

# INSPECTION REPORT



For the Property at:  
**123 Leafy Lane**  
HASTINGS, ON

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Prepared for: Mr & Mrs Twig  
Inspection Date: Sunday, March 14, 2021  
Prepared by: David Sharman



County Home Inspection  
459 George Street North  
Peterborough, ON K9H 3R6  
7059573642

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A fully insured and professionally accredited inspection.



March 14, 2021

Dear Mr and Mrs Twig

RE: Report No. 1366  
123 Leafy Lane  
Hastings, ON

Thank you for choosing County Home Inspection to perform your home inspection.

The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients can sometimes assume that a home inspection includes many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of you, our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Our Home Inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection.

If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you for choosing County Home Inspection.

Sincerely,

David Sharman  
on behalf of  
County Home Inspection

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Note:** For the purpose of this report the building is considered to be facing **South**.

This Summary outlines potentially significant issues we have identified that may have to be addressed in the short term. There may be others we did not identify.

This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

## Structure

### FLOORS \ Joists

**Condition:** • [Notches or holes](#)

**Implication(s):** Weakened structure

**Location:** West

**Task:** Repair

**Time:** Immediate

## Electrical

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**Condition:** • [Rust or water in panel](#)

**Implication(s):** Electric shock | Fire hazard

**Location:** North Basement

**Task:** Replace

**Time:** Immediate

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any observations and recommendations for improvements. Limitations that restricted our inspection are included as well.

## Descriptions

**General:** • The Description section provides a list of the components. This may be useful in answering questions from an insurance company about the house construction, for example.

**Sloped roofing material:** • [Asphalt shingles](#)

## Observations / Recommendations

### General

1. • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of roofs.

### SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

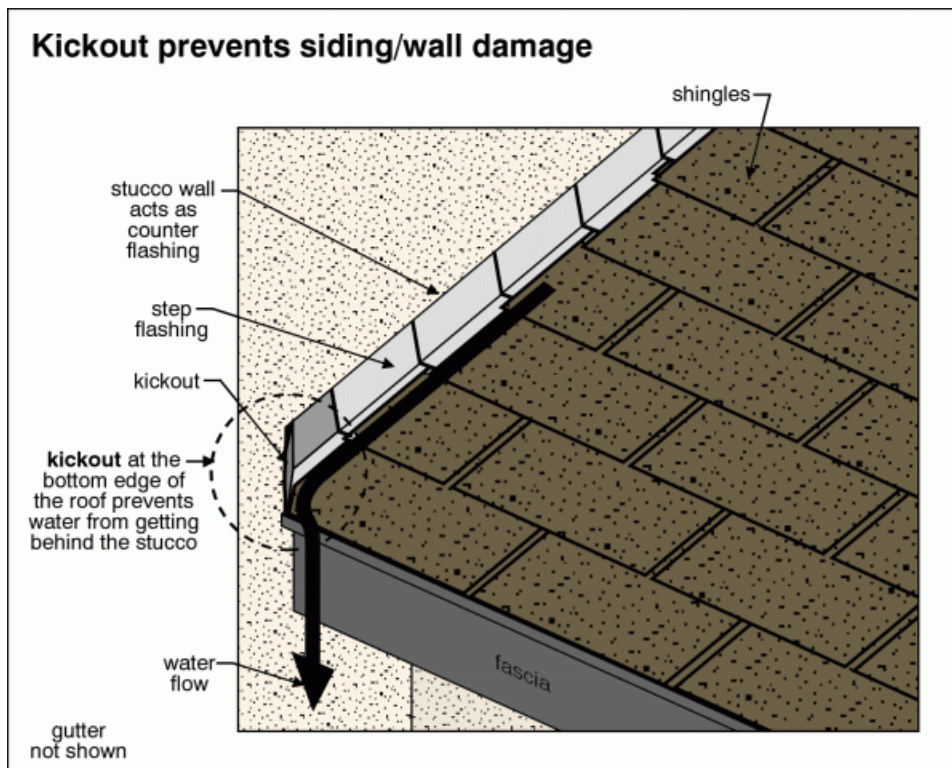
2. **Condition:** • [No kickout flashing](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** North First floor

**Task:** Improve

**Time:** Less than 1 year



- SUMMARY
  - ROOFING**
  - EXTERIOR
  - STRUCTURE
  - ELECTRICAL
  - HEATING
  - COOLING
  - INSULATION
  - PLUMBING
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- REFERENCE



1. No kickout flashing at roof/sidewall junction

### SLOPED ROOF FLASHINGS \ Pipe/stack flashings

3. Condition: • [Leak](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North

Task: Repair, immediate



2. Leak

## Inspection Methods / Limitations

Roof inspection limited/prevented by: • Solar panels on the north roof surface

Inspection performed: • By walking on roof

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Descriptions

**General:** • Gutters and downspouts must carry water off the roof away from the building to prevent basement or crawl space leakage.

Ground that slopes toward the house can funnel surface water from rain and melting snow against the foundation walls. This can lead to basement or crawl space leakage. The ground around the house should slope down away from the building at a rate of at least 1 inch per foot for the first 6 feet out from the building.

**Gutter & downspout material:** • [Aluminum](#)

**Gutter & downspout discharge:** • [Above grade](#)

**Lot slope:** • [Away from building](#)

**Wall surfaces - wood:** • [Boards](#)

**Wall surfaces and trim:** • [Vinyl siding](#)

**Retaining wall:** • [Concrete](#)

**Driveway:** • Asphalt

## Observations / Recommendations

### ROOF DRAINAGE \ Downspouts

**4. Condition:** • [Downspouts end too close to building](#)

The downspout should be extended to discharge at least 6 feet from the home. The splash block can be discarded.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

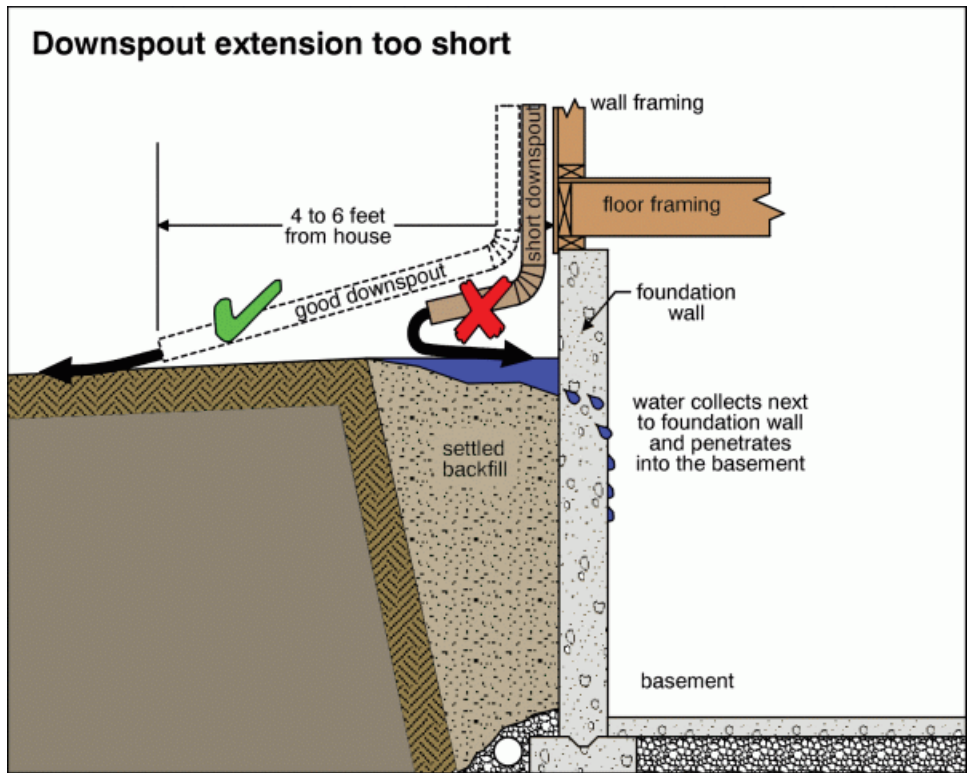
**Location:** East Exterior wall

**Task:** Improve

**Time:** Immediate



- SUMMARY
  - ROOFING
  - EXTERIOR**
  - STRUCTURE
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  - HEATING
  - COOLING
  - INSULATION
  - PLUMBING
  - INTERIOR
- REFERENCE



3. Downspout ends too close to building

### **PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Joists**

#### **5. Condition:** • [Fastener problems](#)

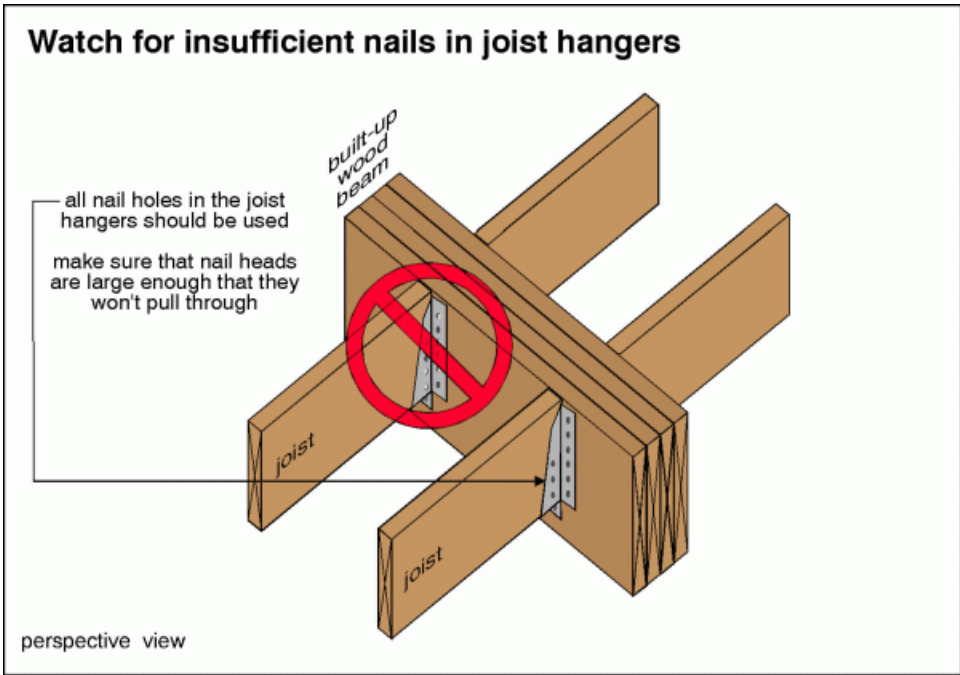
Joist hangers for wood deck are not properly nailed.

**Implication(s):** Weakened structure | Chance of movement

**Location:** North Exterior Wall

**Task:** Improve

**Time:** Immediately



4. Poor end bearing, joist hanger connections

**Inspection Methods / Limitations**

**Inspection limited/prevented by:** • Access was restricted to the area below the deck, limiting the extent of the inspection.

**Inspection limited/prevented by:** • Storage • Car in garage • Vines/shrubs/trees against wall

**Upper floors inspected from:** • Ground level



SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Descriptions

**Configuration:** • [Basement](#) • [Slab-on-grade](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Joists](#)

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • [Trusses](#)

## Observations / Recommendations

### FLOORS \ Joists

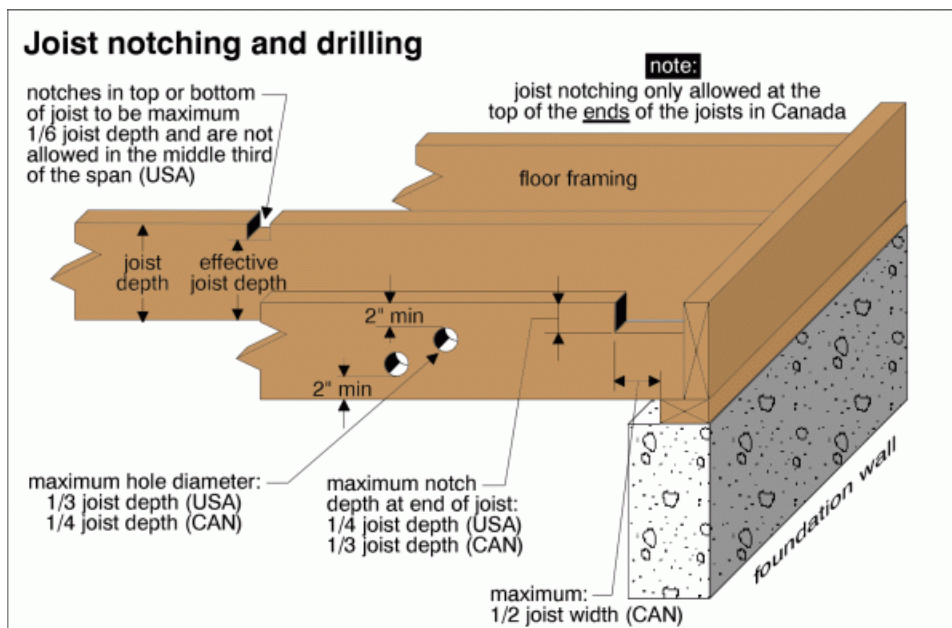
**6. Condition:** • [Notches or holes](#)

**Implication(s):** Weakened structure

**Location:** West

**Task:** Repair

**Time:** Immediate





5. Joists are notched and weakened

## ROOF FRAMING \ Rafter/trusses

7. **Condition:** • Top chord of truss is broken

**Location:** North Attic

**Task:** Replace

**Time:** Immediately



6. Top chord of truss is broken

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Descriptions

Service entrance cable and location: • [Overhead copper](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#) • [Copper - conduit](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#) • [AFCI - panel](#)

Smoke detectors: • [Present](#)

Carbon monoxide (CO) detectors: • Present

## Observations / Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ Service box - fuse, breaker, wire

8. Condition: • [Poor connections](#)

Implication(s): Electric shock | Fire hazard

Location: North Basement

Task: Improve

Time: Immediate

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

9. Condition: • [Rust or water in panel](#)

Implication(s): Electric shock | Fire hazard

Location: North Basement

Task: Replace

Time: Immediate



7. Water and rust in bottom of panel

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

10. Condition: • [Too close to edge of studs or joists](#)

Location: Basement Furnace Room

Task: Improve

Time: Immediate

## DISTRIBUTION SYSTEM \ Wiring - installation

11. Condition: • [Abandoned wire](#)

Implication(s): Electric shock

Location: Basement Furnace Room

Task: Improve

Time: Immediate

## DISTRIBUTION SYSTEM \ Lights

12. Condition: • [Loose](#)

Location: East Exterior wall

Task: Repair or replace

Time: Immediate



8. Light fixture is not well secured

## Inspection Methods / Limitations

**General:** • Concealed electrical components are not part of a home inspection.

**Inspection limited/prevented by:** • The quality of the electrical grounding system is not determined as part of a home inspection.

**Panel or disconnect cover:** • Home inspectors do not remove the cover for the main electrical disconnect, since this is not safe to do with the house power turned on, and we cannot turn the power off during the home inspection.

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Descriptions

**General:** • [VIDEO: Changing your furnace filter](#)

**Fuel/energy source:** • [Gas](#)

**System type:** • [Furnace](#)

**Approximate capacity:** • [90,000 BTU/hr](#)

**Efficiency:** • [Mid-efficiency](#)

**Approximate age:** • Typical life expectancy is 20 to 25 years.

**Approximate age:** • [6 years](#)

**Main fuel shut off at:**

• Basement

At front of home

**Auxiliary heat:**

• [Electric baseboard heater](#)

In basement family room

**Fireplace:**

• [Zero clearance](#)

Wood burning fireplace in living room

**Chimney/vent:** • [Masonry](#) • [Metal](#)

**Carbon monoxide test:**

• 5 parts per million - approximate

Tested at draft hood. This is acceptable.

## Observations / Recommendations

### General

13. • An annual maintenance agreement that covers parts and labor is recommended.

### GAS FURNACE \ Venting system

14. **Condition:** • [Draft hood spillage or backdraft](#)

A considerable amount of rust was noted on the front of the furnace.

This suggests a back-drafting problem, with combustion products entering the home.

This is a safety issue that should be addressed without delay.

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

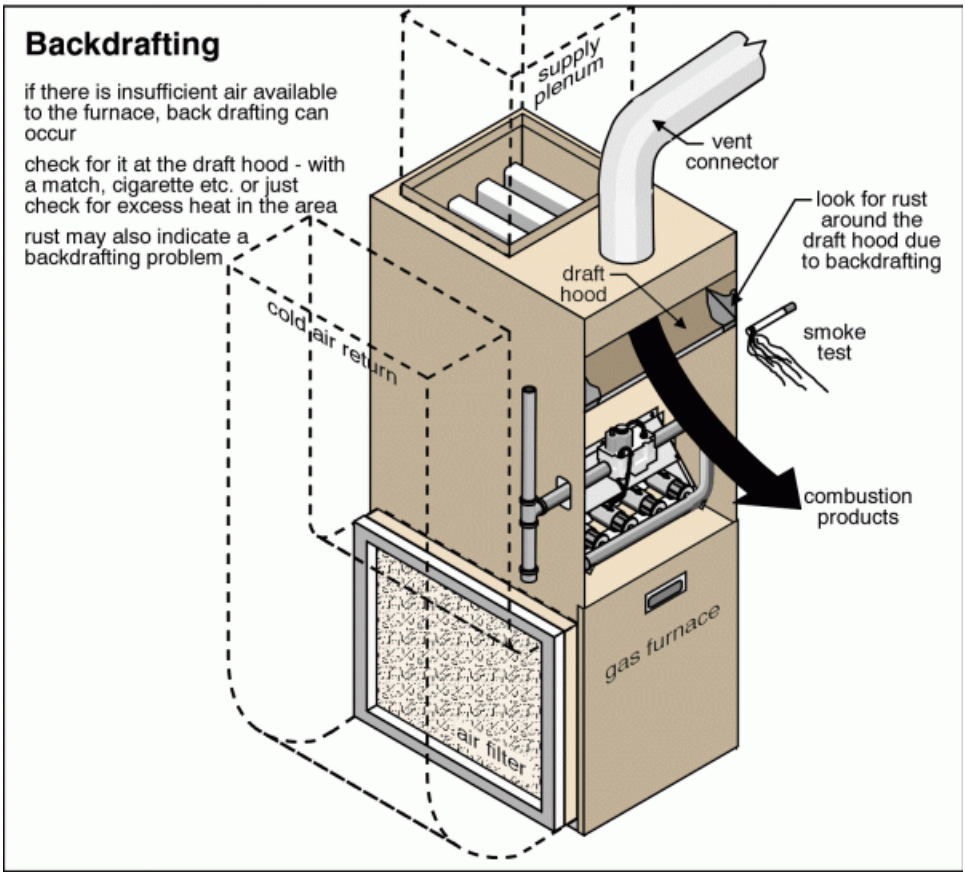
**Location:** Basement Furnace room

**Task:** Correct

**Time:** Immediate



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	<b>HEATING</b>	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									



9. Rust at bottom of heat exchanger



10. Evidence of furnace backdrafting

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Inspection Methods / Limitations

**General:** • Heat loss calculations are not performed as part of a home inspection. These calculations are typically performed by designers to determine the required size for heating systems prior to installation.

**Inspection prevented/limited by:** • Heat loss calculations are not performed as part of a home inspection. These calculations are typically performed before construction to determine the required capacity of a heating system. • Safety devices are not tested as part of a home inspection. These should be tested during annual servicing.

**Safety devices:** • Not tested as part of a building inspection

**Fireplace/wood stove:** • Quality of chimney draw cannot be determined • Connection to chimney not inspected

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Descriptions

**Air conditioning type:** • [Air cooled](#)

**Cooling capacity:** • [36,000 BTU/hr](#)

**Compressor approximate age:** • Typical life expectancy is 10 to 15 years.

**Compressor approximate age:** • 6 years

## Observations / Recommendations

### AIR CONDITIONING \ Evaporator coil

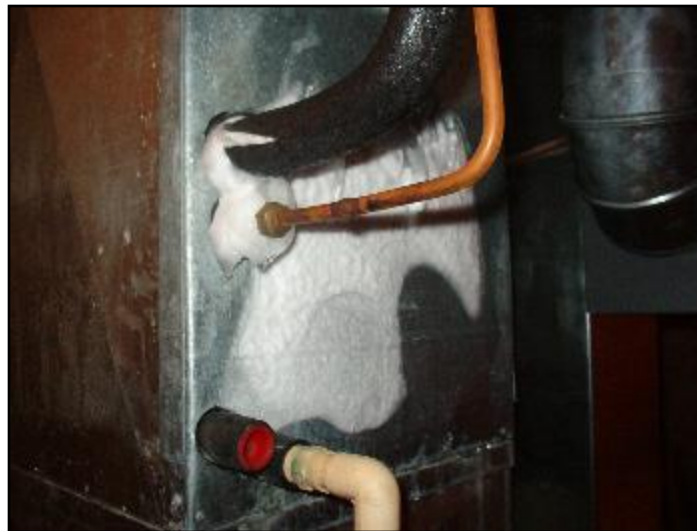
**15. Condition:** • [Frost](#)

**Implication(s):** Increased cooling costs | Reduced comfort

**Location:** West Basement

**Task:** Repair

**Time:** Immediate



11. Frost visible on ductwork at AC coil

## Inspection Methods / Limitations

**General:** • Heat gain calculations are not performed as part of a home inspection. These calculations are typically performed by designers to determine the required size for air conditioning or heat pump systems.

- SUMMARY
  - ROOFING
  - EXTERIOR
  - STRUCTURE
  - ELECTRICAL
  - HEATING
  - COOLING
  - INSULATION**
  - PLUMBING
  - INTERIOR
- REFERENCE

## Descriptions

- Attic/roof insulation material: • [Mineral wool](#)
- Attic/roof insulation amount/value: • [R-32](#)
- Attic/roof ventilation: • [Roof and soffit vents](#)
- Attic/roof air/vapor barrier: • [Plastic](#)
- Wall insulation material: • [Glass fiber](#)
- Wall insulation amount/value: • Not determined

## Observations / Recommendations

### **FOUNDATION \ Interior insulation**

- 16. Condition:** • [Exposed combustible insulation](#)
- Implication(s):** Fire hazard
- Location:** West Crawl space
- Task:** Remove or cover with drywall
- Time:** Less than 1 year



12. Exposed polystyrene insulation is fire hazard

## Inspection Methods / Limitations

- General:** • Asbestos may be present in many building products and materials. Environmental consultants can assist if this is a concern.
- Inspection prevented by no access to:** • Wall space
- Attic inspection performed:** • From access hatch
- Roof ventilation system performance:** • Not evaluated
- Air/vapor barrier system:** • The continuity of the air vapor barriers throughout the home could not be identified.

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Descriptions

**General:** • [VIDEO: Checking the toilet flapper](#)

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Front of the basement

**Water flow and pressure:** • [Typical for neighborhood](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater type:** • [Conventional](#)

**Tank capacity:** • [40 gallons](#)

**Water heater approximate age:** • Typical life expectancy is 8 to 12 years.

**Water heater approximate age:** • 5 years

**Waste and vent piping in building:** • [Plastic](#)

## Observations / Recommendations

### SUPPLY PLUMBING \ Supply piping in building

**17. Condition:** • [Leak](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | System inoperative

**Location:** Northeast Basement

**Task:** Replace

**Time:** Immediate



**13.** *Leaking copper supply pipe*

### WASTE PLUMBING \ Traps - installation

**18. Condition:** • [Nonstandard shape or material](#)

**Implication(s):** Reduced operability | Fixtures slow to drain

**Location:** Basement Laundry area



**Task:** Improve  
**Time:** Immediate



14. Poor trap arrangement

### **WASTE PLUMBING \ Venting system**

**19. Condition:** • [Vent termination problems](#)

**Implication(s):** Reduced operability | Sewer gases entering the building

**Location:** West central part of roof

**Task:** Remove cap

**Time:** Immediate



15. Plumbing stack is capped

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Descriptions

**General:** • [VIDEO: Preparing your room for painting](#)

**General:** • [VIDEO: Tips for painting rooms in your house](#)

**Major floor finishes:** • [Carpet](#) • [Hardwood](#) • [Concrete](#)

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • [Single/double hung](#) • [Casement](#)

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • [Sliding glass](#) • [Solid wood](#) • [Metal](#)

**Oven type:** • Conventional

**Oven fuel:** • Electricity

**Appliances:** • Refrigerator • Range hood • Dishwasher • Waste disposal • Microwave oven • Central vacuum • Door bell

**Laundry facilities:** • Washer • Laundry tub • Dryer • 240-Volt outlet

## Observations / Recommendations

### FLOORS \ Wood/laminate floors

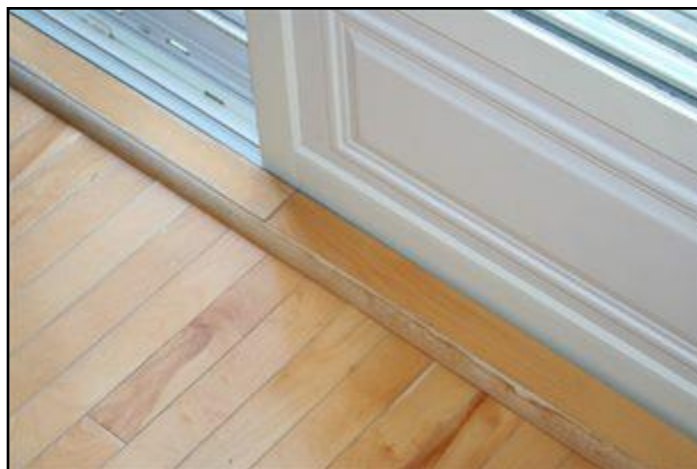
**20. Condition:** • [Stained](#)

**Implication(s):** Cosmetic defects

**Location:** North First Floor Family Room

**Task:** Repair

**Time:** Less than 1 year



16. Stained

### GARAGE \ Vehicle door operators

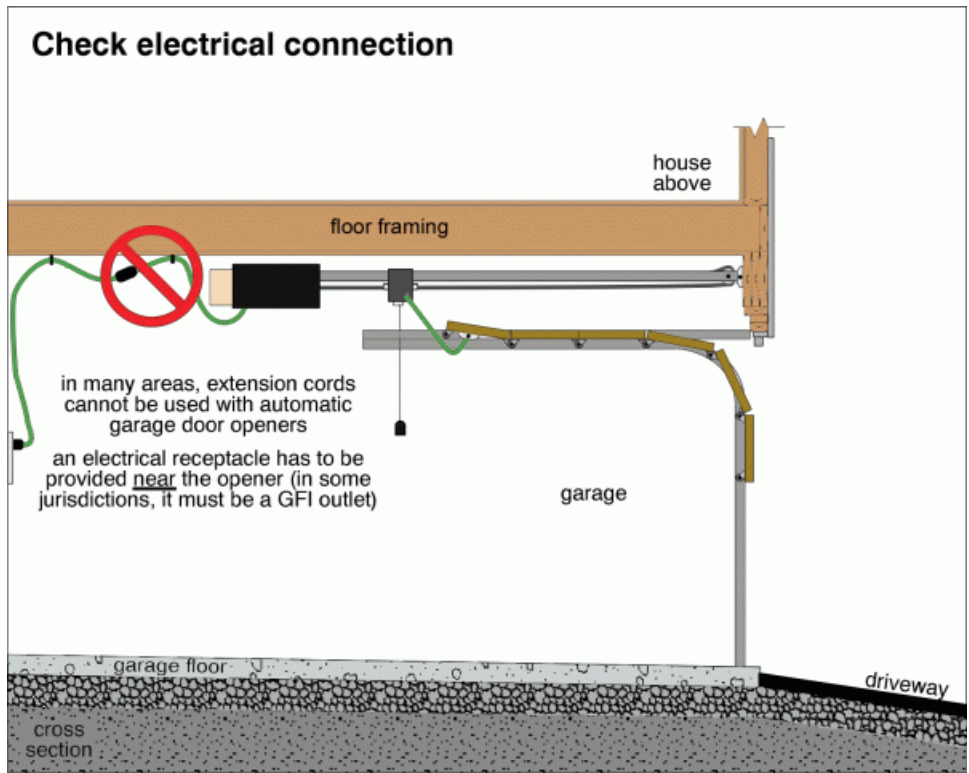
**21. Condition:** • [Extension cord for opener](#)

**Implication(s):** Electric shock

**Location:** Garage

**Task:** Replace with permanent wiring

Time: Immediate



17. Extension cord for west garage door opener

## Inspection Methods / Limitations

**General:** • The following are not included as part of a home inspection: alarm systems, security systems, intercoms, central vacuum systems, cosmetic issues, appliances, water treatment systems, indoor air quality and concealed items.

**Inspection limited/prevented by:** • The interior of cupboards and cabinets are not included as part of a home inspection.

**END OF REPORT**

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS