

Villas West Architectural Specification

Specifications for Building Sheds and Porches

Specification No: VWAS 01 Unit A

Issue Date:	02-25-2010
Revision Date:	05-07-2013
Revision Level:	D
Board Approval Date:	05-14-2013
Pages	1 - 7

General:

An Architectural Alteration Application, Form No. AAA, requesting the building of a shed and/or porch, must be submitted to the Architectural Committee for review. The Architectural Committee will submit its recommendation to the Board of Directors for final approval.

Specifics:

1. Approval must be obtained from the Board of Directors and **the homeowner must sign an Encroachment Agreement.**
2. All work is to be performed by licensed and insured contractors.
3. Obtain the necessary County permits and adhere to all their requirements as to gas, electrical, plumbing, and concrete. A copy of the permits must be submitted to the Management office.
4. All rock and sand which is disturbed in the process of construction, shall be stockpiled until construction is completed, at which time it shall be re-distributed leaving the landscaping in the same condition it was in prior to beginning construction. All construction debris is to be removed from the premises. This requirement applies to any and all trades involved in the construction project.
5. Concrete shall not be poured until excavations are approved by the Architecture Committee or designate. The ground underneath the concrete slab is to be treated for termites prior to pouring.
6. The garbage container can be relocated at owner's expense; however, it shall not be set in concrete and must not extend above ground more than 12 inches.
7. Porch floor is to be 4 inches below Villa floor and shed floor is to be 2 inches above porch floor.
8. Porch floor is to be sloped to drain away from Villa.
9. Shed sill plate is to be 2x4 pressure treated lumber.
10. Metal post anchors, framing anchors, joist hangers, etc. is to be Simpson or equal.
11. Roof sheathing is to be 2 layers ½" CD exterior plywood, bottom layer is to be laid with the "C" side down.
12. The exposed edges of plywood roof sheathing are to be covered with a brown metal eaves drip molding.
13. Roof shingles are to be GAF materials, "Grande Sequoia" 50-year Mesa Brown fiberglass/asphalt and have 2 courses of asphalt felt underlayment.

14. A brown eaves trough is to be installed along the edge of the eaves and be connected to a brown downspout. The downspout is to be located where it is best for natural ground drainage. (Ref: VWAS 02)
15. A metal flashing must be anchored and caulked to Villa wall, extend down over the shingles, and be caulked to the shingles. **Brown flashing is to be used against the adobe wall and white flashing against the stucco wall.** (Aluminum may be substituted if white or brown flashing is not available; however, it must be painted white or Dunn-Edwards, Spartaglo, "Keystone Brown" #W7500V-L-5). The 2 horizontal edges of the flashing and the area around the scupper must also be sealed. The open ends of flashing must be blocked or screened.
16. If the shed is on an end unit where the roof scupper drains onto the shed roof, a brown eaves trough must be placed under the scupper to drain the water across the shed roof. This eaves trough is to terminate one foot from the outer edge of the shed roof, or it may extend all the way to the eaves trough with a baffle to prevent the over-shooting of the water.
17. Existing roof vents in Villa are to be kept clear and unobstructed as illustrated on drawings.
18. Siding to be 7/16" textured hardboard grooved 4" o.c. Scribe around the canopy door lintel and caulk against the Villa wall.
19. Shed door is to be 2'8"x 6'8" hollow core with a keyed lock set.
20. All exposed surfaces are to be painted with 2 coats of vinyl exterior house paint. Color is "Villas West Brown".
21. Porches are not to be screened in or enclosed in any manner except with a black wrought iron railing and gate.
22. The extent of plumbing and electrical work is to be optioned by homeowner and must meet all Villas West specifications.
23. The water standpipes and washer vent stack must be inside the shed wall.

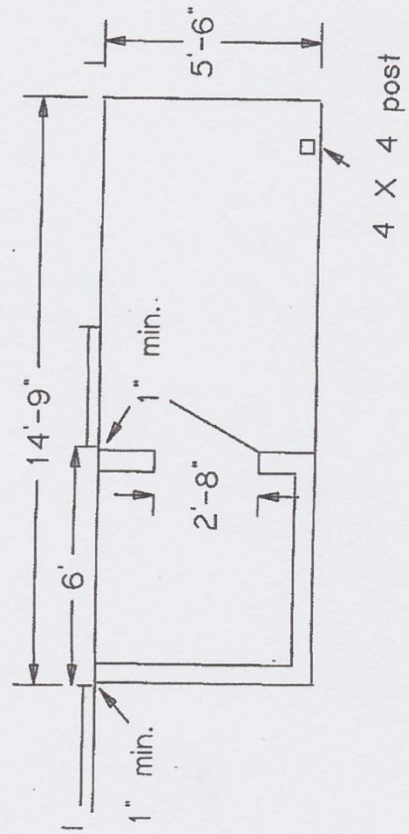
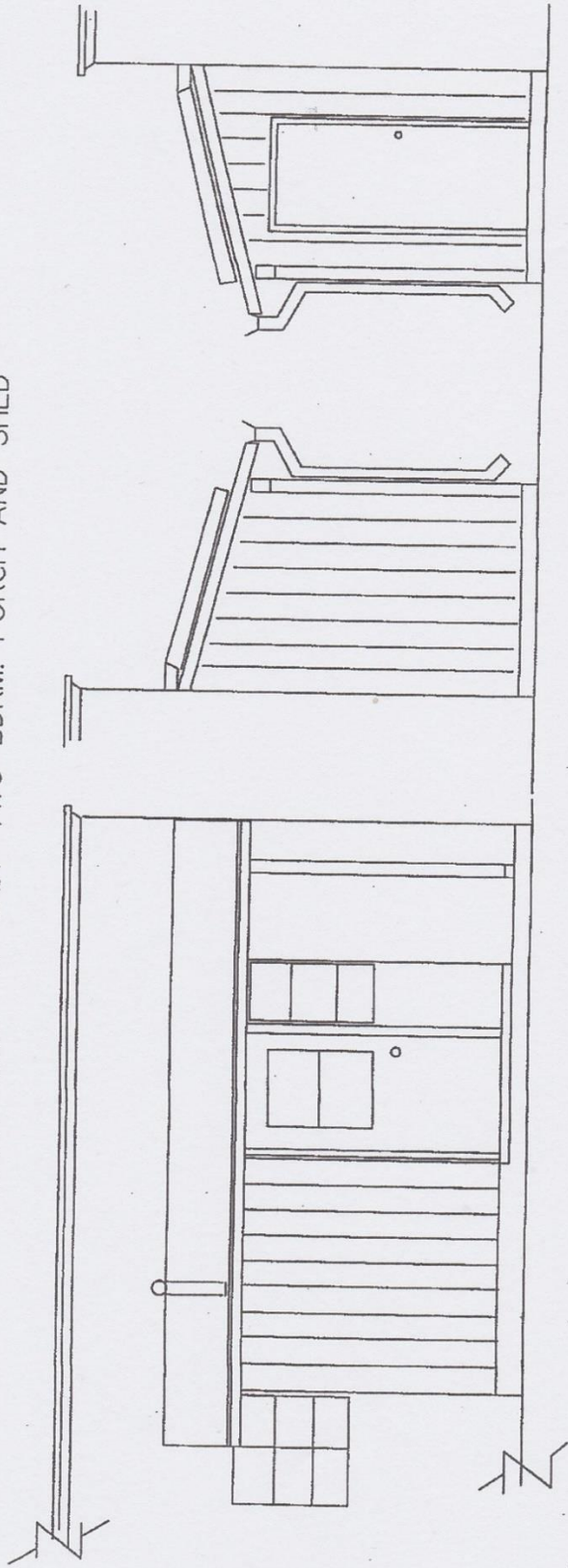
 Owner's Signature Date

 Contractor's Signature Date

 Architectural Chairperson Date

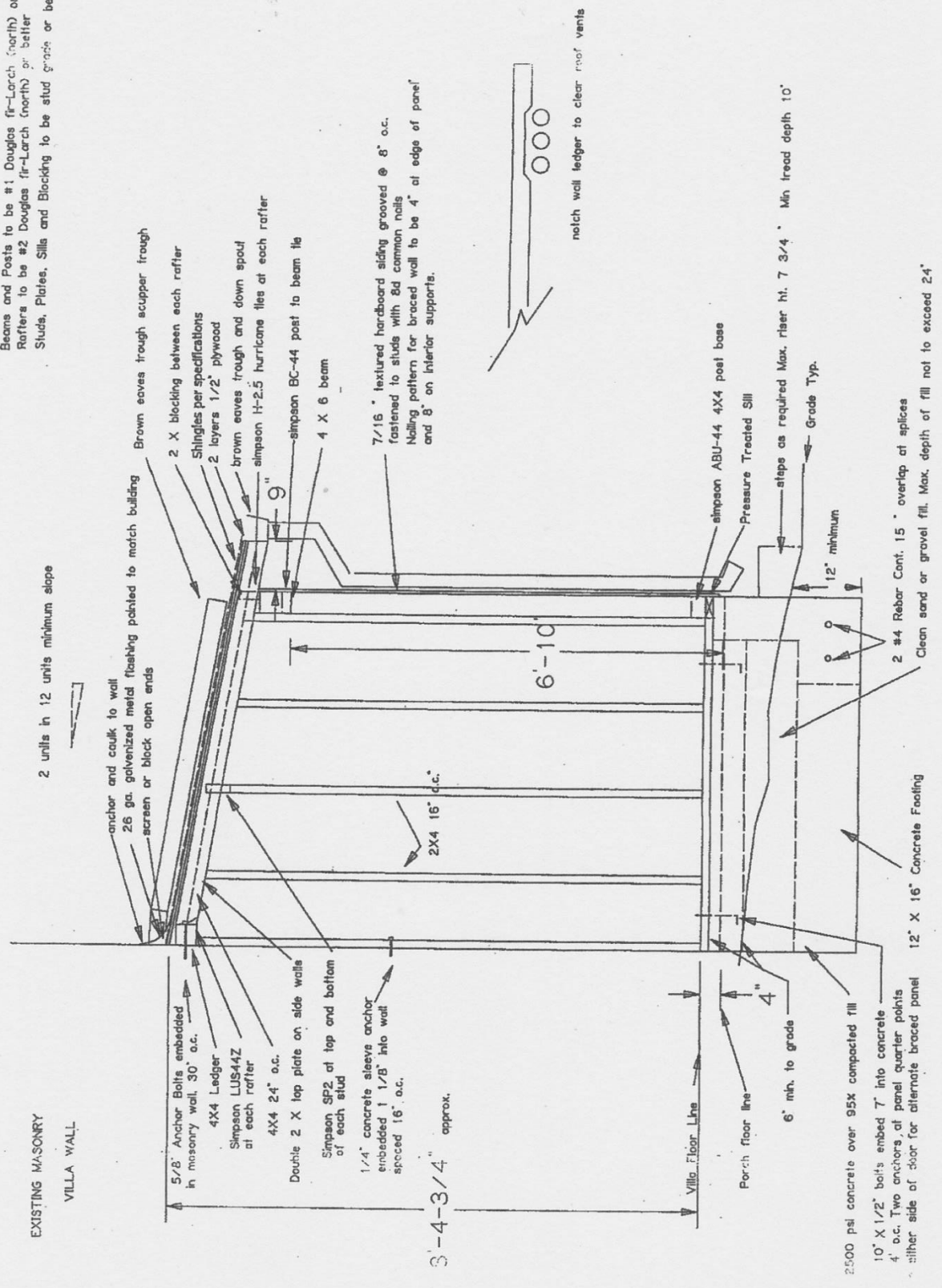
 Association President Date

VILLAS WEST "A" UNIT TWO BDRM. PORCH AND SHED



VILLAS WEST "A" UNIT TWO BDRM. PORCH AND SHED

Beams and Posts to be #1 Douglas fir-Larch (north) or better
 Rafter to be #2 Douglas fir-Larch (north) or better
 Studs, Plates, Sills and Blocking to be stud grade or better



2 units in 12 units minimum slope

anchor and caulk to wall
 26 ga. galvanized metal flashing pointed to match building
 screen or block open ends

5/8" Anchor Bolts embedded
 in masonry wall, 30 o.c.
 4x4 Ledger
 Simpson LUS44Z
 at each rafter
 4x4 24" o.c.
 Double 2 X top plate on side walls
 Simpson SP2 at top and bottom
 of each stud
 1/4" concrete sleeve anchor
 embedded 1 1/8" into wall
 spaced 16" o.c.

Brown eaves trough scupper trough
 2 X blocking between each rafter
 Shingles per specifications
 2 layers 1/2" plywood
 brown eaves trough and down spout
 Simpson H-2.5 hurricane ties at each rafter
 Simpson BC-44 post to beam tie
 4 X 6 beam

7/16" textured hardboard siding grooved @ 8" o.c.
 fastened to studs with 8d common nails
 Nailing pattern for braced wall to be 4" at edge of panel
 and 8" on interior supports.

notch wall ledger to clear roof vents

Simpson ABU-44 4x4 post base
 Pressure Treated Sill

steps as required Max. riser ht. 7 3/4" Min tread depth 10"

Grade Typ.

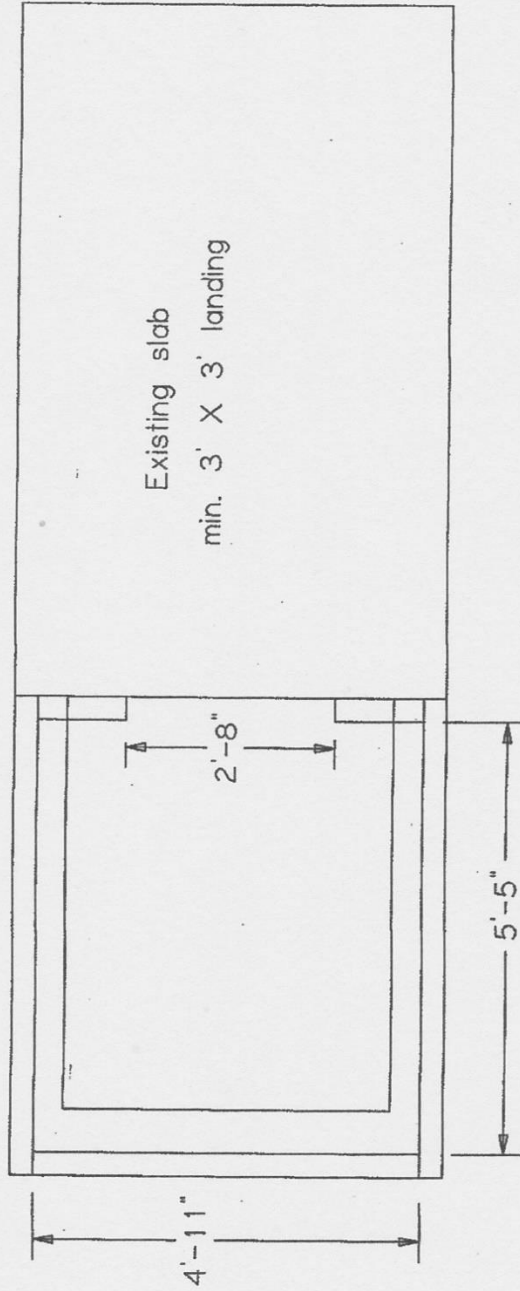
12" minimum

2500 psi concrete over 95X compacted fill
 10' X 1/2" bolts embed 7' into concrete
 4' o.c. Two anchors at panel quarter points
 either side of door for alternate braced panel

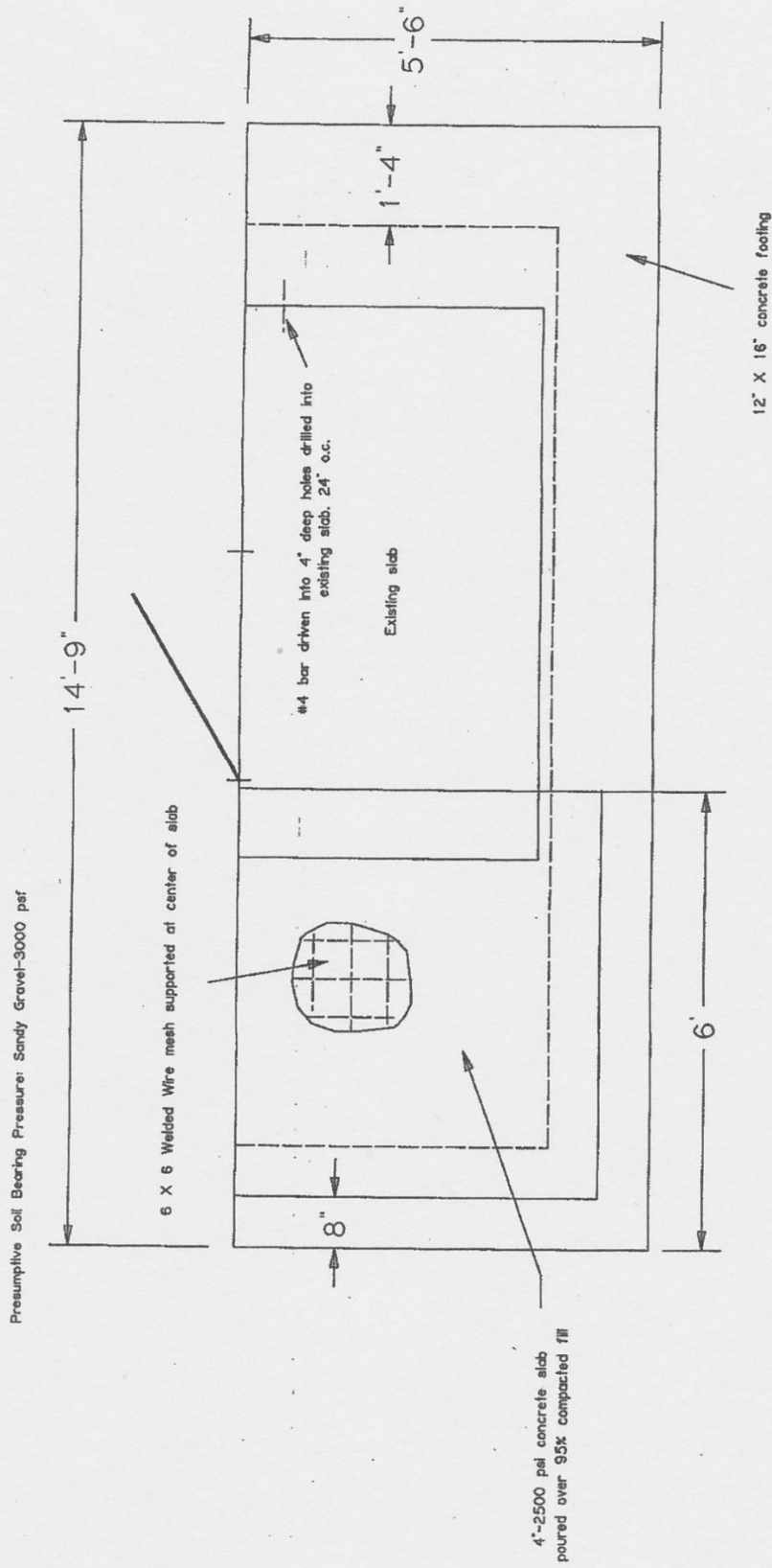
2 #4 Rebar Cont. 15" overlap at splices
 Clean sand or gravel fill. Max. depth of fill not to exceed 24"

12' X 16' Concrete Footing

VILLAS WEST "A" UNIT
FLOOR PLAN



VILLAS WEST "A" UNIT FOUNDATION PLAN



VILLAS WEST "A" UNIT
ROOF FRAMING DETAIL

