

**MANCHESTER WATER DISTRICT**  
**Resolution No. 2025-07**

**APPROVAL OF A DEVELOPER EXTENSION AGREEMENT WITH ALASKA AVENUE, LLC  
FOR THE ALASKA AVENUE VISTA PROJECT**

**WHEREAS**, on April 16, 2025, District staff received formal application for a Developer's Extension Agreement from Alaska Avenue, LLC for the Alaska Avenue Vista Project; and

**WHEREAS**, on April 21, 2025, District staff received the \$1,420 Developer Extension application fee from Alaska Avenue, LLC; and

**WHEREAS**, the proposed Alaska Ave Vista subdivision is for 13 single family residential lots requiring an 8" water main to be installed down the easter slope of Alaska Avenue at the Center St intersection; and

**WHEREAS**, upon Board approval of the extension, the conditions of RCW 57.22.010 Contracting for System Extensions will be satisfied; and

**WHEREAS**, the Board of Commissioners has determined it in the best interest of the community, and District, to approve a Developer's Extension Agreement with Alaska Avenue, LLC to extend the District's Alaska Ave water main as part of the Alaska Avenue Vista Project; and


**NOW, THEREFORE BE IT RESOLVED** that the Board of Commissioners of the Manchester Water District hereby authorize the District General Manager to execute a Developer Extension Agreement with Alaska Avenue, LLC for the Alaska Avenue Vista Project.

**THIS RESOLUTION** was duly considered and approved by the Manchester Water District Board of Commissioners in a regularly scheduled open public meeting on May 13, 2025.

1. **Ratification.** Any act consistent with the authority granted pursuant to this Resolution occurring prior to the effective date of this Resolution is hereby ratified and affirmed; and
2. **Severability.** The provisions of this Resolution are declared separate and severable. The invalidity of any clause, sentence, paragraph, subdivision, section or portion of this resolution or the invalidity of the application thereof to any person or circumstances, shall not affect the validity of the remainder of the resolution, or the validity of its application to other persons or circumstances; and
3. **Effective Date.** This resolution shall become effective immediately upon adoption and signature as provided by law.

ADOPTED by the Manchester Water District Board of Commissioners on  
May 13, 2025.

\_\_\_\_\_  
Steve Pedersen  
Board Chair

  
\_\_\_\_\_  
James E. Strode  
Secretary

  
\_\_\_\_\_  
Robert Ballard  
Commissioner

Approved as to Form:

  
\_\_\_\_\_  
Ken Bagwell, District Attorney

# ALASKA AVENUE VISTA

## ALASKA AVENUE, LLC

### WATER PLANS

#### VERTICAL DATUM

NGVD29

#### HORIZONTAL DATUM

WASHINGTON STATE PLANE COORDINATE SYSTEM, NAD 83/91 NORTH ZONE PER KITSAP COUNTY.

#### BASIS OF BEARING

N01°55'07"E ALONG THE NORTH/SOUTH CENTERLINE OF THE SOUTHEAST QUARTER OF SECTION 21-24-2

BOUNDARY DATA CALCULATED AND BASIS OF BEARINGS PER KITSAP COUNTY PUBLIC WORKS SURVEY CONTROL AND SECTION BREAKDOWN SHEET FOR SECTION 21, TOWNSHIP 24 NORTH, RANGE 2 EAST, W.M., DATED 3-29-93.

#### ORIGINATING BENCHMARK

KITSAP COUNTY CONTROL POINT 996. TOP OF CONCRETE MONUMENT WITH BRASS DISK IN CASE, EAST QUARTER CORNER SECTION 21-24-2

ELEVATION=56.29

#### PROJECT BENCHMARKS

TBM 'A' - CORE CONTROL POINT 106 - SET NAIL 3' EAST OF EDGE OF PAVEMENT NEAR NORTHWEST CORNER OF PROJECT

ELEVATION=245.13

TBM 'B' - CORE CONTROL POINT 105 - SET NAIL 3' EAST OF EDGE OF PAVEMENT +/- 110' SOUTH OF SOUTHWEST CORNER OF PROJECT

ELEVATION=247.46

#### LEGAL DESCRIPTION

TAX PARCEL NO. 212402-4-015-2006

THAT PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 24 NORTH, RANGE 2 EAST, W.M., KITSAP COUNTY, WASHINGTON; LYING WEST OF A 40 FOOT ROAD, AS DISCLOSED IN DEED BEARING AUDITOR'S FILE NO. 399017; EXCEPT THE WEST 30 FEET FOR COUNTY ROAD AND EXCEPT THE SOUTH 40 FEET; ALSO EXCEPT THAT PORTION PER AUDITOR'S FILE NO. 992901 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE ABOVE DESCRIBED MAIN TRACT; THENCE WEST ALONG THE SOUTH LINE THEREOF 70 FEET; THENCE NORTH PERPENDICULAR TO THE SOUTH LINE THEREOF 140 FEET; THENCE EAST PARALLEL TO THE SOUTH LINE THEREOF TO THE WESTERLY MARGIN OF SAID 40 FOOT ROAD; THENCE SOUTHERLY ALONG SAID WESTERLY MARGIN TO THE POINT OF BEGINNING.

TAX PARCEL NO. 212402-4-016-2005

THAT PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 24 NORTH, RANGE 2 EAST, W.M., IN KITSAP COUNTY, WASHINGTON; LYING WEST OF A 40 FOOT ROAD, AS DESCRIBED IN DEED BEARING AUDITOR'S FILE NUMBER 399017; EXCEPT THE WEST 30 FEET THEREOF FOR COUNTY ROAD AND EXCEPT THE SOUTH 40 FEET;

BEING THAT PORTION THEREOF PER AUDITOR'S FILE NO. 992901 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE ABOVE DESCRIBED MAIN TRACT; THENCE WEST ALONG THE SOUTH LINE THEREOF 70 FEET; THENCE NORTH PERPENDICULAR TO THE SOUTH LINE THEREOF 140 FEET; THENCE EAST PARALLEL TO THE SOUTH LINE THEREOF TO THE WESTERLY MARGIN OF SAID 40 FOOT ROAD; THENCE SOUTHERLY ALONG SAID WESTERLY MARGIN TO THE POINT OF BEGINNING.

#### OWNER

ALASKA AVENUE VISTA, LLC  
1950 POTTERY AVE, SUITE 150  
PORT ORCHARD, WA 98366

#### APPLICANT

ALASKA AVENUE, LLC  
2497 BETHEL ROAD SE, SUITE 201  
PORT ORCHARD, WA 98366  
CONTACT: DENNIS MORROW  
(360) 271-0116  
DENNIS@GREATNWIRE.COM

#### ENGINEER \ SURVEYOR \ PLANNER \ LANDSCAPE ARCHITECT

CORE DESIGN, INC  
12100 NE 195TH STREET, SUITE 300  
BOTHELL, WA 98011  
(425) 885-7877  
CONTACTS: GINA R. BROOKS, P.E. (ENGINEER), GRB@COREDESIGNINC.COM  
ROBERT D. WEST, PLS (SURVEYOR), RDW@COREDESIGNINC.COM  
ROBERT W. NIX (PLANNER), RWN@COREDESIGNINC.COM  
LINDSEY B. SOLORIO, PLA (LANDSCAPE ARCHITECT) LBS@COREDESIGNINC.COM

#### GEOTECHNICAL ENGINEER

ROBINSON NOBLE, INC.  
17625 130TH AVE NE, STE. 102  
WOODINVILLE, WA 98072  
CONTACT: BARB GALLAGHER, P.E.  
(425) 488-0599  
BGALLAGHER@ROBINSON-NOBLE.COM

#### CRITICAL AREA CONSULTANT

ECOLOGICAL LAND SERVICES  
8900 STATE HIGHWAY 3 SW, SUITE 201  
BREMERTON, WA 98312-4982  
CONTACT: JOANNE BARTLETT, SWPS  
(360) 674-7186, EXT 1201  
JOANNE@ECO-LAND.COM

#### UTILITIES / DISTRICTS

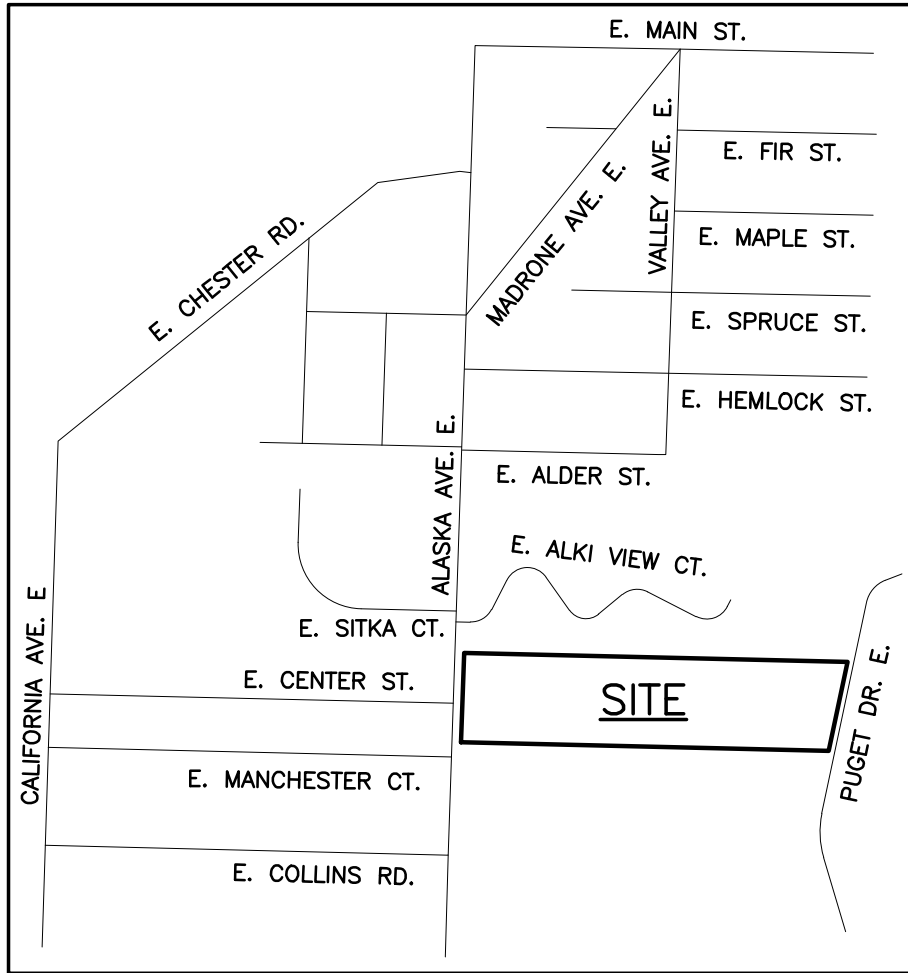
SEWER DISTRICT: KITSAP COUNTY  
WATER DISTRICT: MANCHESTER WATER DISTRICT  
FIRE DISTRICT: SOUTH KITSAP FIRE AND RESCUE  
SCHOOL DISTRICT: SOUTH KITSAP SCHOOL DISTRICT NO. 402  
POWER: PUGET SOUND ENERGY  
GAS: CASCADE NATURAL GAS  
CABLE/INTERNET/PHONE: WAVE BROADBAND

#### SITE INFORMATION

PARCEL NUMBERS: 212402-4-015-2006  
212402-4-016-2005  
GROSS SITE AREA: 354,929 SF (8.15 AC)  
ZONING: MANCHESTER VILLAGE LOW RESIDENTIAL (MVLPR)  
COMPREHENSIVE PLAN: LIMITED AREA OF MORE INTENSE RURAL DEVELOPMENT TYPE 1  
NUMBER OF LOTS: 13

#### SHEET INDEX

C6.00 COVER SHEET  
C6.01 WATER PLAN  
C6.21 WATER PROFILES



**VICINITY MAP**  
NOT TO SCALE  
NORTH

DATE	DESIGNED	DRAWN	APPROVED	PROJECT MANAGER	SHEET	OF	PROJECT NUMBER
4/22/25	GINA R. BROOKS, P.E.	STEVE E. SIMMONS	GINA R. BROOKS, P.E.	GINA R. BROOKS, P.E.	C6.00	3	20195
REVISIONS	REVISED PER DISTRICT COMMENTS						
NO.	DATE	DESCRIPTION					
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CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
PLANNING  
SURVEYING

CORE DESIGN

12100 NE 195th St, Suite 300 Bothell, Washington 98011 425.885.7877

COVER SHEET

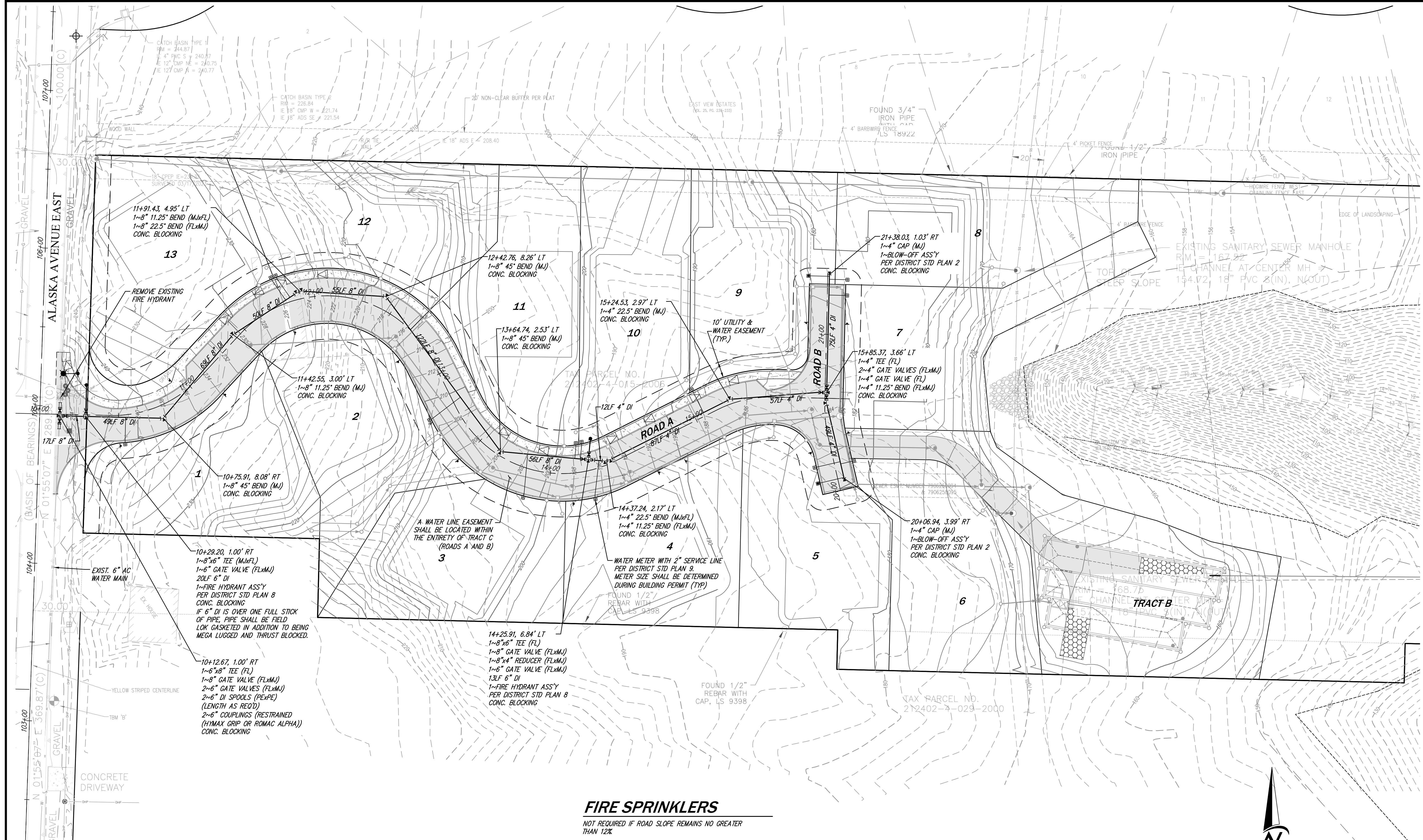
ALASKA AVENUE VISTA

ALASKA AVENUE, LLC

2497 BETHEL ROAD SE, SUITE 201  
PORT ORCHARD, WA. 98366







**FIRE SPRINKLERS**

NOT REQUIRED IF ROAD SLOPE REMAINS NO GREATER THAN 12%.

**INDIVIDUAL PRESSURE REDUCING VALVES**

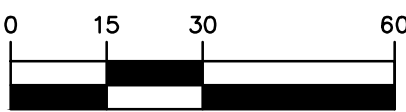
AN INDIVIDUAL PRESSURE REDUCING VALVE SHALL BE INSTALLED AT LOT(S) 6.

**BELL/SPIGOT CONNECTIONS**

ALL BELL/SPIGOT CONNECTIONS SHALL BE FIELD LOK GASKETED.



SCALE: 1" = 30'



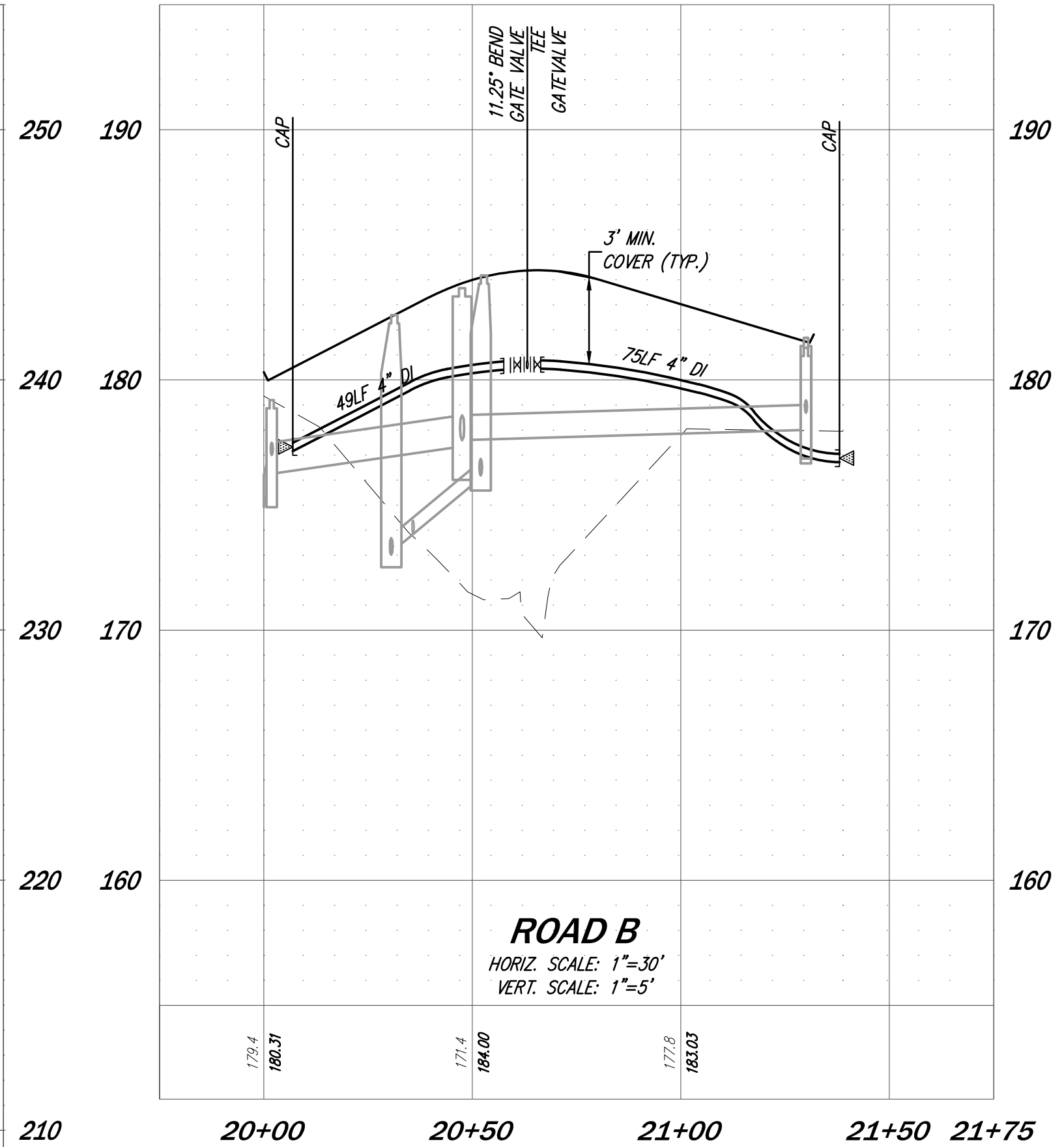
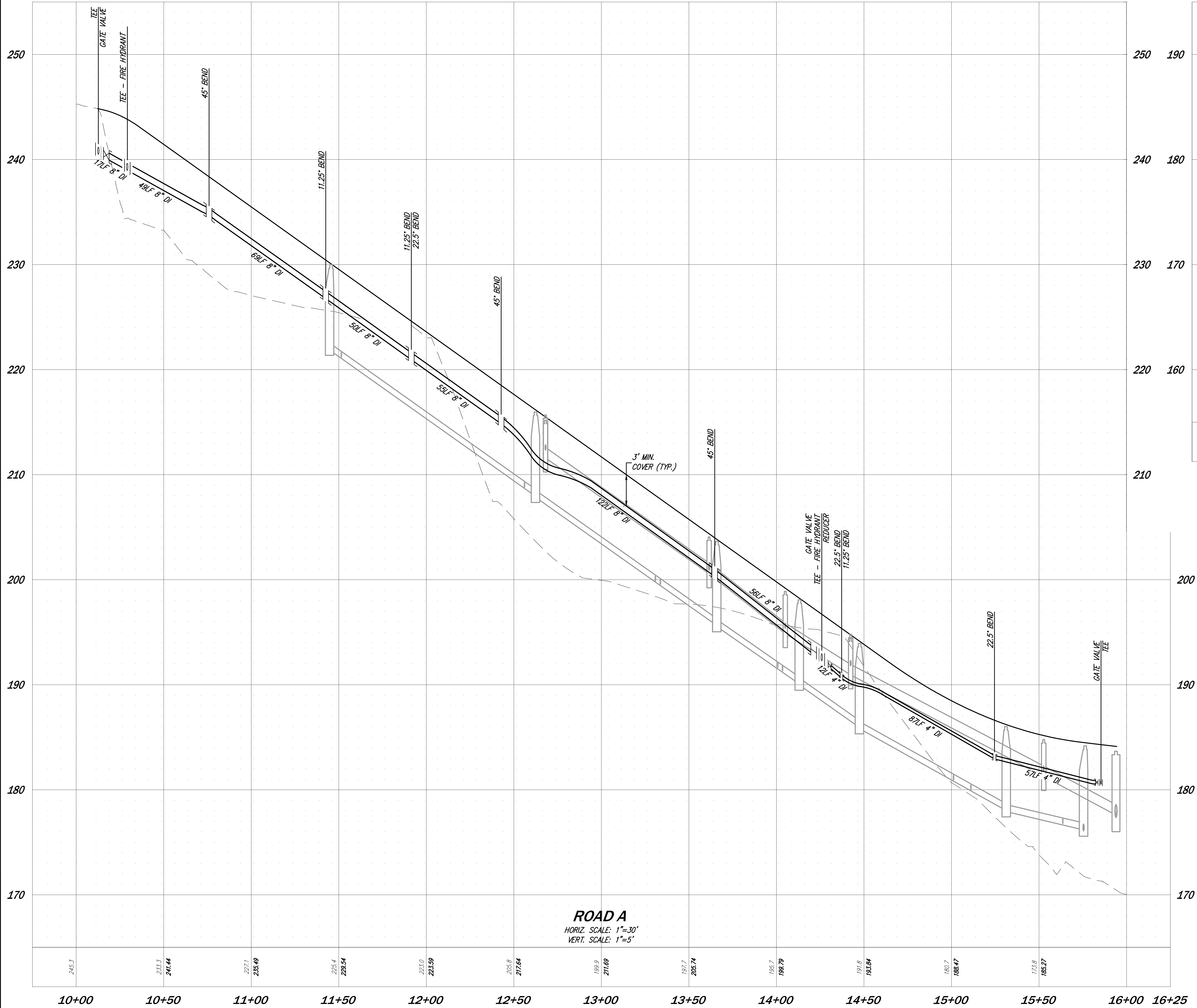
DATE		SEE STAMP DATE		SHEET		OF	
DESIGNED	GMA R. BROOKS, P.E.	DATE		C6.01	3		
DRAWN	STEVE E. SIMMONS						
APPROVED	GMA R. BROOKS, P.E.						
	GMA R. BROOKS, P.E.						
	PROJECT MANAGER						

**WATER PLAN**  
**ALASKA AVENUE VISTA**  
**ALASKA AVENUE, LLC**  
2497 BETHEL ROAD SE, SUITE 201  
PORT ORCHARD, WA, 98366

**CORE DESIGN**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
PLANNING  
SURVEYING  
12100 NE 195th St, Suite 300, Bothell, Washington 98011 425.885.7877

DATE: 4/22/25  
REVISIONS: REVISED PER DISTRICT COMMENTS  
NO. 1  
BY: [Signature]  
CHECKED: [Signature]  
APPROVED: [Signature]  
PROJECT: 20195 C6.01.DWG





DATE: 4/22/25	
DESIGNED: GINA R. BROOKS, P.E.	
DRAWN: STEVE E. SIMMONS	
APPROVED: GINA R. BROOKS, P.E.	
PROJECT MANAGER: GINA R. BROOKS, P.E.	
SHEET: C6.21	
OF: 3	
PROJECT NUMBER: 20195	
WATER PROFILES ALASKA AVENUE VISTA ALASKA AVENUE, LLC 2497 BETHEL ROAD SE, SUITE 201 PORT ORCHARD, WA. 98366	
CIVIL ENGINEERING LANDSCAPE ARCHITECTURE PLANNING SURVEYING CORE DESIGN	
12100 NE 195th St, Suite 300, Bothell, Washington 98011 425.885.7877	
4-22-25	