



MAGNIFY INSPECTIONS INC.

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## INSPECTION REPORT BY MAGNIFY INSPECTIONS

1234 Main Street  
Edmonton, AB T5J 3R8

Buyer Name  
04/30/2025 9:00AM



Inspector

Rami Barghouth

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Agent

Agent Name

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This is the inspection report written for the visual-only inspection conducted at the time of the scheduled inspection. Parts of this report may have been written during or after the inspection process. Please don't rely on its content to make informed decisions. Fully informed decisions are based upon attending the inspection with the inspector while asking your questions and addressing your concerns, and reading the entire report, the Home Inspection Agreement, Home Inspection Standards of Practice, and the home maintenance book.

SUMMARY



ITEMS INSPECTED



MINOR DEFECT



MAJOR DEFECT



MATERIAL DEFECT

This is a summary of the inspection report. Please don't rely on its content to make informed decisions. Fully informed decisions are based upon attending the inspection with the inspector while asking your questions and addressing your concerns, and reading the entire report, the Home Inspection Agreement, Home Inspection Standards of Practice, and the home maintenance book.

-  2.6.1 Roof - Gutters & Downspouts: Downspout from higher roof drains on lower roof. Requires extension to gutter
-  2.6.2 Roof - Gutters & Downspouts: Recommend downspout extension
-  3.4.1 Exterior - Railings, Guards & Handrails: Missing Handrail
-  3.4.2 Exterior - Railings, Guards & Handrails: Missing guardrails
-  3.11.1 Exterior - Exterior Electrical: Door bell need securing to wall
-  3.15.1 Exterior - Porches, Patios, Decks, Balconies & Carports: Joist Hanger Defect - missing
-  4.4.1 Attached Garage - Electric in Garage: Missing GFCI-Protection in Garage
-  4.6.1 Attached Garage - Garage Floor: Minor cracking observed in floor of Garage.
-  5.6.1 Entrance - Door Bell : Door bell needs to be secured to siding
-  6.3.1 Kitchen - Kitchen Electrical & Lighting: Missing GFCI Protection
-  6.3.2 Kitchen - Kitchen Electrical & Lighting: Faulty receptacle on kitchen counter. Does not hold tester in
-  6.9.1 Kitchen - Countertops, Islands & Cabinets: Missing drawer handle
-  9.8.1 Bathroom 1 - Shower/Tub: Maintain caulking around tub and ceramic tiles
-  9.12.1 Bathroom 1 - Heat Source in Bathroom: Missing Heat Source in Bathroom
-  10.8.1 Bathroom 2 - Shower/Tub: Recommend maintaining caulking around shower
-  10.9.1 Bathroom 2 - Faucets: Recommend proper install of shower head
-  11.8.1 Bathroom 3 - Shower/Tub: Recommend maintaining caulking on tile surround
-  16.1.1 Bedroom 4 - Door: Door can be adjusted to not let light through frame
-  18.1.1 Cooling - Not inspected due to weather: Air conditioning connections present. A/C unit missing



⊖ 20.3.1 Laundry - Laundry Room, Electric, and Tub: Missing Electric Receptacle for dryer. 30 amp

⊖ 20.3.2 Laundry - Laundry Room, Electric, and Tub: Missing GFCI Protection

🔑 22.1.1 Basement, Foundation, Crawlspace & Structure - Basement: Kitchen exhaust in basement missing light

⊖ 22.1.2 Basement, Foundation, Crawlspace & Structure - Basement: Missing GFCI behind laundry in basement

# 1: INSPECTION DETAIL

## Information

<b>General Inspection Info: Occupancy</b>	<b>General Inspection Info: Weather Conditions</b>	<b>General Inspection Info: Type of Building</b>
Vacant, New build	Sunny	Detached, 2 family residence

**General Inspection Info: In Attendance**

Client, Client's Agent

I prefer to have my client follow me during their inspection so that we can discuss concerns and I can answer all questions.

**What Really Matters in a Home Inspection**

Now that you've bought your home and had your inspection, you may still have some questions about your new house and the items revealed in your report.

Home maintenance is a primary responsibility for every homeowner, whether you've lived in several homes of your own or have just purchased your first one. Staying on top of a seasonal home maintenance schedule is important, and your Licensed Home Inspector can help you figure this out so that you never fall behind. Don't let minor maintenance and routine repairs turn into expensive disasters later due to neglect or simply because you aren't sure what needs to be done and when.

Your home inspection report is a great place to start. In addition to the written report, checklists, photos, and what the inspector said during the inspection not to mention the sellers disclosure and what you noticed yourself it's easy to become overwhelmed. However, it's likely that your inspection report included mostly maintenance recommendations, the life expectancy for the home's various systems and components, and minor imperfections. These are useful to know about.

**But the issues that really matter fall into four categories:**

- 1. major defects, such as a structural failure;
- 2. things that can lead to major defects, such as a small leak due to a defective roof flashing;
- 3. things that may hinder your ability to finance, legally occupy, or insure the home if not rectified immediately; and
- 4. safety hazards, such as an exposed, live buss bar at the electrical panel.

Anything in these categories should be addressed as soon as possible. Often, a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. It's important to realize that sellers are under no obligation to repair everything mentioned in your inspection report. No house is perfect. Keep things in perspective as you move into your new home.

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call on your Licensed Professional Inspector to help you devise an annual maintenance plan that will keep your family safe and your home in good condition for years to come.

## Schedule a Home Maintenance Inspection



Even the most vigilant homeowner can, from time to time, miss small problems or forget about performing some routine home repairs and seasonal maintenance. That's why an Annual Home Maintenance Inspection will help you keep your home in good condition and prevent it from suffering serious, long-term, and expensive damage from minor issues that should be addressed now.

The most important thing to understand as a new homeowner is that your house requires care and regular maintenance. As time goes on, parts of your house will wear out, break down, deteriorate, leak, or simply stop working. But none of these issues means that you will have a costly disaster on your hands if you're on top of home maintenance, and that includes hiring an expert once a year.

Just as you regularly maintain your vehicle, consider getting an Annual Home Maintenance Inspection as part of the cost of upkeep for your most valuable investment your home.

Your InterNACHI-Certified Professional Inspector can show you what you should look for so that you can be an informed homeowner. Protect your family's health and safety, and enjoy your home for years to come by having an Annual Home Maintenance Inspection performed every year.

**Schedule next year's maintenance inspection** with your home inspector today!

Every house should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

### Details

Magnify Inspections is very certain of the integrity & detail of our home inspection practices that we back them up with over \$11,000 in Warranty coverages, including appliances inspected, foundation issues, roof leaks and more...

If you see this message in your report, your home was automatically signed up for this coverage at not extra cost to you. The cost of this warranty coverage will be covered by Magnify Inspections on your behalf.

### What "Inspected" means in our inspection report.

As we go through the property, we inspect all items that are required by our Standard of Operations. When we assign inspected to an item it means we view it, tested it- where testing an item is possible, and don't see a defect requiring repair, replacement, or immediate maintenance, other than normal wear and tear. Should anything require to be reported to you for further action on any specific item inspected, we will report that in the recommendations section.

### Other Inspection Services

I am trained and certified to perform sewer-line inspections. While I'm at the home inspection, you can have me conduct other types of inspections for you. You can also hire me at a later date after the inspection. Just visit my website at [www.magnifyinspections.ca](http://www.magnifyinspections.ca) or just let me while on the property.

## 2: ROOF

### Information

**Roof Covering: Drip Edge present?** **Roof Covering: Roof Paper visible?**  
Yes

No



**Roof Covering: Homeowner's Responsibility**

As a homeowner, it is important to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering, and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where, or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects. Keep your gutters clean, downspouts draining 6 feet away from the foundation if possible, and watch for any pulling away of eaves troughs/gutters.

**Roof Covering: Type of Roof-Covering Described**

Asphalt

I observed the roof-covering material and attempted to identify its type.

Roof systems are designed to be water-resistant, not waterproof. A home inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty for the roof system.

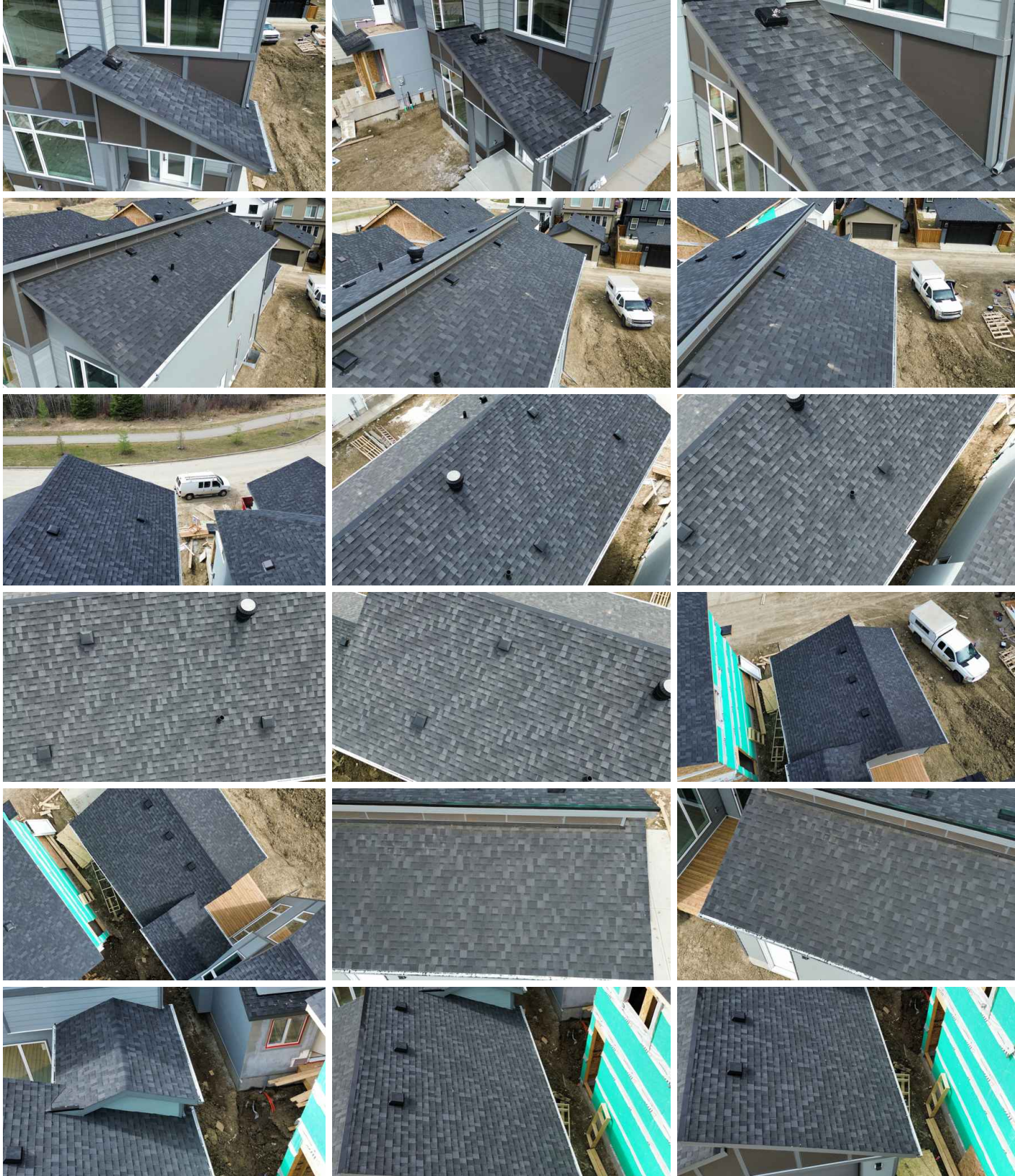


Roof Covering: How Roof Was Inspected

Drone, Ladder

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder.

The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is impossible to detect a leak except as it is occurring or by exhaustive water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof and include comprehensive roof coverage in your home insurance policy.





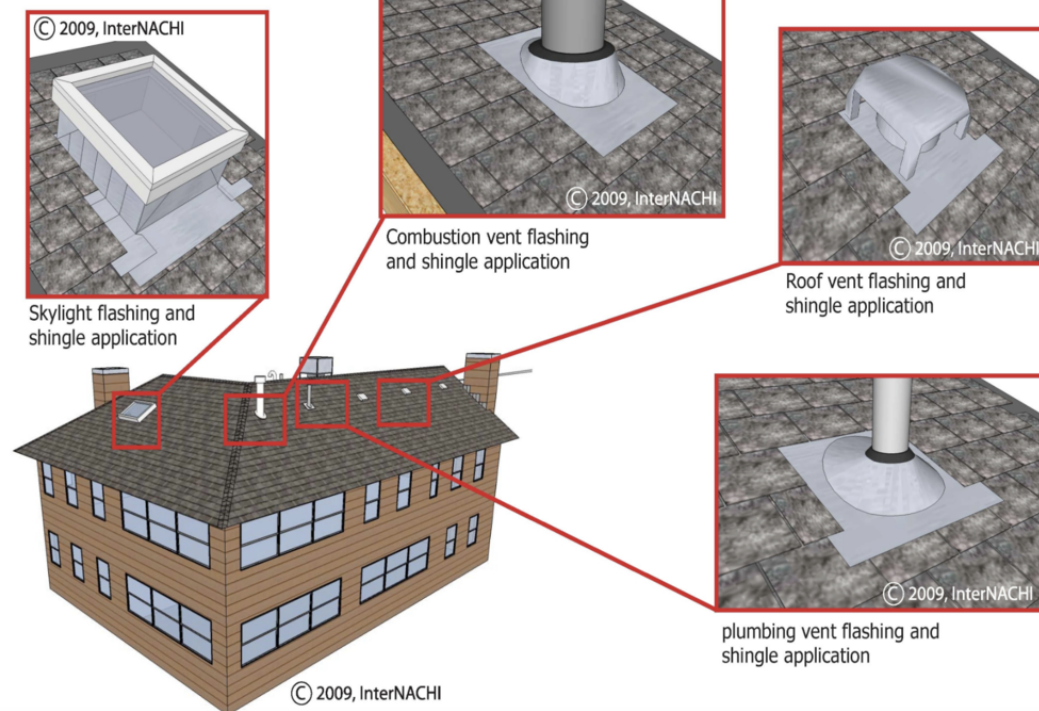


## Plumbing Vent Pipes: Homeowner's Responsibility

It is important to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

### Roof penetrations and flashing



## Plumbing Vent Pipes: Plumbing Vent Pipes Inspected

I looked at DWV (drain, waste, and vent) pipes that pass through the roof covering. There should be watertight flashing (often black rubber material) installed around the vent pipes. These plumbing vent pipes should extend far enough above the roof surface.

## Flue Gas Vent Pipes: Homeowner's Responsibility

Your job is to monitor the metal vent pipe. The flashing around the flue gas vent pipes that pass through the roof surface must be monitored and checked. Sometimes, they deteriorate and cause a roof leak. Look for damage and corrosion.

## Flue Gas Vent Pipes: Flue Gas Vent Pipe inspected- not through roof

I looked at flue gas vent pipes that pass through the roof covering.

All gas-fired appliances must be connected to venting systems. There should be watertight metal flashing installed around the flue gas vent pipes. The vent pipes should extend far enough above the roof surface.

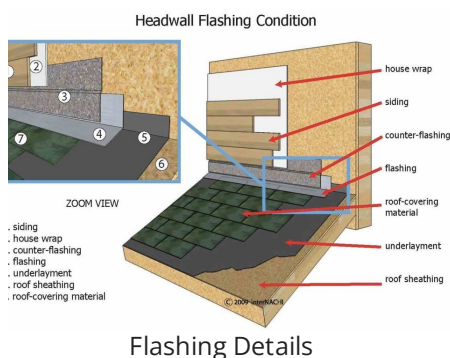


## Flashing: Flashings at Gables, Hips, Eaves, & wall intersections inspected.

I looked for flashing where the roof covering meets a wall, siding material, or other roof penetrations. Step and counter flashing should be installed in these locations. I looked into these areas. This was not an exhaustive inspection of all flashing areas.

Definitions you might find useful:

1. Gable: The triangular-shaped section of the wall at the end of a ridged roof.
2. Hip: The external angle where two sides of a roof meet.
3. Ridge: The horizontal peak of the roof where roof faces meet.
4. Eaves: The lower edge of the roof, usually where soffits, guttering, and fascia are located.



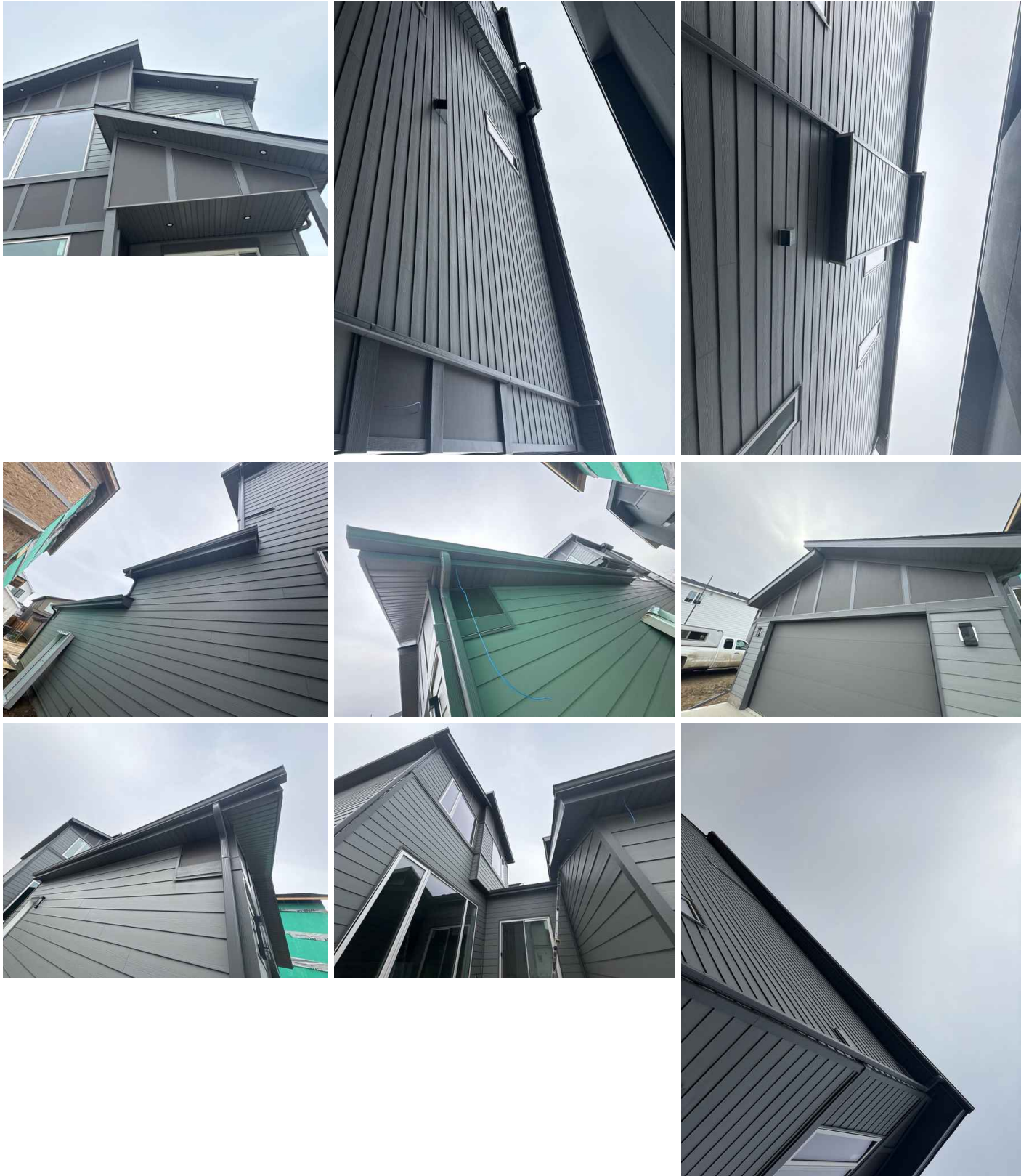
Flashing Details



Eaves, Soffits & Fascia: Eaves, soffits, and fascia were inspected

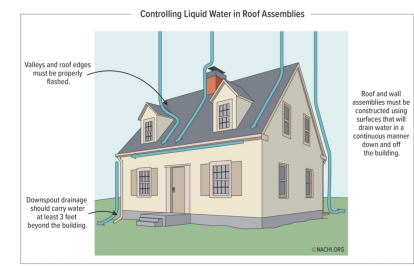
Yes

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, since a home inspection is limited in its scope.



Gutters & Downspouts: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted far away from the house foundation.

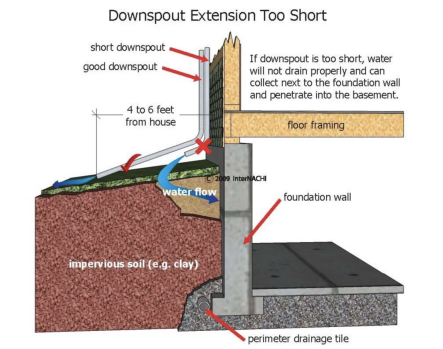




Gutters & Downspouts: Gutters Were Inspected

I inspected the gutters. I wasn't able to inspect every inch of every gutter. However, I attempted to check the overall general condition of the gutters during the inspection and look for indications of major defects.

Monitoring the gutters during heavy rain (without lightening) is recommended. In general, the gutters should catch rainwater and direct the water towards downspouts that discharge the water away from the house foundation.



Limitations

## Roof Covering

**UNABLE TO SEE EVERYTHING**

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or available during a home inspection, including underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

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## Roof Covering

**UNABLE TO WALK UPON ROOF SURFACE SAFELY**

According to the [InterNACHI® Home Inspection Standards of Practice](#), a home inspector is not required to walk upon any roof surface. However, as a courtesy only, I attempted to walk upon the roof surface but could not do so safely. It was not safe. It was not readily accessible. This was a restriction to my inspection of the roof system. You may consider hiring a professional roofer with a lift to check your roof system.

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## Plumbing Vent Pipes

**UNABLE TO REACH ALL THE PIPES**

I was unable to closely reach and observe all of the vent pipes that pass through the roof-covering materials. This was an inspection restriction.

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## Flue Gas Vent Pipes

**UNABLE TO REACH ALL THE FLUE GAS VENT PIPES**

I was unable to closely reach and observe all of the flue gas vent vent pipes that pass through the roof-covering materials. This was an inspection restriction.

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## Flashing

**DIFFICULT TO SEE EVERY FLASHING**

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

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## Eaves, Soffits &amp; Fascia

**INSPECTION WAS RESTRICTED**

I did not inspect all of the eaves, soffit, and fascia. It's impossible to inspect those areas closely during a home inspection. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the eaves, soffit, and fascia.

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## Gutters &amp; Downspouts

**COULDN'T REACH THE GUTTERS**

I was unable to closely reach and closely inspect the installation of all of the gutter components and systems.

Recommendations

2.6.1 Gutters & Downspouts

**DOWNSPOUT FROM HIGHER ROOF DRAINS ON LOWER ROOF. REQUIRES EXTENSION TO GUTTER**

 Minor Defect



2.6.2 Gutters & Downspouts

**RECOMMEND DOWNSPOUT EXTENSION**

 Minor Defect





### 3: EXTERIOR

#### Information

<b>Railings, Guards &amp; Handrails:</b> Are handrails present where required? No	<b>Windows:</b> Drip Edge present	<b>Electric Meter:</b> Electric Meter Inspected
<b>Gas Meter:</b> Gas Meter Inspected	<b>Porches, Patios, Decks, Balconies &amp; Carports:</b> decks, porches, or balconies. Deck	<b>Porches, Patios, Decks, Balconies &amp; Carports:</b> decks, porches, or balconies. None present Deck

**General: Homeowner's Responsibility**

Generally speaking, the exterior of your home is slowly deteriorating and aging every year. The sun, wind, rain and temperatures are constantly affecting it. It is recommended to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbour. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

### Walkways & Driveways: Walkways & Driveways Were Inspected

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.



### Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of the home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread of 10 inches.





**Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected**

I inspected the railings, guards and handrails that were within the scope of the home inspection.

**Railings, Guards & Handrails: Railing general comment**

Handrail should be provided on not less than one side of each flight of stairs with three or more risers.

**Exterior Doors: Exterior Doors Inspected**

I inspected the exterior doors.



**Wall-Covering, Flashing & Trim: Type of Wall-Covering Material Described**

Fiber Cement, Aluminum

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the house's exterior for its condition and weathertightness.

Check the condition of all exterior wall-covering materials and look for developing patterns of damage or deterioration.





Windows: Windows Inspected

A representative number of windows from the ground surface was inspected.





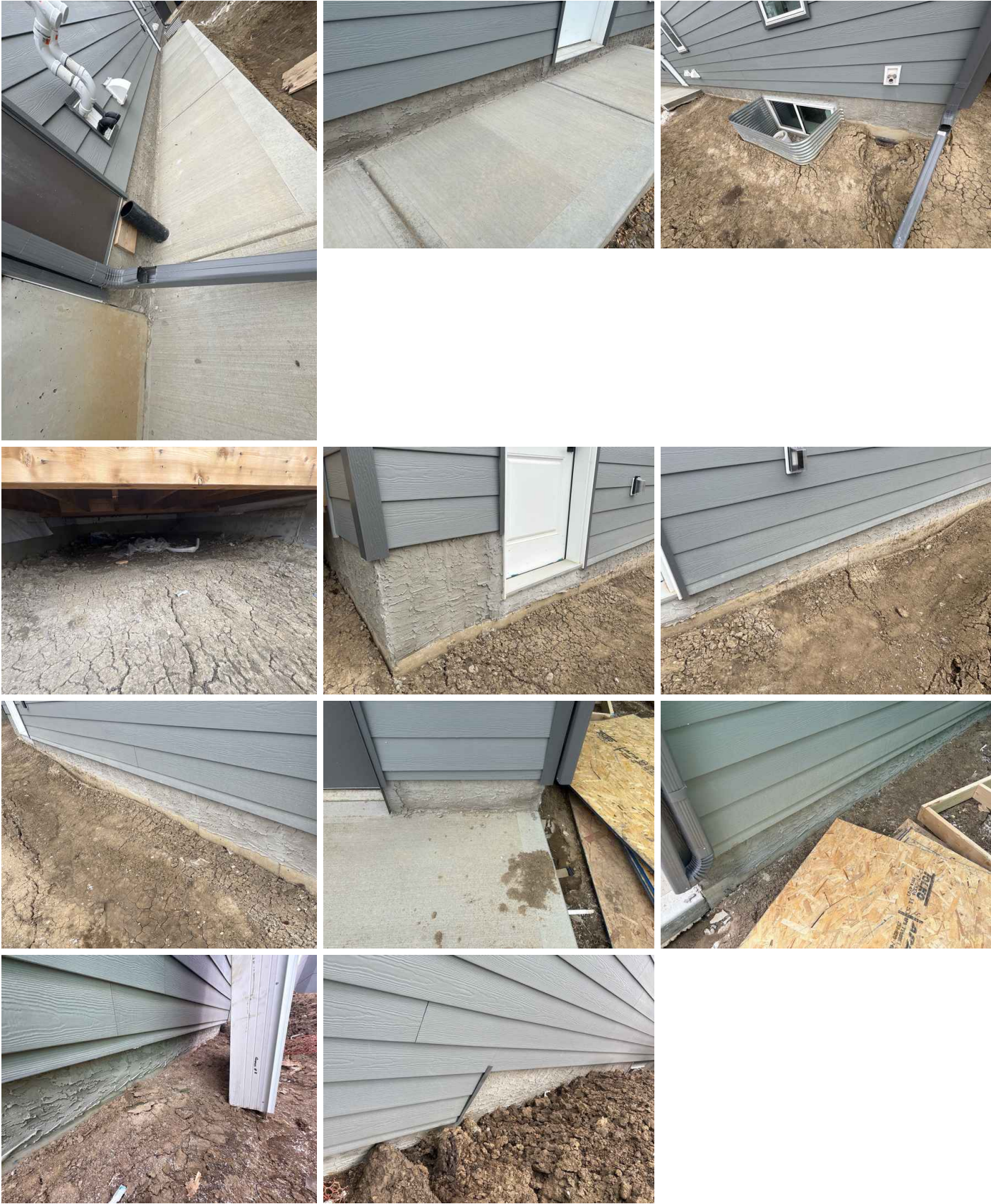


Windows: Window Wells present





Foundation & Parging: Parging Inspected







### Foundation & Parging: Exterior Foundation walls Inspected



### Vegetation, Surface Drainage, Retaining Walls & Grading: Vegetation, Drainage, Retaining Walls & Grading Were Inspected

I inspected the vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

**Vegetation, Surface Drainage, Retaining Walls & Grading: General Maintenance Comment, Grading & water management of Grounds**

The ground around a house should slope away from all sides, ideally 12 inches for the first 12 feet from the house foundation perimeter. Downspouts, surface gutters and drains should also be directing water away from the foundation.

**Exhaust Hoods: Exhaust Hoods inspected**



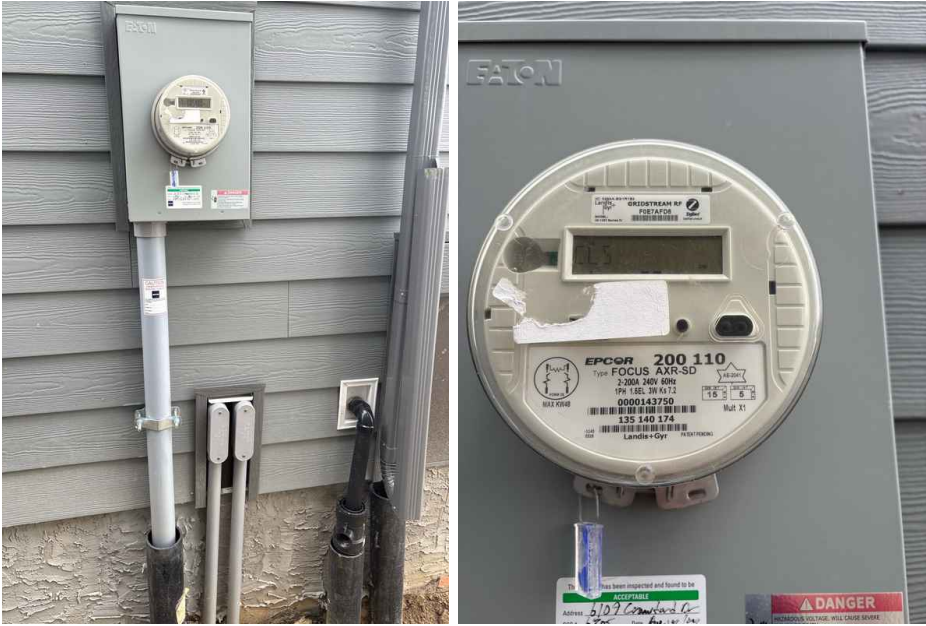


Exterior Electrical: Inspected GFCIs & Exterior Electrical

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.



Electric Meter: Service Type  
Service Lateral ( under-ground)



Gas Meter: Main Fuel Shut-off valve at Gas meter?  
Yes





## Exterior Faucets: Exterior Faucets Inspected

Faucets are inspected to confirm type - (non-freeze bibs, or not) and if faucets are operational, unless winterized for freezing season.



## Porches, Patios, Decks, Balconies & Carports: Deck Inspected



## Limitations

Wall-Covering, Flashing & Trim

### **INSPECTION WAS RESTRICTED**

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

Windows

### **INSPECTION RESTRICTED**

I did not inspect all windows. I did inspect a representative number of them. It's impossible to inspect every window component closely during a home inspection. A home inspection is not an exhaustive evaluation. I did not reach and access closely every window, particularly those above the first floor level.

Vegetation, Surface Drainage, Retaining Walls & Grading

## INCOMPLETE FINAL GRADE



Exterior Electrical

## UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Exterior Faucets

## WINTERIZED- NOT ABLE TO INSPECT FULLY.



## Recommendations



3.4.1 Railings, Guards & Handrails

**MISSING HANDRAIL**

I observed a missing handrail.  
There is more than one step here, and I recommend installing a handrail for safety.  
Recommendation  
Contact a qualified professional.

Major Defect



3.4.2 Railings, Guards & Handrails

**MISSING GUARDRAILS**

Major Defect



3.11.1 Exterior Electrical

**DOOR BELL NEED SECURING TO WALL**

Minor Defect



3.15.1 Porches, Patios, Decks, Balconies & Carports

 Minor Defect

**JOIST HANGER DEFECT - MISSING**

I observed a defect at the joist hangers of the deck. This condition is a major structural defect.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified deck contractor.



# 4: ATTACHED GARAGE

## Information

**Garage Vehicle Door: Type of Door Operation**  
Opener, Opener



**Garage Vehicle Door Opener: Wall Button inspected.**



**Interior Garage door between home and garage. : Interior Garage door Inspected**

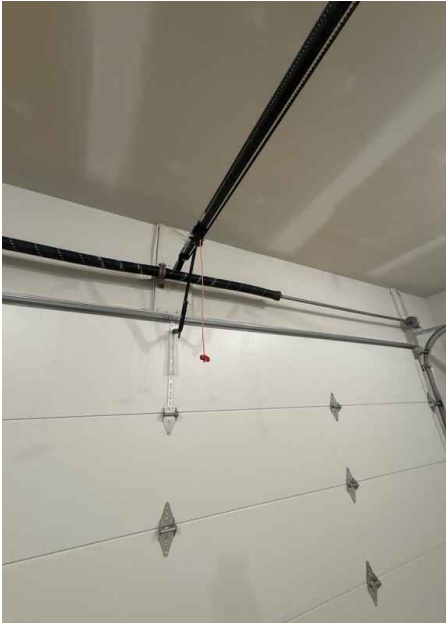




**Garage Vehicle Door Opener: Manual Release Present**

I checked for a manual release handle--a means of manually detaching the door from the door opener.

The handle should be colored red so that it can be seen easily. The handle should be easily accessible and no more than 6 feet above the garage floor. The handle should not be in contact with the top of a vehicles.

**Garage Vehicle Door Opener: Springs, Bracket & Hardware Were Inspected**

I closed the door and checked the springs for damage. If a spring was broken, operating the door can cause serious injury or death. I would not operate the door if there was damage.

I visually checked the doors hinges, brackets and fasteners. If the door had an opener, the door must have an opener-reinforcement bracket that is securely attached to the doors top section. The header bracket of the opener rail must be securely attached to the wall or header using lag bolts or concrete anchors.



**Garage Vehicle Door Opener: Spring Containment Was Inspected**

If the door has extension springs, I inspect for spring containment. Extension springs should be contained by a cable that runs through the center of the springs. If a spring breaks, containment helps to prevent broken parts from flying around dangerously in the garage.

**Garage Vehicle Door Opener: Garage Door Panels Were Inspected**

I inspected the garage door panels.



**Garage Vehicle Door Opener: Non-Contact Reversal Was Inspected**

I observed the auto-reverse feature during a non-contact test.

Standing inside the garage but safely away from the path of the door, I used the remote control or wall button to close the door. As the door was closing, I waved an object in the path of the photoelectric eye beam. The door should automatically reverse.

**Garage Vehicle Door Opener: Photo-Electric Eyes Were Inspected**

I inspected the photo-electric eyes.

Federal law states that residential garage door openers manufactured after 1992 must be equipped with photo-electric eyes or some other safety-reverse feature that meets UL 325 standards.

I checked to see if photo-electric eyes are installed. The vertical distance between the photo-eye beam and the floor should be no more than 6 inches.



## Electric in Garage: Inspected Garage lights, receptacles, and switches.



## Ceiling, Walls & Firewalls in Garage: Garage Ceiling & Walls Were Inspected

I inspected the ceiling and walls of the garage according to the Home Inspection Standards of Practice.



## Ceiling, Walls & Firewalls in Garage: Firewall inspected.

Walls separating living spaces and garages, are required to be considered firewalls.

Ideally a fire wall would be covered with a 5/8 drywall thickness, covering the insulated wood frame wall structure between the interior of the home and the garage. Generally, 1/2 drywall is also acceptable.

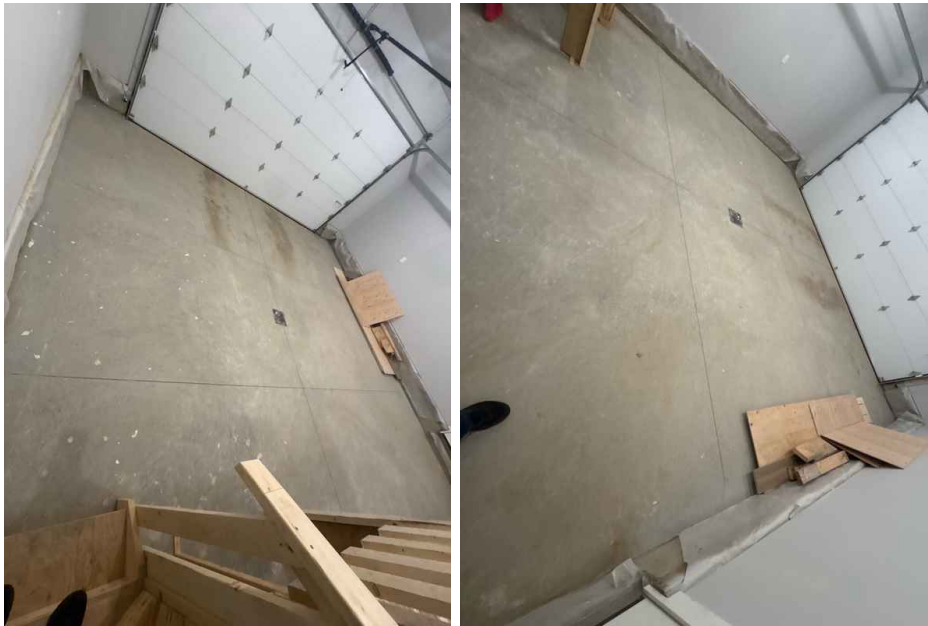
- 1- Walls are required to be fire rated where a garage is connected to neighbour's garage
- 2- Where internal rooms are present on top of a garage the garage ceiling is required to be fire rated,
- 3- The wall separating a garage from a house on main level.





Garage Floor: Garage Floor Inspected

I inspected the floor of the attached garage.



Moisture Intrusion in Garage: Evidence of water intrusion present? No



Recommendations

4.4.1 Electric in Garage

MISSING GFCI-PROTECTION IN GARAGE

Major Defect

I observed a receptacle in the attached garage without GFCI (or ground fault circuit interrupter) protection.

GFCI protection is required for all 15- and 20-amp receptacles, including outlets for refrigerators, garage door openers, and washing machines.

Recommendation

Contact a qualified electrical contractor.



4.6.1 Garage Floor

**MINOR CRACKING OBSERVED IN FLOOR OF GARAGE.**

Recommendation

Contact a qualified professional.

 Minor Defect



5: ENTRANCE

Information

Inspected Entrance Door



Electrical: Inspected Entrance Electrical



Windows: Are Entrance windows present?  
Yes



Windows: Inspected Entrance windows

Door Bell : Inspected door Bell



Walls: Inspected Entrance Walls



Floor: Inspected Entrance Floor





Ceiling: Inspected Entrance Ceiling



Recommendations

5.6.1 Door Bell  
**DOOR BELL NEEDS TO BE SECURED TO SIDING**

 Minor Defect

6: KITCHEN

Information

Kitchen Sink: Ran Water at Kitchen Sink

I ran water at the kitchen sink.

Kitchen Sink Faucet : Kitchen Faucets inspected.



Kitchen Electrical & Lighting: Inspected Lights and receptacles in kitchen.

Dishwasher: Make, Model and Serial # of Dishwasher  
Not present

Range/Oven/Cooktop: Is Stove/oven, range in operable condition?  
No stove/range

Refrigerator: Is fridge operable?  
None present

Dishwasher: Is Dishwasher in operable condition?  
No dishwasher

Exhaust Fan: Where does Exhaust fan vent to? No vent - improper venting  
Outside- side wall

Refrigerator: Make, model, serial #.  
Not present

Range/Oven/Cooktop: Make, model, and serial #.  
Not present

Exhaust Fan: Is Exhaust Fan Operable?  
Yes

Built-in Microwave: Was microwave operated?  
Not existing

**Presence of Smoke and CO Detectors: Are smoke detectors present?**

Yes



**Kitchen Sink: Leaks observed at sink/under sink?**

No





**Kitchen Electrical & Lighting: GFCI Tested**

Kitchen

I observed ground fault circuit interrupter (GFCI) protection in the kitchen.



**Dishwasher: Inspected Dishwasher**

I inspected the dishwasher by turning it on and letting it run a short cycle.

**Exhaust Fan: Inspected Exhaust Fan**

I inspected the exhaust fan in the kitchen. All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.

**Exhaust Fan: Is Exhaust Fan Operable?**

Yes



## Countertops, Islands & Cabinets: Inspected Cabinets & Countertops

I inspected a representative number of cabinets and countertop surfaces.



## Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).



Windows: Windows Inspected

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.



Limitations

Presence of Smoke and CO Detectors

UNABLE TO TEST EVERY DETECTOR

I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

Recommendations

6.3.1 Kitchen Electrical & Lighting

MISSING GFCI PROTECTION

Major Defect

I observed indications of missing GFCI protection in the kitchen. All kitchen counter receptacles are required to be GFCI protected.

Recommendation

Contact a qualified electrical contractor.





6.3.2 Kitchen Electrical & Lighting  
**FAULTY RECEPTACLE ON KITCHEN COUNTER. DOES NOT HOLD TESTER IN**

 Minor Defect



6.9.1 Countertops, Islands & Cabinets  
**MISSING DRAWER HANDLE**

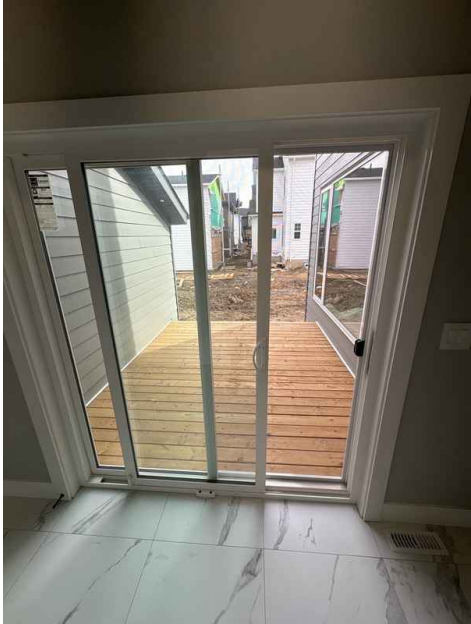
 Minor Defect



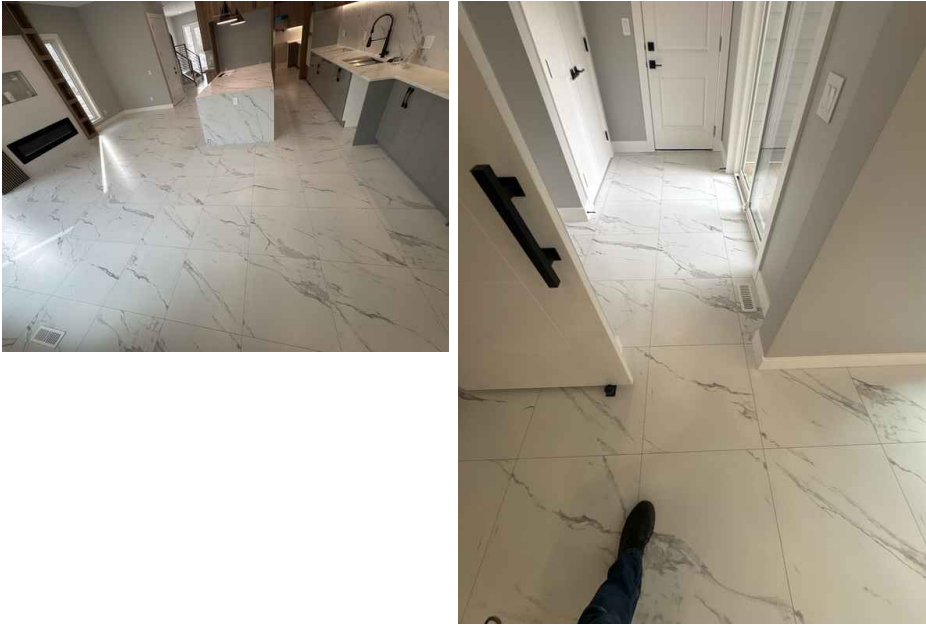
# 7: FAMILY ROOM & DINNING ROOM

## Information

### Inspected Family room Windows



Family Room & Dinning room Floor: Inspected Family Room Floor

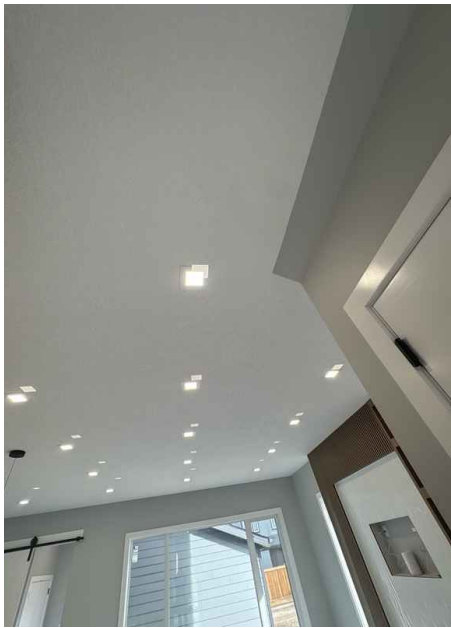


Family Room & Dinning Room Walls : Inspected family room walls





Family Room Ceiling: Inspected Family Room Ceiling



Family Room Electrical : Inspected Family Room Electrical



# 8: CHIMNEY, FIREPLACE, OR STOVE

## Information

**Electric fire place : Electric fire place inspected**





9: BATHROOM 1

Information

**Door:** Bathroom & bathroom closet Doors inspected, along with hardware of same



**GFCI & Electric in Bathroom:** Is GFCI protection present?  
Yes



**GFCI & Electric in Bathroom:** Lights Functional?  
Yes



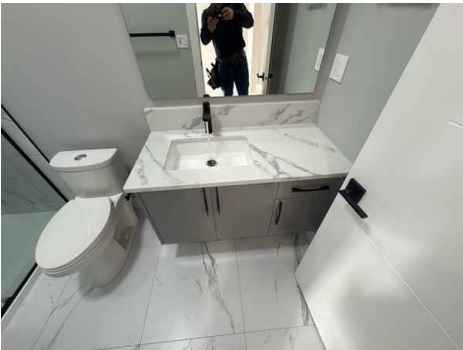
**Ceiling:** Inspected Ceiling



**Floor:** Inspected floor



**Cabinets:** Inspected Cabinets



**Toilets:** Toilets Inspected  
I flushed all of the toilets.

**Shower/Tub: Inspected shower/Tub, Shower/tub surround.**



**Sink Drain: Sink Drain & shut-off valves Inspected**

**Sink: Sinks Inspected**



**Sink Drain: Any leaks observed from bathroom Sink Drains, or Shut-off valves at time of inspection?**

No



**Heat Source in Bathroom: Heat Source in Bathroom Was Inspected**

I inspected the heat source in the bathroom (register/baseboard).

Towel Hanger & door stoppers:  
Towel hanger inspected



Towel Hanger & door stoppers:  
Door stoppers inspected



Towel Hanger & door stoppers:  
Toilet paper hanger inspected



Walls: Inspected Walls





**Toilets: Leaks observed around toilet?**

No



Faucets: Faucets, - Shower & sinks inspected



**Bathroom Exhaust Fan / Window: Inspected Bath Exhaust Fans**

I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.



**Recommendations**

9.8.1 Shower/Tub

**MAINTAIN CAULKING AROUND TUB AND CERAMIC TILES**

 Minor Defect

9.12.1 Heat Source in Bathroom

**MISSING HEAT SOURCE IN BATHROOM**

 Major Defect

I observed that there is a missing heat source in the bathroom. Every bathroom should have a source of heat.

Recommendation

Contact a qualified heating and cooling contractor



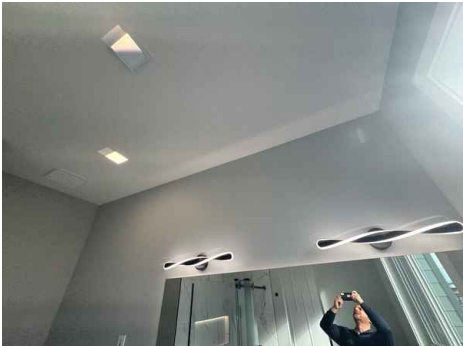
# 10: BATHROOM 2

## Information

**Door:** Bathroom & bathroom closet Doors inspected, along with hardware of same



**GFCI & Electric in Bathroom:** Lights Functional?  
Yes



**Ceiling:** Inspected Ceiling



**Walls:** Inspected Walls



**Floor:** Inspected floor



**Cabinets:** Inspected Cabinets



**Toilets:** Toilets Inspected

I flushed all of the toilets.

**Shower/Tub: Inspected shower/Tub, Shower/tub surround.**



**Sink Drain: Sink Drain & shut-off valves Inspected**

**Sink Drain: Any leaks observed from bathroom Sink Drains, or Shut-off valves at time of inspection?**  
No

**Window: Inspected bathroom Window**



**Heat Source in Bathroom: Heat Source in Bathroom Was Inspected**

I inspected the heat source in the bathroom (register/baseboard).



Towel Hanger & door stoppers:  
Towel hanger inspected



Towel Hanger & door stoppers:  
Door stoppers - not applicable



Towel Hanger & door stoppers:  
Toilet paper hanger



GFCI & Electric in Bathroom: Is GFCI protection present?  
Yes



**Toilets: Leaks observed around toilet?**  
No





Faucets: Faucets, - Shower & sinks inspected



## Sink: Sinks Inspected



## Bathroom Exhaust Fan / Window: Inspected Bath Exhaust Fans

I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.



## Recommendations

10.8.1 Shower/Tub


**RECOMMEND MAINTAINING CAULKING  
AROUND SHOWER**

 Minor Defect



10.9.1 Faucets

**RECOMMEND PROPER INSTALL OF  
SHOWER HEAD**

 Material Defect



11: BATHROOM 3

Information

**Door: Bathroom & bathroom closet Doors inspected, along with hardware of same**



**GFCI & Electric in Bathroom: Is GFCI protection present?**  
Yes



**GFCI & Electric in Bathroom: Lights Functional?**  
Yes



**Ceiling: Inspected Ceiling**



**Floor: Inspected floor**



**Cabinets: Inspected Cabinets**



**Toilets: Toilets Inspected**  
I flushed all of the toilets.



**Shower/Tub: Inspected shower/Tub, Shower/tub surround.**



**Sink: Sinks Inpsected**



**Sink Drain: Sink Drain & shut-off valves Inspected**

**Sink Drain: Any leaks observed from bathroom Sink Drains, or Shut-off valves at time of inspection?**  
No



**Heat Source in Bathroom: Heat Source in Bathroom Was Inspected**

I inspected the heat source in the bathroom (register/baseboard).



**Towel Hanger & door stoppers:**  
**Towel hanger inspected**



**Towel Hanger & door stoppers:**  
**Door stoppers inspected**



**Walls: Inspected Walls**



**Toilets: Leaks observed around toilet?**

No



**Faucets: Faucets, - Shower & sinks inspected**



Bathroom Exhaust Fan / Window: Inspected Bath Exhaust Fans

I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.



Recommendations

11.8.1 Shower/Tub

**RECOMMEND MAINTAINING CAULKING ON TILE SURROUND**

 Minor Defect

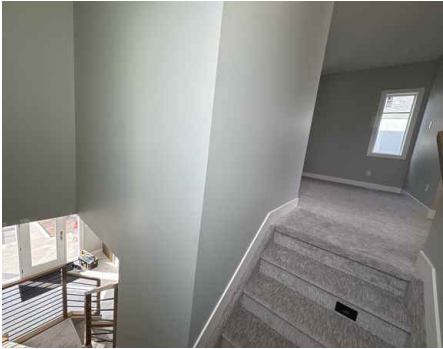




# 12: STAIRS, RAILINGS, HALLWAYS

## Information

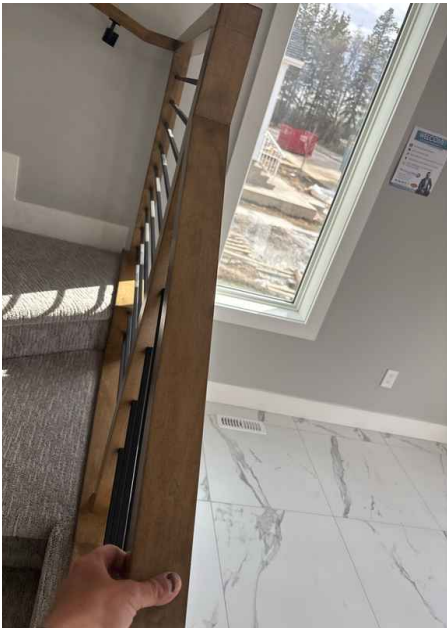
**Guardrails: Inspected Guardrails**



**Smoke Detectors : Are smoke detectors present in Hallways**  
Yes



**Inspected Stair Railings**



Hallways: Inspected Hallways



Stairs: Stairs



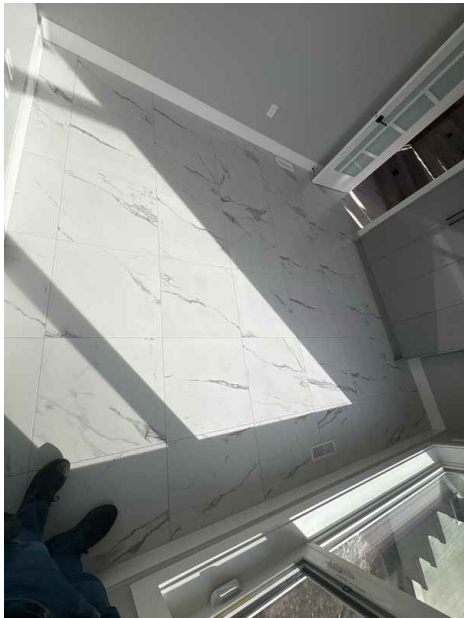
# 13: BEDROOM 1

## Information

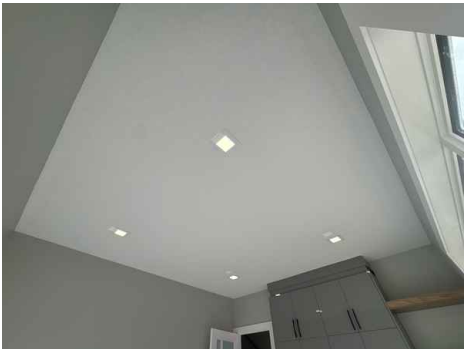
Door: Inspected Bedroom Door



Floor: Inspected Bedroom Floor



Ceiling: Inspected Bedroom ceiling



Windows: Inspected Bedroom Windows



Closet Doors: Closet doors inspected





Walls: Inspected Bedroom Walls



Electrical: Inspected Bedroom Electrical



# 14: BEDROOM 2

## Information

**Door:** Inspected Bedroom Door



**Ceiling:** Inspected Bedroom ceiling



**Windows:** Inspected Bedroom Windows



**Walls:** Inspected Bedroom Walls



Floor: Inspected Bedroom Floor



Electrical: Inspected Bedroom Electrical





Closet doors: Closet doors inspected



# 15: BEDROOM 3

## Information

**Inspected Bedroom Door**



**Walls: Inspected Bedroom Walls**



**Floor: Inspected Bedroom Floor**



**Ceiling: Inspected Bedroom ceiling**



**Windows: Inspected Bedroom Windows**



Electrical: Inspected Bedroom Electrical



Closet doors: Inspected Closet doors





# 16: BEDROOM 4

## Information

Door: Inspected Bedroom Door



Floor: Inspected Bedroom Floor



Ceiling: Inspected Bedroom ceiling



Windows: Inspected Bedroom Windows



Walls: Inspected Bedroom Walls



Electrical: Inspected Bedroom Electrical



Closet doors : closet doors inspected



Recommendations

16.1.1 Door

**DOOR CAN BE ADJUSTED TO NOT LET LIGHT THROUGH FRAME**

 Minor Defect





17: HEATING

Information

Heating System Information:  
Energy Source

Gas

Heating System Information: Is  
Humidifier present?

Yes



Thermostat and Normal  
Operating Controls: Thermostat  
Location

First floor, Basement

Heating System Information:  
Heating Method

Warm-Air Heating System

Heating System Information: Co2  
reading

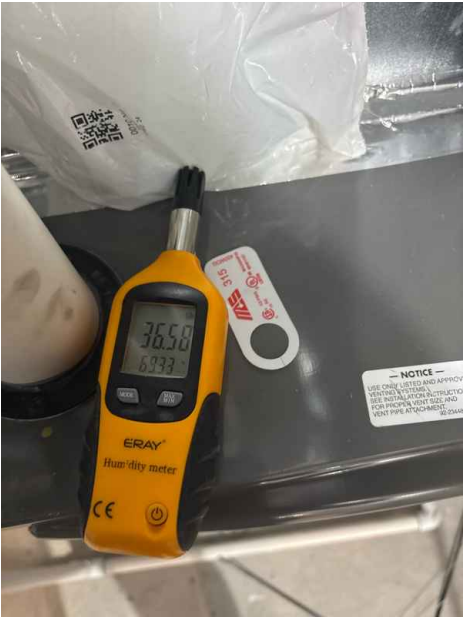


Thermostat and Normal  
Operating Controls: Is  
Thermostat Operable? Yes both  
are

Heating System Information:  
Date of last service/cleaning ?

New build

Heating System Information:  
Humidity reading



HRV - Heat/Energy Recovery  
Ventilator : HRV Inspected-  
Operational

HRV - Heat/Energy Recovery Ventilator : HRV Make, Model, and Serial #  
In plate

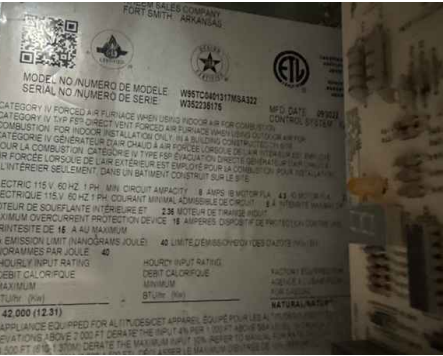


Heating System Information: Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It is recommended to get the HVAC system inspected and serviced every year. And if you're system has an air filter, be sure to keep that filter cleaned.

Heating System Information: Heating Make, Model, Serial # & approximate age if possible.  
In plate



Heating System Information: Emergency fuel shut-off Switch & Furnace main switch.



Heating System Information: Furnace venting  
Acceptable





Heating System Information: Is Air Filter Present?

Yes



Heating System Information: General state/condition of system.

In Good General Condition





**Heating System Information: Gas leak sensor reading****Ductwork: Ductwork Inspected where visible.**

Both insulated and not insulated

I observed ductwork in the house. Warm-air heating systems, including heat pump systems, use ductwork to distribute the warm air throughout the house. I will attempt to determine if the each room has a heat source, but I may not be able to find every duct register.



**HRV - Heat/Energy Recovery Ventilator : Homeowner's responsibility**

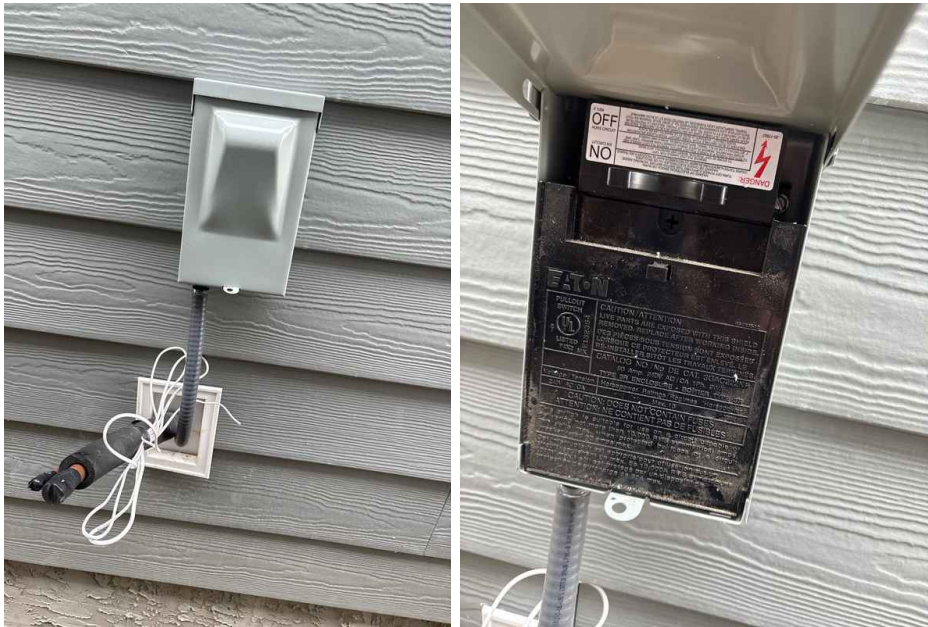
It is recommended that the filters of the HRV unit be cleaned regularly - every 3-4 month to maintain a healthy air quality in the residence.

It is recommended to warm water to 40-50 degree Celsius, and run warm water through the drain pipes of the HRV unit to maintain clear and clean drain pipes, avoiding any water gathering in the system, or water leaks outside of the unit.

18: COOLING

Information

Not inspected due to weather: Photo



Recommendations

18.1.1 Not inspected due to weather

**AIR CONDITIONING CONNECTIONS PRESENT. A/C UNIT MISSING**

Major Defect



19: PLUMBING

Information

Main Water Shut-Off Valve:  
Location of Main Shut-Off Valve  
Basement

Sump Pump: Sump Pump  
Activated  
Yes

Hot Water Source: Make, Model,  
and Serial # of Heating unit.



Hot Water Source: Inspected TPR  
Valve  
I inspected the temperature and  
pressure relief valve.

Hot Water Source: I inspected  
water connections to hot water  
source.

Hot Water Source: Type of hot  
water apparatus venting  
inspected  
power





### Main Water Shut-Off Valve: Homeowner's Responsibility

We provide you the location of where the main water and fuel shutoff valves are located, so you are aware and ready to shut of the water supply in case of pipe burst or other emergency. Be sure to keep an eye out for any water and plumbing leaks.

### Water Supply : Water Supply Is Public

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.



### Sump Pump: Sump Pump Inspected

I observed a sump pump was installed in the house.

Neglecting to test a sump pump routinely, especially if it is rarely used, can lead to severe water damage when a heavy storm, snow melt, or flooding sends water against the home.

Overload of the sump pump due to poor drainage elsewhere on the property can lead to pump failure. Frequent sump operation can be a sign of excessive water buildup under the basement floor due to poorly sloped landscaping, poor rain runoff, gutter back-flows, and other problems.

Lack of a back-up sump pump, which can be quickly installed in the event the first pump fails, can lead to serious water damage and property loss. This is especially important if the sump pump is relied upon to maintain a dry basement, or if the house is located in an area of seasonally high groundwater. Sump failure can cause extensive water damage and the loss of valuable personal belongings.

**Hot Water Source: Type of Hot Water Source****Gas-Fired Hot Water Tank**

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.

**Hot Water Source: Inspected Hot Water Source**

I inspected the hot water source and equipment according to the [Home Inspection Standards of Practice](#).

**Drain, Waste, & Vent Systems: I could not inspect Drain, Waste, Vent Pipes accessible in the Mechanical room/unfinished basement**

I attempted to inspect the drain, waste, and vent pipes. Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water and sewer leaks or blockages in the past.

**Water Supply & Distribution Systems: Inspected Water Supply & Distribution Pipes where visible.**

I attempted to inspect the water supply and distribution pipes (plumbing pipes). Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water supply, problems with water supply, and water leaks in the past.

## Water Supply & Distribution Systems: Type of plumbing pipe present

PEX



## Limitations

Drain, Waste, & Vent Systems

### **NOT ALL PIPES WERE INSPECTED**

The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls.

Drain, Waste, & Vent Systems

### **FINISHED BASEMENT - NOT VISIBLE**

Water Supply & Distribution Systems

### **NOT ALL PIPES WERE INSPECTED**

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.

20: LAUNDRY

Information

**Clothes Washer: Washer Make, Model, & Serial #**  
Not present

**Clothes Dryer: Dryer Make, model, and Serial #**  
Not present

**Laundry Room, Electric, and Tub: Inspected Laundry Room electric, & GFCI outlets**

**Laundry Room, Electric, and Tub: Any leaks observed? No**

**Laundry Room, Electric, and Tub: Inspected Laundry room floor, walls, and ceiling**



**Laundry Room, Electric, and Tub: Laundry room tub/sink water ran, and inspected for leaks at drains, faucets, and sink/tub trim.**





Limitations

Laundry Room, Electric, and Tub  
**NO WASHER OR DRYER**

Recommendations

20.3.1 Laundry Room, Electric, and Tub

**MISSING ELECTRIC RECEPTACLE FOR DRYER. 30 AMP**

Major Defect

I observed that there is a missing electric receptacle in the laundry room.

Recommendation  
Contact a qualified electrical contractor.

20.3.2 Laundry Room, Electric, and Tub

**MISSING GFCI PROTECTION**

Major Defect

I observed that there is missing GFCI protection at the receptacles in the laundry room.  
All 120-volt, 15- and 20-amp outlets in laundry rooms must be AFCI and GFCI protected. 2014 NEC 210.8(A) (10) & 210.12(A)

Recommendation  
Contact a qualified electrical contractor.



# 21: ELECTRICAL

## Information

**Service-Entrance Conductors:  
Inspected Service-Entrance  
Conductors**

I inspected the electrical service-entrance conductors.



**Main Service Disconnect:  
Inspected Main Service  
Disconnect**

I inspected the electrical main service disconnect.

**Main Service Disconnect: Homeowner's Responsibility**

It is recommended to know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but more than that, you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

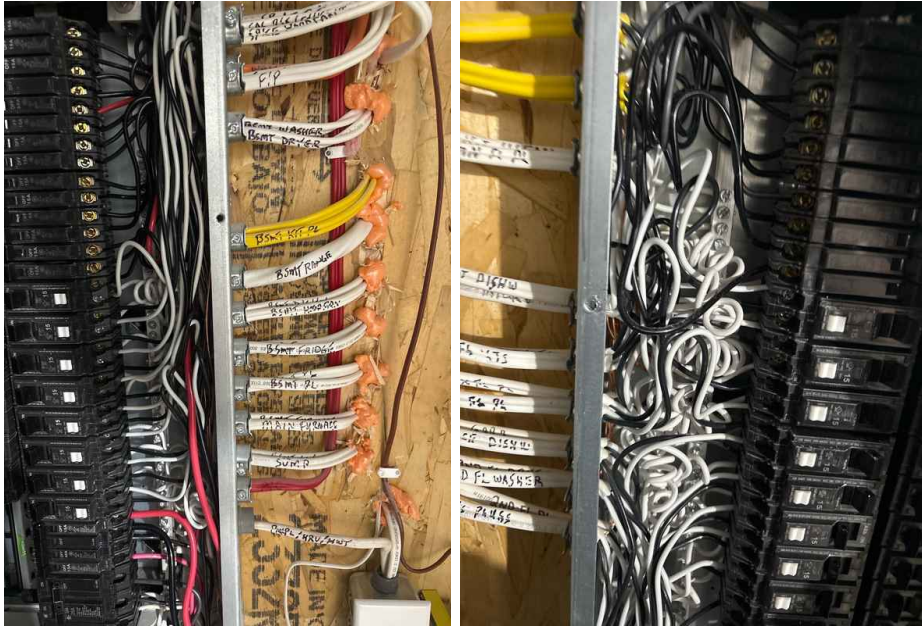
**Main Service Disconnect: Main Disconnect Rating, If Labeled**

100

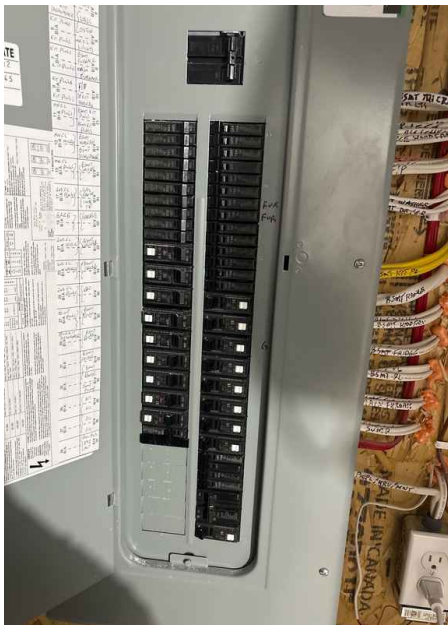
I observed indications of the main service disconnect's amperage rating. It was labeled.



Copper

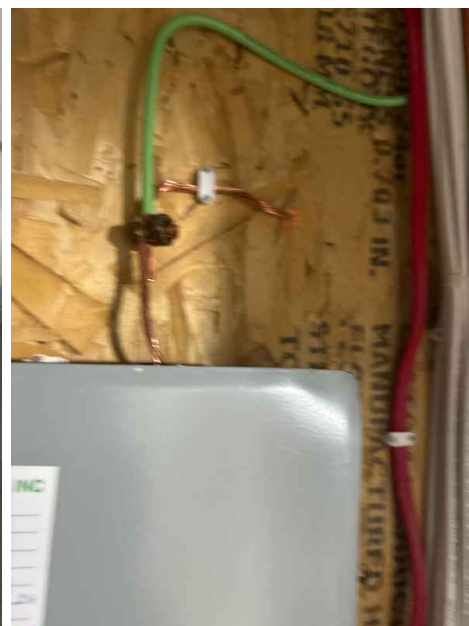
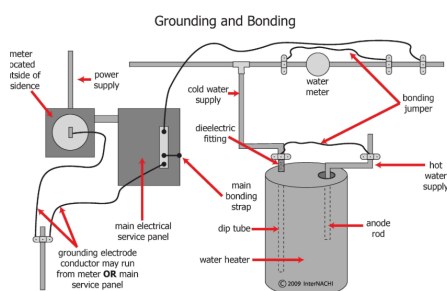


I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).



## Service Grounding & Bonding: Inspected the Service Grounding & Bonding

I inspected the electrical service grounding and bonding.



## Limitations

### Electrical Wiring

#### **UNABLE TO INSPECT ALL OF THE WIRING**

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

### Service Grounding & Bonding

#### **UNABLE TO CONFIRM PROPER GROUNDING AND BONDING**

I was unable to confirm proper installation of the system grounding and bonding according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the grounding and bonding as much as I could according to the Home Inspection Standards of Practice.



# 22: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

## Information

**Basement: Type of Basement**  
**Foundation Described**  
Concrete

**Insulation in**  
**Foundation/Basement Area: Type**  
**of Insulation Observed**  
Not able to see

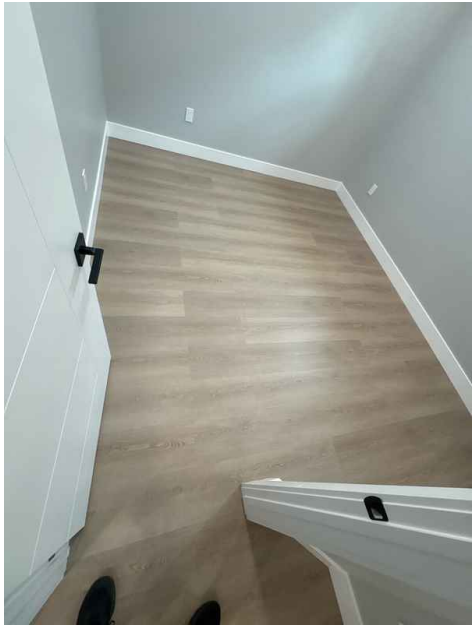
Basement: Is basement finished  
Yes

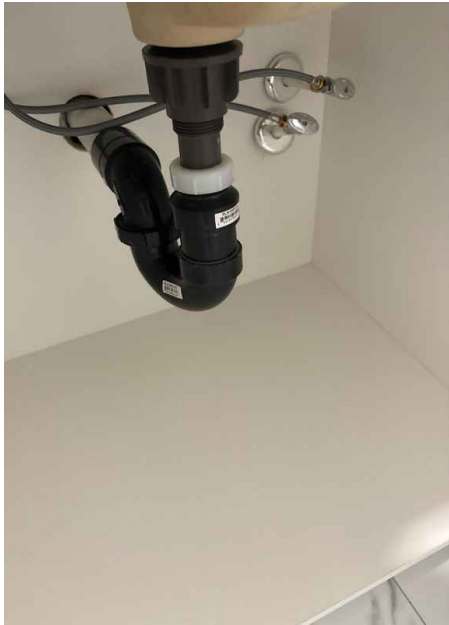


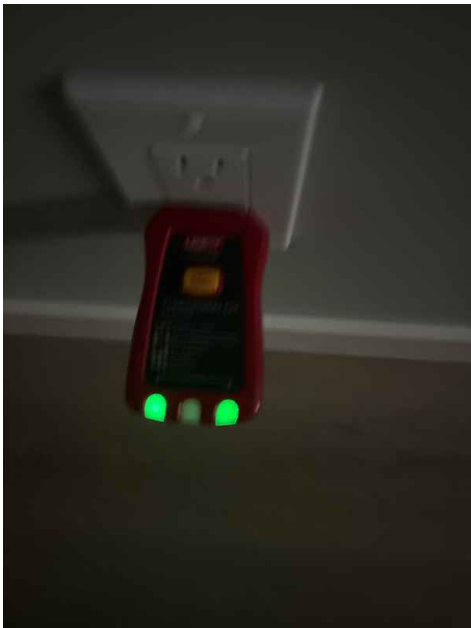












**Basement: Basement Was Inspected**

The basement was inspected according to the [Home Inspection Standards of Practice](#).

The basement can be a revealing area in the house and often provides a general picture of how the entire structure works. In most basements, the structure is exposed overhead, as are the HVAC distribution system, plumbing supply and DWV lines, and the electrical branch-circuit wiring. I inspected those systems and components.

**Basement: Foundation Was Inspected**

The foundation was inspected according to the [Home Inspection Standards of Practice](#).

**Basement: Structural Components Were Inspected where visible.**

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists, Posts & beams where visible.

**Insulation in Foundation/Basement Area: Insulation Was not Inspected**

During the home inspection, I inspected insulation in unfinished spaces of the basement. Any issues will be listed below.

**Insulation in Foundation/Basement Area: Approximate Average Depth of Insulation**

Attic

Not able to see

Determining how much insulation should be installed in a house depends upon where a home is located. Proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

**This house is located in a climate zone that requires an R-value of 10 in basement walls. We are generally looking for 4-6 inch of fiberglass Bat insulation in the framed basement walls, covered by a proper vapour barrier.**

**Limitations**

Basement

**BASEMENT FINISHED UNABLE TO SEE BEYOND DRYWALL**

The basement was finished. This was an inspection restriction, because the finished floor, walls, and ceiling blocked my visual inspection of the basement, its systems and components.

Insulation in Foundation/Basement Area

**FINISHED BASEMENT- NO ACCESS TO INSULATION**

**Recommendations**

22.1.1 Basement

**KITCHEN EXHAUST IN BASEMENT MISSING LIGHT**

 Minor Defect





22.1.2 Basement  
**MISSING GFCI BEHIND LAUNDRY IN BASEMENT**

 Major Defect



# 23: ATTIC, INSULATION & VENTILATION

## Information

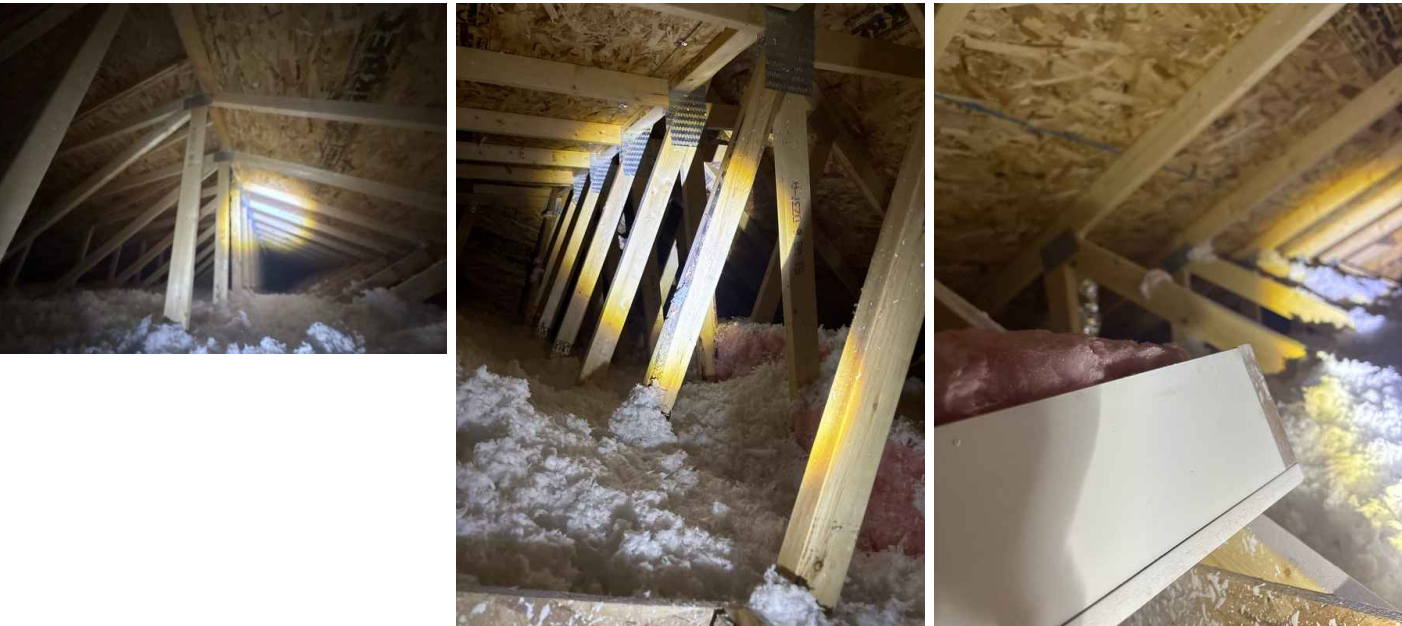
<b>Insulation in Attic: Type of Insulation Observed</b>	<b>Mechanical Exhaust System: Mechanical Exhaust from Bathrooms Inspected</b>	<b>Mechanical Exhaust System: Exhaust Fans</b>
Cellulose 3.2-3.8 R-Value/inc	I inspected the mechanical exhaust system in the bathrooms.	None

### Attic monitoring and maintenance

It is recommended to inspect your attic semi-annually to check for any active leaks, & excessive frost build-up in winter. Any insulation that is exposed to moisture is rendered ineffective, and requires replacement. Maintain the required depth of insulation as required for the type present in your attic. Avoid placing any items on attic insulation as it affects the escape of moisture from your ceilings into the attic. Finally, do not allow any home vents to vent directly into your attic.

### Structural Components & Observations in Attic: Structural Components Were Inspected

Structural components were inspected from the attic space according to the [Home Inspection Standards of Practice](#).



### Insulation in Attic: Insulation Was Inspected

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.

Insulation in Attic: Approximate Average Depth of Insulation

Attic  
15-17 inches

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes. In Alberta, it is recommended to have between 18 inches & 22 of blown in loose fill insulation, or 16 inches of fiberglass Bat insulation.



Ventilation in Attic: Ventilation Inspected

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected for mechanical exhaust systems.



Limitations

Structural Components & Observations in Attic

COULD NOT SEE EVERYTHING IN ATTIC

I could not see and inspect everything in the attic space. Walking through the attic damages the insulation, and risks damage to ceiling below as the ceiling frame below is not visible.

## 24: THERMAL IMAGING GENERAL PHOTOS

### Information

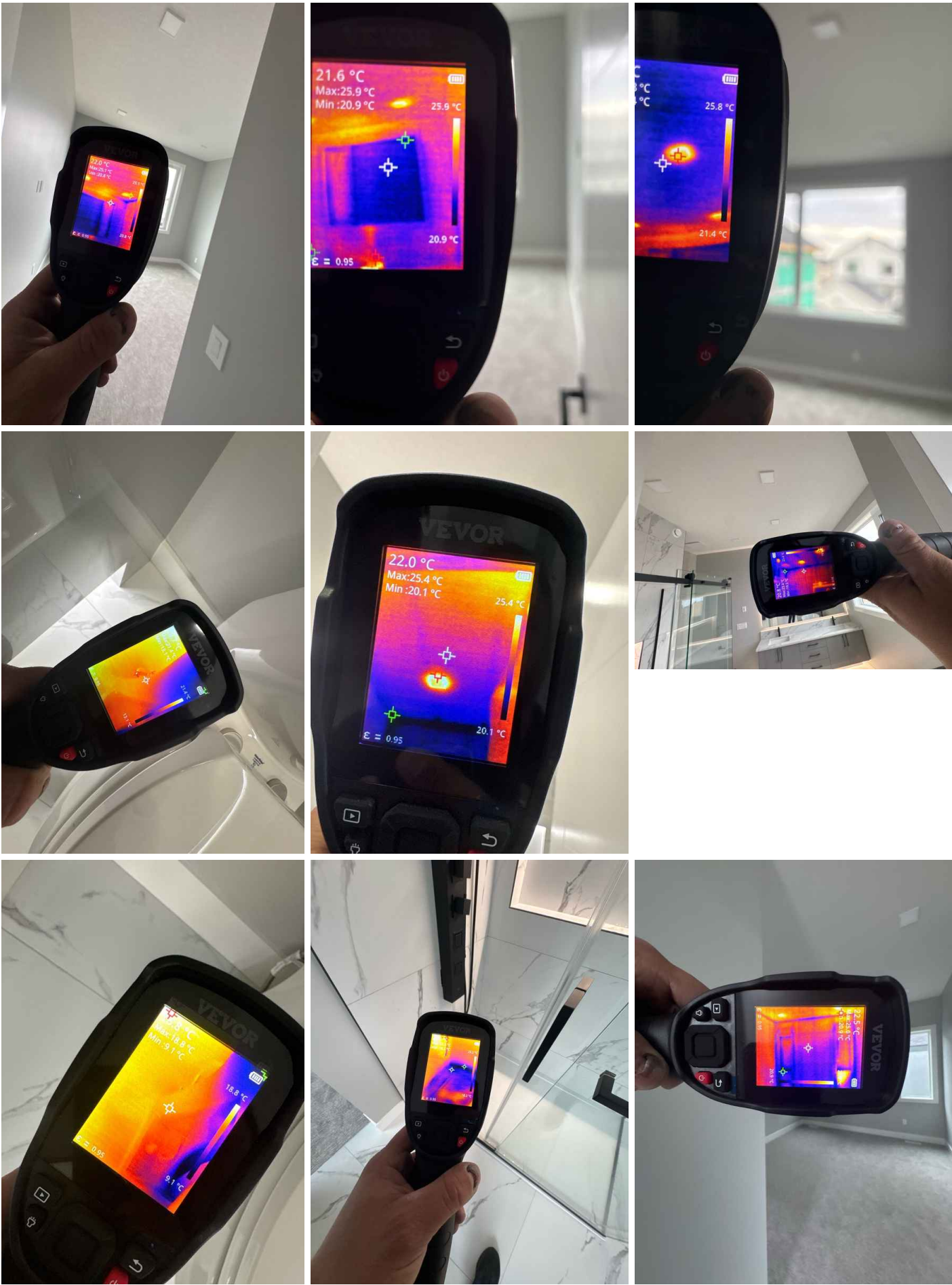
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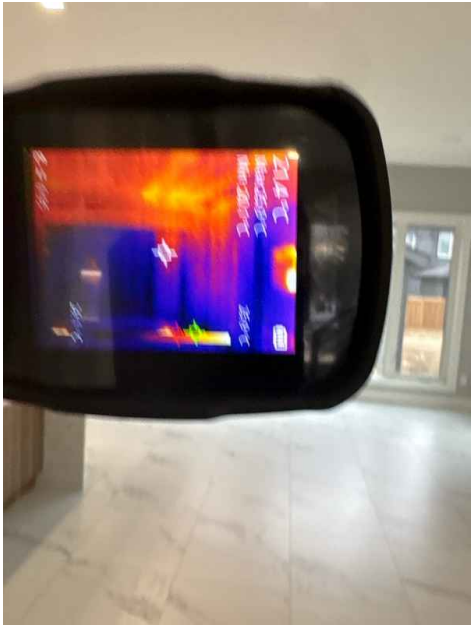
#### **Thermal imaging statement.**

Thermal imaging is an additional service used to identify potential water leaks or insulation deficiencies visible through thermal imaging. While this service is performed with due diligence, it does not guarantee the detection of every leak from plumbing system testing or pre-existing issues. The inspection report will include multiple photographs from the thermal imaging inspection; however, it is not guaranteed to capture every angle of the property. Any specific issues identified through thermal imaging will be clearly detailed by the inspector.

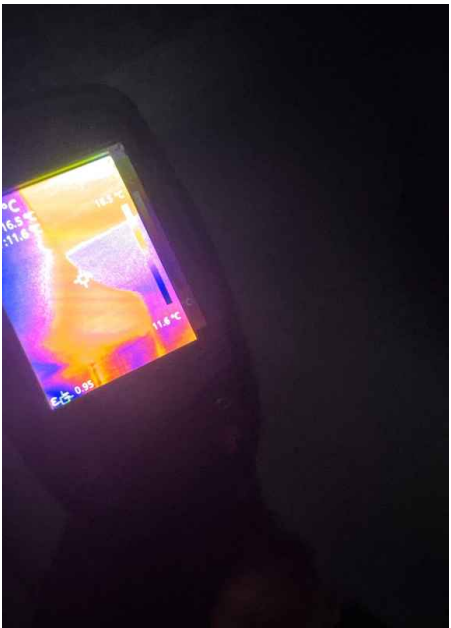
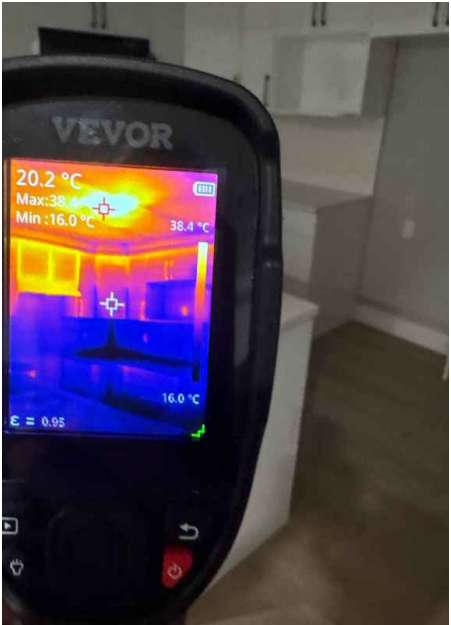


Thermal imaging photos: General photos









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# STANDARDS OF PRACTICE

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## Inspection Detail

Please refer to the [Home Inspection Standards of Practice](#) while reading this inspection report. I performed the home inspection according to the standards and my clients wishes and expectations. Please refer to the inspection contract or agreement between the inspector and the inspector's client.

## Roof

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the roof of the house.

Monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

### I. The inspector shall inspect from ground level or the eaves:

1. the roof-covering materials;
2. the gutters;
3. the downspouts;
4. the vents, flashing, skylights, chimney, and other roof penetrations; and
5. the general structure of the roof from the readily accessible panels, doors or stairs.

### II. The inspector shall describe:

1. the type of roof-covering materials.

### III. The inspector shall report as in need of correction:

1. observed indications of active roof leaks.

## Exterior

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the exterior of the house.

### I. The inspector shall inspect:

1. the exterior wall-covering materials;
2. the eaves, soffits and fascia;
3. a representative number of windows;
4. all exterior doors;
5. flashing and trim;
6. adjacent walkways and driveways;
7. stairs, steps, stoops, stairways and ramps;
8. porches, patios, decks, balconies and carports;
9. railings, guards and handrails; and
10. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

### II. The inspector shall describe:

1. the type of exterior wall-covering materials.

### III. The inspector shall report as in need of correction:

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1. any improper spacing between intermediate balusters, spindles and rails.

**Attached Garage****The inspector shall inspect:**

garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

**The inspector shall describe:**

a garage vehicle door as manually-operated or installed with a garage door opener.

**Kitchen**

The kitchen appliances are not included in the scope of a home inspection according to the Standards of Practice.

**The inspector will out of courtesy only check:**

the stove,  
oven,  
microwave, and  
garbage disposer.

**Chimney, Fireplace, or Stove****I. The inspector shall inspect:**

1. readily accessible and visible portions of the fireplaces and chimneys;
2. lintels above the fireplace openings;
3. damper doors by opening and closing them, if readily accessible and manually operable; and
4. cleanout doors and frames.

**II. The inspector shall describe:**

1. the type of fireplace.

**III. The inspector shall report as in need of correction:**

1. evidence of joint separation, damage or deterioration of the hearth, hearth extension or chambers;
2. manually operated dampers that did not open and close;
3. the lack of a smoke detector in the same room as the fireplace;
4. the lack of a carbon-monoxide detector in the same room as the fireplace; and
5. cleanouts not made of metal, pre-cast cement, or other non-combustible material.

**Bathroom 1****The home inspector will inspect:**

interior water supply, including all fixtures and faucets, by running the water;  
all toilets for proper operation by flushing; and  
all sinks, tubs and showers for functional drainage.

**Bathroom 2****The home inspector will inspect:**

interior water supply, including all fixtures and faucets, by running the water;  
all toilets for proper operation by flushing; and  
all sinks, tubs and showers for functional drainage.

**Bathroom 3****The home inspector will inspect:**

interior water supply, including all fixtures and faucets, by running the water;  
all toilets for proper operation by flushing; and  
all sinks, tubs and showers for functional drainage.

**Heating****I. The inspector shall inspect:**

1. the heating system, using normal operating controls.

**II. The inspector shall describe:**

1. the location of the thermostat for the heating system;
2. the energy source; and
3. the heating method.

**III. The inspector shall report as in need of correction:**

1. any heating system that did not operate; and
2. if the heating system was deemed inaccessible.

**Cooling****I. The inspector shall inspect:**

1. the cooling system, using normal operating controls.

**II. The inspector shall describe:**

1. the location of the thermostat for the cooling system; and
2. the cooling method.

**III. The inspector shall report as in need of correction:**

1. any cooling system that did not operate; and
2. if the cooling system was deemed inaccessible.

**Plumbing****I. The inspector shall inspect:**

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

**II. The inspector shall describe:**

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

**III. The inspector shall report as in need of correction:**

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and

4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

**Laundry****The inspector shall inspect:**

mechanical exhaust systems in the kitchen, bathrooms and laundry area.

**Electrical****I. The inspector shall inspect:**

1. the service drop;
2. the overhead service conductors and attachment point;
3. the service head, gooseneck and drip loops;
4. the service mast, service conduit and raceway;
5. the electric meter and base;
6. service-entrance conductors;
7. the main service disconnect;
8. panelboards and over-current protection devices (circuit breakers and fuses);
9. service grounding and bonding;
10. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
11. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
12. for the presence of smoke and carbon-monoxide detectors.

**II. The inspector shall describe:**

1. the main service disconnect's amperage rating, if labeled; and
2. the type of wiring observed.

**III. The inspector shall report as in need of correction:**

1. deficiencies in the integrity of the service-entrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
2. any unused circuit-breaker panel opening that was not filled;
3. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
4. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
5. the absence of smoke and/or carbon monoxide detectors.

**Basement, Foundation, Crawlspce & Structure****I. The inspector shall inspect:**

the foundation;  
the basement;  
the crawlspce; and  
structural components.

**II. The inspector shall describe:**

the type of foundation; and  
the location of the access to the under-floor space.

**III. The inspector shall report as in need of correction:**

observed indications of wood in contact with or near soil;  
observed indications of active water penetration;

observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and  
any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

**Attic, Insulation & Ventilation****The inspector shall inspect:**

insulation in unfinished spaces, including attics, crawlspaces and foundation areas;  
ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and  
mechanical exhaust systems in the kitchen, bathrooms and laundry area.

**The inspector shall describe:**

the type of insulation observed; and  
the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

**The inspector shall report as in need of correction:**

the general absence of insulation or ventilation in unfinished spaces.