



Homequest Home Inspections PROPERTY INSPECTED



El Paso, TX 79902

D.O.M : 1955
SQ FT : 6,513
6 Bd 5 Ba

Inspector
Christopher Juarez
915-588-9399
www.homequesthomeinspections.com



obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Present at Inspection: Buyer Selling Agent Listing Agent Occupant
 Building Status: Vacant Owner Occupied Tenant Occupied Other
 Weather Conditions: Fair Cloudy Rain Temp: 55
 Utilities On: Yes No Water No Electricity No Gas
 Special Notes: _____

INACCESSIBLE OR OBSTRUCTED AREAS

Sub Flooring Attic Space is Limited - Viewed from Accessible Areas
 Floors Covered Plumbing Areas - Only Visible Plumbing Inspected
 Walls/Ceilings Covered or Freshly Painted Siding Over Older Existing Siding
 Behind/Under Furniture and/or Stored Items Crawl Space is limited - Viewed From Accessible Areas

Mold/Mildew investigations are NOT included with this report unless they are requested and the property is located in **New Mexico**. Any reference of water intrusion is recommended that a professional investigation be obtained.

NOTICE: THIS REPORT IS PAID FOR BY AND PREPARED FOR THE CLIENT NAMED ABOVE. THIS REPORT IS NOT VALID WITHOUT THE SIGNED SERVICE AGREEMENT AND IS NOT TRANSFERABLE.

Note about Thermal Imaging -

Although Infrared Thermal Imaging is a far better diagnostic tool than the naked eye, it does not guarantee 100% accuracy, unless removal or destruction of components can be achieved to validate findings. When possible, other tools are used to verify Thermal Images, but even with these considerations we do not claim to have x-ray vision nor guarantee that a deficiency exists. Conditions may change and cause the apparent temperature readings revealed in Thermal Images to be different at any given time. Thermal bridging of building materials will also reveal differing temperature anomalies that can appear to be deficiencies.

Note about Mold Inspection (New Mexico structures only) -

Mold inspection (New Mexico) is valid on day of inspection only. Conditions may change and mold may appear where it previously did not. You will receive two separate reports. One is the home inspection report and the other is the mold analysis report from Pro-Lab within four business days.



About Your Inspection Report -

While we expect homes to be built according to the standard practices and building codes that were in use at the date of construction, as they grow older, they are not required to automatically be upgraded to comply with current building codes. Deficiencies and safety issues will normally be present to one degree or another in these homes. While I endeavor to discover and point out deficiencies according to the requirements of the Texas Real Estate Commission (aka TREC) Standards of Practice (aka SOP) for property inspections, I do not inspect for building code compliance. My references and sources for calling out an item as deficient may include building codes

(International Residential Code, National Electric Code, etc.), manufacturer's instructions, building industry's standards, continuing education, and personal experience. But my report is not a code inspection, nor am I licensed to perform code inspections on real property. All code enforcement questions must be directed to the authority having jurisdiction. Contact the local building department for further details.

- I recommend that you have the home examined by a licensed contractor for the presence of wood destroying insects. I do not perform wood destroying insect inspections. Consult a licensed pest control company.
- I recommend you have the building examined by licensed contractors for the presence of environmental hazards. I perform mold sampling but do not perform other environmental or indoor air quality inspections.

Where the following heading is present :

Further Information, Consideration, Evaluation, Monitoring, or Recommendation :

You should give further attention to items mentioned under this heading. You may need to periodically inspect items mentioned or you may need to monitor a system, component, or situation over time to determine its condition or performance. Many components installed in homes require regular maintenance. In some cases it might be prudent to consult with an expert regarding issues mentioned. Where the following heading is present, Deficient Item(s):

- further evaluation and/or repair by a qualified contractor, licensed as required in the jurisdiction where the building is located, is needed.
- I do not inspect: low voltage accent lighting; motion detector or other sensor operated lights; radio/intercom systems; alarm systems; telephone and cable TV wiring; cabinet door or drawer operation; water conditioning equipment; septic systems. **I cannot inspect hidden defects, or components blocked by stored items/furniture.**

I recommend that client check with the City Inspection Department to see if there are any "open" or previous permits on a property they are considering purchasing. An "open" permit could prevent another permit from being issued for the property and there could be some outstanding issues that need to be addressed. Go to :

<http://epermit.elpasotexas.gov/citizenaccess/>

- **Pictures are included to help you understand and see what I saw at the time of the inspection. They are intended to show an example or illustration of an area of concern but may not show every occurrence and may not accurately depict its severity. Also note that not all deficiencies or areas of concern will be photographed. Do not rely on pictures alone. Please read the complete inspection report before your inspection contingency period expires. Where statements on the report include plurals such as 'various' or 'several'; it is recommended to look at the entire system or components. since all deficiencies cannot be exhaustively listed on the report. I was not aware whether this house had ever flooded or suffered moisture damage that might have been covered under insurance. While there may not have been visible evidence of moisture damage, repairs may hide such evidence.**

Refer to the Seller's Disclosure. Also, a C.L.U.E.® Report (Comprehensive Loss Underwriting Exchange) may offer additional information. I recommend that you check with your Realtor® for more information.

- Recovery of any claim arising from this inspection for whatever cause is strictly limited to the total amount of the fee paid to the inspector or this company by the client. Acceptance of this report confirms acceptance of these conditions.

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade

*Comments:*The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. 100% of the foundation cannot be inspected due to foliage, grading or items blocking field of view. This is a limited visual inspection.

Statement About Foundation Cracks :

- Foundation cracks may be covered or obscured by landscaping or grading. Concrete is susceptible to cracks. Even concrete in newly-built homes is prone to cracking, which normally occurs from settling or after pouring. Homes are constantly settling due to soil sub-grade quality and weather conditions and differing contraction / expansion rates. But the type of crack you really need to be concerned with are those that are a little wider than maybe one-eighth of an inch or more; horizontal, diagonal or vertical and radiate up the walls and floor. If they begin to exceed one-eighth inch, consult a structural engineer. Since most cracks are only cosmetic, cement caulking may be applied to hide them.
- Cracks smaller than one eighth of an inch may not be considered a deficiency but sealing and monitoring them is recommended.

ILLUSTRATION



Performance Opinion:

- In my opinion, the foundation appears to be providing adequate support for the structure at the time of this inspection. I did not observe any apparent evidence that would indicate the presence of adverse performance or significant deficiencies in the foundation.

Note: *Weather conditions, drainage, leakage and other adverse factors are able to effect structures, and differential movements are likely to occur. The inspectors opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. Future performance of the structure cannot be predicted or warranted.*

- The foundation appears to be performing the function intended.

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SUGGESTED FOUNDATION MAINTENANCE & CARE - Proper drainage and moisture maintenance to all types of foundations due to the expansive nature of the area load bearing soils. Drainage must be directed away from all sides of the foundation with grade slopes. In most cases, floor coverings and/or stored articles prevent recognition of signs of settlement - cracking in all but the most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection, as these are specialized processes requiring excavation. In the event that structural movement is noted, client is advised to consult with a Structural Engineer who can isolate and identify causes, and determine what corrective steps, if any, should be considered to either correct and/or stop structural movement.

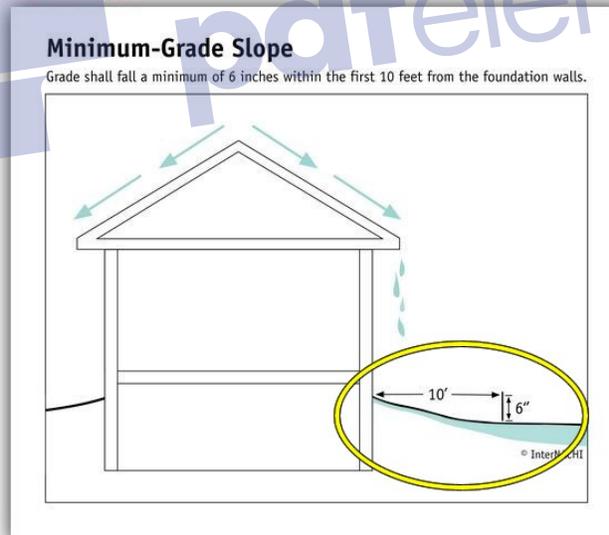
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B. Grading and Drainage

Comments:

Note: Any area where the ground or grade does not slope away from the structure is to be considered an area of improper drainage. Six inches per 10 feet. Grading and drainage of the property was only inspected visually. Landscaping changes or additions should always be constructed in such a manner as to prevent water from ponding adjacent to the homes foundation. Maintain drainage away from the foundation at all points. Include attention to minor details in any future landscaping changes. Any low and level areas next to the foundation could be a potential source of water accumulation at the exterior foundation areas. Monitor and regrade as/if needed to slope drainage away from the foundation and discharge the downspouts as far away from the house as possible. Poor exterior water management is the leading cause of foundation failure.

ILLUSTRATION



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C. Roof Covering Materials

Type(s) of Roof Covering: Composition / Fiberglass/Asphalt Shingles / Rolled Asphalt

Viewed From: Roof Level

Comments: Inspection of the roof is limited to the roof covering and flashing details only. Inspector cannot determine condition of the underlayment and if it is damaged or condition of joists if attic is inaccessible for inspection.

- Inspector cannot determine remaining life of roof covering.
- Roof leaks may develop any time after the inspection.
- This inspection does not determine hail damage. Consult with your insurance adjuster.

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- Roofing under the solar panels was not inspected.

**Composition Roof
Deficiencies**

1. Granular loss throughout the shingle surface.
2. Debris in various areas. Recommend removal to prolong integrity of surface.
3. Tree branches overhang. Recommend trimming away from the roof.



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Flat Roofs

Note: It has been my experience that resealing of seal coated or asphalt roll roofing should be done every three to seven years.

Deficiencies

1. Rolled roofing is not overlapped properly in some areas at the down slope near the skylight.



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Roof Penetrations - Gutters

- Gutters / Downspout's at the front of home are dirty, or draining too close to foundation or roof system at the front.



Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof.

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D. Roof Structures and Attics

Viewed From: No attic access
*Approximate Average Depth of Insulation:*NA
*Approximate Average Thickness of Vertical Insulation:*NA
*Insulation Type:*NA
Comments:

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E. Walls (Interior and Exterior)

Comments: This is an inspection of interior and exterior walls. Inspector cannot determine conditions behind drywall and exterior veneers and components.

- Some areas of the exterior walls may not have been inspected due to foliage or brush over growth blocking access.
- If property was occupied at time of inspection, some interior walls may not have been inspected fully due to personal items blocking access.
- Inspector is not required to report on cosmetic wall deficiencies.

Statement About Wall Cracks :

- Inspector is not required to report on all cosmetic related wall cracks. Whether drywall, plaster or concrete, walls are susceptible to cracks. Even walls in newly-built homes are prone to cracks, which normally occur from settling. Homes are constantly settling as different

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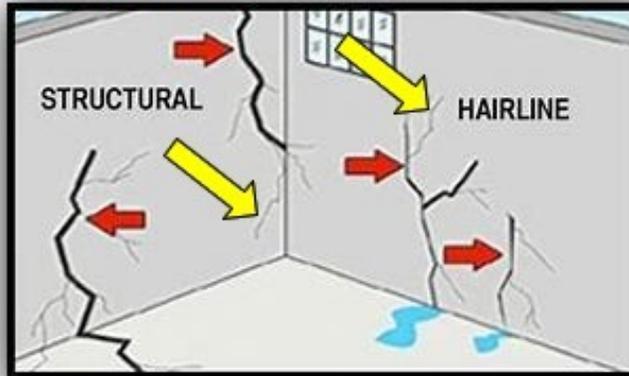
D=Deficient

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construction materials expand and contract at different rates. But the type of crack you really need to be concerned with are those that are a little wider than maybe three-sixteenth of an inch or more and is growing at the bottom or top, and where one side of the crack is not level with the other side of the crack (red arrows). That can indicate some active structural movement. In this case it is recommended to monitor it and consult a structural engineer.

- Hairline cracks (yellow arrows) smaller than three-sixteenth of an inch are not considered a deficiency but sealing and monitoring them is recommended.
- Wall cracks may develop anytime after the inspection.
- Since most cracks are only cosmetic, spackling may be applied to hide them.

ILLUSTRATION



Interior Walls: Deficiencies

1. Dining Room : Settlement crack.
2. Master Bedroom : Step cracks on brick wall. Recommend monitoring.
3. Play Room : Crack below window.
4. Basement Utility Room : Evidence of prior moisture intrusion. Tested negative for moisture.
5. Front Furnace Room : Settlement crack.
6. There is a black substance below the stairwell, indicating prior moisture intrusion. Tested negative for moisture.



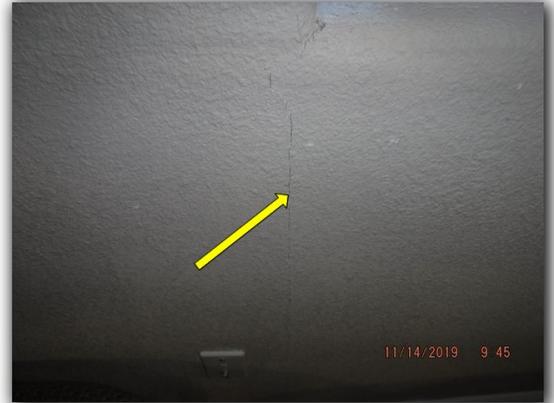
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Exterior Walls:
Deficiencies

Siding Materials: Brick Stone Wood Wood byproducts Stucco
 Vinyl Aluminum Asbestos Cement Board Other

1. Settlement cracks at the rear of home in various areas. Recommend monitoring and further evaluation by a structural specialist if they widen or if more cracks develop. Please refer to statement about wall cracks above.

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MASTER BEDROOM



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F. Ceilings and Floors

Comments: This is a general inspection of floors and ceilings. Inspector cannot determine conditions behind drywall and flooring materials.

- If property was occupied at time of inspection, certain areas of flooring may not have been inspected due to personal items blocking access.
- Inspector is not required to report on ceiling cosmetic deficiencies.

Statement About Ceiling Cracks :

- Inspector is not required to report on all cosmetic related ceiling cracks. Whether drywall or plaster; ceilings are susceptible to cracks. Even ceilings in newly-built homes are prone to cracks, which normally occur from settling. Homes are constantly settling as different construction materials expand and contract at different rates. But the type of crack you really need to be concerned with are those that are a little wider than maybe three-sixteenth of an inch or more and is growing, and where one side of the crack is not level with the other side of the crack. That can indicate some active structural movement. In this case it is recommended to monitor it and consult a structural engineer. Since most ceiling cracks are only cosmetic, spackling may be applied to hide them.
- Cracks (hairline) smaller than three-sixteenth of an inch are not considered a deficiency but sealing and monitoring them is recommended.
- Ceiling cracks may develop anytime after the inspection.

Statement About Tile Floor Levelness :

- The ANSI A108.02 standards say that acceptable lippage (un-evenness) for floor tiles with a

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grout joint width of 1/16" to less than 1/4" is 1/32" plus the allowable inherent warpage of the tile. If the grout joint width is 1/4" or greater, then the allowable warpage is 1/16" plus the allowable inherent warpage of the tile. Allowable warpage per ANSI A137.1 depends on the type of tile, but ranges from approximately 1/32" to 3/32". So 1/32" warpage plus 1/32" equals 1/16" allowable warpage for most tiles with some exceptions.

- Inspector cannot exhaustively inspect all tiles for adherence to the sub-floor.
- Inspector cannot report on all areas where grout is missing.

Ceilings

Deficiencies

1. Basement Utility Room : Joists are water damaged. There is evidence of active moisture in that area. Guest bathroom is located above.
2. Front Foyer Closet : Ceiling crack.
3. Front HVAC Closet : Drywall by the furnace plenum is damaged and missing in some areas.



Floors

Deficiencies

1. Play Room : Carpet is damaged by the door.

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G. Doors (Interior and Exterior)

Comments: This is a general inspection of function and condition of interior and exterior doors.

- Inspector is not required to report on missing door stops and their locations.
- Garage fire doors - Without a fire rated sticker on the door we are unable to verify that doors leading into the residence from the garage are fire rated. Most solid wood doors 1-3/8" thick and steel doors are fire rated.
- Exterior doors develop leaks over time. We recommend that weather stripping be checked periodically and framing around the door be re-sealed.

**Interior Doors
Deficiencies**

1. Foyer Closet : Does not latch.
2. Hallway : Closet floor guides are missing.



**Exterior Doors
Deficiencies**

1. Side Exit : Weather stripping is missing.
2. Library : Weather stripping is missing.

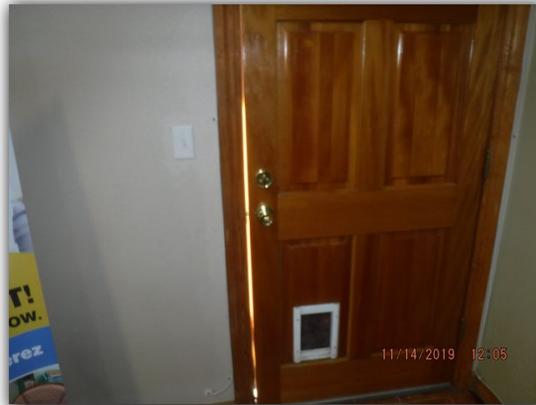
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Garage Door(s) Into Residence
Deficiencies

1. Weather stripping is missing or damaged.



H. Windows

Comments: This is an inspection of windows and components. Inspector is not required to provide an exhaustive list of locations of deficiencies, failed thermo-pane seals, water penetrations, cracks.

- If property was occupied at time of inspection, some windows may not have been inspected due to personal items and window treatments blocking access. Cracks or seal failures may not be reported.
- Burglar bars pose an egress issue if not maintained. It is recommended that the release mechanism be inspected and lubed periodically.
- If thermal film has been applied, full inspection of windows will be limited.
- An exhaustive review of the window caulking was not done as part of this inspection. It is recommended that all windows be caulked as cracks develop.
- Moisture damage may be hidden on the window sills. Only visual damage is reported.

THERMAL WINDOWS

- As THERMAL PANE WINDOWS lose their vacuum, moisture may appear, and then disappear, depending on inside and outside temperature, barometric pressure and the relative

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humidity. Windows are listed as OBSERVED AT THE TIME OF THE INSPECTION ONLY, and NO WARRANTY IS EXPRESSED OR IMPLIED. If voided or damaged thermal panes are noted on the inspection report, we would strongly urge that a qualified glass company or glazier be contacted for a further evaluation and any estimates that might be needed.

Deficiencies

1. Some windows are difficult to open, close or latch.
2. **Basement Conversion : Some windows do not open and all burglar bars are missing internal releases. Safety and egress concern.**
3. The wood trim on some windows are water damaged on the exterior.
4. Rear Corner Bedroom : Windows do not open.
5. All windows are missing screens.
6. Maids Bedroom : Windows do not open.
7. Window sill height exceeds 44" egress in the sleeping areas.



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I. Stairways (Interior and Exterior)

Comments: The inspector is not required to exhaustively measure every stairway component.

**EXTERIOR
Deficiencies**

- 1.Side Exterior : Hand rail is missing.
- 2.Landing Wall : Mortar is deteriorated and some rocks are loose.
- 3.The landing at the bottom of the stairway is eroded, creating a trip hazard.

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J. Fireplaces and Chimneys

Comments: Inspection of firebox is limited if gas logs are present and if fire box is dirty. Inspector is not required to verify the integrity of the flue.

- Since this was a basic visual inspection, inspector recommends that all fireplaces, fuel-burning stoves and chimneys be inspected and cleaned by a certified chimney sweep prior to their first use, and annually thereafter.
- If gas to unit is off, inspector will determine if it is safe to ignite.
- If gas logs are in use or will be used; a damper block is recommended to prevent it from closing completely. Illustration below.



Type of Fireplace: Factory Masonry Free Standing

Fuel Type(s) : Library (Wood burning) Great Room (Gas Logs)

Library

Deficiencies

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1. Creosote build up in firebox or flue.
2. Chimney crown is cracked and spark arrestor / chimney cap are missing.



**Great Room
Deficiencies**

1. Unable to ignite after several attempts.



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K. Porches, Balconies, Decks, and Carports

Comments: Inspector is not required to exhaustively measure every porch, balcony, deck, or attached carport components. Attached carports, balconies, and porches are inspected only.

Decking

Deficiencies

1. One balauster is missing at the front corner of the deck.
2. Gate is difficult to close. It is mis-aligned.
3. There is evidence of minor moisture intrusion on the deck joists. No evidence of rot observed.
4. The lattice around the deck is damaged in some areas.



patent

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**Rear Patio
Deficiencies**

1. The PVC covering is worn and damaged. in some areas.



Porches / Driveways / Walkways

Statement About Surface Cracks :

- Inspector is not required to report on all cosmetic related surface cracks. Concrete is susceptible to cracks. Even concrete in newly-built homes is prone to cracking, which

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normally occurs from settling. Homes are constantly settling due soil and weather conditions and differing contraction / expansion rates. But the type of crack you really need to be concerned with are those that are a little wider than maybe one-eighth of an inch or more. That can indicate some active structural movement. In this case it is recommended to monitor it and consult a structural engineer. Since most cracks are only cosmetic, cement caulking may be applied to hide them.

Deficiencies

1. Minor cracking. Recommend seal and monitor.



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L. Other

Comments: Condition and function of cabinet drawers, doors and counters are inspected only .

- Inspector cannot determine how cabinets are anchored or if anchored appropriately.
- Mechanical damage of counters, doors and drawers is reported only. Cosmetic condition is not reported.

Cabinets

Deficiencies

1. Guest Bath : Cabinet hinge is damaged.
2. Kitchen : Some hinges are loose.



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Rock Walls / Gates

Deficiencies

- 1. Typical cracks / voids in rock wall. Recommend seal and monitor.
- 2. Left Gate : Damaged and does not open.



II. ELECTRICAL SYSTEMS

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A. Service Entrance and Panels

Comments: The Texas Real Estate Commission (TREC) has adopted Standards of Practice which require an Inspector to report conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined, without regard to the Code at the time the house was built. The adequacy of the electrical service and load calculations are outside of the scope of this inspection. It is recommended to consult a licensed electrician to evaluate any deficiencies listed on this report.

- Inspector will not reset any circuit breaker that is found switched off or is tripped. This includes main panels and sub-panels.
- If panel access is blocked, inspector will not move items to inspect it. 36" access rule applies.
- If your home is more than 30 or 40 years old, you may need an upgrade. Older homes typically have panels that top out at 60 or less than 100 amps. Newer homes usually have 200-amp panels which fit our lifestyles. Today's electricity needs are greater than before with high-definition televisions, computers, smart refrigerators and other appliances.
- Solar panels and components are installed and were not inspected. Inspector cannot determine the wattage / voltage output from the panels.

Overhead Service Underground Service

Breaker Size : 200 amps single phase

Service : 120/240 volts

Conductor Type : Copper

Manufacturer : Siemens

Main Disconnect Panel

Deficiencies

- 1. Service size for this home is not sufficient. Recommend upgrading service amperage. Further evaluation by a licensed electrician is recommended.

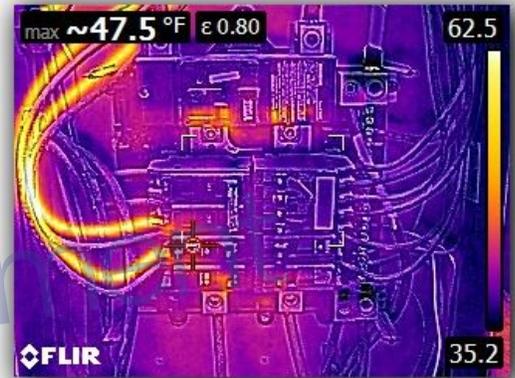
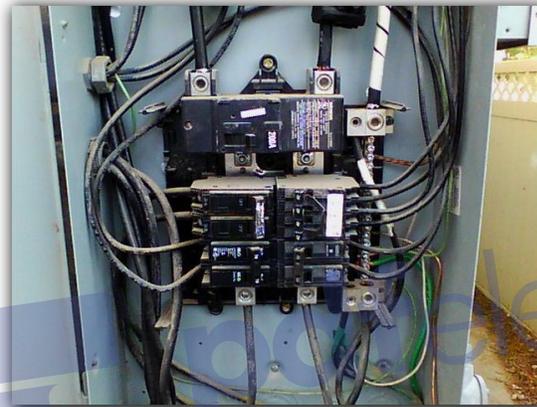
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Sub Panels

Type of Wire: Copper Aluminum

Manufacturer : GE / XO (3 Sub-panels located in the basement conversion)

Deficiencies

1. Some dead front mounting screws are missing on all panels.
2. Double tapped service, breaker and neutral conductors. Recommend further evaluation by a licensed electrician.
3. Panels are not labeled.
4. The GE panel is missing knockouts, exposing the interior.

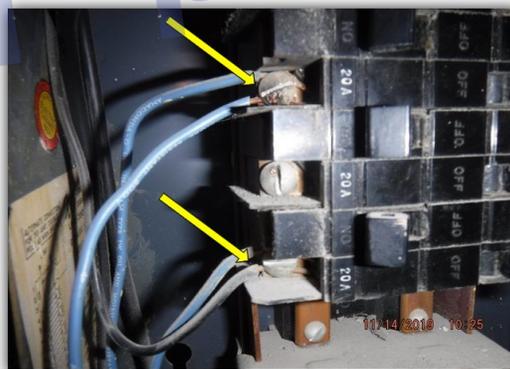
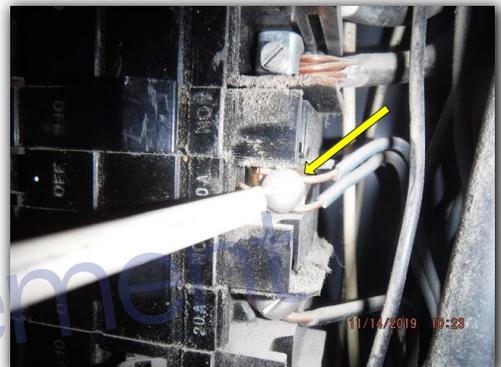
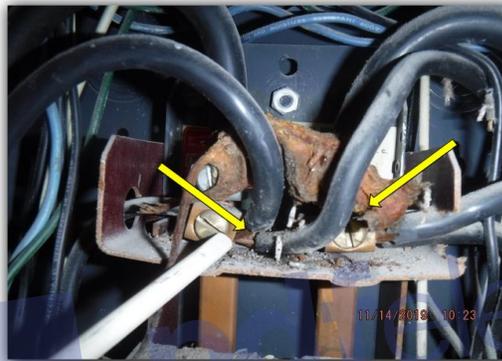
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



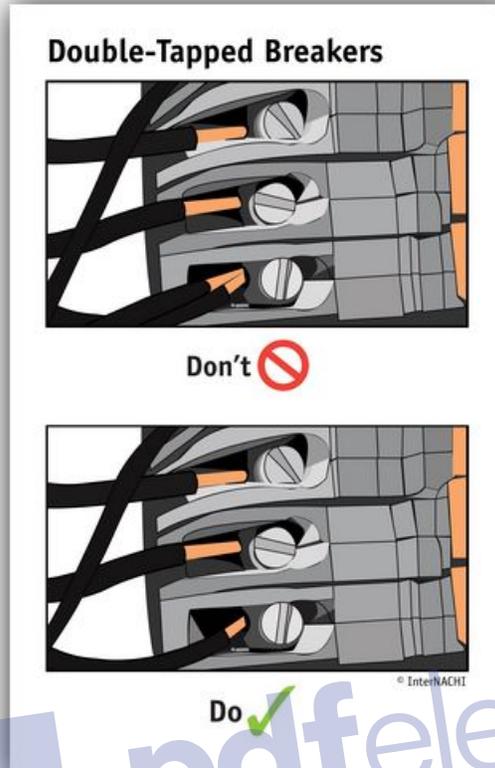
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I NI NP D



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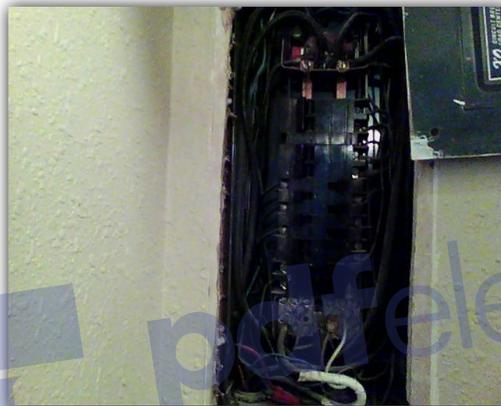
I=Inspected

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I	NI	NP	D
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Note: "AFCI" is an arc fault circuit interrupter. AFCI protected bedrooms outlets have been provided in new construction since 2006. This property was constructed prior to the implementation of the new code requirement. . The Standards of Practice promulgated.

Thermal Imaging results -

- I did not observe any indications of electrical overloads or other anomalies during my inspection of the main and sub panels.

-

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper Aluminum

Comments: Furnishings and personal items may limit access to outlets / receptacles in a furnished dwelling. This is not an exhaustive inspection of the electrical system. A qualified, licensed electrical contractor should be selected to address any deficiencies noted.

- If property was occupied at time of inspection, some outlets may not have been inspected due to personal items blocking access
- If panel access is blocked, inspector will not move items to inspect it. 36" access rule applies.
- Ground Fault Circuit Interrupters (GFCIs) are intended to protect persons from accidental electrocution in areas susceptible to moisture.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Outlet and Switches

Deficiencies

1. Master and Guest Bath : GFCI is inoperable.
2. Play Room : No power to outlets and light switch is loose.
3. Kitchen : No GFCI protection.
4. Some dimmer switches are inoperable.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Ground/ARC Fault Circuit Interrupt Safety Protection

Kitchen:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Partial	Bathrooms:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Partial
Exterior:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Partial	Garage:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Partial
Basement:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Partial	Wet Bar:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Partial
Living:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Partial	Dining:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Partial
Crawlspace:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Partial	Laundry:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Partial
A/C Unit:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Partial	Pool/Spa:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Partial
Bedroom:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Partial				

No GFCI/ARC Fault protection at one or more location. This is considered a recognized safety hazard.

Arc-Fault Protection (AFCI) : This home does not meet current arc-fault circuit-interrupter (AFCI) requirements. This is an “as-built” condition, but Per TREC standards of practice we are required to report this condition as a deficiency. Some items reported as Deficient may be considered upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-I.

AFCI protection in bedrooms became a requirement in new construction with a revision of the Electrical code in 2006. And as of March 2011 the city of El Paso requires AFCI protected outlets in all living areas. If this home was constructed prior to the implementation of this code requirement, it is not required to have them installed.

Fixtures

Deficiencies

1. Basement Bedroom : Ceiling fan hums at low speed.
2. Some closet lighting fixtures are missing lens covers.



Smoke and Carbon Monoxide Detectors

Deficiencies

1. Smoke alarms are not present in each sleeping area.

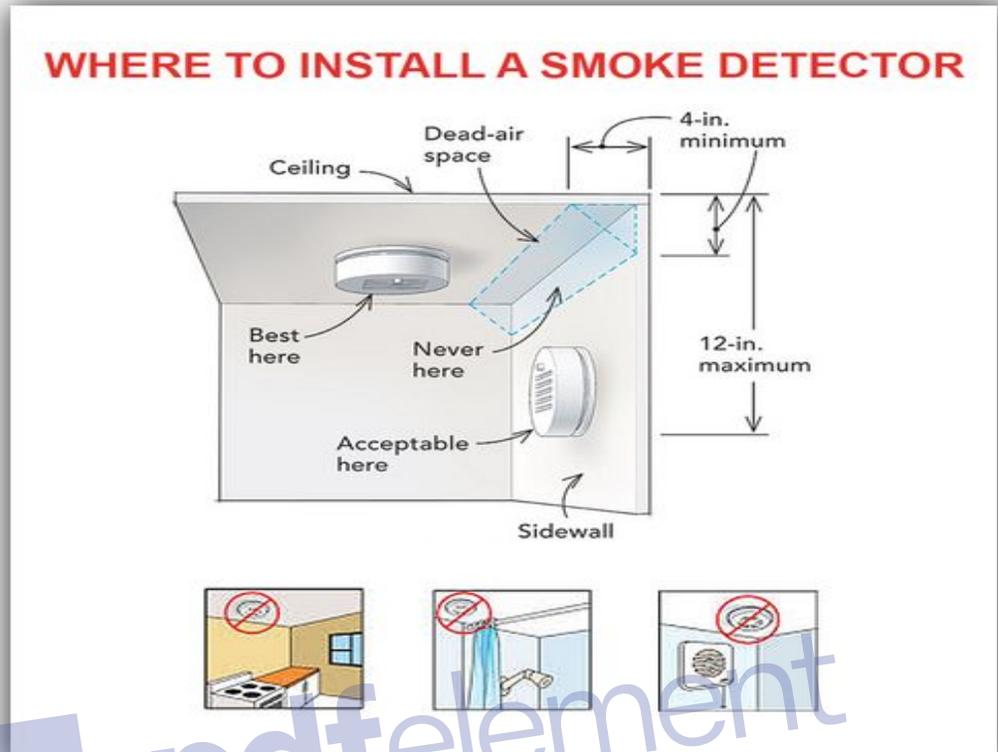
I=Inspected

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I NI NP D



Note: This excludes alarms, or detectors, that are a part of a monitored security systems. Monitored alarms typically do not have an integral Test button. When there is doubt that these are unmonitored, we may depart from the standard and not test these devices, but will report that below. Otherwise, all accessible devices are tested with the integral Test button as recommended by the manufacturer.

Note: It is recommended to replace the batteries in all of the smoke detectors and carbon monoxide detectors once a year for reasons of safety.

It is recommended to replace smoke and carbon monoxide detectors if over 10 years old.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of System: Central (2 Packaged and 3 Split units)

Energy Source: Gas

Comments: I recommend that a qualified technician clean, evaluate and service furnaces on a regular basis. System operated normally unless other wise noted below in deficiencies.

- Inspector is not required to ignite standing pilots if unit is off at time of inspection. Report will state "visual inspection only".
- Inspection of the heating system was basic. **We recommend that the HVAC unit(s) be serviced by a licensed specialist prior to end of option period.**
- **I was unable to locate the air intake vent and thermostat to one packaged unit.**

Brand : Goodman (All units)

Consumer ID Plate : Yes

I=Inspected

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D=Deficient

I NI NP D

Basement Unit

Temperature Differential : 44 Deg.



Deficiencies

1. All Units : The heater gas supply line is not equipped with a sediment trap just before the gas appliance connector. This condition does not meet current installation requirements and should be corrected.
2. Did not locate combustion air or supply air intakes in the closet. Recommend further evaluation by a licensed technician.



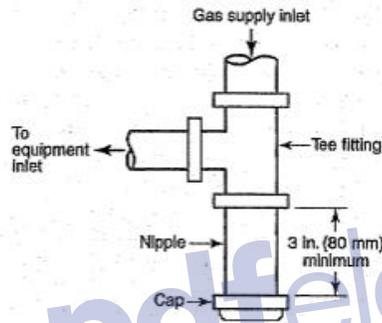
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Main Home (Front Rooms)

Garage Unit



Temperature Differential : 64 Deg.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



(Rear Rooms)

Temperature Differential : 21 Deg.



(Library, Kitchen, Dining)

Deficiencies

1. Unit did not turn on using normal controls.
2. The intake filter is not properly installed.
3. Did not locate combustion air or supply air intakes in the closet. Recommend further evaluation by a licensed technician.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Electric Baseboard Radiant Heaters
Deficiencies

1. Some heaters are inoperative.



B. Cooling Equipment

Type of System: Central (2 Packaged and 3 Split units)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Comments: Annual servicing of A/C units and swamp coolers in recommended. Replacing return air filters every 3 months minimum is recommended.

- Temperature differential must be between 14-23 Deg . Evaporative coolers do not apply.
- Inspection of the cooling system was basic. **We recommend that the HVAC unit(s) be serviced by a licensed specialist prior to end of option period.**
- System operated normally unless other wise noted below in deficiencies.

Note :

Cooling system could not be operated or properly inspected due to outside air temperature being below 60 degrees Fahrenheit at the time of inspection. Operation at or below 60 degrees could cause damage to the unit. Visual inspection only.

Deficiencies

1. Garage Unit : Refrigerant lines not properly insulated at the condenser. Left exterior of home.
2. Garage Unit : Condenser is mounted on the ground. Recommend a mounting pad minimum 3"thick.
3. The condensate drain on one roof top unit is disconnected.
4. The condensate drain on one roof top unit is not terminated properly and the roof penetration needs to be re-sealed to prevent water intrusion.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



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C. Duct Systems, Chases, and Vents

Comments: This is a limited visual inspection of the ducting / ventilation system.

- It is recommended to replace intake air filters every 3-6 months.
- It is recommended to clean duct work annually.
- Inspection of the duct system was limited due to it's complexity. At least one register is removed and the system is inspected for rust and dirt.

Note :

Duct Systems, Chases, and Vents Specific Limitations. The inspector will not determine the efficiency, adequacy, or capacity of the systems; determine the uniformity of the supply ducts; determine the types of materials contained in insulation, wrapping of pipes and ducts, jackets, boilers, and wiring; operate venting systems unless ambient temperatures, or other circumstances, in the reasonable opinion of the inspector, are conducive to safe operation without damage to the equipment or operate a unit outside its normal operating range.

Efficiency Tip: Seal the plenum, duct hubs and evaporator coil seams with aluminum tape or HVAC ductwork mastic for a possible savings in energy consumption of as much as 35%.

Type of Ducting: Flex Ducting Duct Board Metal

IV. PLUMBING SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

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A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Curb in front of Home

Location of main water supply valve: Garage

Static water pressure reading: 75



Comments: Inspector will not turn main water on if it is off at time of inspection only upon approval of seller or their representative.

- Inspector can only visually inspect plumbing fixtures and related components. Inspection is often limited due to items blocking visual access.
- Inspector cannot exhaustively locate all areas where caulking or grout is missing. It is recommended that any voids be sealed and periodically inspected.
- Plumbing leaks can develop anytime after the inspection.

Water Source: Public Private **Sewer Type:** Public Private

Sinks

Deficiencies

1. Guest Bath : Cold water to left sink does not turn off completely.
2. 1/2 Bath : Hot water faucet is loose.
3. Corrosion or rust is present on some shut off valves and/or fixtures. No active leaks detected.
4. 1/2 Bath : Cold water shut off handle is missing.
5. Wet Bar : No hot water output.
6. Maids Bath : The drain line under the sink is an incorrect corrugated plastic type that should be replaced with a smooth bore drain pipe to help prevent blockage.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Bathtubs and Showers
Deficiencies

1. Guest Bath : Tub stopper is missing and diverter is inoperable.

I=Inspected

NI=Not Inspected

NP=Not Present

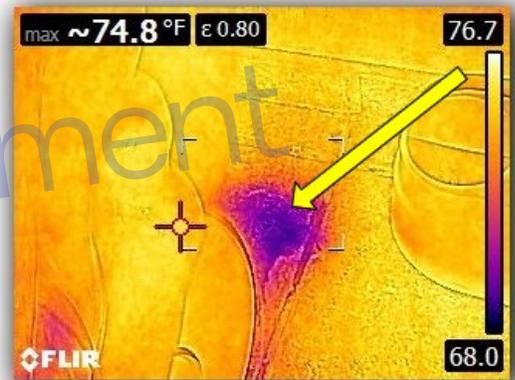
D=Deficient

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**Commodes
Deficiencies**

- 1. Guest Bath : Leakage around commode.



Washing Machine Connections

- 1. Washing machine connected at this time - faucets, drains not tested for proper operation. Some corrosion present but no leaks observed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Exterior Plumbing

STATEMENT ABOUT BACK FLOW -

- **back-pressure:** Back-pressure is the reverse of the normal direction of flow within a piping system as the result of the downstream pressure being higher than the supply pressure. This reduction in supply pressure occurs whenever the amount of water being used exceeds the amount of water being supplied (such as during water-line flushing, fire-fighting, or breaks in water mains).
- **back-siphonage:** Back-siphonage is the reverse of the normal direction of flow within a piping system that is caused by negative pressure in the supply piping (i.e., the reversal of normal flow in a system caused by a vacuum or partial vacuum within the water supply piping). Back-siphonage can occur when there is a high velocity in a pipe line, when there is a line repair or break that is lower than a service point, or when there is lowered main pressure due to high-water withdrawal rate (such as during fire-fighting or water-main flushing).

Deficiencies

1. Some exterior hose bibs do not have back-flow prevention.



Thermal Imaging results -

- I did not observe any other plumbing anomalies that would indicate a deficiency.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Drains, Wastes, and Vents

Comments: This is a visual inspection of the vent systems. All visible vents are inspected. Opinions are based on general observations made without the use of specialized tools or procedures.

C. Water Heating Equipment

Energy Source: Gas

Capacity: 40 / 50

Comments: Average life expectancy of conventional water heaters is 7-10 years.

Unit Date Stamped: 2018 / 2004

- Water heater TPR valve was visually inspected but not tested.
- If unit is turned off, inspector will determine if it is safe to turn on and test unit.
- Water heaters may develop leaks anytime after the inspection.
- **Link For Water Alarms :** <https://www.homedepot.com/p/Basement-Watchdog-Battery-Operated-Water-Alarm-BWD-HWA/100038838>

WATER HEATER TEMPERATURE ADJUSTMENT -

- When water temperature exceeds 120 Deg F, the risk of scalding increases. Run hot water at the tap closest to the water heater for at least three minutes. Then fill a glass and check the hot temperature. If the water is above 120 degrees, adjust the dial, wait about three hours and check again. Repeat until you get 120-degree F water. For a final test, check the water heater temperature the following morning, before anyone uses hot water.

Deficiencies

1. Draft hoods are missing mounting screws.
2. The water heater gas supply line is not equipped with a sediment trap just before the gas appliance connector. This condition does not meet current installation requirements and should be corrected.
3. Lack of drain pan and drain. It is recommended to install a water alarm available at Lowes or Home Depot.

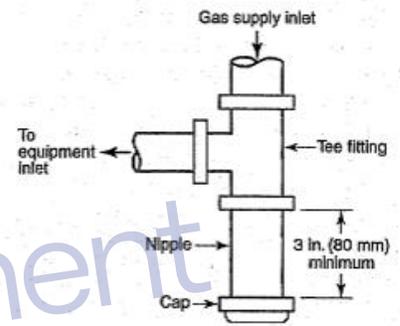
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D=Deficient

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



WATER ALARM



Water heater Temperature and Pressure Relief Valve Deficiencies

1. Basement : TPR is missing drain line. Safety concern.

I=Inspected

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D=Deficient

I NI NP D



D. Hydro-Massage Therapy Equipment

Comments:

E. Other

Comments:

Note: If there is evidence of a gas leak (odor), the source is detected utilizing advanced Combustible Gas Leak Detector and reported.

V. APPLIANCES

A. Dishwashers

Comments: If unit is unplugged, inspector will not plug in and will state on report "visual inspection only."

- Unit is operated in one wash mode only.

Deficiencies

1. Recommend shortening the anti-siphon loop at the drain line to prevent blockage.
2. Unit is not properly secured to cabinet.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Food Waste Disposers

Comments: If unit is unplugged, inspector will not plug in and will state on report "visual inspection only."

WASTE DISPOSAL TIPS -

Put only small quantities of food into the disposal at a time. Large food scraps should be cut into smaller pieces before entering the disposal.

Never put anything down the disposal that is not food or water. Bottle caps, aluminum foil, and other non-food items can damage the disposal or get stuck in the plumbing piping.

Run water while using the disposal and for approximately 30 seconds after you turn it off. Food scraps will flow through the piping more easily if they are pushed along by water. Cold water is better than warm water for this purpose because it will force fats and grease to congeal and harden, allowing them to move more easily through pipes. Warm water can be run through the disposal while it is not in operation.

Ice can be used to clear off solidified grease and other debris from the blades in a garbage disposal.

-

C. Range Hood and Exhaust Systems

Comments: This is a basic operation and visual inspection of the range hood exhaust system. Inspector cannot determine the condition of ducting.

Deficiencies

1. One lens is missing.



-

D. Ranges, Cooktops, and Ovens

Comments: If unit is un-plugged or gas main is off; inspector will state on report "visual inspection only".

Range Type: Electric Gas

Deficiencies

1. Igniter is not present. External lighter must be used to turn burners on. Safety concern.

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I NI NP D



Oven(s):

Unit #1: Electric Gas

Tested at 350°F, Variance noted: 2 °F (max +/- 25°F)



E. Microwave Ovens

Comments: Basic operation of the microwave oven is tested. Inspector does not check for exterior door leakage.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Deficiencies

1. 1/2 Bath : No exhaust vent is present.



G. Garage Door Operators

Comments: Inspector will not connect and operate garage openers that are disconnected from power or when door release has been pulled to disengage door. Door will be manually tested.

GARAGE DOOR SAFETY -

Homeowners should not attempt to adjust or repair springs themselves. The springs are held under extremely high tension and can snap suddenly and forcefully, causing serious or fatal injury. No one should stand or walk beneath a garage door while it is in motion. Adults should set an example for children and teach them about garage door safety. Children should not be permitted to operate the garage door opener's push button and should be warned against touching any of the door's moving parts.

Fingers and hands should be kept away from pulleys, hinges, springs, and the intersection points between the door panels. Closing doors can very easily crush body parts that get between them. The automatic reversal system may need to be adjusted for cold temperatures, since the flexibility

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

of the springs can be affected by temperature. This adjustment can be made from a dial on the garage door opener, which should be changed only by a trained garage door technician.

Deficiencies

1. Door locks or side ropes have not been removed or disabled. Recommend removing or disabling to prevent door and opener damage.



-

H. Dryer Exhaust Systems

Comments:

-

I. Other

Comments:

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Summary Of Deficiencies

(Please read entire report. Do not rely on this list alone)

1.1 ROOF COVERING MATERIALS

1. Granular loss throughout the shingle surface.
2. Debris in various areas. Recommend removal to prolong integrity of surface.
3. Tree branches overhang. Recommend trimming away from the roof.
4. Rolled roofing is not overlapped properly in some areas at the down slope near the skylight.
5. Gutters / Downspout's at the front of home are dirty, or draining too close to foundation or roof system at the front.

1.2 WALLS (INTERIOR AND EXTERIOR)

1. Dining Room : Settlement crack.
2. Master Bedroom : Step cracks on brick wall. Recommend monitoring.
3. Play Room : Crack below window.
4. Basement Utility Room : Evidence of prior moisture intrusion. Tested negative for moisture.
5. Front Furnace Room : Settlement crack.
6. There is a black substance below the stairwell, indicating prior moisture intrusion. Tested negative for moisture.
7. Settlement cracks at the rear of home in various areas. Recommend monitoring and further evaluation by a structural specialist if they widen or if more cracks develop.
8. Please refer to statement about wall cracks above.

1.3 CEILINGS AND FLOORS

1. Basement Utility Room : Joists are water damaged. There is evidence of active moisture in that area. Guest bathroom is located above.
2. Front Foyer Closet : Ceiling crack.
3. Front HVAC Closet : Drywall by the furnace plenum is damaged and missing in some areas.
4. Play Room : Carpet is damaged by the door.

1.4 DOORS (INTERIOR AND EXTERIOR)

1. Foyer Closet : Does not latch.
2. Hallway : Closet floor guides are missing.
1. Side Exit : Weather stripping is missing.
2. Library : Weather stripping is missing.
3. Weather stripping is missing or damaged.

1.5 WINDOWS

1. Some windows are difficult to open, close or latch.
2. **Basement Conversion : Some windows do not open and all burglar bars are missing internal releases. Safety and egress concern.**
3. The wood trim on some windows are water damaged on the exterior.
4. Rear Corner Bedroom : Windows do not open.
5. All windows are missing screens.
6. Maids Bedroom : Windows do not open.
7. Window sill height exceeds 44" egress in the sleeping areas.

1.6 STAIRWAYS (INTERIOR AND EXTERIOR)

- 1 Side Exterior : Hand rail is missing.
2. Landing Wall : Mortar is deteriorated and some rocks are loose.
3. The landing at the bottom of the stairway is eroded, creating a trip hazard.

1.7 FIREPLACES AND CHIMNEYS

1. Creosote build up in firebox or flue.
2. Chimney crown is cracked and spark arrestor / chimney cap are missing.
3. Unable to ignite after several attempts.

1.8 PORCHES, BALCONIES, DECKS, AND CARPORTS

1. One balauster is missing at the front corner of the deck.
2. Gate is difficult to close. It is mis-aligned.
3. There is evidence of minor moisture intrusion on the deck joists. No evidence of rot observed.
4. The lattice around the deck is damaged in some areas.
5. Minor cracking. Recommend seal and monitor.

1.9 OTHER

1. Guest Bath : Cabinet hinge is damaged.
2. Kitchen : Some hinges are loose.
3. Typical cracks / voids in rock wall. Recommend seal and monitor.
4. Left Gate : Damaged and does not open.

1.10 SERVICE ENTRANCE AND PANELS

1. **Service size for this home is not sufficient. Recommend upgrading service amperage. Further evaluation by a licensed electrician is recommended.**
1. Some dead front mounting screws are missing on all panels.
2. Double tapped service, breaker and neutral conductors. Recommend further evaluation by a licensed electrician.
3. Panels are not labeled.
4. The GE panel is missing knockouts, exposing the interior.

1.11 BRANCH CIRCUITS, CONNECTED DEVICES, AND FIXTURES

1. Master and Guest Bath : GFCI is inoperable.
 2. Play Room : No power to outlets and light switch is loose.
 3. Kitchen : No GFCI protection.
 4. Some dimmer switches are inoperable.
- No GFCI/ARC Fault protection at one or more location. This is considered a recognized safety hazard.**
1. Basement Bedroom : Ceiling fan hums at low speed.
 2. Some closet lighting fixtures are missing lens covers.
 3. Smoke alarms are not present in each sleeping area.

1.12 HEATING EQUIPMENT

1. All Units : The heater gas supply line is not equipped with a sediment trap just before the gas appliance connector. This condition does not meet current installation requirements and should be corrected.
2. Did not locate combustion air or supply air intakes in the closet. Recommend further evaluation by a licensed technician.
 1. Unit did not turn on using normal controls.
 2. The intake filter is not properly installed.
 3. Did not locate combustion air or supply air intakes in the closet. Recommend further evaluation by a licensed technician.
 4. Some heaters are inoperative.

1.13 COOLING EQUIPMENT

1. Garage Unit : Refrigerant lines not properly insulated at the condenser. Left exterior of home.
2. Garage Unit : Condenser is mounted on the ground. Recommend a mounting pad minimum 3"thick.
3. The condensate drain on one roof top unit is disconnected.
4. The condensate drain on one roof top unit is not terminated properly and the roof penetration needs to be re-sealed to prevent water intrusion.

1.14 PLUMBING SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES

1. Guest Bath : Cold water to left sink does not turn off completely.
2. 1/2 Bath : Hot water faucet is loose.
3. Corrosion or rust is present on some shut off valves and/or fixtures. No active leaks detected.
4. 1/2 Bath : Cold water shut off handle is missing.
5. Wet Bar : No hot water output.
6. Maids Bath : The drain line under the sink is an incorrect corrugated plastic type that should be replaced with a smooth bore drain pipe to help prevent blockage.
7. Guest Bath : Tub stopper is missing and diverter is inoperable.
8. Guest Bath : Leakage around commode.

1.15 WATER HEATING EQUIPMENT

1. Draft hoods are missing mounting screws.
2. The water heater gas supply line is not equipped with a sediment trap just before the gas appliance connector. This condition does not meet current installation requirements and should be corrected.
3. Lack of drain pan and drain. It is recommended to install a water alarm available at Lowes or Home Depot.
4. Basement : TPR is missing drain line. Safety concern.

1.16 DISHWASHERS

1. Recommend shortening the anti-siphon loop at the drain line to prevent blockage.
2. Unit is not properly secured to cabinet.
 1. Recommend shortening the anti-siphon loop at the drain line to prevent blockage.
 2. Unit is not properly secured to cabinet.

1.17 RANGE HOOD AND EXHAUST SYSTEMS

1. One lens is missing.

1.18 RANGES, COOKTOPS, AND OVENS

1. Igniter is not present. External lighter must be used to turn burners on. Safety concern.

1.19 MECHANICAL EXHAUST VENTS AND BATHROOM HEATERS

1. 1/2 Bath : No exhaust vent is present.

1.20 GARAGE DOOR OPERATORS

1. Door locks or side ropes have not been removed or disabled. Recommend removing or disabling to prevent door and opener damage.

