

Town of Dutch John

PO Box 235



Dutch John, UT 84023

www.dutchjohn.org

BUILDING PERMIT PACKAGE

Please return to:

Town of Dutch John Planning & Zoning

PO Box 235

Dutch John, UT 84023

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BUILDING PERMIT CHECK LIST

***ALL RESIDENTIAL STRUCTURES/ADDITIONS MUST OBTAIN A BUILDING PERMIT
ALL ACCESSORY BUILDINGS OVER 200 SQ. FT. MUST OBTAIN A BUILDING PERMIT***

BUILDING PERMIT INFO PACKET

***ALL ITEMS AND FORMS REQUESTED NEED TO BE INCLUDED
WITH THE APPLICATION. IF SOMETHING DOES NOT APPLY
LIST N/A. FOR MOBILE AND MANUFACTURED HOMES, SUBMIT COPIES OF
FLOOR PLANS AND/OR INSTALLATION PLANS ETC.
FROM THE MANUFACTURER.***

****DETAILED SITE PLAN MUST BE INCLUDED!
(see enclosed exhibit)***

FEES:

Calculated as per current state guidelines

MOBILE AND MODULAR HOMES

FEES :

Calculated as per current state guidelines

**(ALL PERMITS ARE ASSESSED A 1% STATE SURCHARGE IN ADDITION TO
THE BUILDING/PLAN CHECK FEES)**

SEWER CONNECTION AND WATER CONNECTION:

No building permit will be approved without the water/sewer form signed by the appropriate provider and submitted with the application.

BASEMENTS-Any person making application for a building permit which includes a basement needs to be aware that the lateral sewer lines are the property owners responsibility. If any line is not installed deep enough to provide service to a basement it is the property owners' responsibility to install any equipment (pumps, etc.) which may be needed to access the sewer line.

MOBILE AND MANUFACTURED HOMES should obtain a copy of the "Manufactured Home set-up requirements". Any questions regarding these requirements should be directed to the building inspector. Footing and foundation details must be included.

SNOW AND WIND LOAD REQUIREMENTS

SNOW:

DUTCH JOHN 40 LBS.

BROWN=S PARK 30 LBS.

CLAY BASIN 40 LBS.

PINES 80 LBS. MANILA 30 LBS

WIND : (ALL AREAS) 90 MPH

SEISMIC: ZONE C

Applicant must provide for site construction waste disposal ie. on site dumpster or hauled to an approved landfill (Manila / Rock Springs / Vernal).

**Town of Dutch John Building Department
P.O. Box 235, Dutch John, Utah 84023
435-880-8042**

Building Permit Information Packet

Before a building permit can be issued, the following items must be submitted.

A. Detailed site-plan. Needs to include:

1. Directions of North point.
2. Lot Lines together with adjacent streets, roads and rights-of-way.
3. Location of all existing structures, easements on subject property.
(Completely dimensioned, including utility lines, poles etc.)
4. Location of proposed construction and improvements, including the location of all signs.
5. Motor vehicle access, including individual parking stalls, circulation patterns, curb, gutter and sidewalk.
6. Name, address and telephone number of builder and owner.
7. Any necessary explanatory notes.
8. All other information that may be required as determined by the Building Inspector.
9. Property **MUST** have official corner markers surveyed and installed.

B. Authorization from the Town of Dutch John Planning and Zoning Commission stating that all zoning and set-back requirements have been met. (The Town Clerks office will submit the building permit application to Planning and Zoning after all information has been received.)

C. Water / Sewer Connection Form.

D. Easement verification form.

E. Two (2) sets of plans need to be submitted with the application. One set goes to the building inspector and one set remains in the file. Each set of plans needs to include the following (where applicable):

1. Front, rear, right and left side views.
2. Framing of walls and floors. (Views)
3. Size of all beams over 6' long.
4. Fireplace - View of type of wood stove.
5. Floor plans with all window and door openings.
6. Roof framing plans.
7. Electrical, plumbing and mechanical, with heat loss calculation. (RESCHECK)
8. Footings and foundations. ***This includes mobile and modular homes. *****
(See additional information; set-up requirements for modular and manufactured homes)
9. **Plans need to have State of Utah stamp of approval on them.**

F. *Projects not completed within 180 days of the issuance of permit must contact the building inspector for an extension of 180 days.*

BLUE STAKES OF UTAH (811) MUST BE COMPLETED PRIOR TO ANY EXCAVATION!!

YOU MUST CONTACT THE BUILDING INSPECTOR FOR INSPECTIONS. PLEASE ALLOW AT LEAST 24 HOURS NOTICE !!!!

IT IS THE PERMIT HOLDERS RESPONSIBILITY TO SCHEDULE NECESSARY INSPECTIONS

INSPECTIONS

STATE LAW SECTION R109 REQUIRES THAT YOU HAVE INSPECTION DURING CONSTRUCTION.

R109.3-It Shall be the duty of the permit holder or their agent to notify the building official that such work is ready for inspection. It shall be the duty of the person requesting any inspections required by this code to provide access to and means for inspection of such work.

- Work shall not be done beyond the point indicated in each successive inspection without first obtaining the approval of the building official. The building official, upon notification, shall make the requested inspections and shall either indicate the portion of the construction that is satisfactory as completed, or shall notify the permit holder or his agent wherein the same fails to comply with this code. Any portions that do not comply shall be corrected and such portion shall not be covered or concealed until authorized by the building official.

THE FOLLOWING INSPECTIONS ARE REQUIRED

R109.1.1-Foundation-Inspection of the foundation shall be made after poles or piers are set or trenches or basement areas are excavated and any required forms erected and any required reinforcing steel is in place and supported prior to the placing of concrete. The foundation inspection shall include excavations for thickened slabs intended for the support of bearing walls, partitions, structural supports, or equipment and special requirements for wood foundation.

R109.1.2- Plumbing, mechanical, gas and electrical systems-Rough inspection of plumbing, mechanical, gas and electrical systems shall be made prior to covering or concealment, before fixtures or appliances are set or installed, and prior to framing inspection.

Exceptions: Back-filling of ground-source heat pump loop systems tested in accordance with Section M2105.1 prior to inspection shall be permitted.

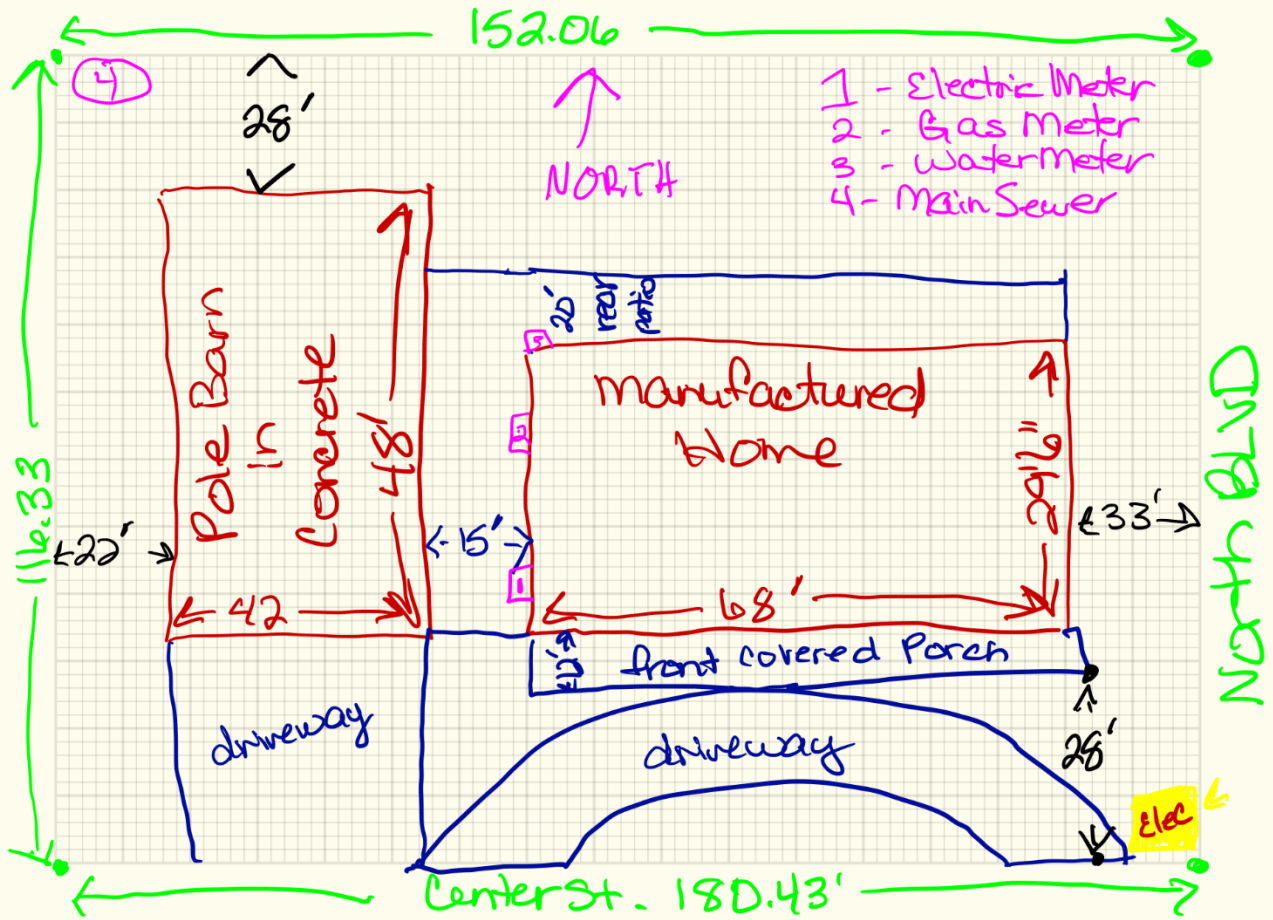
R109.1.3-Floodplain Inspection-For construction in areas prone to flooding as established by Table R301.2(1), upon placement of the lowest floor, including basements, and prior to further vertical construction, the building official shall require submission of documentation, prepared and sealed by a registered design professional, of the elevation of the lowest floor, including basements.

R109.1.4-Frame and masonry inspection-Inspections of framing and masonry construction shall be made after the roof, masonry, all framing, fire stopping, draft stopping and bracing are in place and after the plumbing, mechanical and electrical rough inspections are approved.

R109.1.5-In addition to the inspections called for above, the building official may make or require any other inspections to ascertain compliance with this code and other laws enforced by the building official.

R109.1.6 Final Inspection-Final inspection shall be made after the permitted work is complete and **prior to occupancy**.

*****SPECIAL INSPECTIONS ARE REQUIRED FOR FIRE-RESISTANCE-RATED, REINFORCED MASONRY, INSULATING CONCRETE AND CONVENTIONALLY FORMED CONCRETE WALLS.*****



BUILDING PERMIT CONTACT LIST

Any questions regarding building requirements, setbacks, zoning, or information regarding wastewater/sewer or culinary water should be directed to the following:

BUILDING INSPECTOR

Residential / Commercial Inspector: Matt Tate 435-219-7545 or 435-247-2799

PLANNING & ZONING

Amy Williams 307-259-4622

Bud Rogers 801-599-7886

Planning & Zoning Secretary: Harriet Dickerson 435-880-8042

TRICOUNTY HEALTH: (Wastewater Permits)

Darrin Brown 435-781-5375

Richard Powell 435-781-5372

DUTCH JOHN MAINTENANCE: (Dutch John Water/Sewer/Garbage)

Daggett County- 435-784-3154 Water and Sewer

Harriet Dickerson Billing & Accounting 435-880-8042 Garbage

OTHER UTILITY SERVICE PROVIDERS

Bridger Valley Electric
40014 Business Loop I-80
Mt. View, Wyoming 82939
307-786-2800

G&H Garbage
331 N Vernal Ave.
Vernal, UT 84078
435-789-2743

Union Telephone
P.O. Box 160
Mtn. View, Wy 82939
307-782-6131

Questar Gas (Dominion)
115 E 100 S
Roosevelt, Utah 84066
435-722-25221/800-323-5517

Basin Propane
2949 W 1100 N
Vernal, Utah 84078
435-789-8466

Sav On Propane
1150 W 500 N
Vernal, Ut 84078
435-789-3198/800-490-3198

MANUFACTURED HOME SET-UP REQUIREMENTS FOR PRIVATE LOTS

Manufactured homes placed upon private lots in the incorporated areas of the Town shall be placed according to the following requirements:

BUILDING PERMIT:

The following shall be required prior to the issuing of a building permit:

1. Plat showing location and size of the parcel of land
2. Plot showing the location of the building must include measurements showing the distance from the property line
3. Letter from the appropriate water district showing service is available
4. Letter from Tri-County Health on wastewater approval
5. Address of the property
6. Owners Name
7. Contractor installing the home and the license number (must be licensed)
8. Flood Plain notice showing that the home will not be located in a Flood Zone

SITE PREPARATION:

The ground shall be cleared of all vegetation and shall be graded so that it slopes AWAY from the home site to provide drainage away from the home. ***If the home is to be set in a low area on the lot where water may gather under or around the home, adequate fill shall be added and compacted to 95% compaction PRIOR to the placing of the home.***

PERIMETER FOOTINGS:

Shall be of reinforced concrete construction, or designed by a licensed Engineer, and shall extend a minimum of 30" inches below grade. Footings shall have two #4 rebar, 60 grade run horizontal, with #4 rebar, 60 grade, set vertical 24" on center.

PERIMETER FOUNDATION:

Shall be of reinforced concrete or masonry block construction, and shall extend from the footing to a minimum of 8" above grade. Reinforcement shall be by installing one #4 rebar, 60 grade, run horizontal within 12" of the footing and one bar with in 12" of the top of the wall.

PERIMETER BLOCKING:

Blocking shall be placed on both sides of all exterior doors and any other sidewall opening greater than 4 feet wide.

FOUNDATION VENTILATION:

Ventilation shall be located within 3 feet of each corner, then equally distributed along the length of at least two sides. Total ventilation required shall be 1 sq. foot of opening for every 150 sq feet of floor area.

PIER FOOTING SIZE:

Spot footings shall be placed a minimum 6" below grade in undisturbed soils. Footings shall be sized as designed by the home manufacture, or may be designed by a professional engineer licensed in the State of Utah. When the manufactures set-up information is not available, pier spot footings shall be a minimum of 6"x24"x24" concrete pads, or of an approved design.

PIER LOCATION:

Piers shall be sized, located and spaced per the manufactures specifications. Piers shall be of an approved design. Blocks shall be of concrete, open cells and shall be in the vertical position and capped with a solid block. On older homes if the manufactures installation requirements are not with the home, locate piers no more than 2 feet from either end and not more than 8 feet from center to center under the main rails.

CLEARANCE UNDER HOMES:

A minimum of 12" shall be maintained beneath the lowest member of the Mani frame (I-Beam of the channel bean) and the ground.

VAPOR RETARDER:

A vapor retarder shall be placed on the ground under the home. The vapor barrier shall be a minimum six-mill polyethylene sheeting to cover the entire area under the home and overlap it at least 12" at all joints.

ANCHORING INSTRUCTIONS:

After blocking and leveling the home, the installer shall secure the home against the wind. Install anchors according to the manufactures installation requirements. If the manufactures installation requirements are not available anchors shall be spaced a maximum 2 feet from each end of the home then at a maximum of every 11 feet. Minimum load capacity for each strap shall be 4725 lbs. Straps shall be installed within an angle of 40 to 50 degrees.

MULTI-SECTION HOMES

DUCT WORK CROSS OVER:

Clamp the flexible heating duct to the sleeves projecting through the bottom covering of the home, seal the duct adjustable collars with several wrappings of duct tape, support the duct every 4 feet (the duct must be supported off the ground.)

MARRIAGE WALL PIER SUPPORT:

Pier support footings shall be a minimum 6"x24"x24" located under the clear-span openings in the center mating walls.

INTERCONNECTION OF MULTI SECTION HOMES

Fasten the roof at the ridge with #10 x 4" wood screws, at a minimum 12" on center, at staggered intervals. Secure end walls with #10 x 4" wood screws, at a minimum 6" on center, staggered intervals. Fasten floors together at mating lines with #10 x 4" wood crews at a minimum 12" on center, staggered intervals.

MARRIAGE WALL INSULATION:

Fill open space at center line of home, (at all ceiling, wall and floor openings) with sill-seal foam insulation to prevent heat loss

GARAGES & CARPORTS:

The garage and carport must be supported independent of the manufactured home.

STEPS AND LANDINGS:

Outside steps and landings shall comply with local codes. Landings shall have a minimum width and length of 36". Steps shall have a maximum rise of 8" and a minimum run of 9".

WATER SUPPLY:

If the home is located in a water district where the local water pressure exceeds 80 lbs. Install a pressure-reducing valve. Building water supply line shall be 3/4" nominal size.

GAS SERVICE:

Minimum size for gas line serving a manufactured home shall be 3/4" nominal size and extend outside the home a minimum 6".

ELECTRICAL SERVICE

Shall be installed in approved conduit under the home. Electrical service amperage listed on the home by manufacturer.

SEWER LINE:

Shall be type ABS drain pipe. A clean-out shall be located outside the home and extended to grade. A sanitary tee shall not be used on a drain line when connected horizontal piping to horizontal line. Minimum slope for the drain line shall be 1/4" fall per foot.

DEPARTMENT OF COMMERCE
Division of Occupational and
Professional Licensing
160 East 300 South, Fourth Floor
P.O. Box 146741 LICENSING ACT
Salt Lake City, Utah 84145-6741
(801) 530-6628

OWNER/BUILDER CERTIFICATION
AND
AGREEMENT TO COMPLY WITH
THE CONSTRUCTION TRADES

Name of owner/builder:

Address: _____

City, State, Zip: _____

LOCATION OF CONSTRUCTION SITE

Address: _____

City, State, zip _____

Subdivision Name _____ Lot No. _____

CERTIFICATION

I, _____, certify under penalty of perjury that the following statements are true and correct and are based upon my understanding of the Utah Construction Trades Licensing Act.

1. I am the sole owner of the property and construction project at the above described location.
2. The improvements being placed on the property are intended to be used and will be used for my personal, noncommercial, non-public use.
3. I understand that work performed on the project, is the type of work which is regulated under the Construction Trades License Act, and Rules of the Contractor's Licensing Board must be performed by the following:
 - a. Myself as the sole owner of the property; or
 - b. A licensed contractor; or
 - c. My employee(s) on whom I have worker's compensation insurance coverage, on whom I withhold and pay all required payroll taxes, and with respect to whom I comply with all other applicable employee/employer laws; or
 - d. Any other person working under my supervision as owner/builder to whom NO compensation is paid; and
4. I understand that if I retain the services of an unlicensed contractor or compensate an unlicensed person, other than as an employee for wages, to perform construction services for which licensure is required, I may be guilty of a Class A Misdemeanor and may be additionally subject to an administrative fine in the maximum of \$2,000.00 for each day on which I violate the law.

Dated this _____ day of _____ 20_____.

Signature of owner/builder

Subscribed and sworn before me this _____ day of _____ 20_____. In the County
of _____ State if Utah.

Notary Public

My Commission Expires:

WATER / SEWER CONNECTION

The following applicant is applying for a building permit. Before the permit can be issued the water and/or sewer service provider must sign this form indicating that plans have been submitted and reviewed (if applicable) and that all fees associated with this connection have been paid or satisfactory arrangements have been made to the provider.

Applicant _____

Mailing Address: _____

Telephone: _____

Property Address: _____

Parcel No. : _____ Date: _____

Town of Dutch John:
Sewer Connection Approved Yes _____ No _____

Water Connection Approved Yes _____ No _____

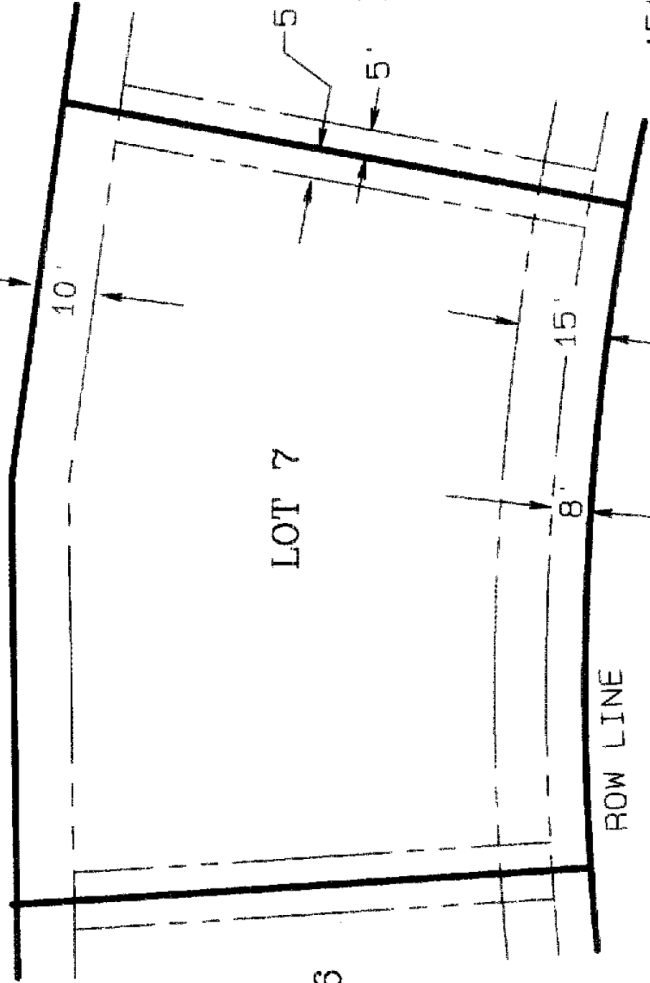
Daggett County:
Sewer Connection Approved Yes _____ No _____

Water Connection Approved Yes _____ No _____

Signature of Authorized Representative Dated

LOT 21

10' FROM BACK LOT LINE



LOT 7

5' FROM SIDE LOT LINE

LOT 6

LOT 8

ROW LINE

STREET

15' FROM LOT LINES ADJACENT TO
NORTH AND SOUTH BOULEVARDS
OR

8' FROM LOT LINES ADJACENT TO
STREETS OTHER THAN NORTH AND
SOUTH BOULEVARDS

NTS

TYPICAL LOT NEW UTILITY EASEMENTS

(APPLICABLE ONLY TO LOTS REPLATTED HEREIN)

Town of Dutch John



PO Box 235

Dutch John, UT 84023

www.dutchjohn.org

When Recorded Mail To:
Town of Dutch John
PO Box 235
Dutch John, UT 84023

UTILITY EASEMENT FORM

Parcel ID No. _____

RESTRICTIVE

This form is required for building any structure, including but not limited to fences, walls, accessory buildings and swimming pools, in a utility easement or where the structure may be affected by one or more of the utilities.

After review of the site plan for the property located at _____

The encroachment will be made for this improvement with the following stipulation:

Owner acknowledges The Town of Dutch John and/or the Utility Companies will not be responsible for landscaping or structures that are damaged or must be moved to allow for construction or repair of utilities.
(Note: not all existing utilities are in easements)

Dated this _____ Day of _____, 20_____

Signature of Owner

Print Name

(Owner Notary)

STATE OF UTAH)

: ss.

COUNTY OF _____)

On the _____ day of _____, 20_____, personally appeared before me

_____, the signer(s) of the foregoing instrument,
who did say that he/she/they is/are the owner(s) of the above-described property and that he/she/
they has/have signed the foregoing agreement for the reasons stated therein.

Notary Public