

Lower Nob Hill Public Open Space

Lower Nob Hill Neighborhood Alliance
Open Space Working Group



LOWER NOB HILL
Neighborhood Alliance

Goals

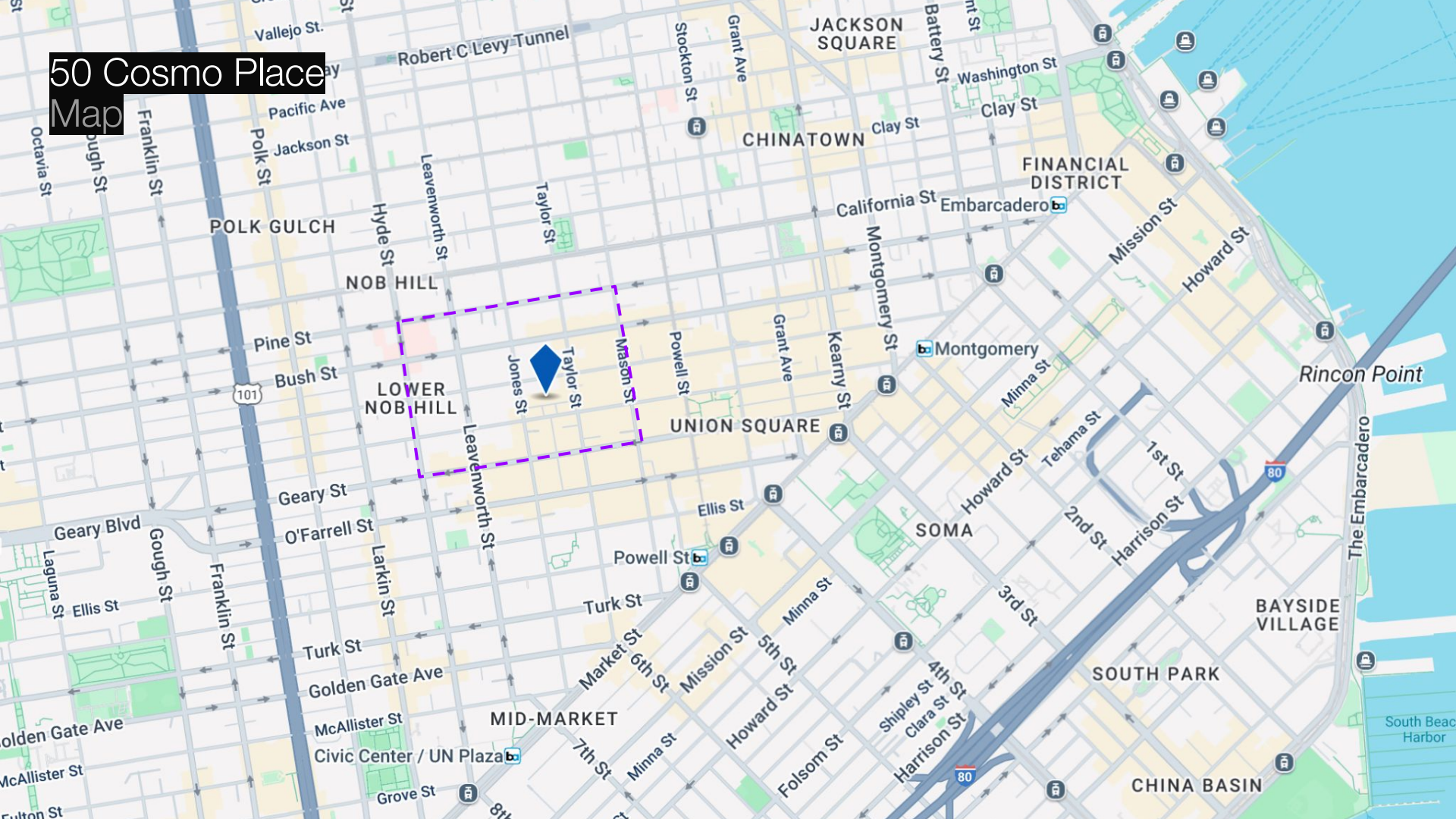
Goals


What We Hope to Accomplish

- Transparency.
- Involvement with Lower Nob Hill Neighborhood Alliance, residents, and business owners who have a stake in our community wellbeing.
- Next steps for Cosmo Park:
 - Neighbors want to be informed.
 - If project faces impediments, what mechanisms have we not yet tried?
 - If project is *not* moving forward, city should provide formal explanation.
 - How to engage in the future with SF Rec & Park, PROSAC, etc.

50 Cosmo Place

50 Cosmo Place Map



An aerial photograph of San Francisco, showing a dense urban landscape with numerous high-rise buildings. The Golden Gate Bridge is visible in the distance on the right side of the frame. The sky is clear and blue.

50 Cosmo Place
Aerial East towards Taylor St

8,783 SF Specialty Building Offered at \$2,200,000 in San Francisco, CA 94109

An aerial photograph of a city block in San Francisco. The block is filled with various buildings, including a prominent red brick building on the right side. A parking lot with several cars is visible in the center of the block. The surrounding area is densely packed with urban development.

Date on Market: 5/31/2024

50 Cosmo Place

Overall View

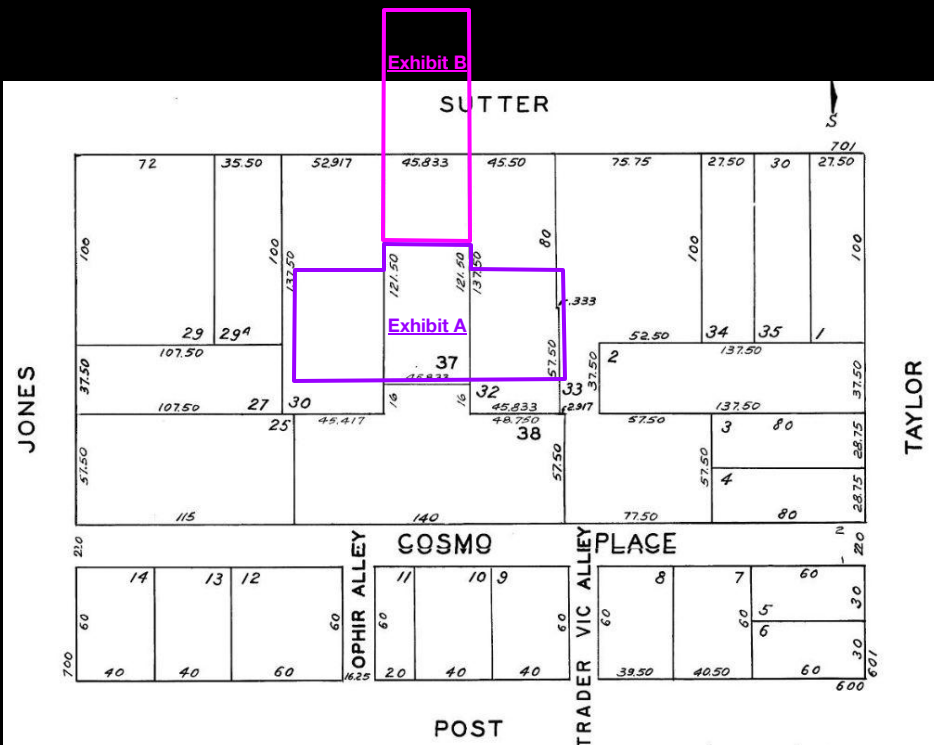


50 Cosmo Place

Looking West towards Jones St



Potential Impediment Site Easement



JACK A. BULLER
30 BROADMOOR DRIVE
SAN FRANCISCO, 94132 - CALIF

LICENSE

For a valuable consideration, receipt of which is hereby acknowledged, the undersigned ("Licensor") hereby grants to JACK A. BULLER ("Licensee") of 111 Pine Street, San Francisco, California 94111 a non-exclusive license to use the real property owned by the Licensor described in Exhibit A hereto for the purpose of egress by the occupants of the improvements located on the real property described in Exhibit B hereto in the event of fire or similar emergency.

The License hereby granted may be revoked by Licensor by notice in writing from Licensor to Licensee specifying the effective date of revocation, such notice to be given not less than forty-five (45) days prior to the effective date of revocation therein specified.

Licensee agrees that he does not claim any interest or estate of any kind or extent whatsoever in the land owned by Licensor described in Exhibit A hereto and that he shall not claim any such interest or estate by virtue of this License or the use herein permitted.

Potential Impediment Current Planning Application

50 Cosmos Pl

Proposed Layout

Parking Capacity

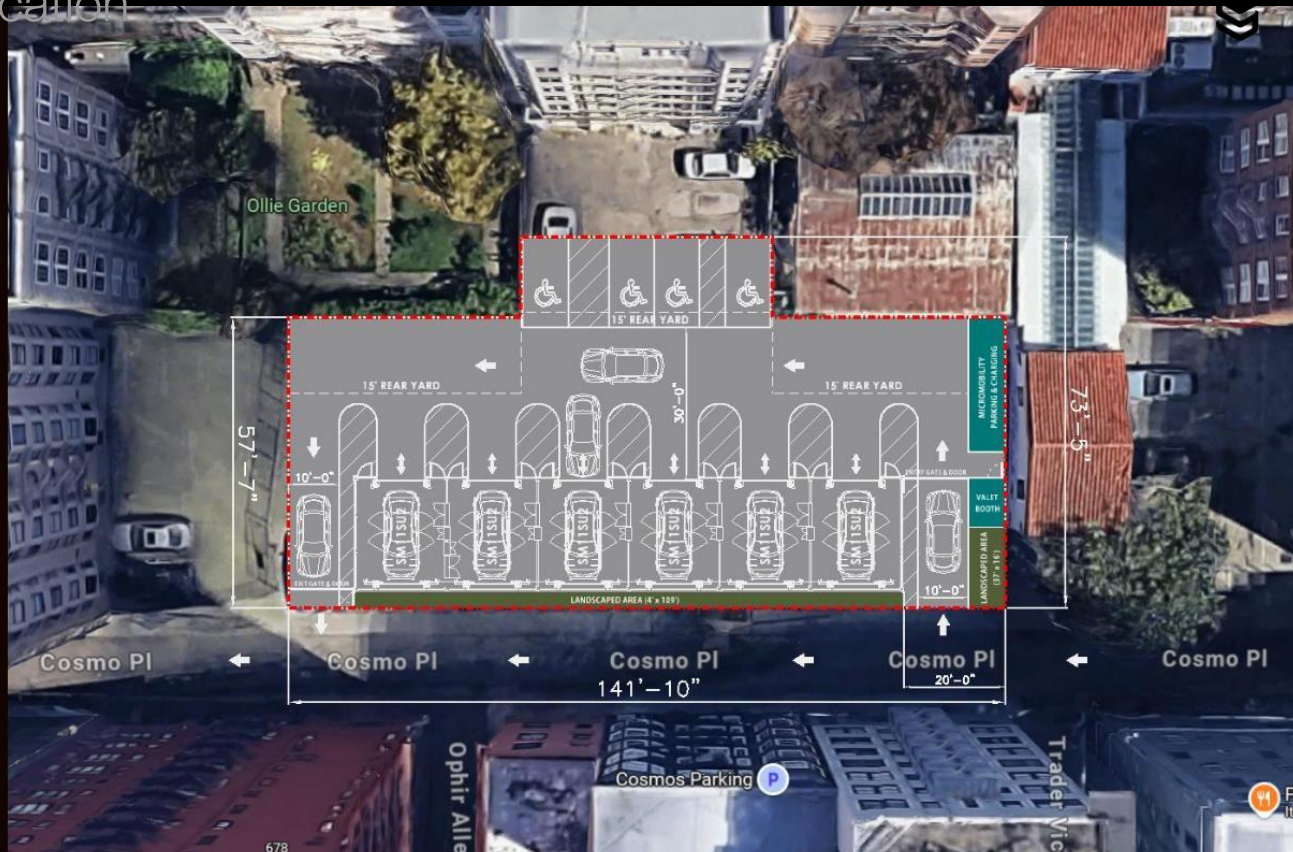
Existing spaces: 30
Proposed spaces: 70
Net gain: +40

EV Charging Capacity

Existing plugs: 00
Proposed plugs: 66
Net gain: +66

EV Carousels

SM11SU2 units: 06



LNHNA Efforts for Open Space



**Lower Nob Hill Neighborhood
Alliance Established**
December 2021



**Friends of the Urban Forest
Tree Planting Weekend**
May 2023



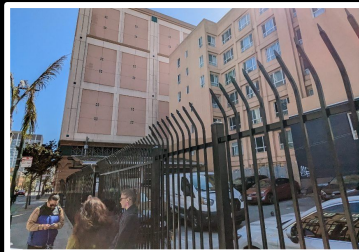
**Local Press from SF
Chronicle and Examiner**
January 2025

2021

2023

2024

2025



**Neighborhood Efforts for
Open Space**
2022-2023



**Neighborhood Visioning
Open Space Pop-up**
September 2024



**Open Space Community
Survey**
April 2025

Community Survey Excerpt

Background

Between **June 2024** and **May 2025**, we collected a total of **126 responses** through a **community survey** aimed at understanding public space needs and neighborhood priorities in **Lower Nob Hill**.

To reach a broad range of voices, we distributed the survey by putting up flyers and handing it out directly to people on the street and at local businesses. The survey included a mix of open-ended and multiple-choice questions covering topics such as safety, accessibility, community use, and desired neighborhood improvements.

The results offer valuable insight into how residents and visitors experience the neighborhood today and what they hope to see in the years ahead.



Community Survey Excerpt

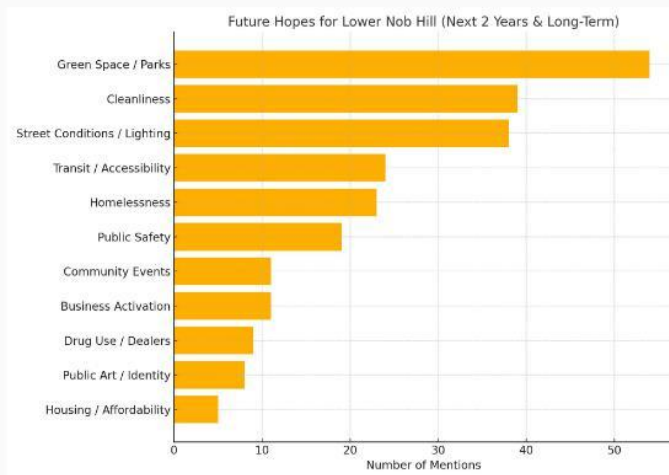
Q: What would you like to see in our neighborhood in the next 2 years? Long-term?

1. Green Space and Parks

This was the most frequently cited need. Residents emphasized the lack of accessible green space in Lower Nob Hill and expressed interest in parks, rooftop gardens, trees, shaded seating areas, and space for dogs and children.

What residents want:

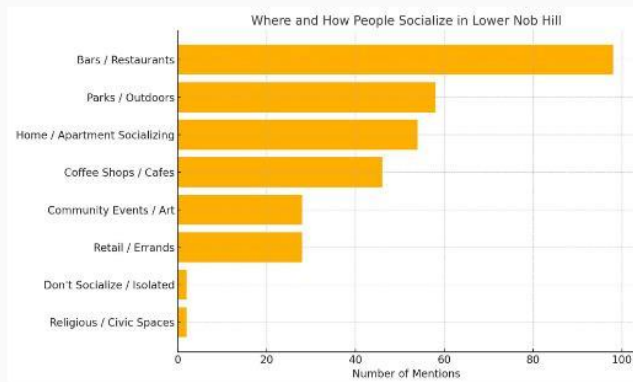
- A walkable, accessible open space in the neighborhood
- Dog-friendly areas
- Greenery and biodiversity (trees, flowers, pollinator habitat)
- A place to relax, read, picnic, or gather



Community Survey Excerpt

Q:Where and how do you typically socialize in the neighborhood?

- **Bars and Restaurants** are by far the most common social setting in Lower Nob Hill, reflecting the area's nightlife and dining culture.
- **Parks and Outdoor Spaces** especially Huntington Park and Lafayette Park—are valued as social alternatives, particularly for walking or meeting casually.
- **Home-based socializing and neighbor interactions within apartment buildings** are common, especially among longer-term residents.
- **Coffee shops and cafes** remain important as casual social hubs, though slightly less so than bars.
- A smaller number of residents socialize through **community events, art walks, or neighborhood cleanups**.
- A few respondents mentioned **not socializing at all**, citing safety concerns, isolation, or neighborhood decline.



Community Survey Excerpt

Q:Where do you consider the heart of the neighborhood to be?

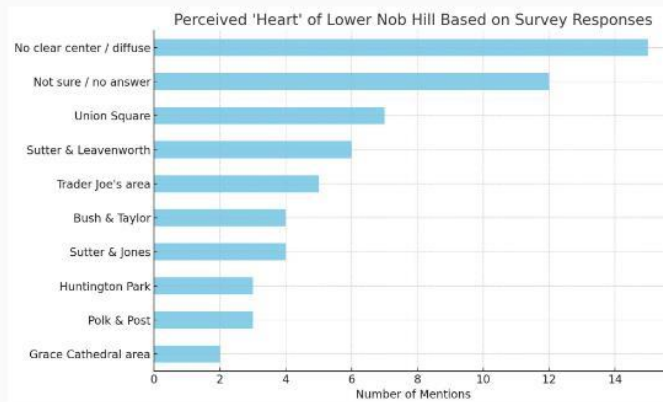
No clear center: Most respondents felt there is no definitive heart of the neighborhood highlighting a diffuse identity or lack of a communal anchor.

Union Square: While not technically within Lower Nob Hill, it's referenced frequently, likely due to proximity and visibility.

Sutter & Leavenworth and **Trader Joe's area:** These corners are among the most commonly mentioned actual intersections, suggesting potential as organizing nodes.

Bush & Taylor and **Sutter & Jones:** Also named often, hinting at perceived activity or centrality.

Huntington Park and **Grace Cathedral** were identified but less frequently, likely due to their stronger ties to adjacent Nob Hill.



Community Survey Excerpt

Q:Where would you position open space(s)?

Cosmo Alley most frequently cited, often described as underused and full of potential.

Post & Larkin (including adjacent parking lots) seen as centrally located and in need of activation.

Former Le Colonial site mentioned as a sizable, inactive property with potential.

651 Geary (empty lot) identified as one of the only undeveloped parcels left.

Bush Street corridor called out for its length and untapped corner lots.

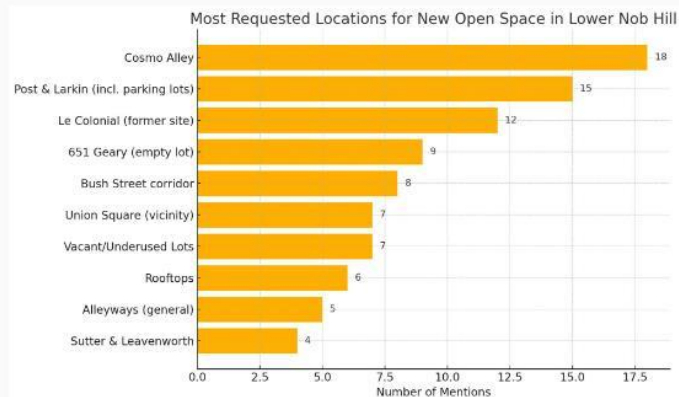
Union Square vicinity seen as a strategic location if not overly commercialized.

Vacant/underused lots a general desire to repurpose existing unproductive land.

Rooftops especially of newer buildings or hotels.

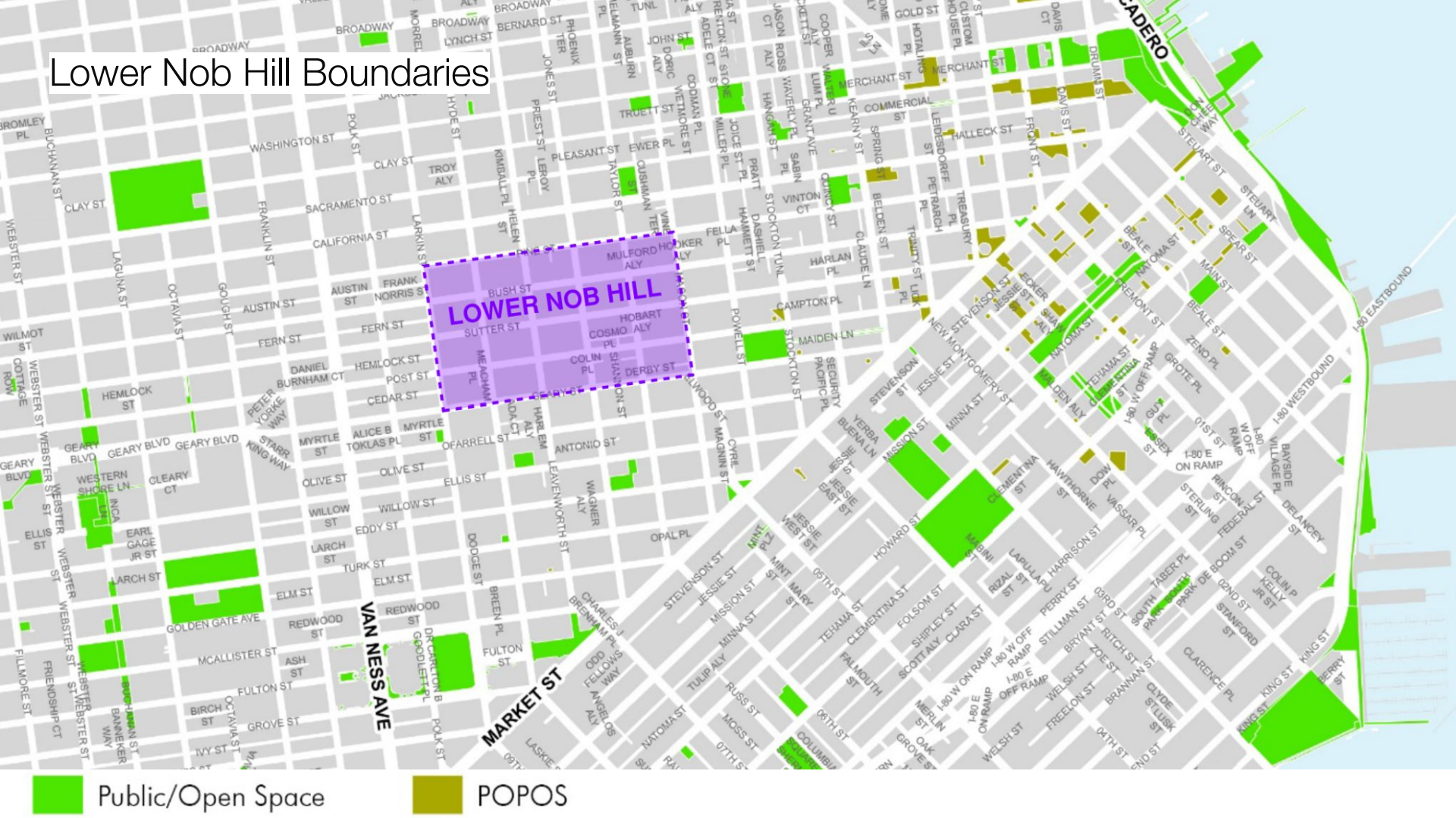
Alleyways (general) specifically ones that are already underutilized.

Sutter & Leavenworth noted as a central convergence point.



Neighborhood Boundaries and Proximity to Existing Open Space

Lower Nob Hill Boundaries

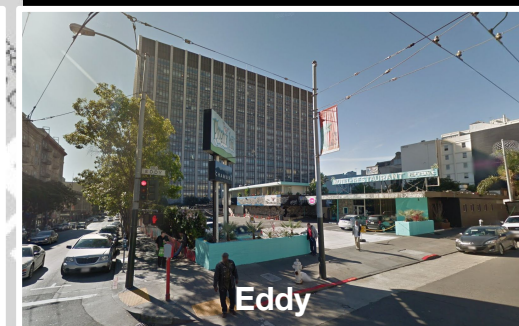
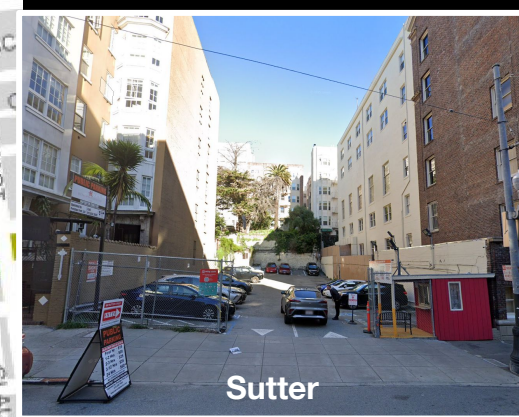


Proximity to Existing Open Space



Potential Open Space Sites

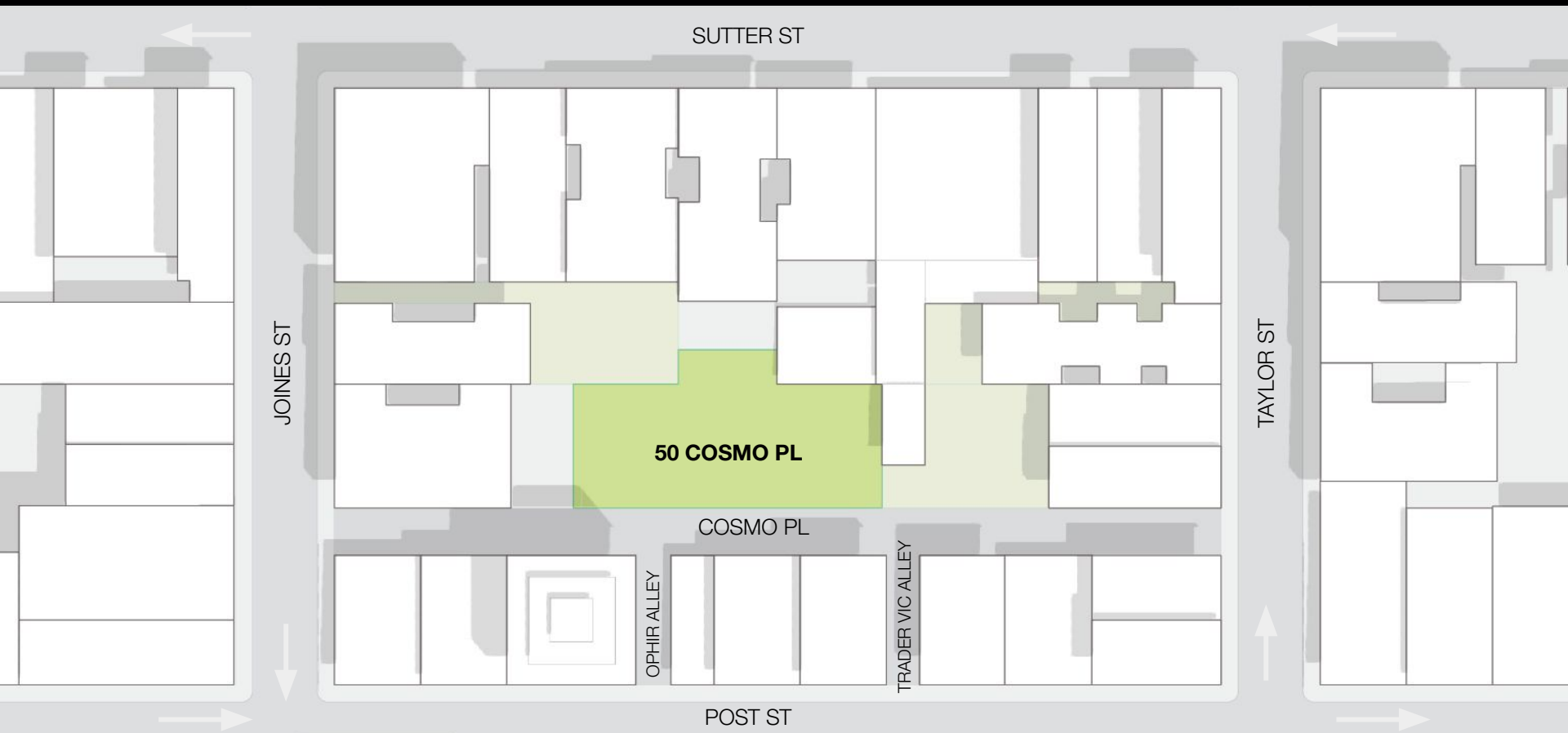
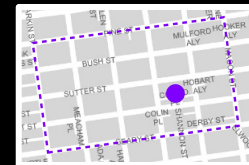
Potential Open Space Sites



Site Analysis of Cosmo Place

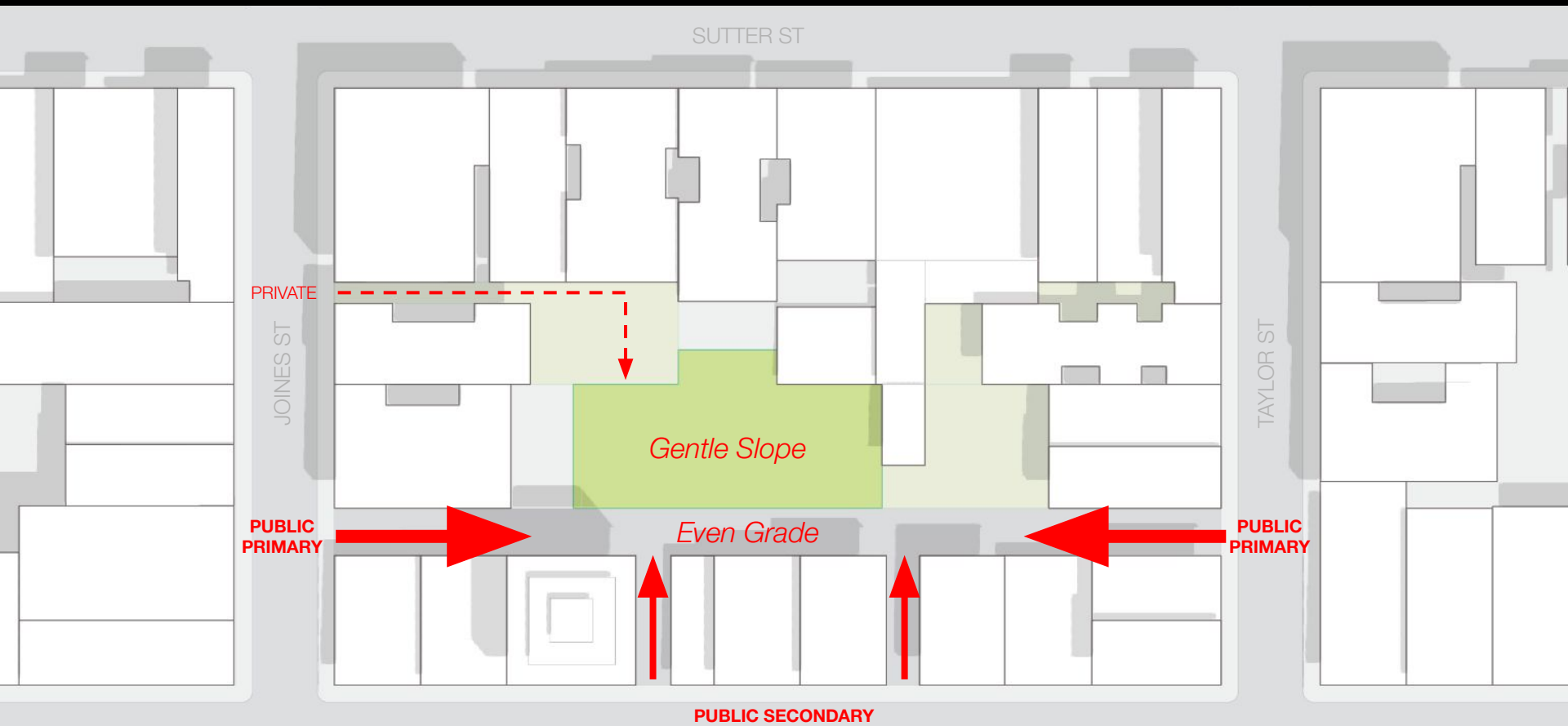
Site Analysis

Centrally Located within Neighborhood



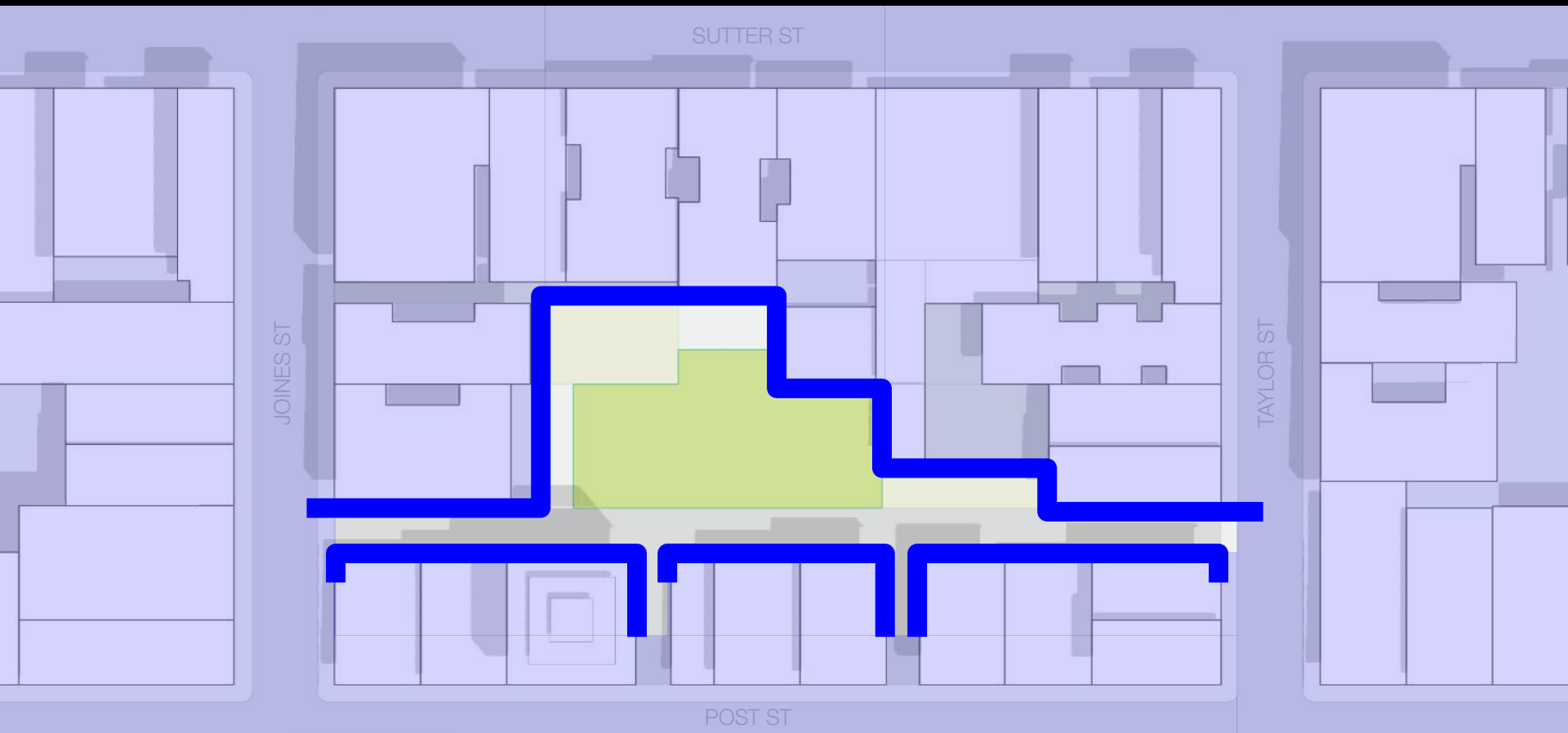
Site Analysis

Multiple Mid-Block Connections / Accessibility



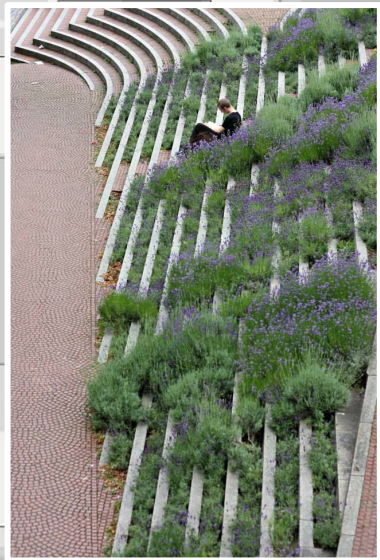
Site Analysis

Buffered by Street Noise & Wind



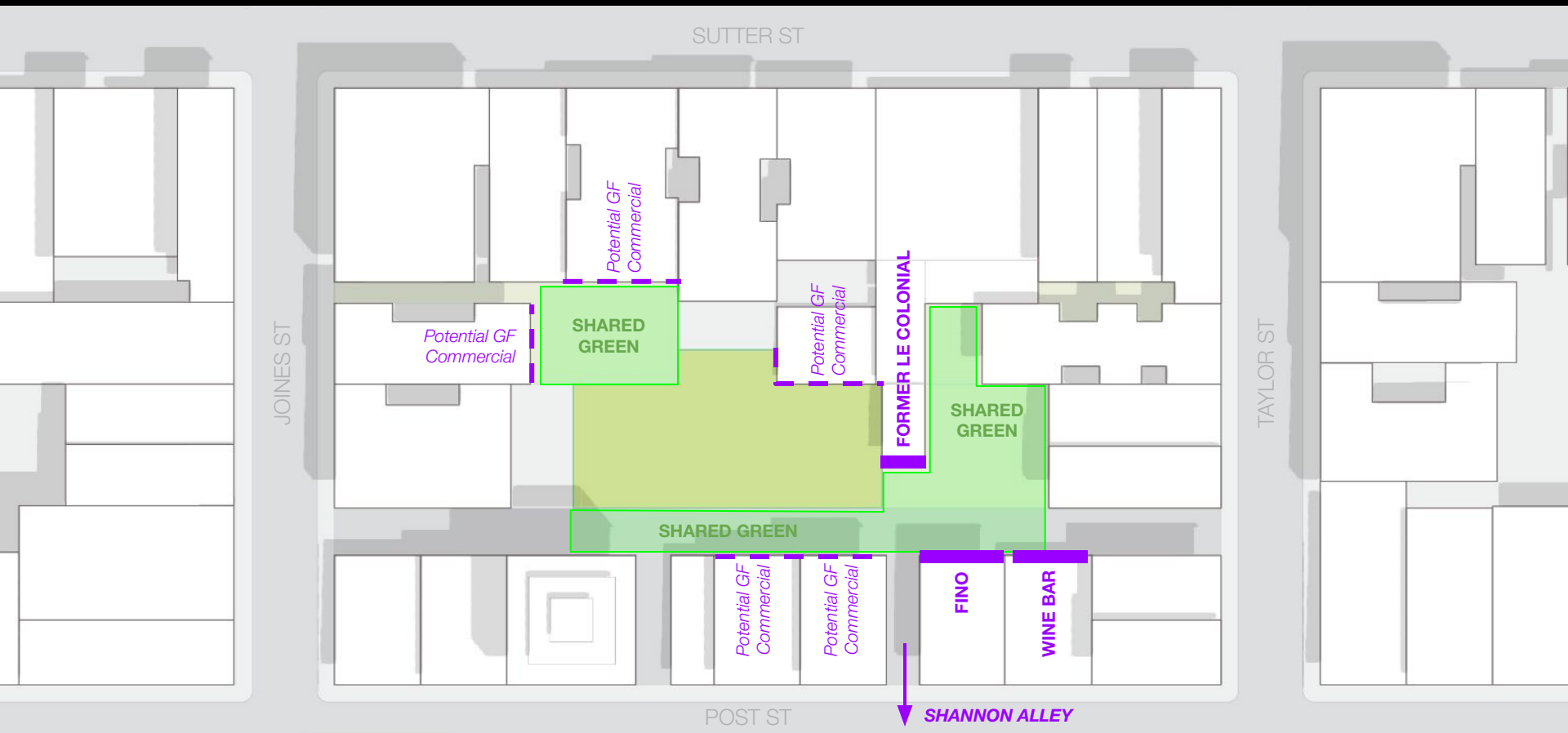
Site Analysis

Balance of Sun & Shade (Autumn & Spring Equinox)



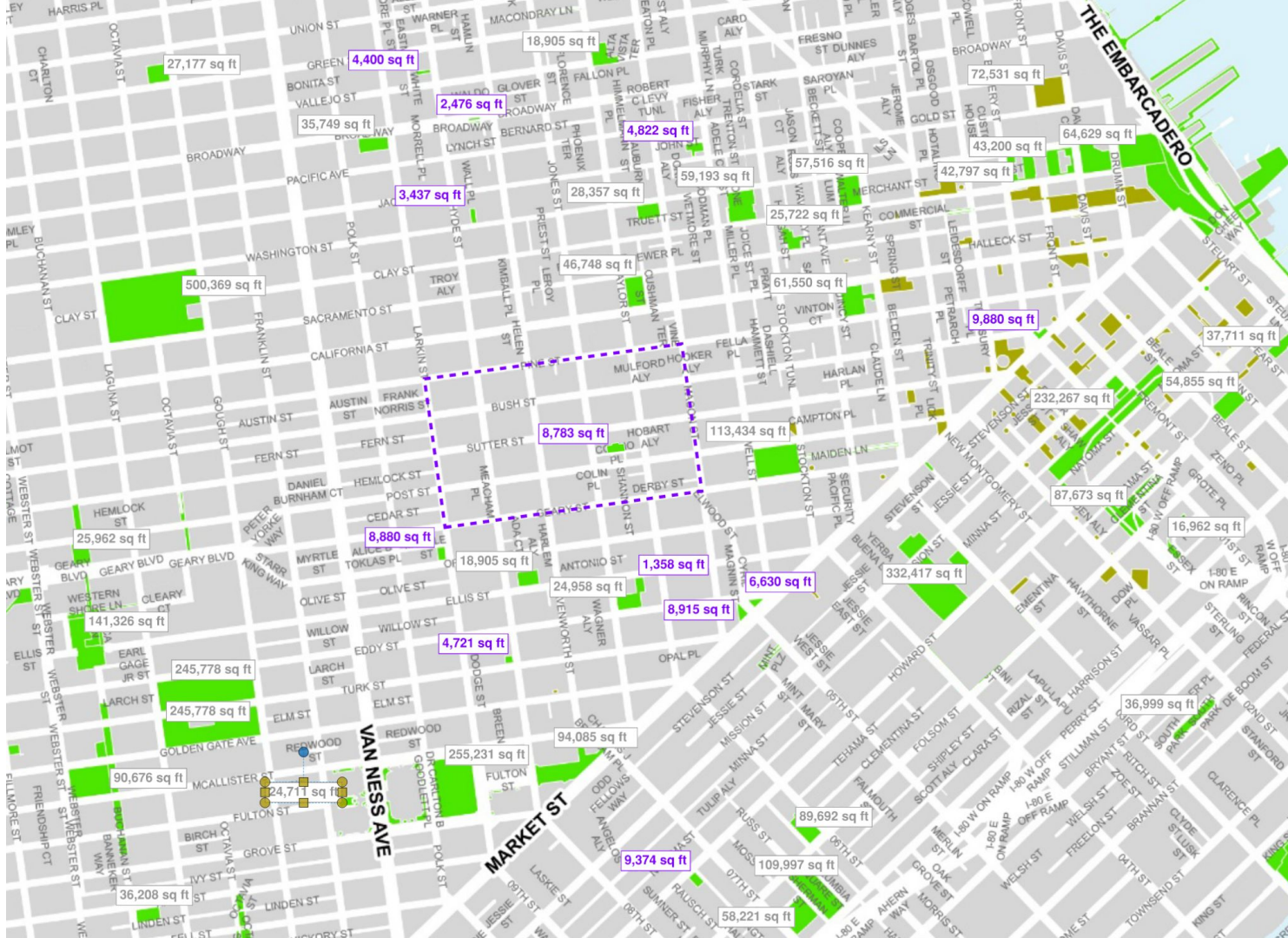
Site Analysis

Connection to Commercial & Other Open Space



Site Analysis

Area Test Fit



Open Space Case Study

Open Space Case Study

Collingwood Yards, Melbourne



Open Space Case Study

Piazza Cortevvecchia, Ferrara



Open Space Case Study

Lincoln Center & Paley Park, NYC



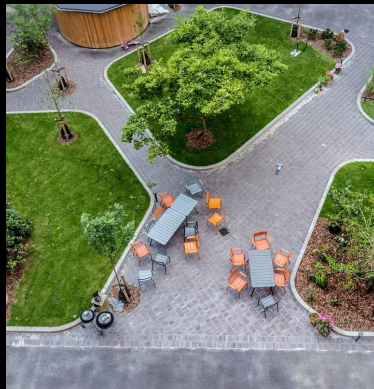
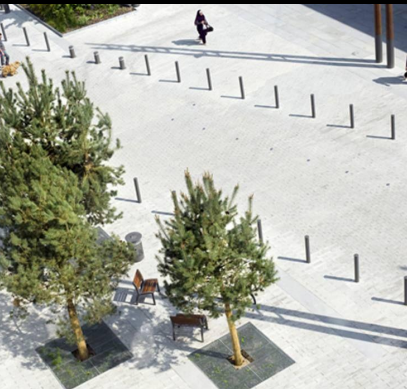
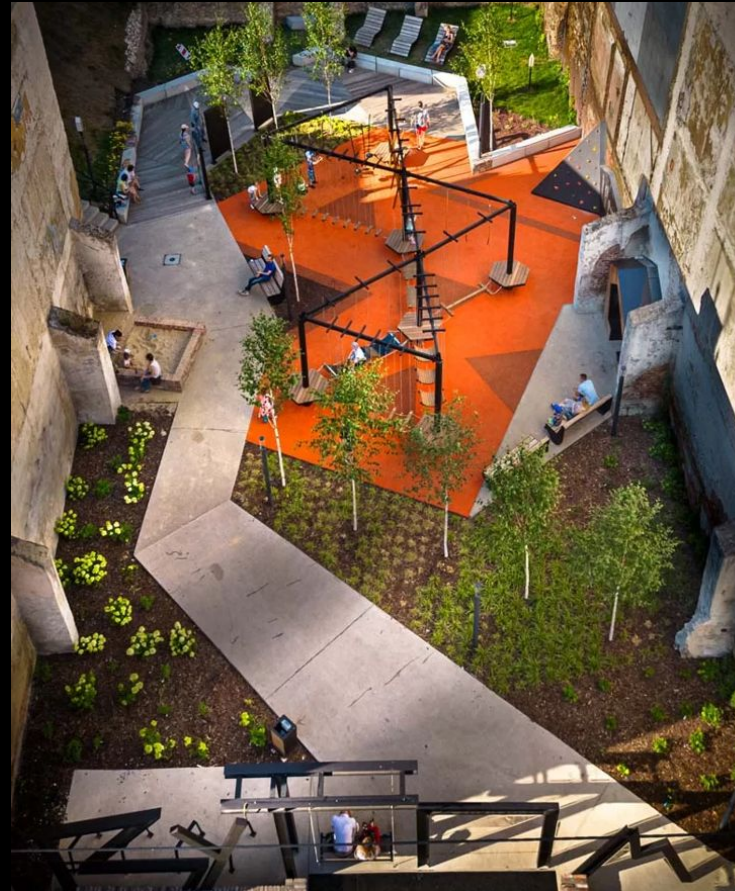
Open Space Case Study

Plaza de Chueca, Madrid



Open Space Case Study

Site Designs



Open Space Case Study

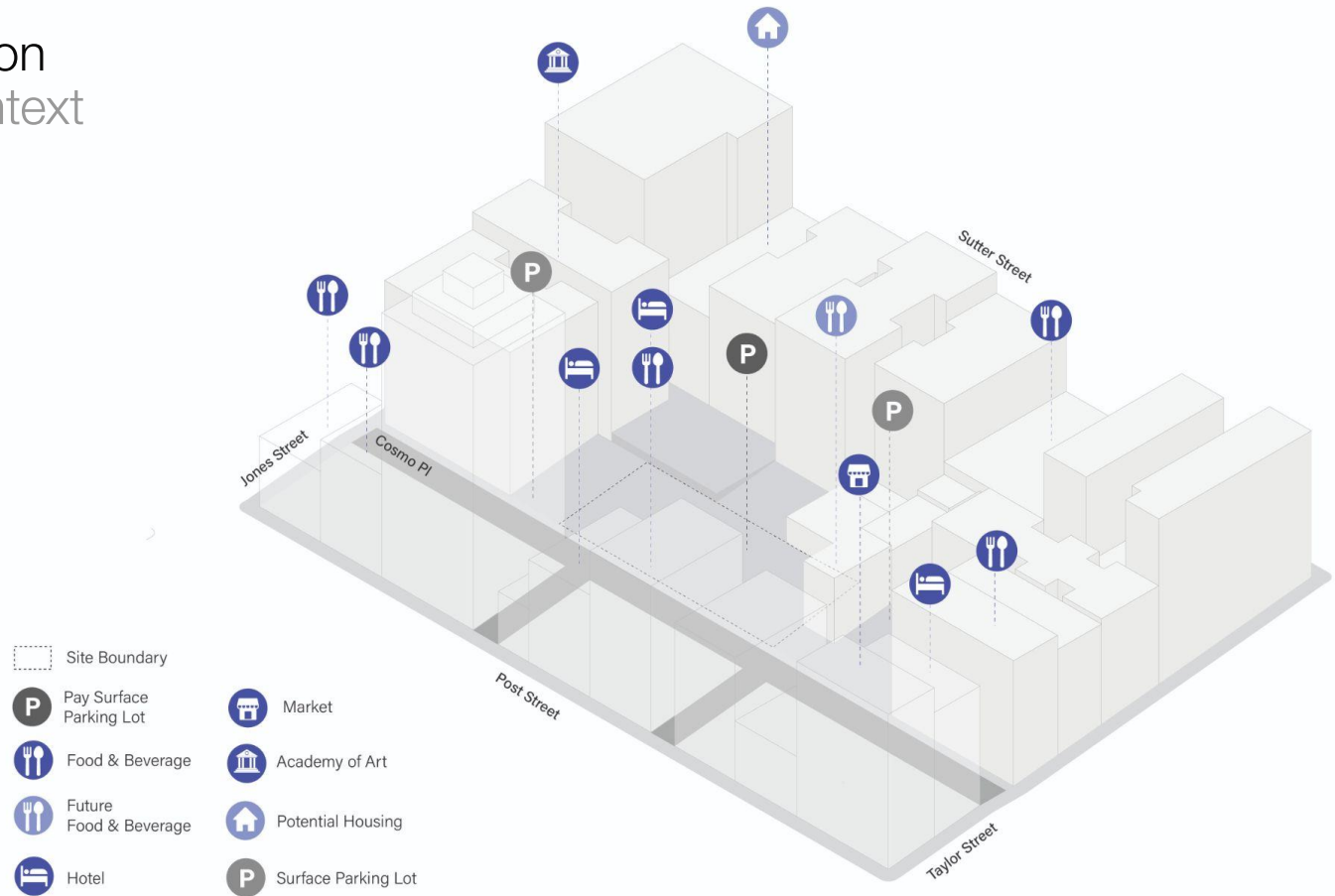
Alleyway Activation



Site Ideation

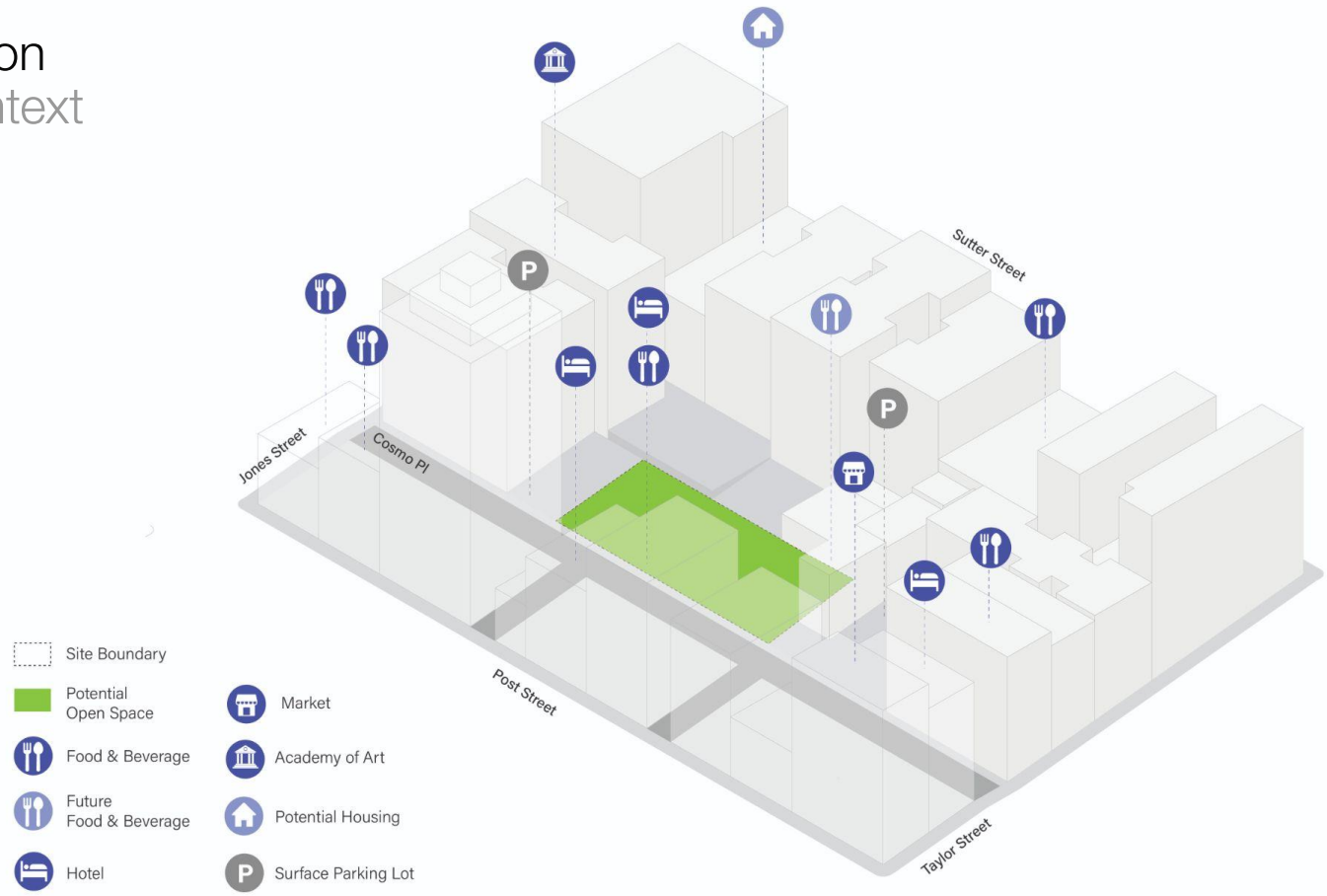
Site Ideation

Block Context



Site Ideation

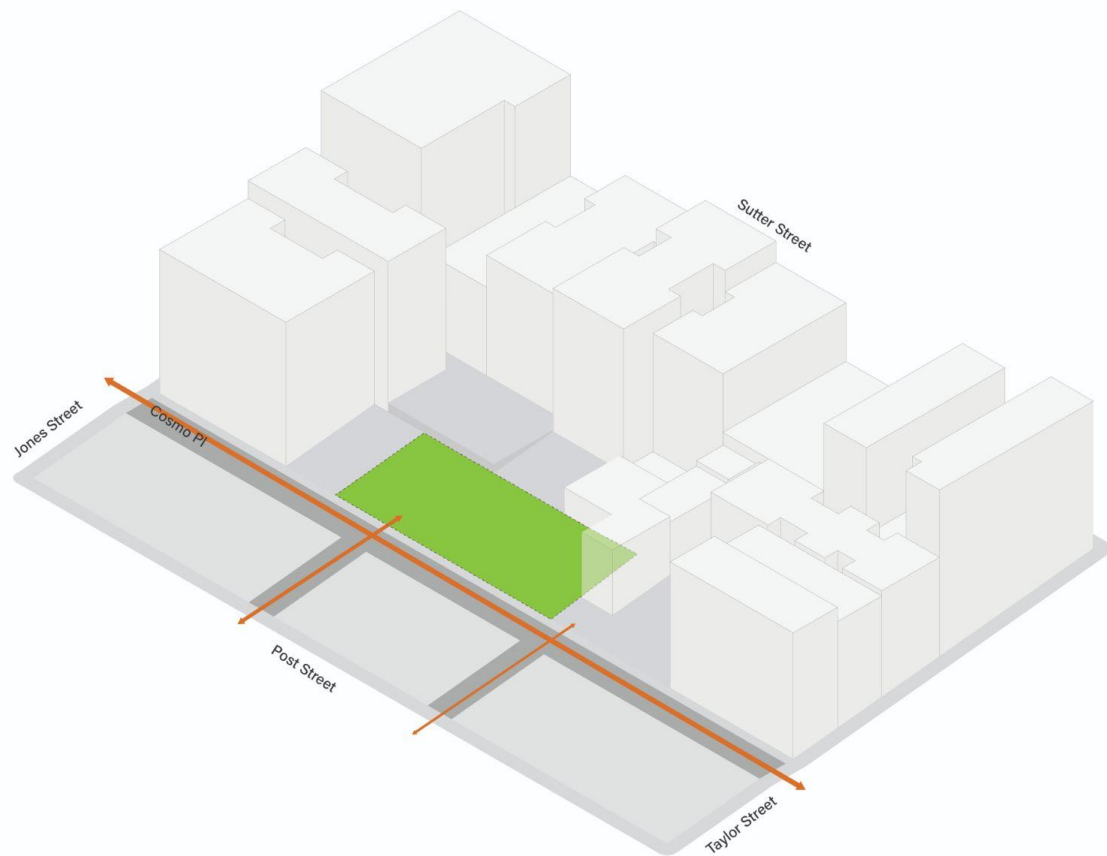
Block Context



Site Ideation

Site Access

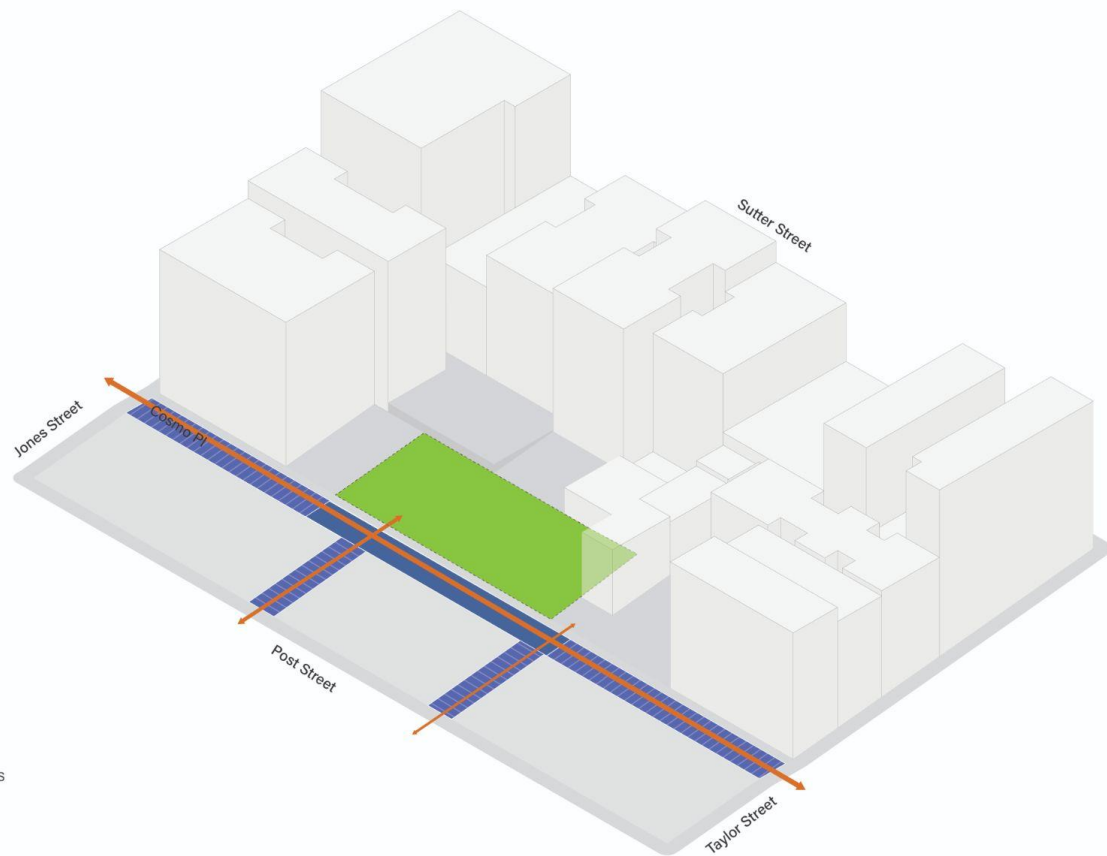
-  Site Boundary
-  Potential Open Space
-  Access Connctions & View Corridors



Site Ideation

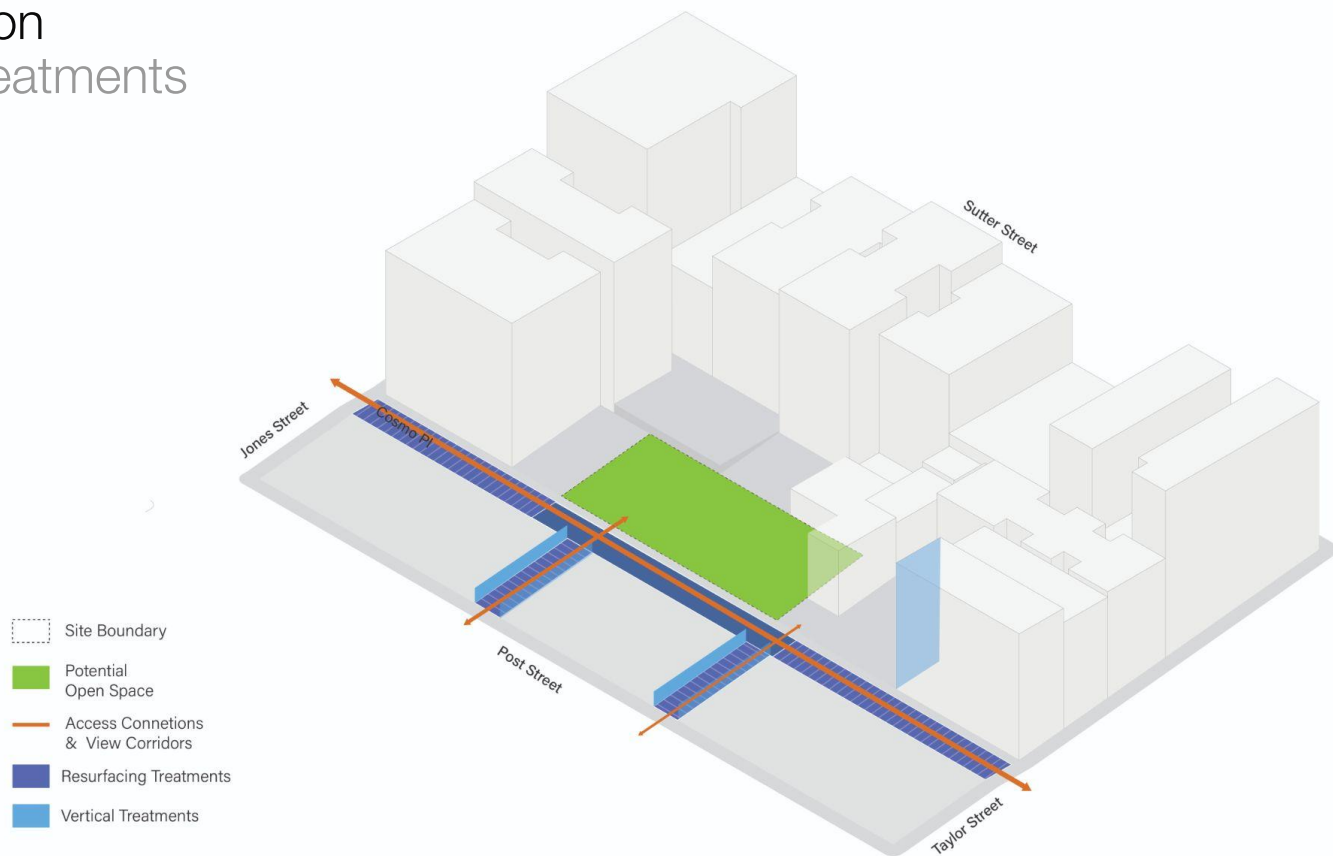
Ground Surfaces

-  Site Boundary
-  Potential Open Space
-  Access Connctions & View Corridors
-  Resurfacing Treatments



Site Ideation

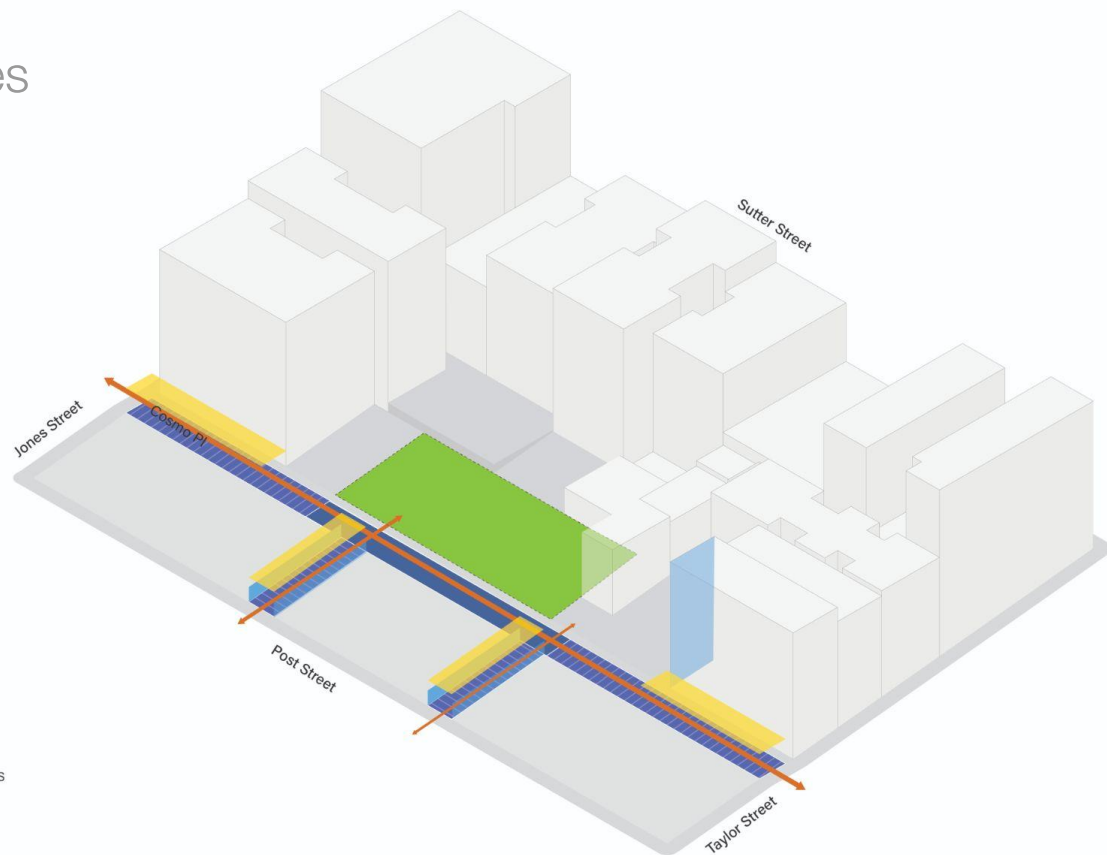
Vertical Treatments



Site Ideation

Lighting Opportunities

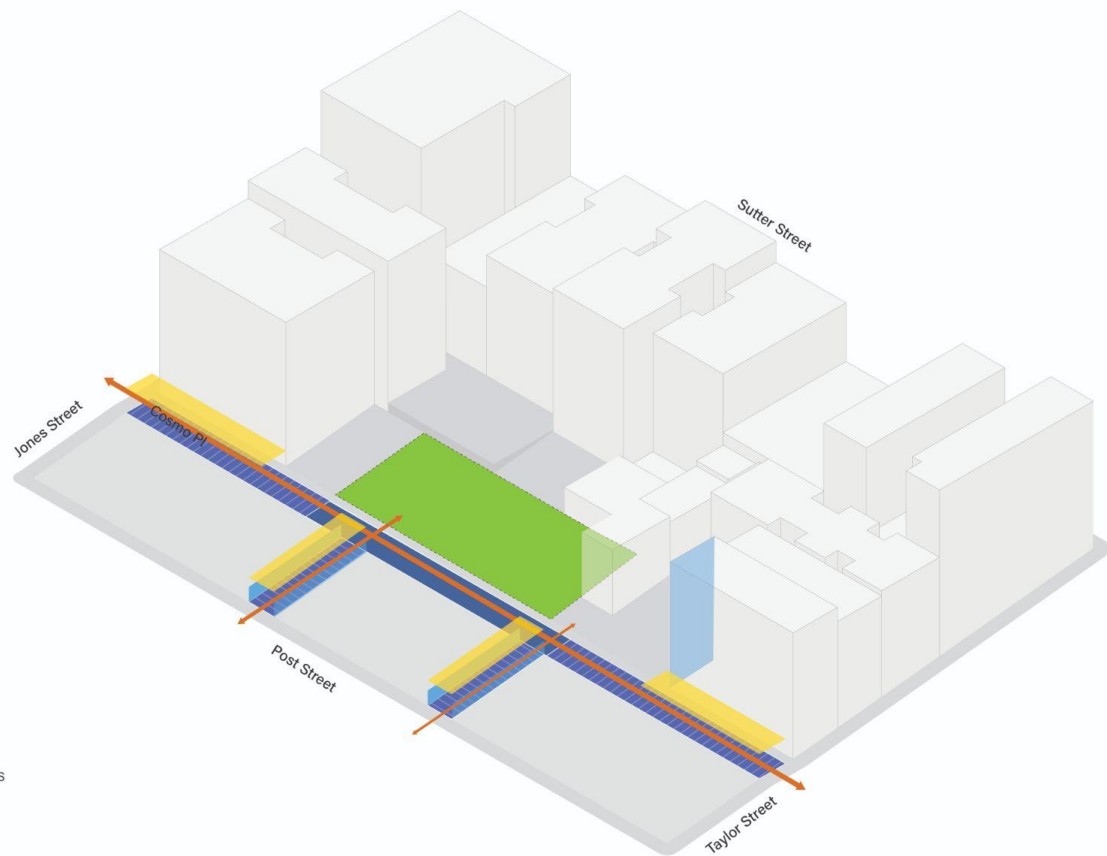
- Site Boundary
- Potential Open Space
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- Resurfacing Treatments
- Vertical Treatments
- Lighting Activation



Site Ideation

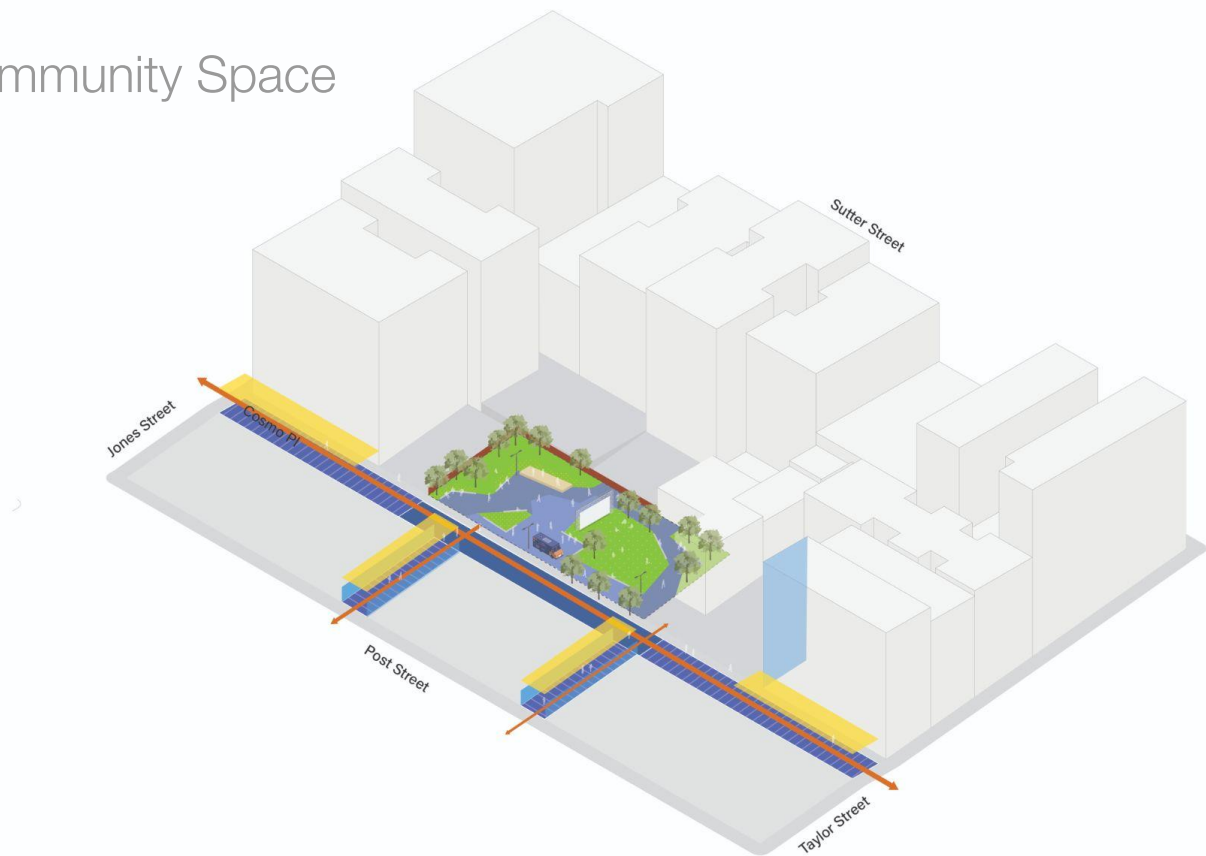
Site Composite

-  Site Boundary
-  Potential Open Space
-  Access Connctions & View Corridors
-  Resurfacing Treatments
-  Vertical Treatments
-  Lighting Activation



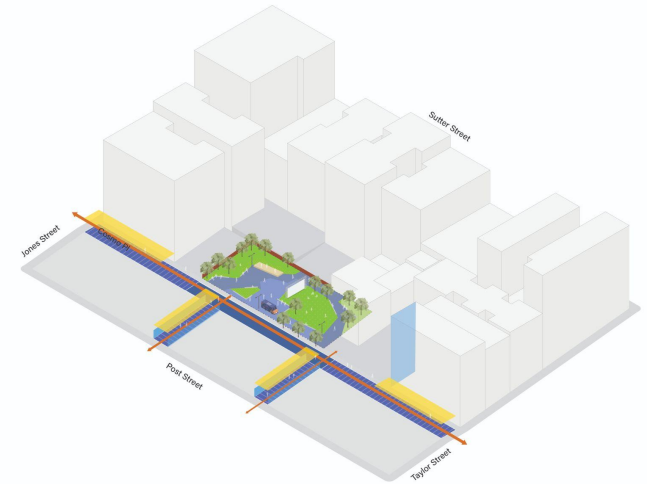
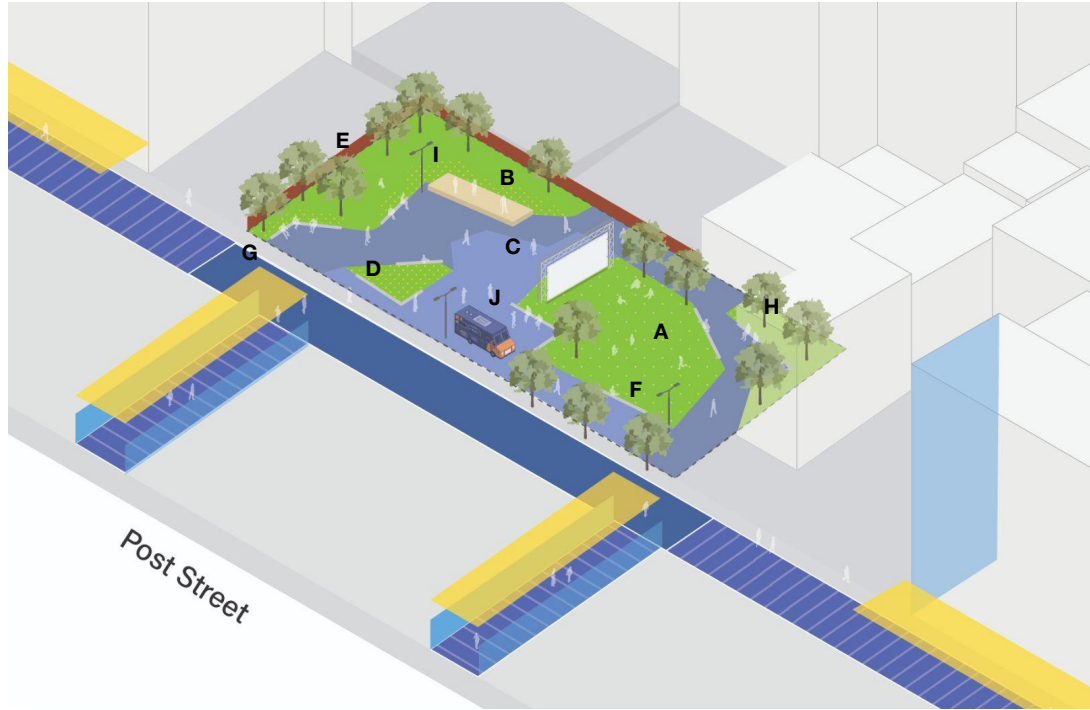
Site Ideation

An Activated Community Space



Site Ideation

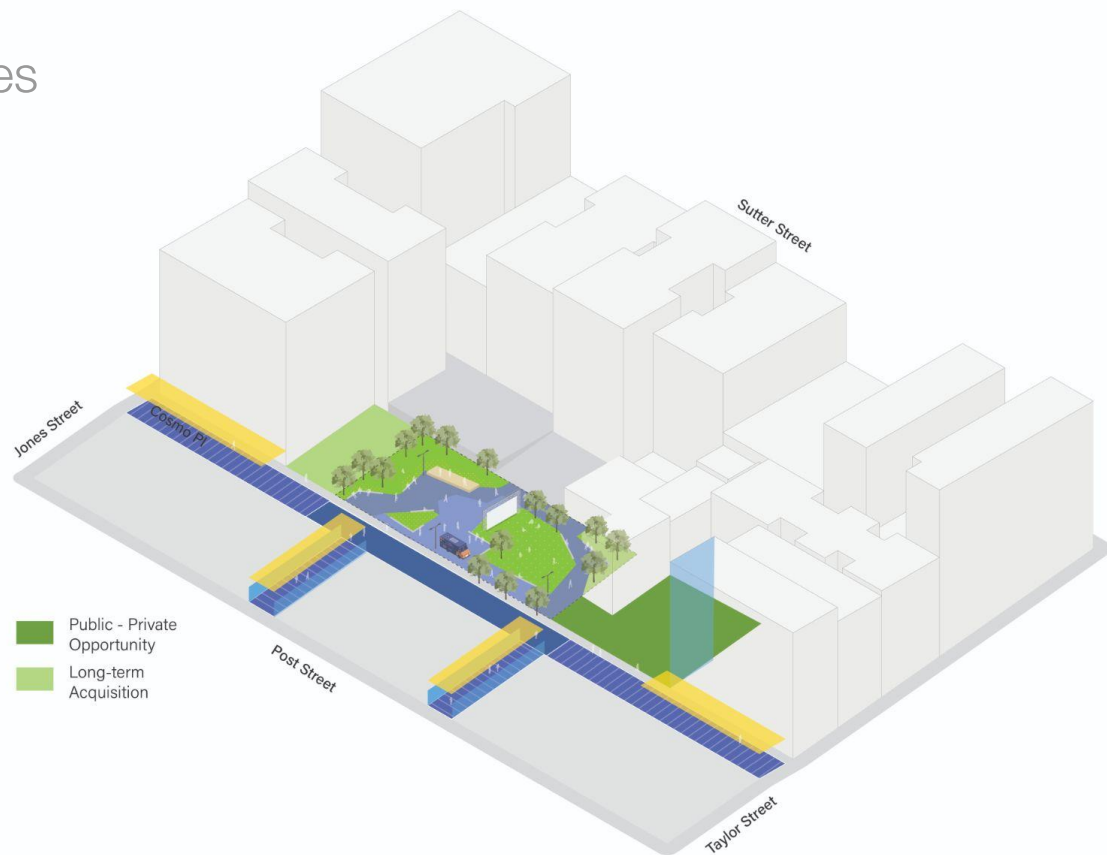
An Activated Community Space



- A. Open Lawn
- B. Platform Stage + Seating
- C. Plaza for Flex Programming + Social Gathering
- D. Native Planting Beds
- E. Screening
- F. Built in Seat Walls
- G. Flush Paving for Seamless Experience
- H. Outdoor Nature Relaxation
- I. Lighting Elements
- J. Vehicular Pavers

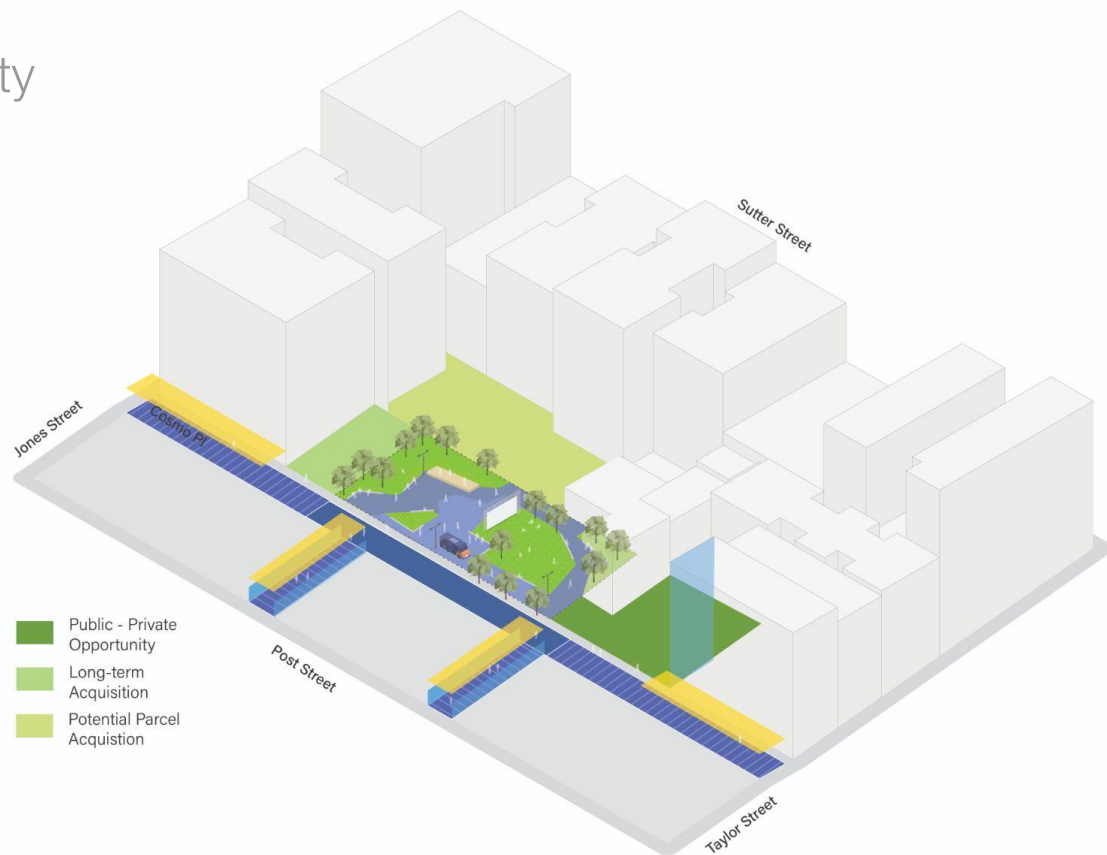
Site Ideation

Expansion Possibilities



Site Ideation

Maximum Opportunity



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THANK YOU

