

# REYNOLDSTOWN STATION

A MIXED USE DEVELOPMENT  
IN THE BELTLINE OVERLAY DISTRICT OF  
ATLANTA, GEORGIA



## EASTWORKS, LLC

REAL ESTATE INVESTMENT & DEVELOPMENT OPPORTUNITIES

212 GIBSON STREET ATLANTA, GA 30316  
T (404) 589-0800 F (404) 581-9438

### CONCEPTS

- MIXED USE APARTMENT BUILDING WRAPS A PARKING DECK
- EXPOSED GRID OF FACADE MIRRORS ADJACENT FACTORY BUILDINGS
- ACTIVE USE FACADES AND STREETScape ACCOMMODATE PEDESTRIAN AS WELL AS AUTOMOBILE USE.
- PROJECT SEEKS TO PROMOTE ENVIRONMENTALLY FRIENDLY PRACTICES INCLUDING ENERGY EFFICIENCY, EG RAINWATER IS HARVESTED IN ORDER TO OPERATE TOILETS.

# D.B.A.

DAVID BUTLER & ASSOCIATES, INC.  
ARCHITECTURE PLANNING  
212 GIBSON ST. ATLANTA, GA. 30316  
T (404) 589-0800 F (404) 581-9438  
davidbutler@mindspring.com ©2007 DAVID BUTLER & ASSOCIATES, INC.

PROJECT NAME :

**REYNOLDSTOWN STATION**  
978 MEMORIAL DRIVE  
PROJECT NO 05015  
SCHEMATIC DESIGN

DRAWING TITLE :

COVER SHEET

DATE :

5/14/08

SHEET NO.:

A000



**BELTLINES OVERLAY DISTRICT REGULATIONS**

WHERE UNDERLYING ZONING VARIES WITH BELTLINE, BELTLINE SHALL APPLY.  
 TRANSITIONAL YARD: VERIFY IF NOT REQUIRED WHERE ADJOINING MR3 (16-36.009 VS MRC-3C).  
 NEW ON STREET PARKING MAY COUNT TOWARDS UOSR PROVIDED THE PROVISIONS OF 16-36.010.C ARE MET

**BELTLINE SIDEWALK & SUPPLEMENTAL ZONE TABLE**

SIDEWALKS*	SUPPLEMENTAL ZONE
STREET FURNITURE AND TREE PLANTING ZONE MINIMUM WIDTH	MINIMUM STREET TREES FURNITURE AND TREE PLANTING ZONE
5 FEET	10 FEET
	0 OR 5 FEET**
	REQUIRED 30' APART ON CENTER

\* WITHIN 20 FEET OF AN ABUTTING AN R, R-G, MR, PD-H, OR LW DISTRICT WITHOUT AN INTERVENING STREET OR RAILROAD RIGHT-A-WAY, THE SIDEWALK AREA SHALL TAPER AS NECESSARY TO PROVIDE A SMOOTH TRANSITION TO THE EXISTING R, R-G, MR, PD-H, LW DISTRICT SIDEWALK.  
 \*\* FIVE FEET MINIMUM REQUIRED WHEN LOCATED ADJACENT TO SIDEWALK- LEVEL RESIDENTIAL USES OR LOCATED ALONG STREETS WHICH FUNCTION AS AN ARTERIAL OR COLLECTOR

**BELTLINE: FENESTRATION TABLE**

USE	ARTERIAL OR COLLECTOR	LOCAL	BELTLINE CORRIDOR
RESIDENTIAL	30% MINIMUM LENGTH	30% MINIMUM LENGTH	30% MINIMUM LENGTH
NON-RESIDENTIAL	65% MINIMUM LENGTH	30% MINIMUM LENGTH	65% MINIMUM LENGTH

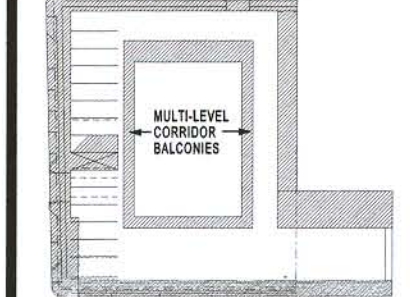
\* NO MINIMUM FENESTRATION REQUIREMENT FOR CHURCHES AND FIRE-STATIONS  
 \* FENESTRATION: 16-36.014.7

**PARKING TABLE**

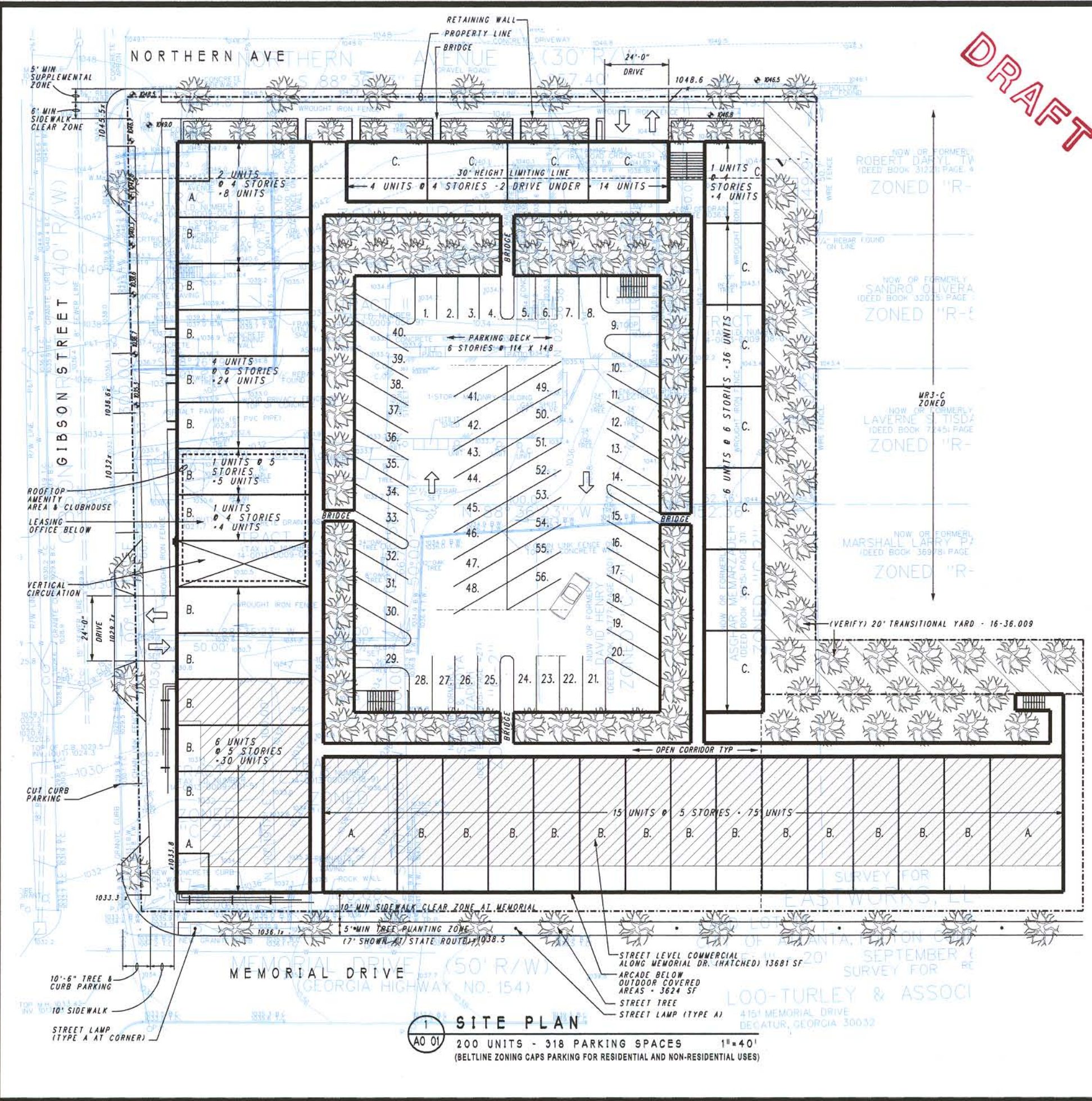
ITEM	REQUIREMENT	SHOWN
RESIDENTIAL MIN.	1 PER DWELLING	SEE MAX
NON-RESIDENTIAL MIN.	PER UNDERLYING ZONING (SEE MRC-3C)	SEE MAX
RESIDENTIAL MAX.	1.25 SPACES PER EA 1 BEDROOM UNIT; 2 SPACES PER EACH 2 BEDROOM UNIT	(39 X 2) + (1.25 X 161) = 279
NON-RESIDENTIAL MAX.	GREATER OF: 10 SPACES GREATER THAN MIN. REQ. OR 25% OF THE MIN. REQUIREMENT	29 + 10 = 39 SPACES MAX
OFFICE USE	5% OF EMPLOYEE SPACES SHALL BE DESIGNED "CARPOOL ONLY"	

\* DRIVEWAY CURB CUTS: 24" MAX 2-WAY, 12" MAX 1-WAY  
 \* PARKING STRUCTURES 16-36.017. SEE ACTIVE USE DEPTH REQUIREMENT.

**LUI DIAGRAM**



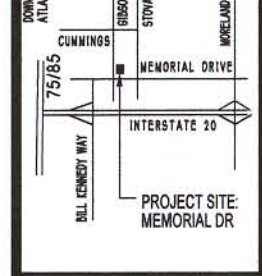
USEABLE OPEN SPACE DIAGRAM 50,000+ SF



**DRAFT**

COMMERCIAL AREA			
AREA		SF	
COMMERCIAL USES		9,370	
RESIDENTIAL AREA			
UNIT	QTY	SF	TOTAL
A 2 BEDROOM	19	1375	26,125
B-1 1 BEDROOM	107	850	90,950
B-2 2 BEDROOM	20	850	17,000
C 1 BEDROOM	54	680	35,840
TOTAL	200		169,715
LOBBY	1	850	850
AMENITY AREA	1	850	850

PARKING TABLE		
ITEM	REQUIREMENTS	SHOWN
DRINKING EATING & ALL OTHER	1/600 INC OUT-DOOR COVERED 13,681 + 3,624 = 17,305 SF/600 = 29 SPACES REQ'D	SEE BELTLINE TABLE
RESIDENTIAL	0.67 PER LUI, HOWEVER SEE BELTLINE TABLE	SEE BELTLINE TABLE



- ADMINISTRATIVE VARIANCES**
- ALTERNATIVE VEHICLE CHARGING STATION
  - LOADING SHARED BETWEEN RESIDENTIAL AND NON RESIDENTIAL USES
  - 6' SIDEWALK AT NORTHERN

**BUILDING COVERAGE**  
 .85 X NET LOT AREA MAX ALLOWED

**D.B.A.**  
**DAVID BUTLER & ASSOCIATES, INC.**  
 ARCHITECTURE • PLANNING  
 212 GIBSON ST.  
 ATLANTA, GA. 30316  
 T (404) 589-0800 F (404) 581-9438  
 davidbutler@mindspring.com  
 ©2008 DAVID BUTLER & ASSOCIATES, INC.

**SHEET INDEX**

A0 00 COVER
A0 01 SITE PLAN NORTH
A0 03 SITE PLAN SOUTH
A2 01 ELEVATION
A2 02 ELEVATION
A2 03 ELEVATION
A7 01 FLOOR PLANS

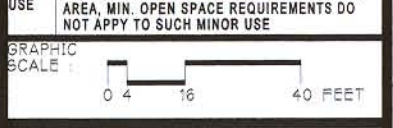
**ZONING ANALYSIS MRC-3-C**

EXISTING ZONING	MRC-3-C & BELTLINE
NET LOT AREA	86,372 SF
GROSS LAND AREA	N.A.
RESIDENTIAL UNIT AREA SHOWN	169,715
RESIDENTIAL OFFICE & AMENITY (TOTAL RESIDENTIAL AREA)	171,415
COMMERCIAL AREA SHOWN (NON-RESIDENTIAL IS < 20% , A MINOR USE)	13,681
TOTAL FLOOR AREA	185,096

SETBACKS				HEIGHT
TREE ZONE	CLEAR ZONE	SUPP ZONE		76 FEET
MEMORIAL 5	10	5		ANY STRUCTURE AT NORTHERN < 30' FROM THE BUILDABLE AREA SHALL BE < 40' IN HEIGHT
GIBSON 5	6	NA*		
NORTHERN 5	6	NA*		

**LUI CALCULATIONS (NON-RESIDENTIAL IS A MINOR USE)**

ITEM	ALLOWABLE			SHOWN
	TOTAL	RES	NON RES	
FAR	3.0 3.5 MAX W/BONUS	3.2 NIC BONUS (GROSS OR NET)	1.0	1.98 RES (NET) 0.16 COM (NET) 2.14 TOTAL
TOSR	NA	NA	NA	NA
UOSR	NA	TABLE 1 0.50 X 86,372 NA = 43,186	P SPACE	50,000 +
PUBLIC SPACE	LOTS > 1/2 ACRE: 20% NET LOT AREA (FOR NON RES ONLY)			
MINOR USE	WHEN EITHER RESIDENTIAL OR NON-RESIDENTIAL IS < 20% OF TOTAL FLOOR AREA, MIN. OPEN SPACE REQUIREMENTS DO NOT APPLY TO SUCH MINOR USE			



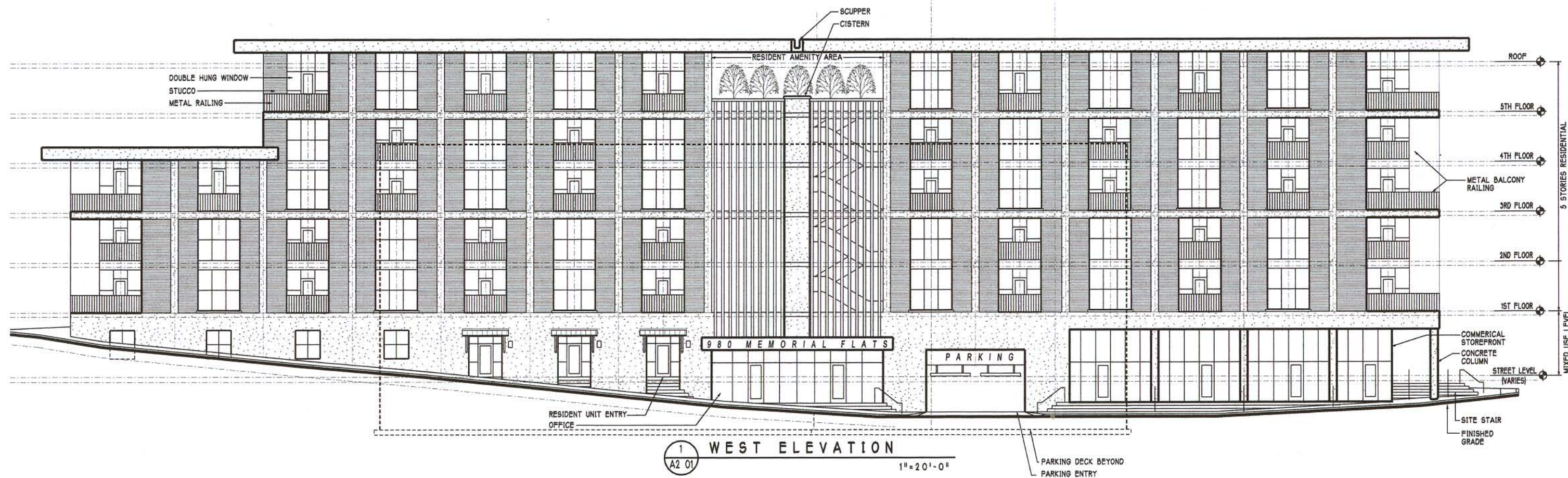
PROJECT NAME: **REYNOLDSTOWN STATION**  
 PROJECT NO 05015  
 SCHEMATIC DESIGN

DRAWING TITLE: **SITE PLAN**

DATE: 5/14/08  
 SHEET NO: **A001**



DRAFT



NOTE:  
 1. STREET LEVEL COMMERCIAL AT MEMORIAL, RESIDENTIAL BEYOND  
 2. 5 STORIES FRAME IF 6 CONCRETE, BLOW UP

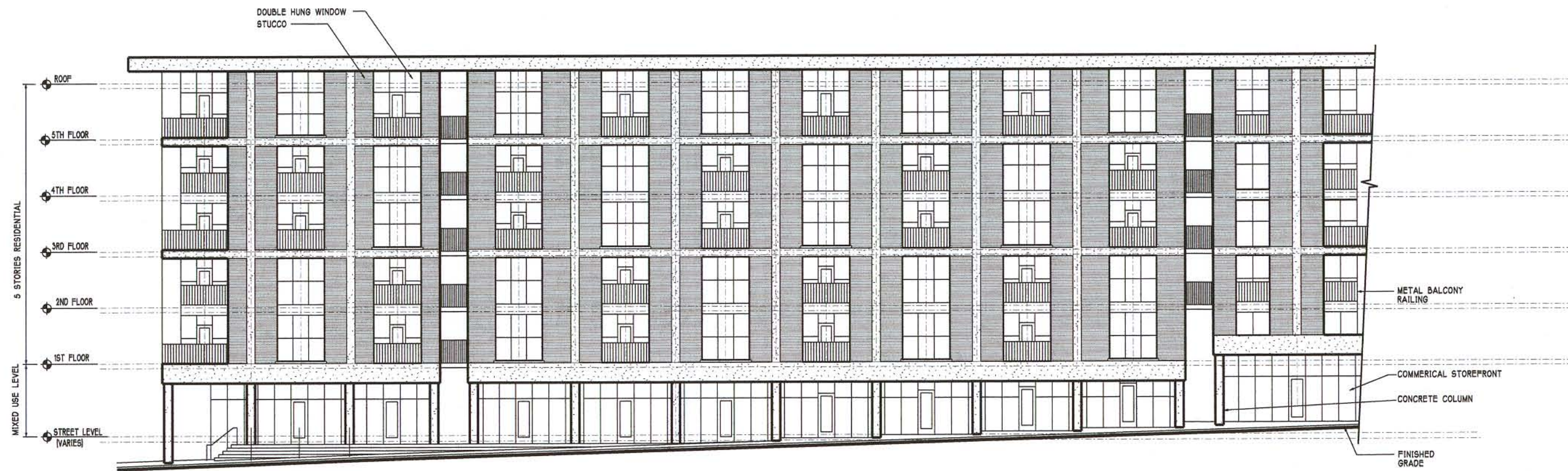
**D.B.A.** DAVID BUTLER & ASSOCIATES, INC.  
 ARCHITECTURE PLANNING  
 212 GIBSON ST. ATLANTA, GA. 30316  
 T (404) 588-0800 F (404) 581-9438  
 davidbutler@mindspring.com ©2007 DAVID BUTLER & ASSOCIATES, INC.

PROJECT NAME :  
**REYNOLDSTOWN STATION**  
 978 MEMORIAL DRIVE  
 PROJECT NO 05015  
 SCHEMATIC DESIGN

GRAPHIC SCALE : 0 2 8 20 FEET	DRAWING TITLE : <b>ELEVATIONS</b>
DATE : 4/17/08	SHEET NO. : <b>A201</b>



DRAFT



1 SOUTH ELEVATION  
A2 01 1" = 20'-0"

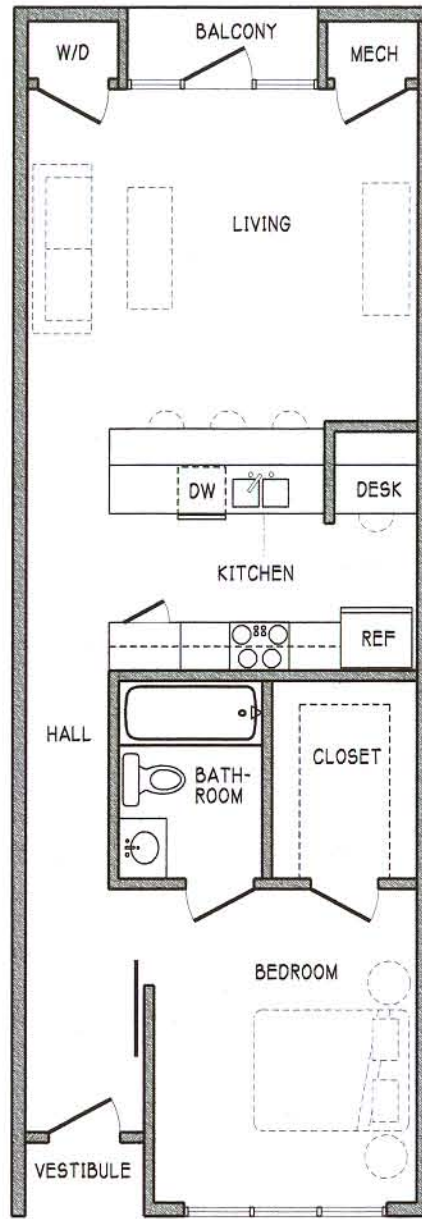
NOTE:

**D.B.A.** DAVID BUTLER & ASSOCIATES, INC.  
ARCHITECTURE PLANNING  
212 GIBSON ST. ATLANTA, GA. 30316  
T (404) 589-0800 F (404) 581-9438  
davidbutler@mindapring.com ©2007 DAVID BUTLER & ASSOCIATES, INC.

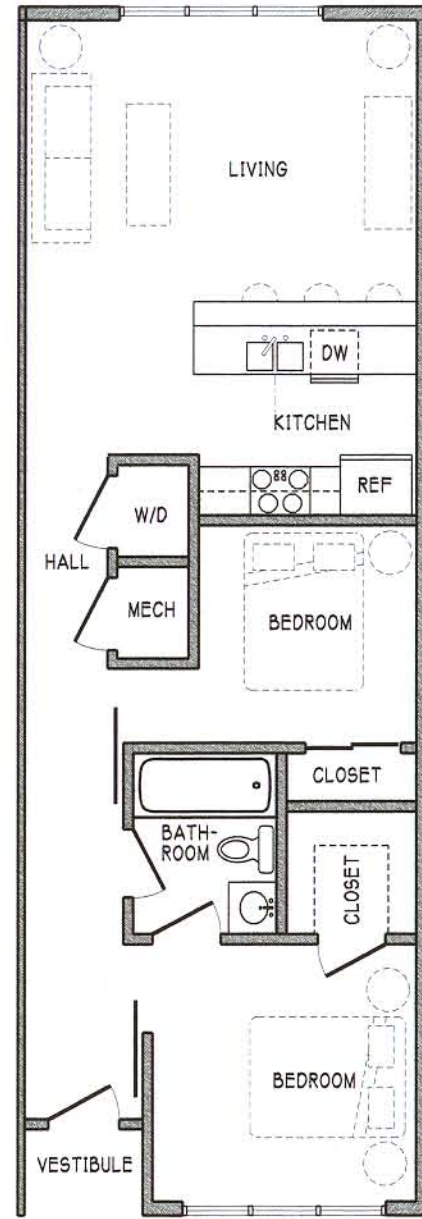
PROJECT NAME :  
**REYNOLDSTOWN STATION**  
978 MEMORIAL DRIVE  
PROJECT NO 05015  
SCHEMATIC DESIGN

GRAPHIC SCALE : 0 2 8 20 FEET	DRAWING TITLE : <b>ELEVATIONS</b>
DATE : 5/14/08	SHEET NO. : <b>A2 02</b>

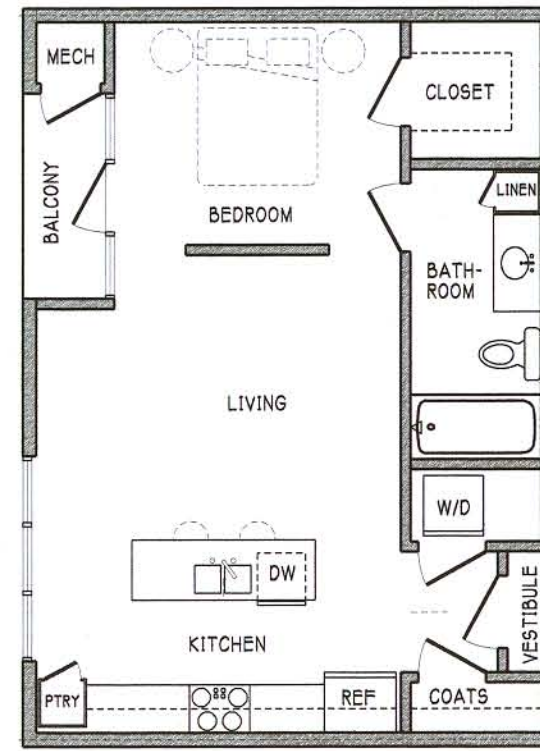




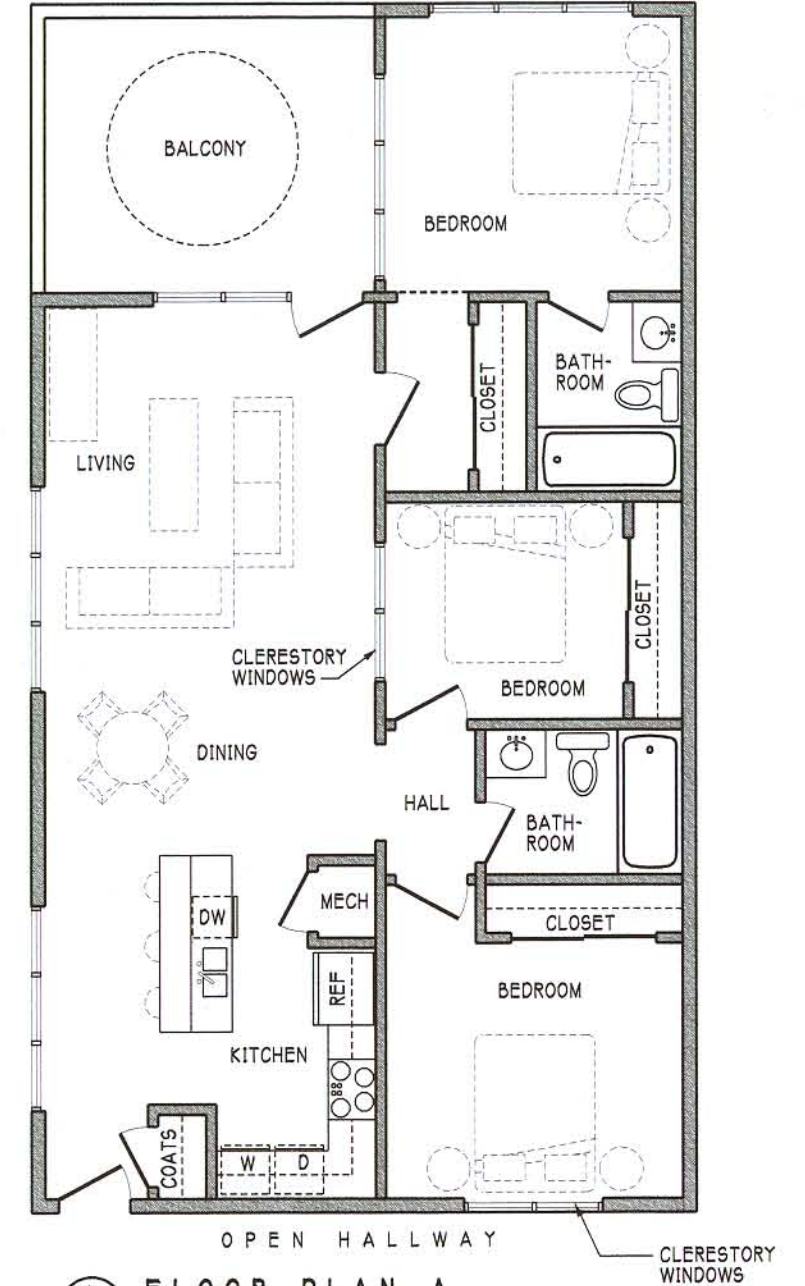
1 FLOOR PLAN B-1  
A7 01 1 BEDROOM



2 FLOOR PLAN B-2  
A7 01 2 BEDROOMS



3 FLOOR PLAN C  
A7 01 1 BEDROOM



4 FLOOR PLAN A  
A7 01 3 BEDROOMS

**D.B.A.** DAVID BUTLER & ASSOCIATES, INC.  
ARCHITECTURE PLANNING  
212 GIBSON ST. ATLANTA, GA. 30316  
T (404) 589-0800 F (404) 581-9438  
davidbutler@mindapring.com ©2007 DAVID BUTLER & ASSOCIATES, INC.

PROJECT NAME :  
**REYNOLDSTOWN STATION**  
978 MEMORIAL DRIVE  
PROJECT NO 05015  
SCHEMATIC DESIGN

GRAPHIC SCALE : 0 2 4 8 FEET  
DRAWING TITLE :  
**FLOOR PLANS**  
DATE : 6/24/08  
SHEET NO. :  
**A701**