVG-OH-0010 08/29/2014. UAVG indicates that the rate is a weighted union average rate. OH indicates the state. The next number, 0010 in the example, is an internal number used in producing the wage

determination. 08/29/2014 indicates the survey completion date for the classifications and rates under that identifier.

A UAVG rate will be updated once a year, usually in January of each year, to reflect a weighted average of the current negotiated/CBA rate of the union locals from which the rate is based.

WAGE DETERMINATION APPEALS PROCESS

1.) Has there been an initial decision in the matter? This can be:

- * an existing published wage determination
- * a survey underlying a wage determination
- * a Wage and Hour Division letter setting forth a position on a wage determination matter
- * a conformance (additional classification and rate) ruling

On survey related matters, initial contact, including requests for summaries of surveys, should be with the Wage and Hour National Office because National Office has responsibility for the Davis-Bacon survey program. If the response from this initial contact is not satisfactory, then the process described in 2.) and 3.) should be followed.

With regard to any other matter not yet ripe for the formal process described here, initial contact should be with the Branch of Construction Wage Determinations. Write to:

Branch of Construction Wage Determinations
Wage and Hour Division
U.S. Department of Labor
200 Constitution Avenue, N.W.
Washington, DC 20210

2.) If the answer to the question in 1.) is yes, then an interested party (those affected by the action) can request review and reconsideration from the Wage and Hour Administrator (See 29 CFR Part 1.8 and 29 CFR Part 7). Write to:

Wage and Hour Administrator
U.S. Department of Labor
200 Constitution Avenue, N.W.
Washington, DC 20210

The request should be accompanied by a full statement of the interested party's position and by any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3.) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board
U.S. Department of Labor
200 Constitution Avenue, N.W.
Washington, DC 20210

4.) All decisions by the Administrative Review Board are final.

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END OF GENERAL DECISION"



TECHNICAL **SPECIFICATIONS**



Division 01
General Requirements

SECTION 011000 - SUMMARY

PART 1 - GENERAL

1.1 SUMMARY

A. Section includes:

1. Phased construction.
2. Project information.
3. Work covered by Contract Documents.
4. Access to site.
5. Coordination with occupants.
6. Work restrictions.
7. Specification and drawing conventions.

1.2 PHASED CONSTRUCTION

- A. The Work shall be conducted in a single phase.

1.3 PROJECT INFORMATION

A. Project Identification: Montrone Building – Bearing Support Repairs

1. Project Location: Montrone Building
244 North 6th Street
Allentown, PA 18102

B. Owner: Allentown Housing Authority

1. Owner's Representative: Mr. Louis Day
Director of Maintenance Operations
1339 Allen Street
Allentown, PA 18102

C. Engineer: Barry Isett and Associates

1. Project Manager: Eric Lapos
5420 Crackersport Road
Allentown, PA 18104

1.4 WORK COVERED BY CONTRACT DOCUMENTS

The Work of the Project is defined by the Contract Documents and consists of but is not limited to the following: to obtain all permits (if required), and to provide all materials and labor necessary to perform the work, including but not limited to, the installation of 2x6 structural stud wall atop underlying new reinforced concrete bearing slab, and all other work shown and/or reasonably implied.

1.5 Schedule.

1. Anticipated Notice of Award: March 16, 2024
2. Anticipated Notice to Proceed: March 18, 2024
3. Anticipated Construction Start: March 18, 2024
4. Substantial Completion: April 26, 2024
5. Final Completion: May 1, 2024

1.6 ACCESS TO SITE

- A. Use of Site: Limit use of Project site to work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
1. Driveways, Walkways and Entrances: Keep sidewalks and entrances serving premises clear and available to Owner and its occupants, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
 - a. Schedule deliveries to minimize use of sidewalks and entrances by construction operations.
- B. The Contractor shall take all necessary precautions to protect the buildings and surrounding property including but not limited to privately owned vehicles, equipment and other structures from damage resulting from construction activities under this contract.
- C. Activities and resident access will be uninterrupted during the course of this construction project. Difficulties of working around an existing operational building are recognized; however, the Contractor must cooperate to keep noise, dirt and other interferences to a minimum.
- D. Contractor shall schedule the project start date well in advance with the Owner for approval so notice can be given to all building occupants of any disruption.

1.7 COORDINATION WITH OCCUPANTS

- A. Full Owner Occupancy: Owner and Residents will occupy building during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with day-to-day operations. Maintain existing exits unless otherwise indicated.
1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and approval of authorities having jurisdiction.
 2. Notify the Owner not less than 72 hours in advance of activities that will affect Owner's operations.

1.8 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.

1. Comply with limitations on use of public streets and other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours of 7:00 a.m. to 5:00 p.m., Monday through Friday, except as otherwise indicated or discussed.
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
 1. Obtain Owner's written permission before proceeding with utility interruptions.
 2. Contractor shall take all necessary care to prevent damage to existing utilities, ventilation and communications antennas, and any other property and equipment located within the work area.
 3. Locate, identify, shut off and disconnect utility services that are not indicated for removal or replacement.
 4. Provide bypass connections as necessary to maintain continuity of service to occupied areas of building.
 - a. Provide minimum of 72 hours advance notice to owner if shut down of service is necessary during change over.

1.9 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.
- C. Drawing Coordination: Requirements for materials and products identified on the Drawings are described in detail in the Specifications. One or more of the following are used on the Drawings to identify materials and products:
 1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000

SECTION 015000 - TEMPORARY FACILITIES AND CONTROLS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes requirements for temporary utilities, support facilities, and security and protection facilities.
- B. Related Requirements:
 - 1. Section 011000 "Summary" for work restrictions and limitations on utility interruptions.

1.2 USE CHARGES

- A. General: Installation and removal of and use charges for temporary facilities shall be included in the Quote Sum unless otherwise indicated. Allow other entities to use temporary services and facilities without cost, including, but not limited to, Owner's construction forces, Engineer, testing agencies, and authorities having jurisdiction.

1.3 QUALITY ASSURANCE

- A. Tests and Inspections: Arrange for authorities having jurisdiction to test and inspect each temporary utility before use. Obtain required certifications and permits.
- B. Accessible Temporary Egress: Comply with the requirements of Authorities having jurisdiction.

PART 2 - PRODUCTS

2.1 EQUIPMENT

- A. Fire Extinguishers: Portable, UL rated; with class and extinguishing agent as required by locations and classes of fire exposures.

PART 3 - EXECUTION

3.1 INSTALLATION, GENERAL

- A. Locate facilities where they will serve Project adequately and result in minimum interference with performance of the Work. Relocate and modify facilities as required by progress of the Work.
 - 1. Locate facilities to limit site disturbance as specified in Section 011000 "Summary."

- B. Provide each facility ready for use when needed to avoid delay. Do not remove until facilities are no longer needed or are replaced by authorized use of completed permanent facilities.

3.2 TEMPORARY UTILITY INSTALLATION

- A. Isolation of Work Areas in Occupied Facilities: Prevent dust, fumes, and odors from entering occupied areas.
- B. Sanitary Facilities: Provide temporary toilets, wash facilities, and drinking water of adequate size for the number of personnel for use of construction personnel. Comply with requirements of authorities having jurisdiction for type, number, location, operation, and maintenance of fixtures and facilities.
- C. Electric Power Service: Connect to Owner's existing electric power service. Maintain equipment in a condition acceptable to Owner.
 - 1. Where Owner's existing system is insufficient, provide electric power service and distribution system of sufficient size, capacity, and power characteristics required for construction operations.
 - 2. Connect temporary service to Owner's existing power source, as directed by Owner.
- D. Telephone Service:
 - 1. Provide superintendent and foreman with cellular telephone and make the phone number available to the Owner and Engineer.
 - a. Contractor shall provide accurate and updated list of daily and emergency contacts.

3.3 SUPPORT FACILITIES INSTALLATION

- A. Traffic Controls: Comply with requirements of authorities having jurisdiction.
 - 1. Protect existing site improvements to remain including curbs, pavement, and utilities.
 - 2. Maintain access for fire-fighting equipment and access to fire hydrants.

3.4 SECURITY AND PROTECTION FACILITIES INSTALLATION

- A. Protection of Existing Facilities: Protect existing vegetation, equipment, structures, utilities, and other improvements at Project site and on adjacent properties, except those indicated to be removed or altered. Repair damage to existing facilities.
- B. Environmental Protection: Provide protection, operate temporary facilities, and conduct construction as required to comply with environmental regulations and that minimize possible air, waterway, and subsoil contamination or pollution or other undesirable effects.
- C. Barricades, Warning Signs, and Lights: Comply with requirements of owner's authorities having jurisdiction for erecting structurally adequate barricades, including warning signs and lighting.

- D. Temporary Egress: Maintain temporary egress from existing occupied facilities and as required by authorities having jurisdiction.

3.5 OPERATION, TERMINATION, AND REMOVAL

- A. Supervision: Enforce strict discipline in use of temporary facilities. To minimize waste and abuse, limit availability of temporary facilities to essential and intended uses.
- B. Maintenance: Maintain facilities in good operating condition until removal.
- C. Termination and Removal: Remove each temporary facility when need for its service has ended, when it has been replaced by authorized use of a permanent facility, or no later than Substantial Completion. Complete or, if necessary, restore permanent construction that may have been delayed because of interference with temporary facility. Repair damaged Work, clean exposed surfaces, and replace construction that cannot be satisfactorily repaired.
 - 1. Materials and facilities that constitute temporary facilities are property of Contractor.

END OF SECTION 015000

SECTION 017300 - EXECUTION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes general administrative and procedural requirements governing execution of the Work, including, but not limited to, the following:
 - 1. Construction layout.
 - 2. Field engineering.
 - 3. Installation.
 - 4. Cutting and patching.
 - 5. Progress cleaning.
 - 6. Protection of installed construction.
 - 7. Correction of the Work.
 - 8. Punch List

1.2 DEFINITIONS

- A. Cutting: Removal of in-place construction necessary to permit installation or performance of subsequent work.
- B. Patching: Fitting and repair work required to restore construction to original conditions after installation of subsequent work.

1.3 PREINSTALLATION MEETINGS

- A. Cutting and Patching Conference: Conduct conference at Project site.
 - 1. Prior to commencing work requiring cutting and patching, review extent of cutting and patching anticipated and examine procedures for ensuring satisfactory result from cutting and patching work. Inform Engineer and Owner of scheduled meeting. Require representatives of each entity directly concerned with cutting and patching to attend, including the following:
 - a. Contractor's superintendent.
 - b. Trade supervisor responsible for cutting operations.
 - c. Trade supervisor(s) responsible for patching of each type of substrate.
 - 2. Review areas of potential interference and conflict. Coordinate procedures and resolve potential conflicts before proceeding.

1.4 QUALITY ASSURANCE

- A. Cutting and Patching: Comply with requirements for and limitations on cutting and patching of construction elements.

1. Structural Elements: When cutting and patching structural elements, or when encountering the need for cutting and patching of elements whose structural function is not known, notify Engineer of locations and details of cutting and await directions from Architect before proceeding. Shore, brace, and support structural elements during cutting and patching. Do not cut and patch structural elements in a manner that could change their load-carrying capacity or increase deflection.
2. Operational Elements: Do not cut and patch operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational life or safety.
3. Other Construction Elements: Do not cut and patch other construction elements or components in a manner that could change their load-carrying capacity, that results in reducing their capacity to perform as intended, or that results in increased maintenance or decreased operational life or safety.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Comply with requirements specified in other Sections.
 1. In-Place Materials: Use materials for patching identical to in-place materials. For exposed surfaces, use materials that visually match in-place adjacent surfaces to the fullest extent possible.
 2. If identical materials are unavailable or cannot be used, use materials that, when installed, will provide a match acceptable to Owner for the visual and functional performance of in-place materials. Use materials that are not considered hazardous.
- B. Cleaning Agents: Use cleaning materials and agents recommended by manufacturer or fabricator of the surface to be cleaned. Do not use cleaning agents that are potentially hazardous to health or property or that might damage finished surfaces.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Existing Conditions: The existence and location of underground and other utilities and construction indicated as existing are not guaranteed. Before beginning sitework, investigate and verify the existence and location of utilities and other construction affecting the Work.
- B. Examination and Acceptance of Conditions: Before proceeding with each component of the Work, examine substrates, areas, and conditions, with Installer or Applicator present where indicated, for compliance with requirements for installation tolerances and other conditions affecting performance. Record observations.
- C. Written Report: Where a written report listing conditions detrimental to performance of the Work is required by other Sections, include the following:

1. Description of the Work, including Specification Section number and paragraph, and Drawing sheet number and detail, where applicable.
 2. List of detrimental conditions, including substrates.
 3. List of unacceptable installation tolerances.
 4. Recommended corrections.
- D. Proceed with installation only after unsatisfactory conditions have been corrected. Proceeding with the Work indicates acceptance of surfaces and conditions.

3.2 PREPARATION

- A. Existing Utility Information: Furnish information to Engineer that is necessary to adjust, move, or relocate existing utility structures, utility poles, lines, services, or other utility appurtenances located in or affected by construction. Coordinate with authorities having jurisdiction.
- B. Field Measurements: Take field measurements as required to fit the Work properly. Recheck measurements before installing each product. Where portions of the Work are indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication. Coordinate fabrication schedule with construction progress to avoid delaying the Work.
- C. Space Requirements: Verify space requirements and dimensions of items shown diagrammatically on Drawings.
- D. Review of Contract Documents and Field Conditions: Immediately on discovery of the need for clarification of the Contract Documents, submit a request for information to Engineer.

3.3 CONSTRUCTION LAYOUT

- A. Verification: Before proceeding to lay out the Work, verify layout information shown on Drawings, in relation to the property survey and existing benchmarks and existing conditions. If discrepancies are discovered, notify Engineer promptly.
- B. Record Log: Maintain a log of layout control work. Record deviations from required lines and levels. Include beginning and ending dates and times of surveys, weather conditions, name and duty of each survey party member, and types of instruments and tapes used. Make the log available for reference by Engineer.

3.4 FIELD ENGINEERING

- A. Reference Points: Locate existing permanent benchmarks, control points, and similar reference points before beginning the Work. Preserve and protect permanent benchmarks and control points during construction operations.
- B. Benchmarks: Establish and maintain a minimum of two permanent benchmarks on Project site, referenced to data established by survey control points. Comply with authorities having jurisdiction for type and size of benchmark.
1. Record benchmark locations, with horizontal and vertical data, on Project Record Documents.

2. Where the actual location or elevation of layout points cannot be marked, provide temporary reference points sufficient to locate the Work.
3. Remove temporary reference points when no longer needed. Restore marked construction to its original condition.

3.5 INSTALLATION

- A. Locate the Work and components of the Work accurately, in correct alignment and elevation, as indicated.
 1. Make vertical work plumb, and make horizontal work level.
 2. Where space is limited, install components to maximize space available for maintenance and ease of removal for replacement.
 3. Conceal pipes, ducts, and wiring in finished areas unless otherwise indicated.
- B. Comply with manufacturer's written instructions and recommendations for installing products in applications indicated.
- C. Install products at the time and under conditions that will ensure satisfactory results as judged by Engineer. Maintain conditions required for product performance until Substantial Completion.
- D. Conduct construction operations, so no part of the Work is subjected to damaging operations or loading in excess of that expected during normal conditions of occupancy of type expected for Project.
- E. Sequence the Work and allow adequate clearances to accommodate movement of construction items on-site and placement in permanent locations.
- F. Joints: Make joints of uniform width. Where joint locations in exposed Work are not indicated, arrange joints for the best visual effect, as judged by Engineer. Fit exposed connections together to form hairline joints.

3.6 CUTTING AND PATCHING

- A. General: Employ skilled workers to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time, and complete without delay.
 1. Cut in-place construction to provide for installation of other components or performance of other construction, and subsequently patch as required to restore surfaces to their original condition.
- B. Temporary Support: Provide temporary support of Work to be cut.
- C. Protection: Protect in-place construction during cutting and patching to prevent damage.
- D. Adjacent Occupied Areas: Where interference with use of adjoining areas or interruption of free passage to adjoining areas is unavoidable, coordinate cutting and patching in accordance with requirements in Section 011000 "Summary."

- E. Cutting: Cut in-place construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. If possible, review proposed procedures with original Installer; comply with original Installer's written recommendations.
 - 1. Concrete and Asphalt: Cut using a cutting machine, such as an abrasive saw or a diamond-core drill.
 - 2. Excavating and Backfilling: Comply with requirements in applicable Sections where required by cutting and patching operations.
- F. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of other Work. Patch with durable seams that are as invisible as practicable, as judged by Architect. Provide materials and comply with installation requirements specified in other Sections, where applicable.
- G. Cleaning: Clean areas and spaces where cutting and patching are performed. Remove paint, mortar, oils, putty, and similar materials from adjacent finished surfaces.

3.7 PROGRESS CLEANING

- A. Clean Project site and work areas daily, including common areas. Enforce requirements strictly. Dispose of materials lawfully.
- B. Site: Maintain Project site free of waste materials and debris.
- C. Work Areas: Clean areas where Work is in progress to the level of cleanliness necessary for proper execution of the Work.
 - 1. Remove liquid spills promptly.
 - 2. Where dust would impair proper execution of the Work, broom-clean or vacuum the entire work area, as appropriate.
- D. Installed Work: Keep installed work clean. Clean installed surfaces in accordance with written instructions of manufacturer or fabricator of product installed, using only cleaning materials specifically recommended. If specific cleaning materials are not recommended, use cleaning materials that are not hazardous to health or property and that will not damage exposed surfaces.
- E. Exposed Surfaces: Clean exposed surfaces and protect as necessary to ensure freedom from damage and deterioration at time of Substantial Completion.
- F. Waste Disposal: Do not bury or burn waste materials on-site. Do not wash waste materials down sewers or into waterways.
- G. During handling and installation, clean and protect construction in progress and adjoining materials already in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion.
- H. Clean and provide maintenance on completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to ensure operability without damaging effects.

- I. Limiting Exposures: Supervise construction operations to ensure that no part of the construction, completed or in progress, is subject to harmful, dangerous, damaging, or otherwise deleterious exposure during the construction period.

3.8 PROTECTION OF INSTALLED CONSTRUCTION

- A. Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.
- B. Protection of Existing Items: Provide protection and ensure that existing items to remain undisturbed by construction are maintained in condition that existed at commencement of the Work.

3.9 CORRECTION OF THE WORK

- A. Repair or remove and replace damaged, defective, or nonconforming Work, as determined by Engineer and/or Owner. Restore damaged substrates and finishes.
 1. Repairing includes replacing defective parts, refinishing damaged surfaces, touching up with matching materials, and properly adjusting operating equipment.
- B. Repair Work previously completed and subsequently damaged during construction period. Repair to like-new condition.
- C. Restore permanent facilities used during construction to their specified condition.
- D. Remove and replace damaged surfaces that are exposed to view if surfaces cannot be repaired without visible evidence of repair.
- E. Repair components that do not operate properly. Remove and replace operating components that cannot be repaired.

3.10 LIST OF INCOMPLETE ITEMS (PUNCH LIST)

- A. Organization of List: Include name and identification of each space and area affected by construction operations for incomplete items and items needing correction including, if necessary, areas disturbed by Contractor that are outside the limits of construction.
 1. Submit list of incomplete items in sequential order.
 - a. Owner reserves the right to withhold 10% retainage until punch list items have been completed and satisfied.

END OF SECTION 017300

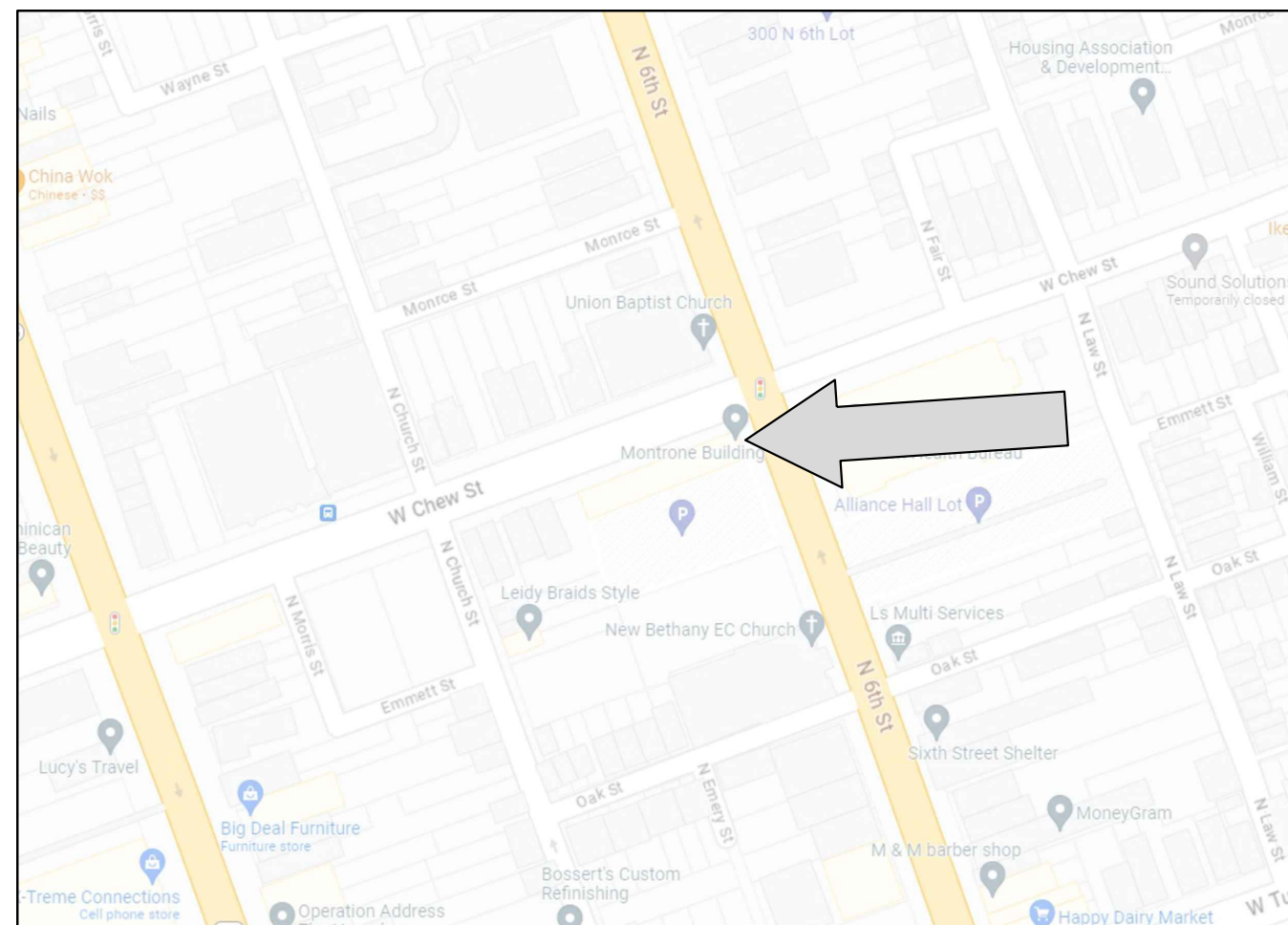


Plans

MONTRONE BUILDING - BEARING SUPPORT REPAIRS

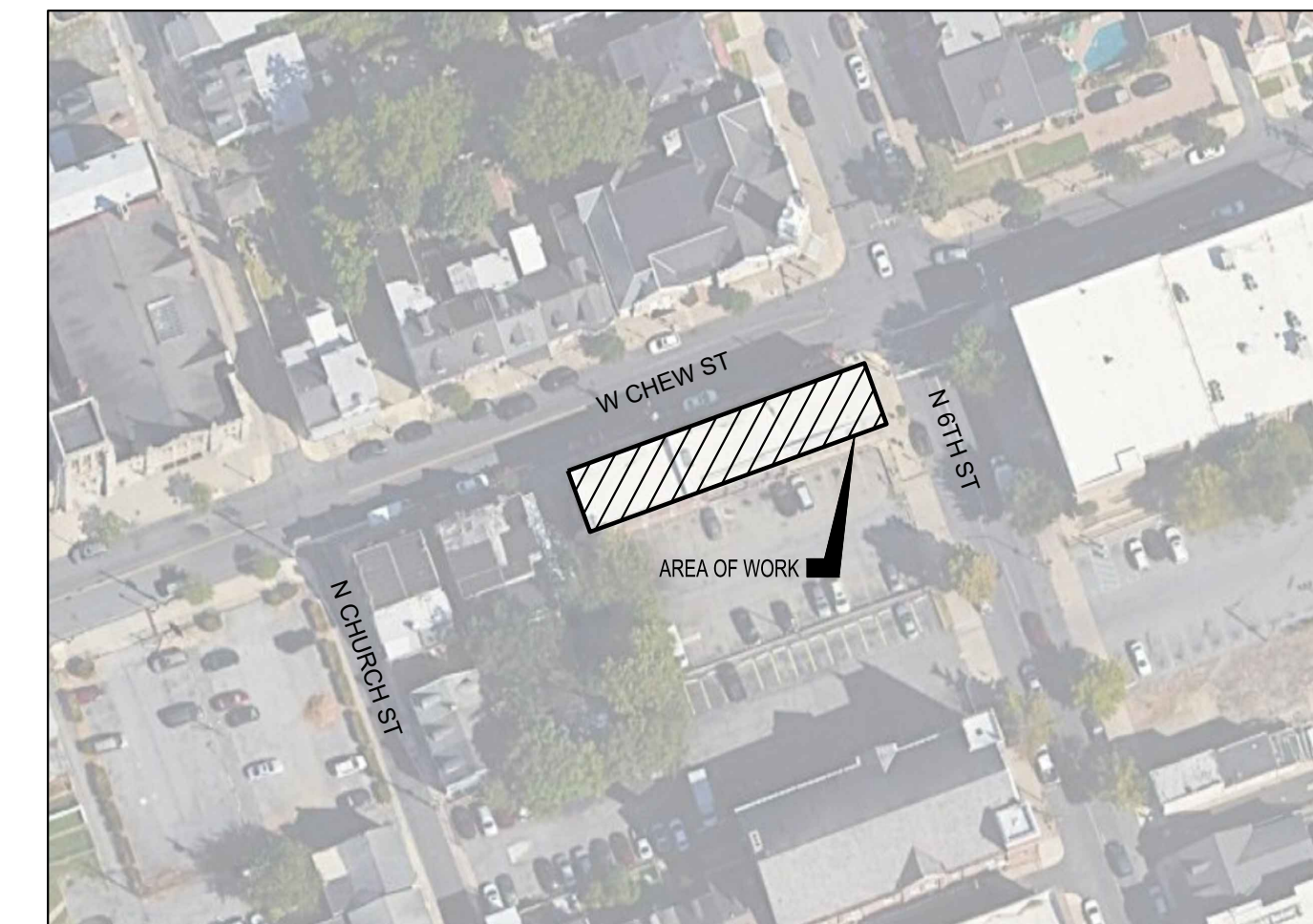
ALLENTOWN HOUSING AUTHORITY

244 N. 6TH STREET
ALLENTOWN, PA 18102



 **SITE MAP**

Barry Isett & Associates, Inc.
5420 Crackersport Rd
Allentown, Pa 18104
610-398-0904
Contact: Greg Decker, P.E.



 **KEY MAP**

APPLICABLE CODES

THIS PROJECT IS DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE FOLLOWING CODES LISTED BELOW:

INTERNATIONAL BUILDING CODE	2018
CHAPTER 11 & APPENDIX E	2018
INTERNATIONAL EXISTING BUILDING CODE	2018
INTERNATIONAL MECHANICAL CODE	2018
INTERNATIONAL PLUMBING CODE	2018
NATIONAL FIRE PREVENTION CODE	2016/2017/2018
NATIONAL ELECTRIC CODE	2017
ICC / ANSI A 117.1-7	2017

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES OF THE AUTHORITY HAVING JURISDICTION AND MUST NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES INDICATED BY THESE DOCUMENTS FOUND PRIOR TO OR DURING CONSTRUCTION. NOTIFICATION MUST BE GIVEN TO THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ABBREVIATION LIST

A.F.F.	ABOVE FINISH FLOOR	LG.	LONG
B.O.F.	BOTTOM OF FOOTING	LLH	LONG LEG HORIZONTAL
B.S.	BRICK SHELF ELEVATION (PLANS)	LLV	LONG LEG VERTICAL
B.S.	BOTH SIDES (SECTIONS)	LSH	LONG SIDE HORIZONTAL
CJ	CONTROL JOINT	LSV	LONG SIDE VERTICAL
-C	CENTERLINE	N.T.S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	o.c.	ON CENTER
CONT.	CONTINUOUS	-P	PLATE
DBA	DEFORMED BAR ANCHOR	REINF.	REINFORCING
E.E.	EACH END	S.F.	STEP FOOTING
E.F.	EACH FACE	STIFF-P	STIFFENER PLATE
E.S.	EACH SIDE	T.B.R.	TO BE REMOVED
E.W.	EACH WAY	T&B	TOP AND BOTTOM
EXIST	EXISTING	T.O.S.	TOP OF STEEL
F.F.	FINISH FLOOR	T.O.W.	TOP OF WALL
GA	GAGE	TS	TUBE STEEL
GALV	GALVANIZED	TYP	TYPICAL
HORIZ	HORIZONTAL	U.N.O.	UNLESS NOTED OTHERWISE
H.S.S.	HOLLOW STRUCTURAL SECTION	VERT.	VERTICAL
<	ANGLE	WWF	WELDED WIRE FABRIC
		XE	EXTENDED END - TYPE R

GENERAL NOTES

GENERAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS UNLESS NOTED OTHER WISE TO COMPLETE THE WORK.
- ALL WORK WILL BE SUBJECT TO THE APPROVAL OF THE BUILDING OWNER AND PRIME DESIGN PROFESSIONAL.
- ALL WORK IS TO BE COORDINATED WITH THE BUILDING OWNER, INCLUDING WORKING HOURS, DUMPSTER LOCATIONS, LOADING AREAS, ETC.
- ALL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE '2018 INTERNATIONAL BUILDING CODE'
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- MECHANICAL AND ELECTRICAL SYSTEMS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- CONTRACTOR SHALL BE COMPLETELY FAMILIARIZED WITH ALL CONTRACT DOCUMENTS. BY SUBMITTING A COST PROPOSAL TO COMPLETE THE WORK, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND ARE FAMILIAR WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED.
- WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
- JOBSITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REVIEW OF THE CONSTRUCTION BY THE DESIGN PROFESSIONAL IS FOR GENERAL CONFORMANCE WITH DESIGN ASPECTS ONLY, NOT TO REVIEW THE CONTRACTOR'S PROVISIONS FOR JOBSITE SAFETY. LACK OF COMMENT ON THE PART OF THE DESIGN PROFESSIONAL WITH REGARD TO JOBSITE SAFETY IS NOT TO BE INTERPRETED AS APPROVAL OF JOBSITE SAFETY PRACTICES.
- THE CONTRACTOR SHALL COORDINATE OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, AND DEPRESSIONS SHOWN ON THE PRIME PROFESSIONAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS.
- ALL COSTS OF INVESTIGATION AND/OR REDESIGN DUE TO CONTRACTOR IMPROPER INSTALLATION OF ELEMENTS OR OTHER ITEMS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL DRAWINGS SHALL BE USED IN CONJUNCTION WITH EACH OTHER. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PRIME PROFESSIONAL PRIOR TO PERFORMING THE WORK. IN THE CASE OF A CONFLICT, THE MORE STRINGENT IN COST OR QUALITY SHALL APPLY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, EXISTING CONDITIONS, ELEVATIONS, ETC.) AND NOTIFY THE PRIME PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO FABRICATION OR INSTALLATION OF ANY COMPONENTS. FAILURE TO NOTIFY PRIME PROFESSIONAL OF UNSATISFACTORY CONDITIONS CONSTITUTES ACCEPTANCE OF UNSATISFACTORY CONDITIONS.
- IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE PRIME PROFESSIONAL IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION WITH THE PROPOSED MODIFICATION OF THE DETAILS SHOWN ON THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS APPROVED BY THE PRIME PROFESSIONAL.
- SHOP DRAWINGS FOR ALL MATERIALS ARE TO BE SUBMITTED TO THE PRIME DESIGN PROFESSIONAL FOR REVIEW PRIOR TO THE START OF FABRICATION OR COMMENCEMENT OF WORK. REVIEW PERIOD SHALL BE A MINIMUM OF TWO (2) WEEKS.
- REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- SHOP DRAWINGS SUBMITTED FOR REVIEW SHALL CONSIST OF THREE (3) SETS OF PRINTS. ONLY ONE (1) MARKED UP SET WITH THE COMMENTS WILL BE RETURNED TO THE CONTRACTOR.
- SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL CONSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON A CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF BIA AND ARE NOT VALID.
- ALL MATERIALS SHALL BE STORED TO PROTECT THEM FROM EXPOSURE TO THE ELEMENTS, IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- DEBRIS, WASTE OR OTHER UNUSED CONSTRUCTION MATERIALS SHALL NOT BE PERMITTED TO ACCUMULATE. EACH TRADE IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF THEIR RESPECTIVE DEBRIS. LOCATION OF DUMPSTERS IS TO BE APPROVED BY THE BUILDING OWNER.
- UPON COMPLETION OF THE WORK, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LEAVING THE SITE IN "BROOM-CLEAN" CONDITION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL FINISHES TO REMAIN, INCLUDING COMMON CORRIDORS, LOBBIES, STAIRS, LANDSCAPING, ELEVATOR CABS, ETC.
- GENERAL CONTRACTOR SHALL PROVIDE AN ESTIMATED CONSTRUCTION WORK SCHEDULE. SCHEDULE SHALL BE UPDATED AS REQUIRED DUE TO CHANGES IN THE PROGRESS OF WORK AND UPON THE REQUEST OF THE BUILDING OWNER AND/OR PRIME DESIGN PROFESSIONAL.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE FOLLOWING SANITARY FACILITIES: TEMPORARY TOILETS, WASH FACILITIES, AND DRINKING WATER FOR USE OF CONSTRUCTION PERSONNEL. COMPLY WITH AUTHORITIES HAVING JURISDICTION FOR TYPE, NUMBER, LOCATION, OPERATION, AND MAINTENANCE OF FIXTURES AND FACILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

LIST OF DRAWINGS

SHEET	SHEET TITLE	CURRENT REVISION DATE	CURRENT REVISION
CS	COVER SHEET		
S1.0	FRAMING PLAN, SECTIONS, AND NOTES		

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF REPAIR WORK AT AN EXISTING FIRST FLOOR BEARING SUPPORT LINE LOCATED WITHIN THE BASEMENT.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS FOR THE ENTIRE PROJECT BEFORE PROCEEDING WITH THE WORK.

Owner Review - Not for Construction 11/28/2023

COVER SHEET

MONTRONE BUILDING - BEARING SUPPORT REPAIRS
ALLENTOWN HOUSING AUTHORITY
244 N. 6TH STREET
ALLENTOWN, PA 18102

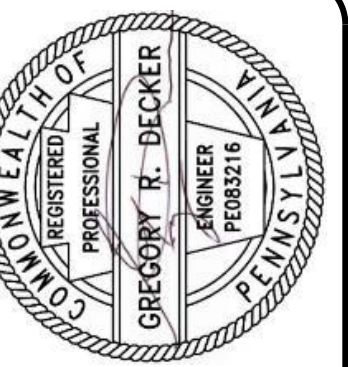
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SCALE:	AS NOTED	CHK:	GPM
DRAWN:	RPK	APPRD:	GD
JOB:	1084123.000	P MGR:	GPM

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SHEET:

CS

REVISIONS	DATE	BY



610.398.0904
barryisett.com



DESIGN LOADS:

GOVERNING DESIGN CODE	
2018 INTERNATIONAL BUILDING CODE	
ASCE 7-16, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES	
BUILDING RISK CATEGORY	II

DESIGN FLOOR LIVE LOADS	
MULTI-FAMILY RESIDENTIAL DWELLINGS	40 PSF

DESIGN ROOF LIVE LOADS	
ROOF LIVE LOAD	20 PSF

DESIGN ROOF SNOW LOADS	
GROUND SNOW LOAD (Pg)	40 PSF
FLAT ROOF SNOW LOAD (P)	28 PSF
SNOW EXPOSURE FACTOR (Ce)	1.0
SNOW LOAD IMPORTANCE FACTOR (Is)	1.00
THERMAL FACTOR (Ct)	1.0

DESIGN DEAD LOADS - NOT INCL. STRUCTURE SELF WEIGHT	
ROOF	20 PSF
FLOOR	15 PSF

GENERAL NOTES

- THE CONTRACTOR IS ADVISED THAT ALL PLANS, DIMENSIONS, AND DETAILS DEPICT FIELD CONDITION AS SHOWN. MINOR VARIATIONS ARE TO BE EXPECTED AND ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER IN WRITING PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING WORK PRIOR TO FABRICATION OF ANY NEW MATERIALS. IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION WITH THEIR PROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS APPROVED BY THE ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF UTILITIES IN THE IMMEDIATE VICINITY OF CONSTRUCTION SO AS TO PREVENT DAMAGE TO THEM. SHOULD DAMAGE TO SUCH UTILITIES OCCUR, THE CONTRACTOR SHALL BE REQUIRED TO REPAIR SUCH DAMAGE AT THEIR OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THIS STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION OF THE BUILDING IS TO BE COMPLETED. THE STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THIS RESPONSIBILITY EXTENDS TO ALL RELATED ASPECTS OF THE CONSTRUCTION ACTIVITY INCLUDING, BUT NOT LIMITED TO, ERECTION METHODS, ERECTION SEQUENCE, TEMPORARY BRACING, FORMS, SHORING, USE OF EQUIPMENT AND SIMILAR CONSTRUCTION PROCEDURES.

CONCRETE

- ALL WORK SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE" (AMERICAN CONCRETE INSTITUTE, ACI 301) AND THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318), LATEST EDITIONS, UNLESS NOTED OTHERWISE IN THE DRAWINGS OR PROJECT SPECIFICATIONS.
- CONSTRUCTION TOLERANCES SHALL CONFORM TO THE "SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS" (ACI 117), LATEST EDITION.
- CONCRETE MATERIALS SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - PORTLAND CEMENT ASTM C150
 - HYDRAULIC CEMENT ASTM C1157
 - FLY ASH AND NATURAL POZZOLAN ASTM C618
 - SLAG CEMENT ASTM C989
 - SILICA FUME ASTM C1240
 - NORMAL WEIGHT AGGREGATE ASTM C33
 - LIGHTWEIGHT AGGREGATE ASTM C330
 - MIXING WATER ASTM C1602
 - ADDMIXTURES
 - WATER REDUCTION AND SETTING TIME MODIFICATION ASTM C494
 - PRODUCING FLOWING CONCRETE ASTM C107
 - AIR ENTRAINMENT ASTM C260
 - INHIBITING CHLORIDE-INDUCED CORROSION ASTM C1582
- REINFORCING MATERIALS:
 - REINFORCING BARS PLAIN-STEEL ASTM A615, GRADE 60, DEFORMED
 - REINFORCING BARS LOW-ALLOY-STEEL ASTM A706, DEFORMED (WELDABLE)
 - REINFORCING BARS EPOXY-COATED ASTM A775
 - WELDED WIRE FABRIC ASTM A1064
 - EPOXY-COATED WELDED WIRE FABRIC ASTM A884, CLASS A COATING
- REINFORCING SHALL COMPLY WITH ACI FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT, AND THE FOLLOWING:
 - BAR SPICE LOCATIONS SHALL CONFORM TO ACI 318
 - HORIZONTAL REINFORCING BARS IN WALLS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS.
 - UNLESS DETAILED CALCULATIONS ARE PROVIDED, REINFORCING BARS DEVELOPMENT LENGTHS, EMBEDMENT DEPTHS AND LAP SPICE DISTANCES FOR $f_c = 4000$ psi; NORMAL-WEIGHT CONCRETE, SHALL BE PER BELOW
- EMBEDDED AND MISCELLANEOUS STEEL SHALL COMPLY WITH ASTM A36.
- ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4" AT 45 DEGREES UNLESS NOTED OTHERWISE.
- STRUCTURAL ADHESIVES SHALL ONLY BE USED WITH PRIOR PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD OR AS SHOWN ON CONSTRUCTION DOCUMENTS. THE BASIS OF DESIGN FOR ADHESIVES IS HV-200 BY "HILTI" OR SET BY "SIMPSON" - THE USE OF ANY OTHER STRUCTURAL ADHESIVES SHALL BE SUBJECT TO REVIEW BY THE EOR PRIOR TO INSTALLATION.
- MINIMUM CONCRETE CLEAR COVER SHALL BE PROVIDED FOR REINFORCEMENT PER ACI AND THE FOLLOWING:
 - CONCRETE NOT EXPOSED TO WEATHER OR GROUND SLABS, WALLS, AND JOINTS 3/4"

CONCRETE MIX DESIGN CRITERIA

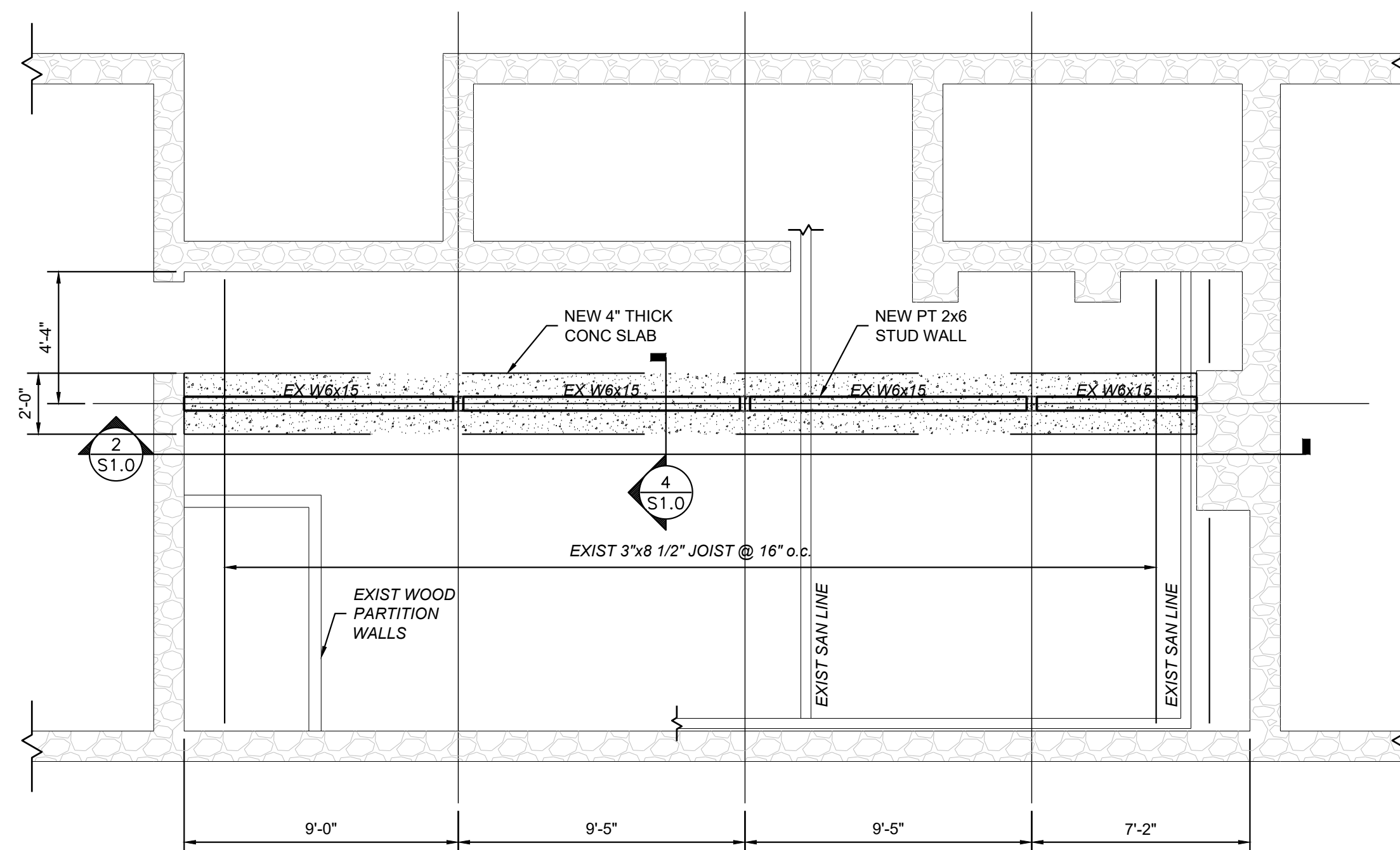
	EXPOSURE CLASS	MAX. w/c RATIO	MIN. f _c	AIR CONTENT	CEMENT TYPE
INTERIOR SLABS ON GRADE	F0,S0,W0,C1	0.50	4,000	N/A	I or II

WOOD

- DESIGN OF ALL WOOD FRAMING SHALL BE BASED UPON ALLOWABLE STRESS DESIGN, IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION
- FABRICATION, ERECTION, AND BRACING SHALL BE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION.
- ALL LUMBER SHALL HAVE GRADE IDENTIFIED ON THE LABEL OF AN APPROVED LUMBER GRADING AGENCY COMPLYING WITH DOC P20 OR EQUIVALENT.
- ALL STEEL TIMBER FASTENINGS AND JOIST HANGERS SHALL BE A MINIMUM OF 16 GA. GALVANIZED STEEL WITH A RATED LOAD CAPACITY EQUAL TO OR EXCEEDING THE IMPOSED LOADING REQUIREMENTS.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER UNLESS NOTED OTHERWISE.
- ANCHOR ALL SILL PLATES WITH 1/2" SIMPSON TITEN HD WITH MIN. 4" EMBEDMENT SPACED AT 48" o.c. OR EQUAL

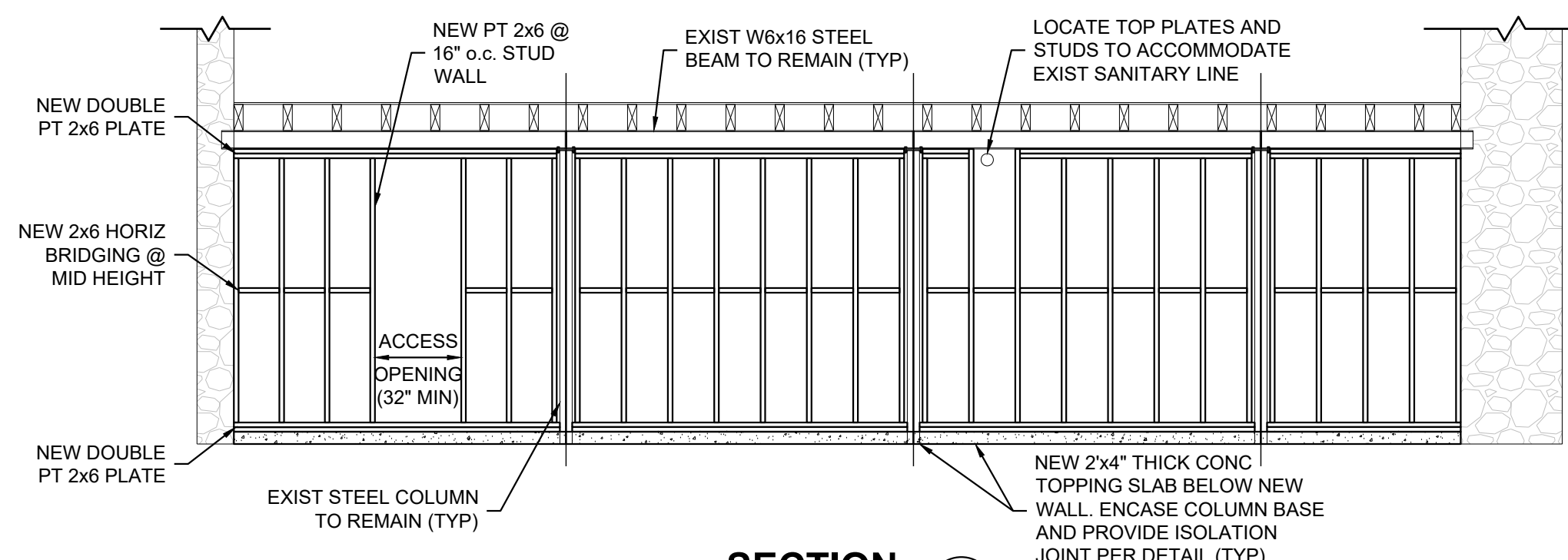
MINIMUM WOOD DESIGN VALUES (PSI)

	F _e	F _c	F _c	F _v	E	MOISTURE CONTENT
		Parallel	Perpendicular			
SAWN LUMBER (2"-4" THICK)	1,000	1,450	405	145	1,600,000	19%



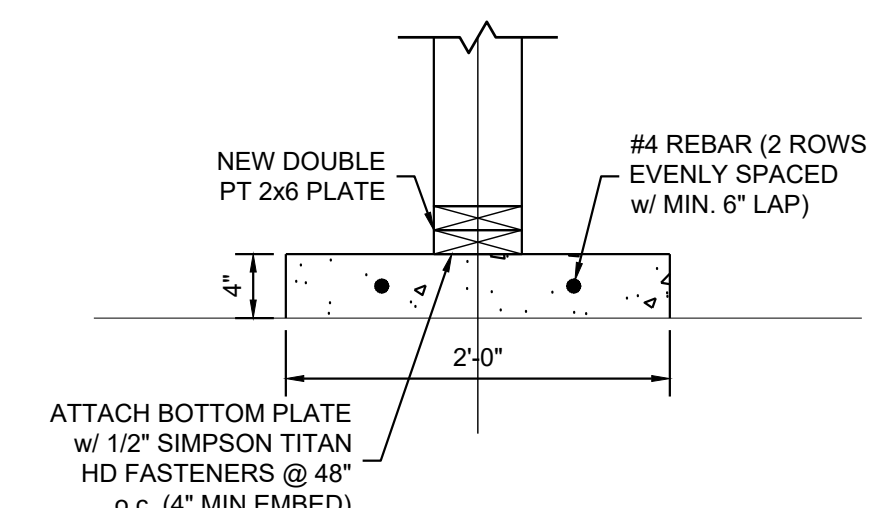
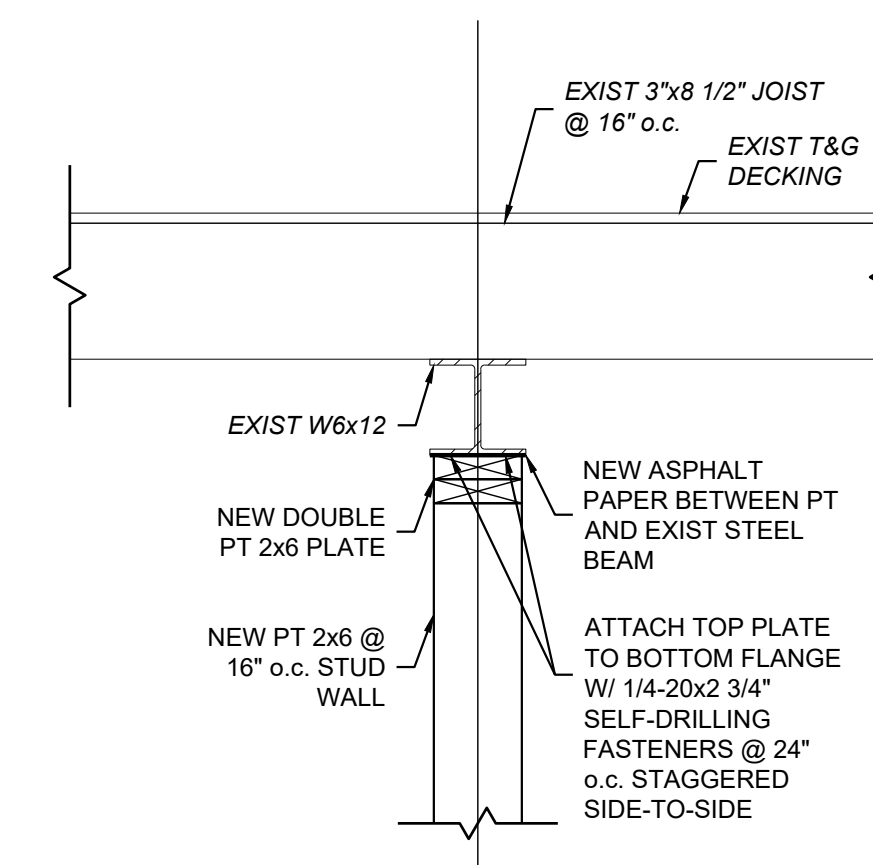
PARTIAL FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"



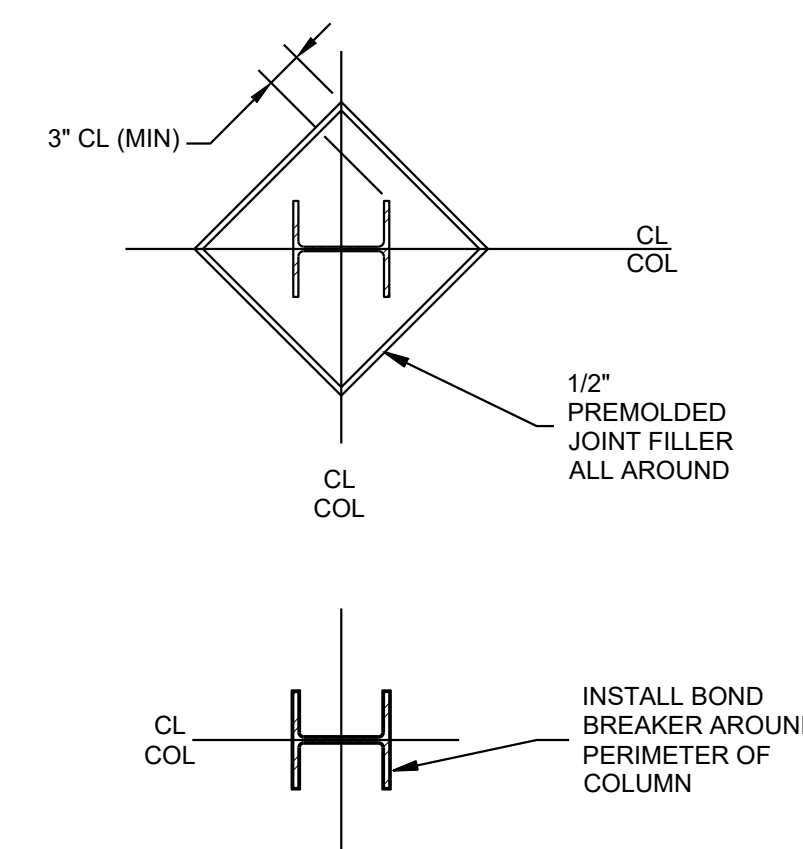
SECTION 2

SCALE: 1/4"=1'-0"



SECTION 4

SCALE: 1"=1'-0"



Typical Isolation Joint Details

SCALE: 3/4" = 1'-0"

Owner Review - Not for Construction 11/28/2023

FRAMING PLAN, SECTIONS, AND NOTES
MONTRONE BUILDING - BEARING SUPPORT REPAIRS
ALLEN TOWN HOUSING AUTHORITY
 244 N. 6TH STREET
 ALLEN TOWN, PA 18102

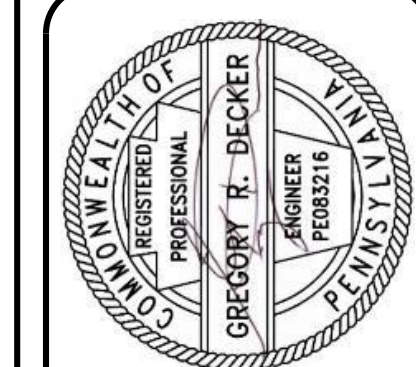
DATE: 11/16/2023	DSGN: GD
SCALE: AS NOTED	CHK: GPM
DRAWN: RPK	APPRD: GD
JOB: 1084123.000	P MGR: GPM

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SHEET:

S1.0

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS FOR THE ENTIRE PROJECT BEFORE PROCEEDING WITH THE WORK.



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