



Preliminary Subdivision Plan

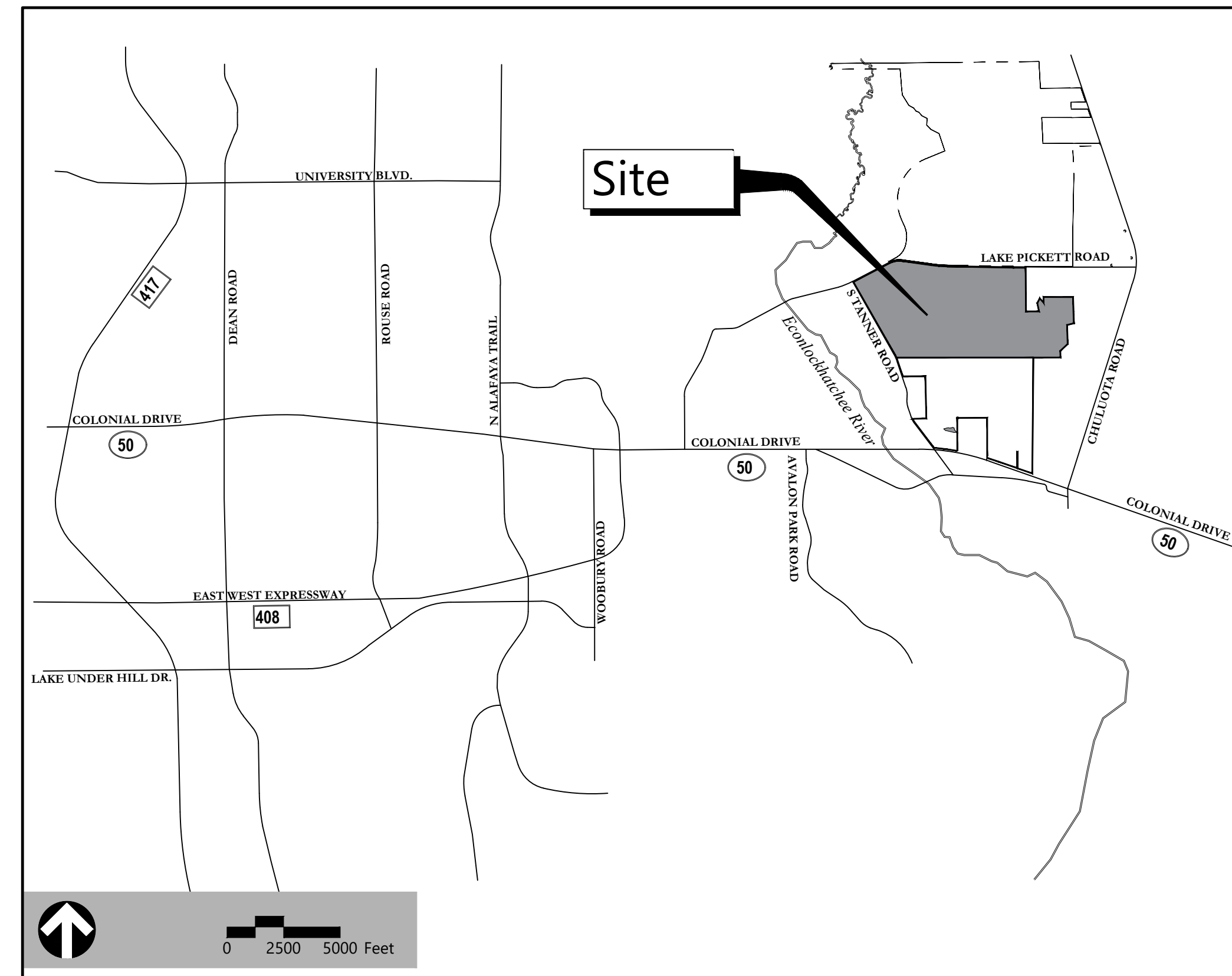
Issued for Orange County Approval
 Date Issued March 04, 2022
 Latest Issue May 24, 2023

Planned Development-Regulating Plan / The Grow Parcels F1 & F2 PSP Orange County, Florida Parcel ID: 18-22-32-0000-00-001, 08-22-32-0000-00-005

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225 E. Robinson Street
 Suite 300
 Orlando, FL 32801
 407.839.4006
 Certificate of Authorization
 Number FL #3932



△ Case No. CDR-23-05-170

Legal Description:

- Please refer to the Boundary Survey Sheet 1 of 5 for the Legal Description.

Sheet Index		
No.	Drawing Title	Latest Issue
C-0	Cover Sheet	May 24, 2023
C-1	Existing Conditions Plan	May 24, 2023
C-2	Master Site Plan	May 24, 2023
C-2A	Phasing Plan	May 24, 2023
C-2B	Environmental Considerations Plan	May 24, 2023
△ C-2C	Site Data	May 24, 2023
C-3 - C-10	Site Plan	May 24, 2023
C-11 - C-18	Drainage & Utility Plan	May 24, 2023
C-19 - C-20	Typical Roadway Sections	May 24, 2023
C-20A	Regulating Plan Street Hierarchy	May 24, 2023
C-21	Typical Drainage Sections	May 24, 2023
C-22 - C-29	Fire Access Plan	May 24, 2023
C-30 - C31A	Tree Preservation Plan	September 19, 2022
C-32 - C39	Signage and Striping Plan	September 19, 2022
L-1	Overall Landscape Plan	September 19, 2022
L-2 - L9	Landscape Plan	September 19, 2022
L-10	Typical Landscape Lot & Townhome Diagram	September 19, 2022
L-11	Landscape Schedule, Notes & Details	September 19, 2022

Owner / Applicant

Banksville of Florida, Inc/Nivesa of Florida, Inc.
 2665 S. Bayshore Drive, Suite 220-81
 Miami, Florida 33133
 chris.wrenn@pultegroup.com

Civil Engineer & Community Planner

VHB
 225 E. Robinson St., Suite 300
 Orlando, Florida 32801
 P 407.839.4006 · F 407.839.4008
 asmith@vhb.com

Surveyor

Allen & Company
 16 E. Plant St.
 Winter Garden, FL 34787-3127
 P 407.654.5355

Environmental

Bio-Tech Consulting, Inc.
 3025 E South St.
 Orlando, FL 32803
 P 407.894.5969

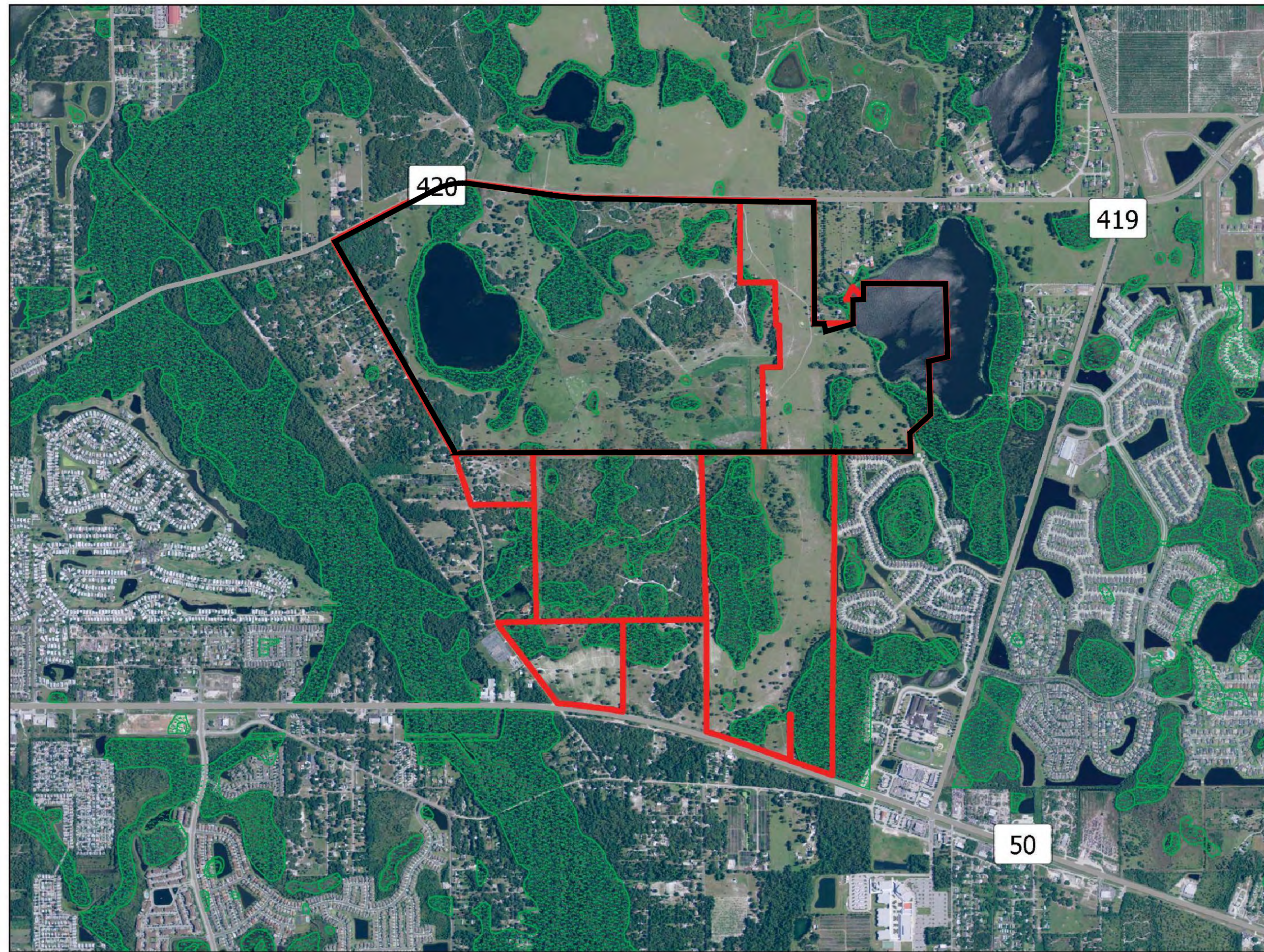
Reference Drawings		
No.	Drawing Title	Latest Issue
Sheet 1 of 5	Boundary Survey (Legal Description)	January 07, 2022
Sheet 1 of 9	Tree Survey	June 30, 2022
A-1	Architectural Standards	July 22, 2022
A-2 - A-4	Architectural Elevations	July 22, 2022

Previously Approved Waiver Request:

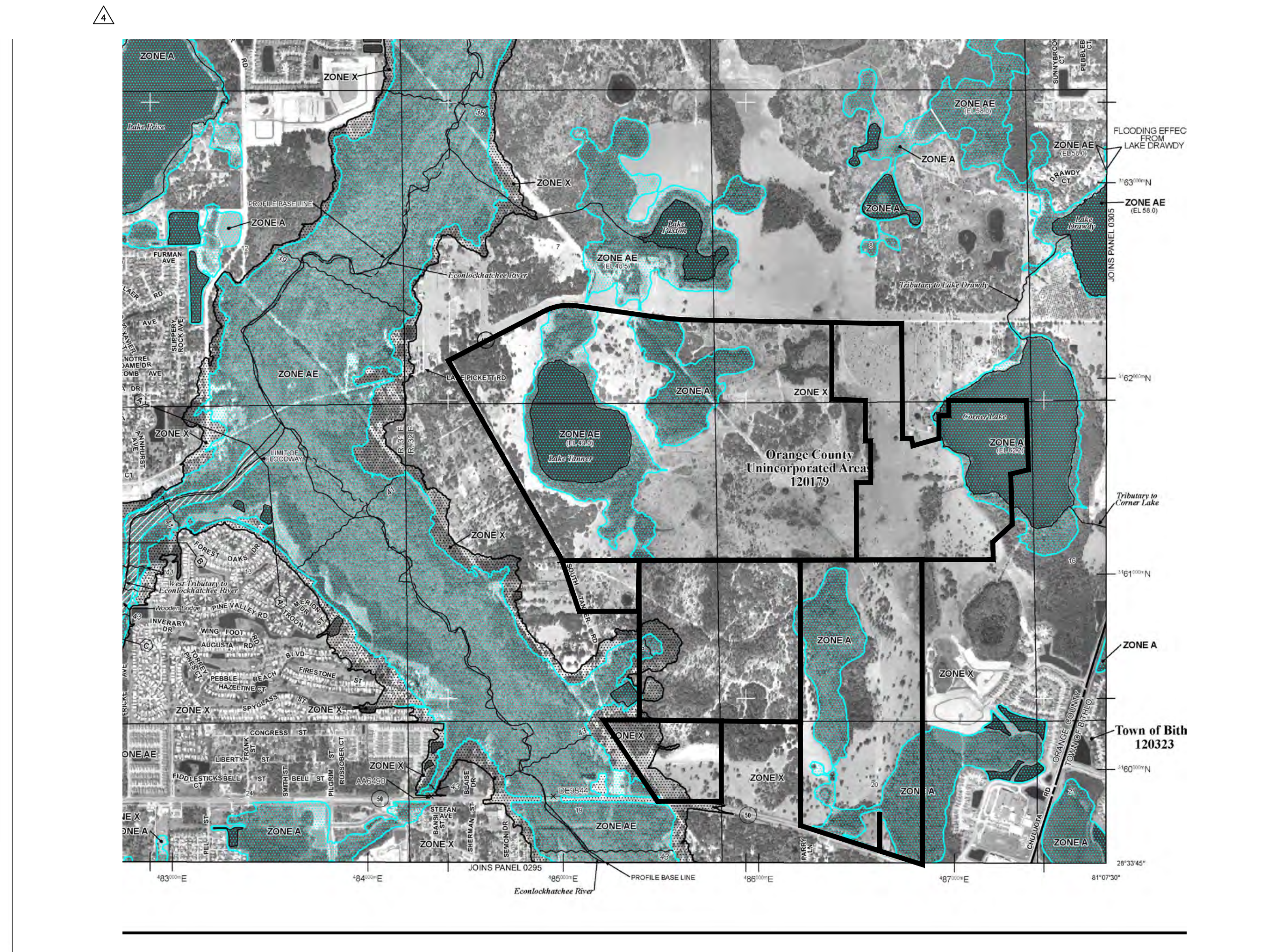
1. A waiver from Section 34-152(C) is requested to allow lots to front a mew, park, open space, etc. instead of a County roadway. Legal access to these lots will be through an ingress/egress easement shown on the plat, in lieu of 20 feet fee simple as required by code.

Notes:

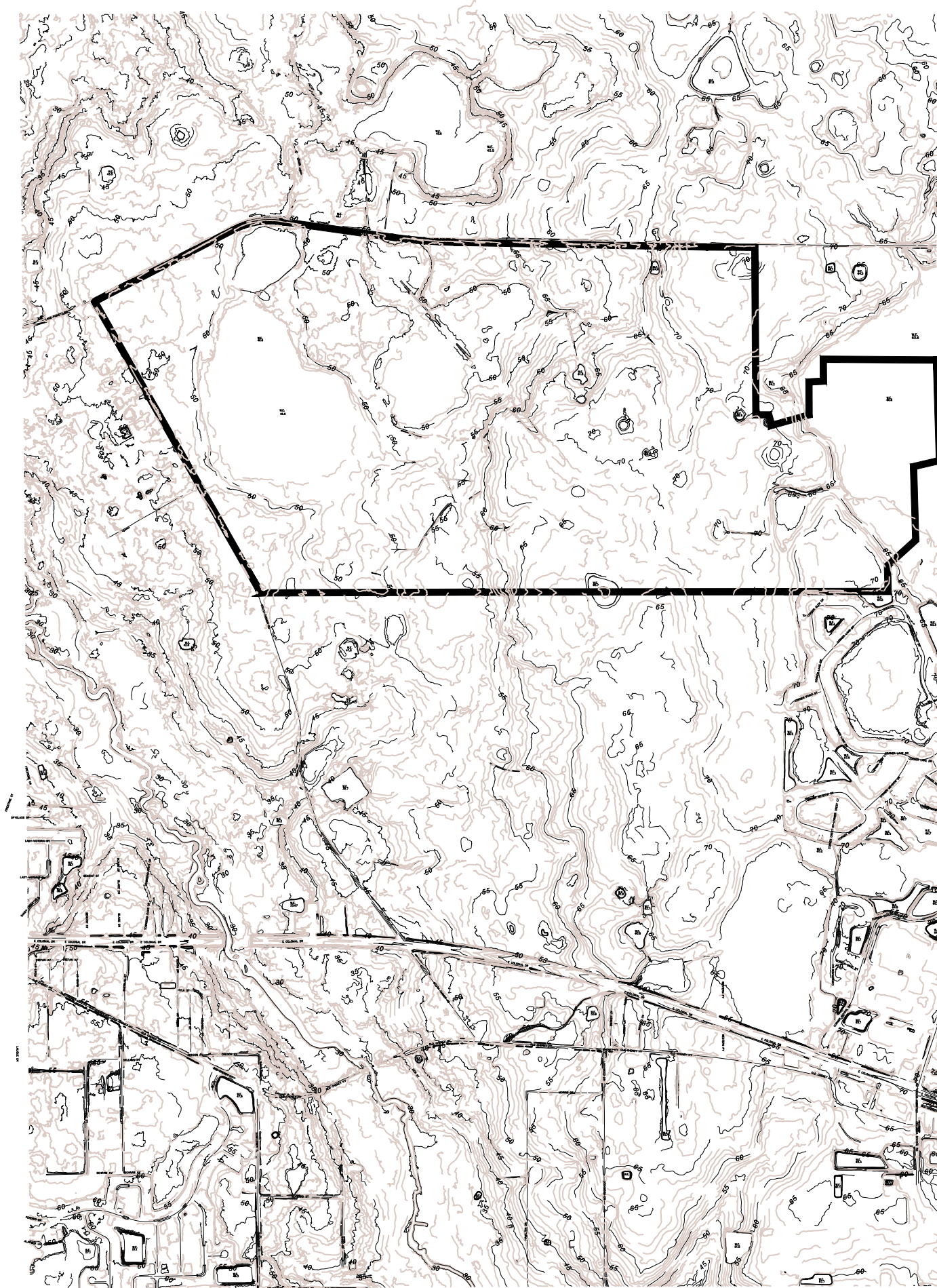
1. All construction details are conceptual and subject to review and modification during the approval of final construction plans.
2. In accordance with Section 38-1227, any variations from County code minimum standards represented on this plan that have not been expressly approved by the BCC are invalid.
3. All development shall comply with the Approved Regulating Plan for the Grow.
4. All storm drain inlets constructed as part of new development projects in Orange County shall have metal medallion inlet markers installed. Text on the marker shall be evenly spaced and read "No Dumping, Only Rain in the Drain". Markers must be commercial grade stainless steel, aluminum, brass or bronze and either stamped from sheet metal or cast. Metal marker color must be non-reflective blue or green. Aquatic creature or symbol shown on marker shall be consistent throughout the subdivision. Markers must be affixed to a clean, prepared surface with adhesives, fasteners, or heat as recommended by the manufacturer. Markers shall be aligned with the center of drainage inlets at the top of the curb. Lettering must be between 0.4 - 0.5 inches and the total diameter of the marker between 3.75 - 4.25 inches.



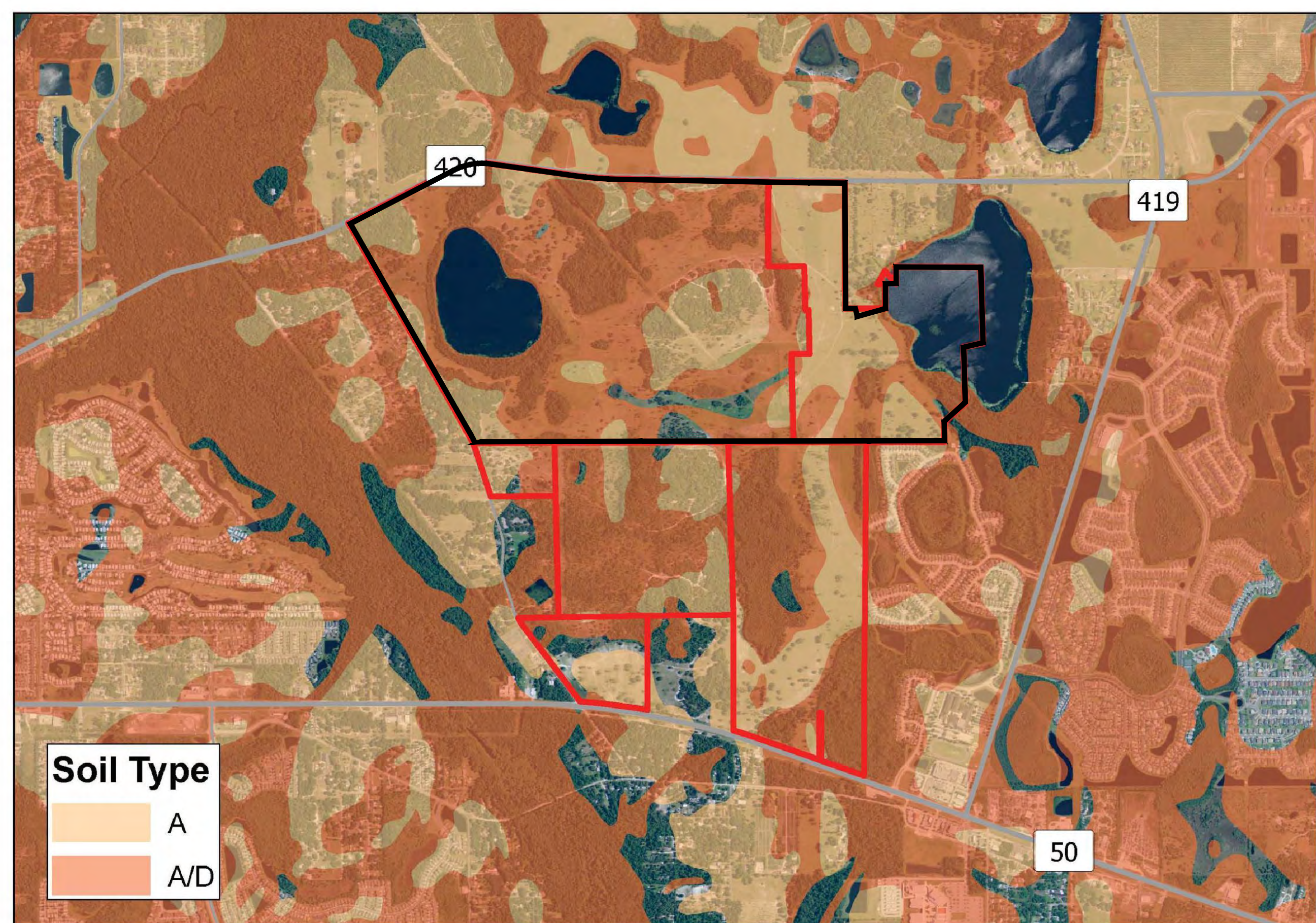
WETLANDS



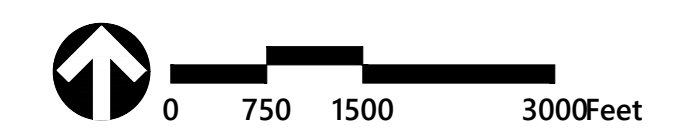
100 YR FLOODPLAIN



1 FT. TOPOGRAPHY



SOILS



**The Grow
 Parcels F1, F2
 Orange County, Florida**

No.	Revision	Date	App'd.
7	CDR Request	05/24/2023	
6	Revised per County Comments	10/05/2022	
5	Revised per County Comments	09/16/2022	
4	Revised per County Comments	08/29/2022	
3	Revised per County Comments	07/22/2022	
2	Revised per County Comments	05/06/2022	

Designed by: RAS/BD/JRW
 Checked by: RAS
 Issued for: PSP
 Date: March 04, 2022

Drawing Title
Existing Conditions Plan

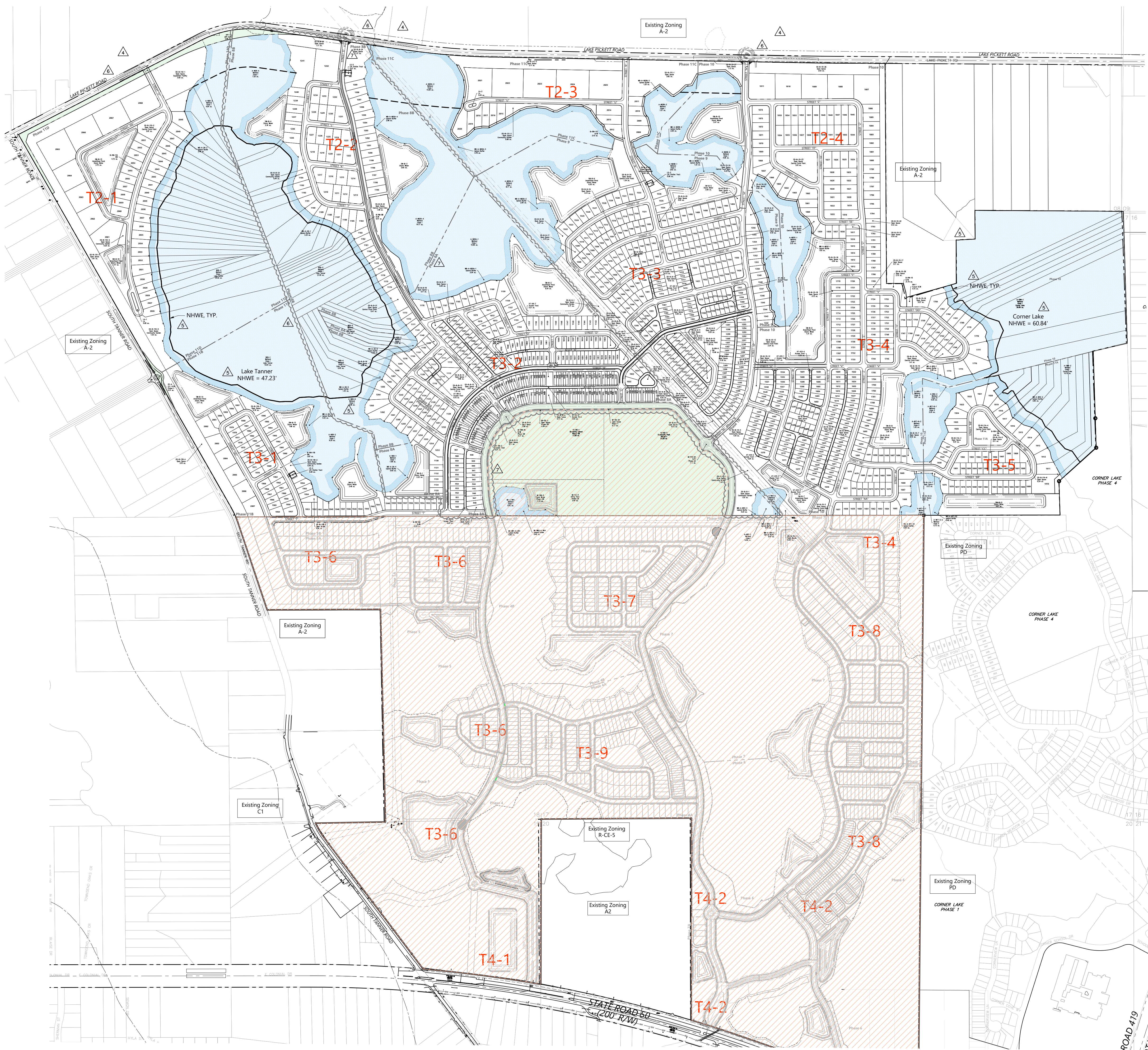
Drawing Number

C-1

Sheet of



225 E. Robinson Street
Suite 300
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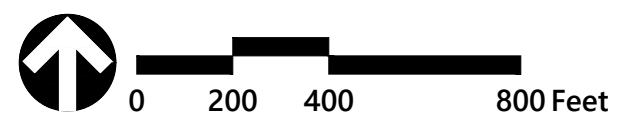
Legend

- PSP BOUNDARY
- PSP PARCEL LINE
- PRESERVED WETLAND
- UPLAND BUFFER
- MASTER INFRASTRUCTURE PSP
- NOT IN PROJECT AREA

SEE SITE DATA CHART ON SHEET C-2C

Parking Calculation Totals
Townhouses - 122 units
0.5 * 122 = 61 Required
Lots < 75 ft = 1036 units
0.5 * 1036 = 518 Required
Lots > 75 ft = 34 units
0 * 32 = 0 required
Total Guest Parking Required = 579

Tract	ac	Phase	Tract	ac	Phase
OS-B-2	0.19	8A	OS-B-10-15	0.30	10
OS-B-3	0.16	8A	OS-B-10-16	0.15	10
OS-B-4	0.12	8A	OS-B-10-17	0.11	10
OS-B-5	0.17	8A	OS-B-10-18	0.15	10
OS-B-6	0.17	8A	OS-B-10-19	0.04	10
OS-B-7	0.08	8A	OS-B-10-20	0.26	10
OS-B-8	0.07	8A	OS-B-10-21	0.10	10
OS-B-9	0.11	8A	OS-B-10-22	0.12	10
OS-B-10	0.13	8A	OS-B-10-24	0.32	10
OS-B-11	0.06	8A	OS-B-10-25	0.40	10
OS-B-12	0.06	8A	OS-B-11A-1	0.12	11
OS-B-13	0.14	8A	OS-B-11A-2	0.04	11
OS-B-14	0.11	8A	OS-B-11A-3	0.51	11
OS-B-15	0.05	9	OS-B-11A-5	0.12	11
OS-B-16	0.08	8A	OS-B-11A-6	0.24	11
OS-B-17	0.06	9	OS-B-11B-1	0.16	11
OS-B-18	0.06	9	OS-B-11B-3	0.76	11
OS-B-19	0.08	8A	OS-B-11D-4	0.20	11
OS-B-20	0.13	9	LA-1	0.08	11
OS-B-21	0.18	9	LA-2	0.03	11
OS-B-22	0.04	9			
OS-B-23	0.05	9			
OS-B-24	0.45	9			
OS-B-25	0.19	9			
OS-B-26	0.21	9			
OS-B-27	0.13	9			
OS-B-28	0.14	9			
OS-B-29	0.14	9			
OS-B-30	0.05	9			
OS-B-31	0.45	9			
OS-B-32	0.10	9			
OS-B-33	0.29	10			
OS-B-34	0.04	10			
OS-B-35	0.19	10			
OS-B-36	0.18	10			
OS-B-37	0.14	10			
OS-B-38	0.17	10			
OS-B-39	0.30	10			



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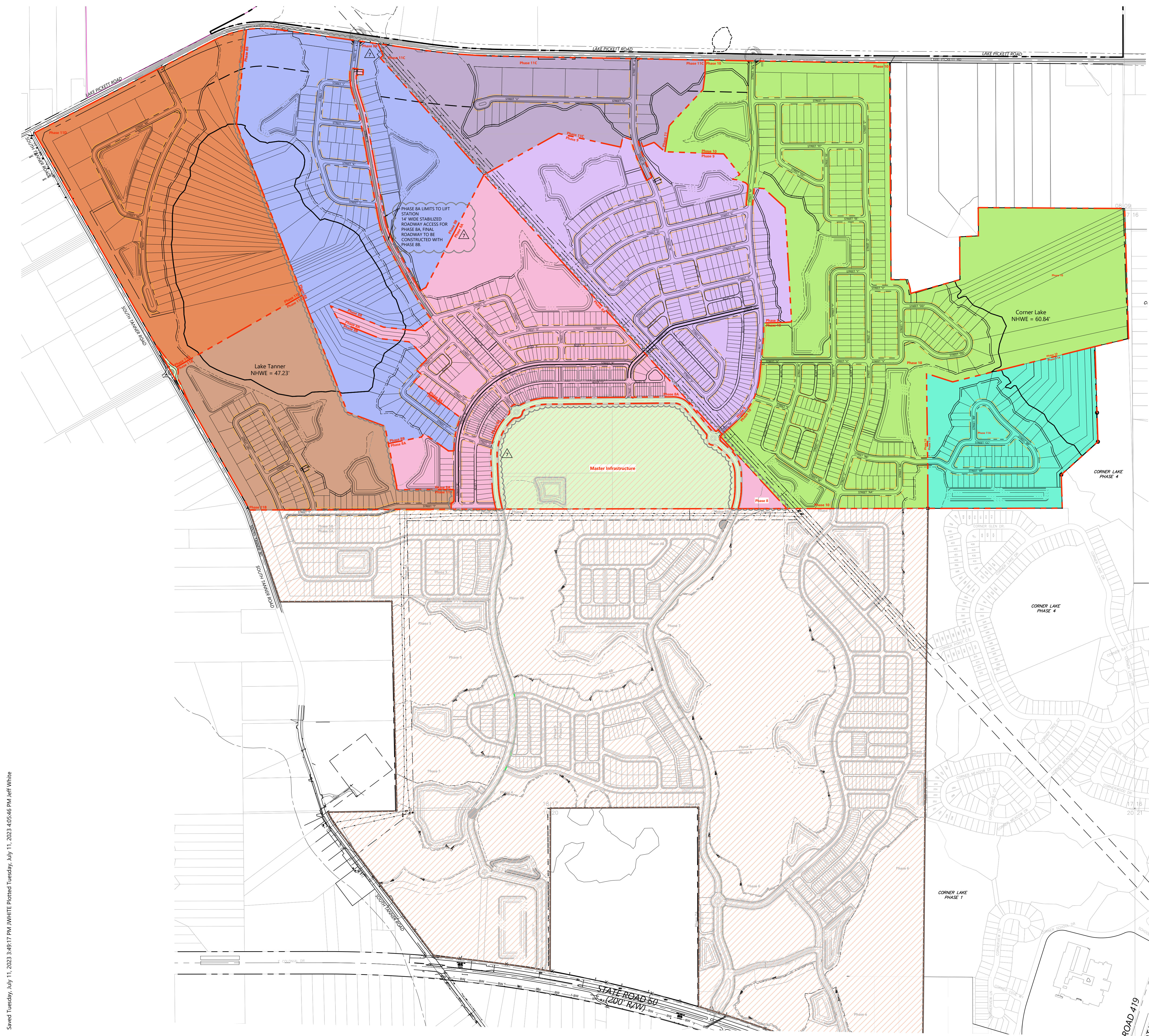
Designed by: RAS/BD/JRW
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Drawing Title
Master Site Plan

Drawing Number
C-2



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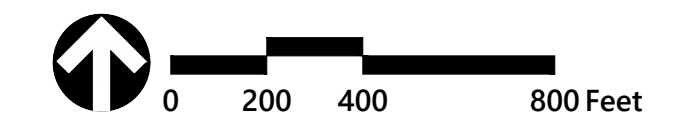


Legend

- PSP BOUNDARY
- PHASING LINE
- MASTER INFRASTRUCTURE PHASING
- PHASE 8A AREA
- PHASE 8B AREA
- PHASE 9 AREA
- PHASE 10 AREA
- PHASE 11A AREA
- PHASE 11B AREA
- PHASE 11C AREA
- PHASE 11D AREA
- NOT IN PROJECT AREA

- NOTES:**
1. AT THE TIME OF PLATTING FOR EACH PHASE, PHASE LINES WITHIN WETLANDS AND UPLAND BUFFERS MAY BE ALTERED AS DIRECTED BY COUNTY STAFF FOR THE EASE OF TRACKING WETLANDS. THESE CHANGES MAY BE COMPLETED WITHOUT THE NEED FOR A CHANGE DETERMINATION AS PHASING WITHIN THE WETLANDS DOES NOT IMPACT DEVELOPMENT.
 2. THE TEMPORARY RECIPROCAL EASEMENT AGREEMENT PROVIDES DEVELOPMENT RIGHTS TO THE DEVELOPER(S) TO DESIGN, PERMIT AND CONSTRUCT REQUIRED AND SHARED INFRASTRUCTURE, INCLUDING TEMPORARY CUL-DE-SACS, LIFTSTATIONS, SUPPORTING UTILITIES, AND STORMWATER FACILITIES, TO SUPPORT WHICHEVER DEVELOPMENT OCCURS FIRST.
 3. PHASE 11B & PORTIONS OF PHASE 10 REQUIRE THE LIFTSTATION ON L5-2 AND SUPPORTING INFRASTRUCTURE WITHIN THE GROW PARCELS A, B, C, D & E PSP-21-12-367 TO BE CONSTRUCTED AHEAD OR CONCURRENTLY WITH THE PHASE 11B & PORTIONS OF PHASE 10 DEVELOPMENT. THIS LIFTSTATION AND REQUIRED INFRASTRUCTURE IS COVERED UNDER THE TEMPORARY RECIPROCAL EASEMENT AGREEMENT DESCRIBED IN NOTE 2.
 4. PHASE 11B MUST BE PLATTED CONCURRENTLY WITH PHASE 5B OF THE GROW PARCELS A, B, C, D & E PSP-21-12-367.
 5. INFRASTRUCTURE (INCLUDING STORM SYSTEMS, UTILITIES, AND ROADS) IN FUTURE PHASES CAN BE CONSTRUCTED AS NECESSARY TO SUPPORT THE PHASED DEVELOPMENT. ALL SUPPORTING INFRASTRUCTURE OUTSIDE OF THE PHASED DEVELOPMENT WILL BE CONSTRUCTED PER ORANGE COUNTY STANDARDS AND PLACED UNDER TEMPORARY EASEMENT UNTIL SUCH FUTURE PHASE IS PLATTED.
 6. THE APPROVAL OF THE MI PHASE 2A & 2B CONSTRUCTION PLANS WILL REQUIRE APPROVAL OF THE MASTER DRAINAGE SYSTEM AND CONSTRUCTION OF THE PONDS WITHIN PHASE 8A. BOTH SETS OF CONSTRUCTION PLANS ARE TO BE PROCESSED CONCURRENTLY.
 7. THE REQUIRED APF ACREAGES FOR LAKE PICKETT AND TANNER ROAD WILL BE FINALIZED AT SITE CONSTRUCTION PLAN REVIEW PURSUANT TO THIS PSP AND THE APF AGREEMENT WHERE IT IS CONTEMPLATED THAT WIDER RIGHT-OF-WAY MAY BE REQUIRED IN SOME LOCATIONS, SUCH AS AT INTERSECTIONS, TO FACILITATE TRAFFIC MOVEMENT.

UPDATED PROJECTED LOT LINES INTO LAKE TANNER AND CORNER LAKE



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Phasing Plan
Drawing Number

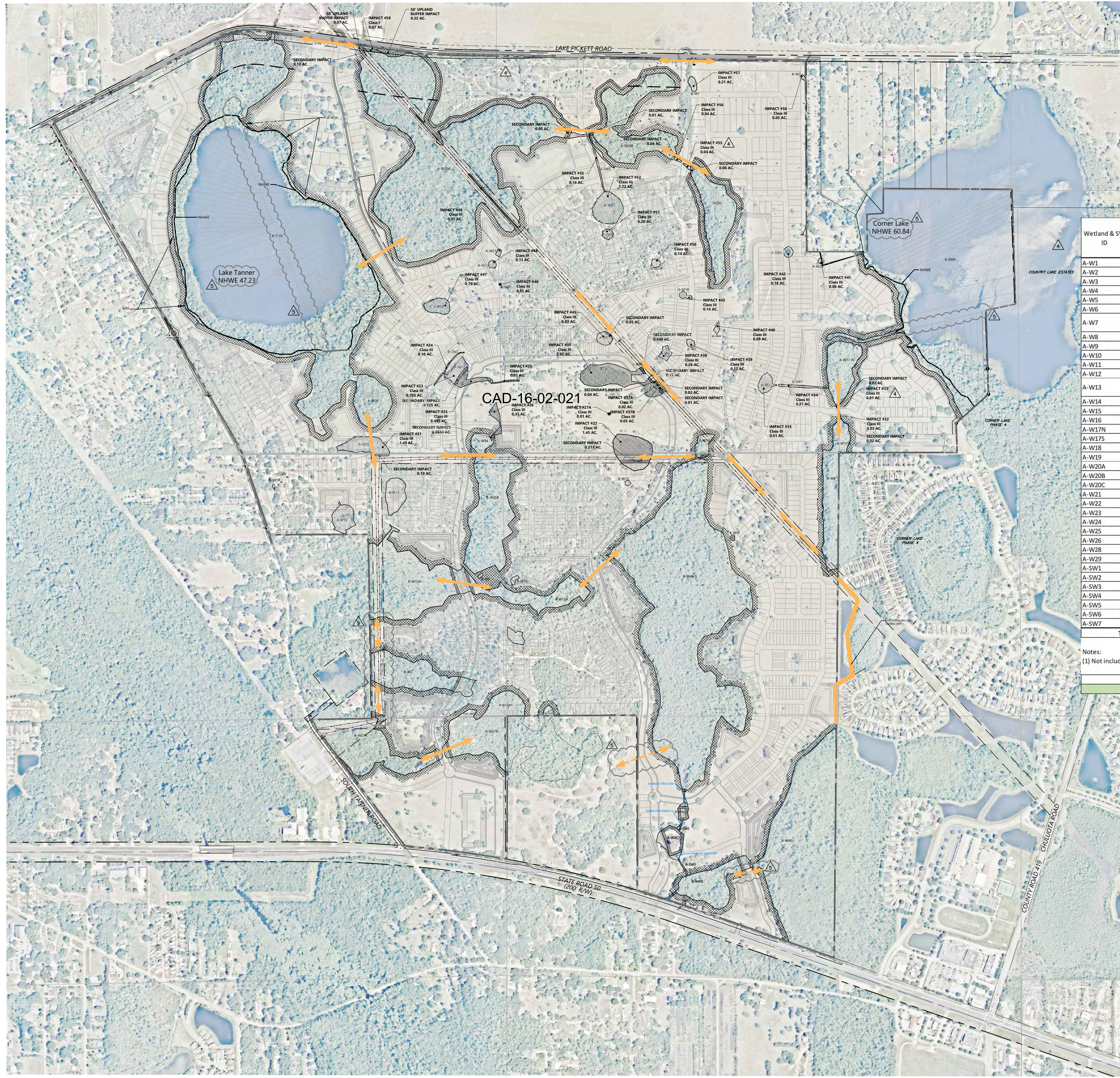
C-2A

Sheet of

Project Number
63691.00



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Legend

- WILDLIFE CROSSING
- POTENTIAL WILDLIFE CROSSING
- WETLAND IMPACT
- SECONDARY WETLAND IMPACT
- UPLAND BUFFER/ CONSERVATION EASEMENT/ UNDISTURBED VEGETATED NATURAL BUFFER

Wetland & SW ID	Wetland & SW Type	Wetland & SW Size (ac.)	Wetland & SW Not Impacted (ac.)	Wetland & SW Impact Size (ac.)	Sec Impacts (ac.)	Buffer Impact (ac.)	Wetland & SW Preservation (ac.)	OC Wetland Classification	Impact ID(s)
A-W1	641	0.21	0.00	0.21				III	57
A-W2	643	0.05	0.00	0.05				III	58
A-W3	641	0.51	0.00	0.51				III	35
A-W4	625	0.09	0.00	0.09				III	40
A-W5	641	0.12	0.00	0.12				III	39
A-W6	625	0.26	0.00	0.26				III	38
A-W7	643	0.31	0.24	0.07	0.07		0.24	III	37A, 37B
A-W8	643	0.01	0.01	0.00			0.01	III	
A-W9	641	0.38	0.05	0.33	0.05		0.05	III	45
A-W10	630	0.60	0.60	0.00			0.60	I	
A-W11	641	1.45	0.00	1.45	0.21			III	27
A-W12	641	0.01	0.00	0.01				III	27A
A-W13	641	0.50	0.00	0.50	0.125(1)			III	23
A-W13	641	0.70	0.00	0.70				III	23
A-W14	630,510	0.41	0.06	0.35	0.03		0.06	III	26
A-W15	641	0.20	0.00	0.20				III	51
A-W16	510	2.56	2.56	0.00			2.56	III	51
A-W17N	620	3.61	3.60	0.01	0.02		3.60	III	33
A-W17S	620	1.26	1.23	0.03	0.02		1.23	III	32
A-W18	641	0.14	0.00	0.14				III	43
A-W19	643	0.14	0.00	0.14				III	50
A-W20A	630	47.98	47.91	0.07	0.10	0.29	47.91	I	59
A-W20B	630	8.43	8.25	0.18	0.10		8.25	III	54,56
A-W20C	630	5.73	5.69	0.04	0.06		5.69	III	55
A-W21	641	0.07	0.00	0.07	0.10			III	49
A-W22	641	1.72	0.00	1.72				III	52
A-W23	641	0.11	0.00	0.11				III	48
A-W24	620	0.75	0.00	0.75				III	47
A-W25	641	1.49	0.00	1.49	0.10			III	21
A-W26	630	24.35	24.35	0.00			24.35	I	
A-W28	640	0.06	0.00	0.06				III	41
A-W29	643	0.01	0.00	0.01				III	46
A-SW1	530	0.18	0.00	0.18				III	42
A-SW2	510	0.10	0.00	0.10				III	24
A-SW3	510	0.07	0.00	0.07				III	25
A-SW4	520	51.97	51.97	0.00			51.97	I	
A-SW5	510	0.17	0.01	0.16			0.01	III	53
A-SW6	523	77.54	77.54	0.00			77.54	I	
A-SW7	510	0.22	0.01	0.21			0.01	III	34
Totals		237.39	224.08	13.31	1.02	0.29	224.08		

Notes:
(1) Not included in total - Impacted with CAI-22-03-023

- Assessed With The Grow Parcels F1 & F2 PSP-22-03-087
- Assessed With The Grow Master Infrastructure PSP-20-06-156



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Environmental Considerations Plan

Drawing Number: C-2B

Wetland			Wetland Buffer		
Tract	ac	Phase	Tract	ac	Phase
A-SW4-1	39.89		WB-A-26-1	4.72	
A-SW4-2	10.75		WB-A-26-2	4.33	
A-W10-1	0.39		WB-A-26-3	3.48	
A-W10-2	0.21		WB-A-26-4	0.60	
A-W16-1	2.67		WB-A-26-5	1.44	
A-W16-2	0.20		WB-A-W10-1	0.05	
A-W17-N-1	2.20		WB-A-W10-2	0.44	
A-W17-N-2	1.40		WB-A-W10-3	0.24	
A-W17-S-1	0.50		WB-A-W16-1	2.99	
A-W17-S-2	0.73		WB-A-W16-2	2.83	
A-W20A-1	25.12		WB-A-W17-S1	0.56	
A-W20A-2	8.17		WB-A-W17-S2	0.49	
A-W20A-3	14.69		WB-A-W20A-1	5.02	
A-W20B-1	2.62		WB-A-W20A-2	2.56	
A-W20B-2	4.06		WB-A-W20A-3	3.78	
A-W20B-3	1.57		WB-A-W20B-1	1.22	
A-W20C-1	3.25		WB-A-W20B-2	2.59	
A-W20C-2	2.43		WB-A-W20B-3	1.25	
A-W26-1	1.58		WB-A-W20C-1	1.83	
A-W26-2	6.21		WB-A-W20C-2	1.44	
A-W26-3	4.94		WB-A-W20C-3	0.56	
A-W26-4	7.20		WB-A-W14	0.56	
A-W26-5	0.74		WB-A-W14	0.43	
A-W26-6	3.08				
MI-A-W-14	0.83	III			
W26-1	13.94		Perimeter Buffer (Upland)		
W26-2	23.04		Tract	ac	Phase
W26-3	34.02		OS-B-8-23	1.37	8
W26-4	6.90		OS-B-8-24	1.18	8
			OS-B-10-16	0.57	10
			OS-B-10-26	2.63	10
			OS-B-10-27	1.13	10
			OS-B-10-28	2.70	10
			SW-B-11	4.61	11
			OS-B-11B-4	3.16	11
			OS-B-11C-1	3.83	11
			OS-B-11C-3	3.71	11
			OS-B-11D-3	7.61	11



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SITE DATA:

GENERAL:

ZONING	Regulating Plan
PROPOSED UNITS	1,192 DU
NON RESIDENTIAL AREA	0 SF
TOTAL PROJECT ACRES	732.52 Ac.
WETLAND/SURFACE WATER ACRES PRESERVED	223.30 Ac.
MI PSP TRACTS WITHIN PROJECT BOUNDARY (PSP-20-06-156) (1)	42.48 Ac.
APF ROW	0.00 Ac.
TOTAL DEVELOPABLE ACRES	466.74 Ac.
UPLAND BUFFERS	42.84 Ac.
TOTAL WETLAND/SURFACE WATER IMPACTS (2)	13.31 Ac.
TOTAL STORMWATER PROVIDED	58.34 Ac.
PROVIDED OPEN SPACE	70.21 Ac.
NET DEVELOPED ACRES THIS PSP	295.35 Ac.

- NOTES:
 (1) INCLUDES ALL ROW TRACTS, STORM WATER TRACTS, AND OPEN SPACE TRACTS AS DEFINED IN PSP-20-06-156 THE LIE WITHIN THE TOTAL PROJECT AREA OF THIS PSP
 (2) INCLUDES 8.01 AC OF CAI-22-03-023 IMPACTS AND 5.30 ACRES OF CAI-20-06-043 IMPACTS AS SHOWN ON SHEET C-2B

TRANSECT DATA

T2			
LOTS PROVIDED	DEVELOPABLE ACRES	NET DENSITY PROVIDED (1)	NET DENSITY ALLOWED (2)
194	118.6	1.64	2.0
T3			
LOTS PROVIDED	DEVELOPABLE ACRES	NET DENSITY PROVIDED (1)	NET DENSITY ALLOWED (2)
998	250.92	3.98	4.0

TRANSECT	AVERAGE BLOCK LENGTH (FT) (4)	INTERSECTION DENSITY (5)
T2-1	NA	0.088
T2-2	383	0.201
T2-3	NA	0.131
T2-4	592	0.215
T-2 AVERAGE		0.159
T3-1	455	0.119
T3-2	466	0.188
T3-3	420	0.221
T3-4	492	0.177
T3-5	461	0.171
T-3 AVERAGE		0.188

- (1) Per Regulating Plan Section 2.4 - Net Density is based upon developable acres and excludes wetlands and waterbodies
 (2) Per Regulating Plan Section 2.4.1 Table 2.4(1)
 (3) Per Regulating Plan Section 2.2.4 - minimum average density shall be 5 DU/net residential acre and a maximum average density of 12 DU/acre
 (4) Per Regulating Plan Section 3.10 average block lengths shall not exceed 600 feet
 (5) Per Regulating Plan Section 2.4.3 minimum intersection density shall be 0.125 per acre within T2, T3 & T4 transects

BUILDING SETBACKS

PRODUCT TYPE	T-2/T-3	T3 (T3-1, T3-2 T3-3 T3-4, T3-5)	T-2
MIN LOT WIDTH (FT)	125' (2)	50' (T3 RESTRICTED) 40' (T3 STANDARD) 34' (T3 TRANSITION)	20'
MIN LOT DEPTH (FT)	VARIES	65'	70'
MIN LIVING AREA (SF)	1,500	1,000	1,000
SETBACKS:			
FRONT (HOUSE OR PORCH) (FT)	25'	10'	10'
SIDE (FT)	25'	5'	7' - END UNIT
SIDE STREET (FT)	10'	10'	10'
REAR (FT)	50'	15' (IF NO ALLEY)	15'
FRONT LOADED GARAGE (FT)	25'	20' FROM ROW	N/A
REAR LOADED GARAGE (ATTACHED OR DETACHED) (FT)	N/A	3' OR 18' (5)(6)	3' OR 18' (5)(6)
LAKEFRONT (FROM NHWE) (FT)	50'	50'	50'
MAX IMPERVIOUS COVERAGE	40%	90%	70%
MAX OVERALL HEIGHT	2 STORIES	2 STORIES (6)	2 STORIES (6)

- NOTES:
 (1) TOWNHOMES SHALL BE LIMITED TO A MAXIMUM OF 6 UNITS PER BUILDING.
 (2) MINIMUM LOT WIDTHS ALONG TRUNKER ROAD SHALL BE 165 FEET.
 (3) PERMETER LOT GARAGES MAY NOT BE CLOSER TO RIGHT-OF-WAY THAN THE REST OF THE HOUSE FACADE.
 (4) FRONT LOADED GARAGE MUST BE RECESSED A MINIMUM OF 8 FEET BEHIND THE HOUSE FRONT FACADE OR QUALIFYING PORCH.
 (5) SETBACK SHALL BE 18' IF DRIVEWAY IS PROVIDED.
 (6) ROOFTOP DECKS ARE PERMITTED INCLUDING OVERHEAD CANOPIES.
 (7) ACCESSORY STRUCTURES MUST BE 5' FROM SIDES AND REAR, AND ARE NOT PERMITTED IN THE FRONT SETBACK AREA.
 (8) HALF STORY ALLOWED UNDER THE PRIMARY ROOF STRUCTURE AND WITH DOORMS WHERE APPROPRIATE.
 (9) WHERE PUBLIC GRAVITY MAINS WILL BE LOCATED IN ALLEYS, THE DISTANCE FROM STRUCTURE TO STRUCTURE MUST BE 38- FEET. TO MEET THIS REQUIREMENT, THE REAR SETBACK FOR LOTS NUMBERED 1110-1120, 1297-1304, 1378-1387, 1409-1420, 1538-1548, 1584-1595, AND 1547-1554 SHALL BE A MINIMUM OF 19- FEET FROM THE ALLEY CENTERLINE.
 (10) WHERE PUBLIC GRAVITY MAINS WILL BE LOCATED IN ALLEYS, THE DISTANCE FROM STRUCTURE TO STRUCTURE MUST BE 38- FEET. TO MEET THIS REQUIREMENT, THE SIDE SETBACK FOR LOTS NUMBERED 1583, 1595, AND 1602 SHALL BE A MINIMUM OF 19- FEET FROM THE ALLEY CENTERLINE.
 (11) PRODUCT THAT IS SERVED BY A REAR ALLEY DOES NOT HAVE SEPARATE SETBACKS FOR REAR AND FRONT LOADED GARAGE, THESE LOTS SHALL BE RESTRICTED BY THE REAR LOADED GARAGE SETBACK.

PHASING:

THIS PROJECT WILL BE DEVELOPED IN EIGHT (8) PHASES

MISCELLANEOUS:

POTABLE WATER SERVICE:	ORANGE COUNTY UTILITIES
WASTEWATER SERVICE:	ORANGE COUNTY UTILITIES
RECLAIMED WATER:	ORANGE COUNTY UTILITIES
STORMWATER MAINTENANCE:	* RECLAIMED WATER IS NOT CURRENTLY AVAILABLE TO THE SITE. A TEMPORARY JUMPER TO WATERMAIN WILL BE INCLUDED WITH FINAL CONSTRUCTION PLANS.
ELECTRIC SERVICE:	HOA/POA WITH EMERGENCY EASEMENT TO ORANGE COUNTY
FIRE PROTECTION:	DUKE ENERGY
	ORANGE COUNTY

TRIP GENERATION	Use	Rate	Units	Trips
Single-Family	1.00/DU	1070		1070
Townhome	0.52/DU	122		63.44
Retail/Commercial	3.71/1000SF	0		0
Office	1.49/1000SF	0		0
Total		1192		1133.44

Note: Trip Generation Rates obtained from the Lake Pickett South Term Sheet

SCHOOL AGE POPULATION:	Use	Rate	Units	Trips
Townhome	0.374	122		45.63
Single Family < 2000 SF	0.374	171		63.95
Single Family 2,000-2,499 SF	0.403	321		129.36
Single Family 2,500-2,999 SF	0.483	321		155.04
Single Family 3,000-3,999 SF	0.509	257		130.81
Total		1192		524.80

Note: Unit sizes are estimated only and will not be finalized until building permit.

LIGHTING:

1 LIGHTING SHALL COMPLY WITH SECTION 38-1250 OF THE ORANGE COUNTY DEVELOPMENT CODE.

GARBAGE PICKUP (BY ORANGE COUNTY SOLID WASTE DIVISION):

FRONT LOADED UNITS TO BE PICKED UP AT FRONT (R/W), REAR LOADED UNITS TO BE PICKED UP IN ALLEY.

WETLANDS:

- 1 CONSERVATION AREA DETERMINATION CAD-19-02-015, and CAD-19-02-021 HAS BEEN APPROVED TO DELINEATE THE WETLANDS AS SHOWN. CAI-22-03-023 IS CURRENTLY UNDER REVIEW FOR THE PROPOSED IMPACTS TO WETLANDS.
 2 BASKIN-WIER REGULATIONS APPLY. REFERENCE THE ECOLOGICAL WATCHDOG RIVER PROTECTION ORDINANCE ORANGE COUNTY CODE CHAPTER 16 ARTICLE 16 (E) PD
 3 APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF A PERMIT FOR THE CONSTRUCTION OF A BOAT DOCK, BOARDWALK, OBSERVATION PIER, FISHING PIER, COMMUNITY PIER OR OTHER SIMILAR PERMANENTLY FIRED OR FLOATING STRUCTURES. ANY PERSON DESIRING TO CONSTRUCT ANY OF THESE STRUCTURES SHALL APPLY TO THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION, AS SPECIFIED IN ORANGE COUNTY CODE CHAPTER 16 ENVIRONMENTAL CONTROL ARTICLE IX DOCK CONSTRUCTION. PRIOR TO INSTALLATION, FOR AN ORANGE COUNTY DOCK CONSTRUCTION PERMIT, AS WELL AS TO ANY OTHER ORANGE COUNTY DIVISION(S) FOR ANY OTHER APPLICABLE PERMITS.
 4 THE DESIGN SHALL INCLUDE PROVISIONS FOR WILDLIFE CONNECTIVITY ACROSS OR UNDER ROADWAYS THAT TRAVERSE WETLANDS SYSTEMS AND ASSOCIATED BUFFERS. ROAD AND PEDESTRIAN CROSSINGS OF THE WETLAND, FLOODPLAINS AND ENVIRONMENTALLY SENSITIVE CORRIDORS SHALL BE MINIMIZED AND DESIGNED TO ALLOW FOR UNIMPEDED PASSAGE OF WILDLIFE.

FIRE:

- 1 FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE DESIGN AND CALCULATIONS MEET THE REQUIREMENTS IN THE ORANGE COUNTY SUBDIVISION REGULATIONS
 2 NEEDED FIRE FLOW FOR SINGLE FAMILY DWELLINGS SHALL BE AS FOLLOWS: HOMES 5,000 SQ. FT. LESS - 1,000 GPM; HOMES EXCEEDING 5,000 SQ. FT. SHALL PROVIDE FIRE FLOW IN ACCORDANCE WITH TABLE 18.4.5.2.1 OF NFPA 1 (FFPC 7TH EDITION). REDUCTION OF FIRE FLOW MAY BE PERMITTED IF DWELLING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM OR BUILDING SEPARATION IN ACCORDANCE WITH TABLE 18.4.5.1.4 NFPA 1 (FFPC 7TH EDITION)
 3 FIRE ACCESS SHALL BE FROM PUBLIC STREETS AND PRIVATE ALLEYS. ACCESS SHALL BE IN ACCORDANCE WITH FFPC (NFPA 1 AND 101 7TH EDITION)
 4 ANY COMMERCIAL STRUCTURE OR RESIDENTIAL BUILDING OF THREE OR MORE STORIES MAY BE REQUIRED TO HAVE AN AUTOMATIC FIRE SPRINKLER PROTECTION DEPENDING UPON THE BUILDING CONSTRUCTION TYPE, OCCUPANCY CLASSIFICATION, AND ADDITIONAL BUILDING OR FIRE CODE REQUIREMENT
 5 THE OFFICE OF THE FIRE MARSHAL RECOGNIZES STREETS AND 2-WAY ALLEYS AS REQUIRED FIRE DEPARTMENT ACCESS AND "NO PARKING" SIGNAGE SHALL BE INSTALLED IN ALL AREAS NOT DESIGNATED AS PARKING AREAS.

ARCHITECTURAL STANDARDS

1. ARCHITECTURAL STANDARDS SHALL CONFORM TO SECTION 2.6 OF THE GROW PD REGULATING PLAN.

LANDSCAPE:

1. NATIVE PLANT SPECIES WILL BE UTILIZED IN LANDSCAPING AND REMOVAL OF UNDERSTORY VEGETATION SHALL BE MINIMIZED TO THE GREATEST EXTENT PRACTICAL AS REQUIRED IN THE ORANGE COUNTY CODE CHAPTER (000C) 15 ENVIRONMENTAL CONTROL, ARTICLE X ECOLOGICAL TO BE RIVER PROTECTION, SECTION 15-442 BASKIN-WIER REGULATIONS, 15-442(B). THIS WILL BE REVIEWED IN CONSIDERATION OF THE PD-RP BCC APPROVED CONDITIONS OF APPROVAL AND THE FLORIDA FRIENDLY LANDSCAPING AS AREAS OF FILL WILL NOT HAVE NATIVE SOILS TO SUPPORT THE NATIVE VEGETATION

OWNERSHIP/MAINTENANCE:

ROADWAYS	PUBLIC	TO BE OWNED AND MAINTAINED BY ORANGE COUNTY
ALLEY TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOA
AMENITIZED STORMWATER TRACTS	PRIVATE	STORMWATER MANAGEMENT - TO BE OWNED AND MAINTAINED BY THE HOA/POA WITH DRAINAGE EASEMENT TO ORANGE COUNTY
NON-AMENITIZED STORMWATER TRACTS	PUBLIC	STORMWATER MANAGEMENT - TO BE OWNED AND MAINTAINED BY ORANGE COUNTY WITH USE AGREEMENT TO ALLOW HOA ABILITY TO MAINTAIN FOR AESTHETIC PURPOSES
PRIVATE DRAINAGE EASEMENTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOA/POA
DRAINAGE EASEMENTS	PUBLIC	TO BE DEDICATED TO ORANGE COUNTY
UTILITY EASEMENTS	PUBLIC	TO BE OWNED AND MAINTAINED BY PROPERTY OWNER OR HOA WITH EASEMENT GRANTED TO ORANGE COUNTY UTILITIES.
SANITARY SEWER	PUBLIC	TO BE OWNED AND MAINTAINED BY ORANGE COUNTY UTILITIES
POTABLE WATER	PUBLIC	TO BE OWNED AND MAINTAINED BY ORANGE COUNTY UTILITIES
RECLAIMED WATER	PUBLIC	TO BE OWNED AND MAINTAINED BY ORANGE COUNTY UTILITIES
RECREATION/OPEN SPACE	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
SIDEWALK (WITHIN ROW)	PUBLIC	TO BE OWNED AND MAINTAINED BY ORANGE COUNTY
TRAILS	PRIVATE	TO BE MAINTAINED BY HOA (OWNERSHIP BY PROPERTY OWNER)
WETLANDS, UPLAND BUFFERS, SURFACE WATER TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION WITH DEVELOPMENT RIGHTS TO ORANGE COUNTY AND CONSERVATION EASEMENT GRANTED TO ORANGE COUNTY
ENVIRONMENTAL SWALE EASEMENTS	PRIVATE	TO BE OWNED BY UNDERLYING PROPERTY OWNER WITH MAINTENANCE REQUIREMENTS TO THE HOA.
AMENITIES	PRIVATE	TO BE OWNED AND MAINTAINED BY HOA

- NOTES:
 1. A MASTER PROPERTY OWNERS ASSOCIATION "MASTER POA" SHALL BE FORMED, AND RESPECTIVE MASTER DECLARATION "MASTER COARS" SHALL BE RECORDED IN THE PUBLIC RECORDS WITH THE INITIAL PLAT OF ANY PORTION OF THIS PSP, ENCOMPASSING ALL OF THE LANDS WITHIN THE GROW REGULATING PLAN. IN ADDITION TO MAINTAINING ANY STREETS/CORPUS PURSUANT TO SECTION 3 OF THE REGULATING PLAN, COUNTY MAY REQUIRE THAT THE MASTER POA ALSO BE RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF LANDSCAPE, SIGNAGE, AND/OR WALL EASEMENTS, AS WELL AS OPEN SPACE TRACTS, CONSERVATION TRACTS, AND SELECT STORMWATER TRACTS; HOWEVER UNDER NO CIRCUMSTANCE SHALL ANY RESIDENTIAL HOA BE OBLIGATED TO PAY FOR MAINTENANCE OF ANY SUCH STORMWATER TRACT THAT LIES OUTSIDE THE LIMITS OF THEIR RESPECTIVE PRELIMINARY SUBDIVISION PLAN IF AND WHEN THEY ARE ALREADY SUBJECT TO A MSBU IN RESPECTIVITY.
 2. NON AMENITIZED STORMWATER TRACTS (PUBLIC) - NO LANDSCAPING IS PERMITTED IN THE BERM, SIDE SLOPES, OR BOTTOM OF POND.
 3. A HOMEOWNERS ASSOCIATION (HOA) WILL BE ESTABLISHED AND A DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTION (CC&RS) WILL BE RECORDED IN THE PUBLIC RECORDS SIMULTANEOUSLY WITH THE PLAT FOR EACH STANDALONE COMMUNITY.

OPEN SPACE PER PD REGULATING PLAN:

LANDUSE	PD/RP (ac)	PROPOSED THIS PSP (ac)	PROPOSED SOUTH PSP (PSP-21-12-387) (ac)	MI PSP (PSP-20-06-156) (ac)	TOTAL PROVIDED TO DATE (ac)
Amenitized Stormwater	65.4	38.34	15.11	16.6	70.1
Neighborhood Central Focus Points	18.3	13.91	4.40	NA	18.3
APF Park	20.0	NA	NA	20.0	20.0
APF Utility	3.4	NA	NA	3.4	3.4
Trails	8.9	4.50	0.77	3.6	8.9
Agriculture/ Community Garden	36.0	17.73	9.62	NA	27.3
Perimeter Buffer	37.7	32.49	3.01	NA	35.5
Wetlands Buffer	78.9	NA	NA	79.0	79.0
Uplands (Gen. Open Space)	34.8	10.70	27.01	7.2	44.9
Farmer's Market Street	0.8	NA	NA	NA	0.0
Bike Lanes	3.4	1.60	1.68	0.1	3.4
TOTAL	307.8	119.27	61.60	129.9	310.8

Note: Acreages within MI PSP, Martinez PSP, and Regulating Plan are for reference only, each of those plans should be referenced for latest approvals. The RP Contains 16 CFP tracts. The average size of the CFPs is 1.14 ac. (min 1 ac average)

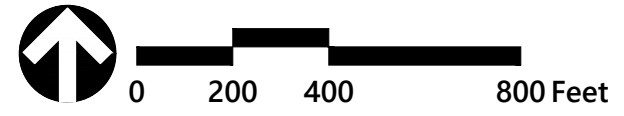
RECREATION AREA CALCULATIONS:

TOTAL RECREATION ACRES REQUIRED PER ORANGE COUNTY ZONING SEC. 38-1253
 REQUIRED 2.5 AC / 1000 POPULATION
 2.5 Ac./1000 Population: (1202 units x 3.1 Population/Units) = 3695.2 Population
 0.0025 x 3695.2 = 9.24 Ac.

Provided:	
Active Recreation	13.91 Ac.
Passive Recreation	25.40 Ac.

TOTAL RECREATION SPACE PROVIDED	Active/Passive	GROUP CATEGORIES/DESCRIPTIONS			
		GROUP A	GROUP B	GROUP C	GROUP D
Storm Water	7.67 ac	Passive		Sidewalks, benches	
Amenitized Ponds	13.91 ac	Active		Filler to Landscape Plans	
Agg/ Community Garden	17.73 ac	Passive		Sidewalks, benches	
TOTAL	39.31 ac.				

Note: Recreation Area for Amenitized Ponds is estimated at 20% of the pond tract acreage.

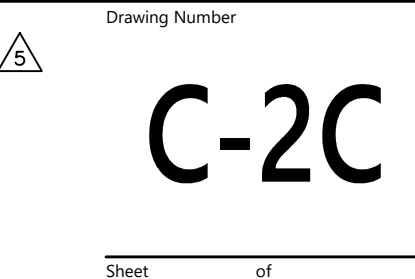


**The Grow
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Orange County, Florida**

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7	CDR Request	05/24/2023	
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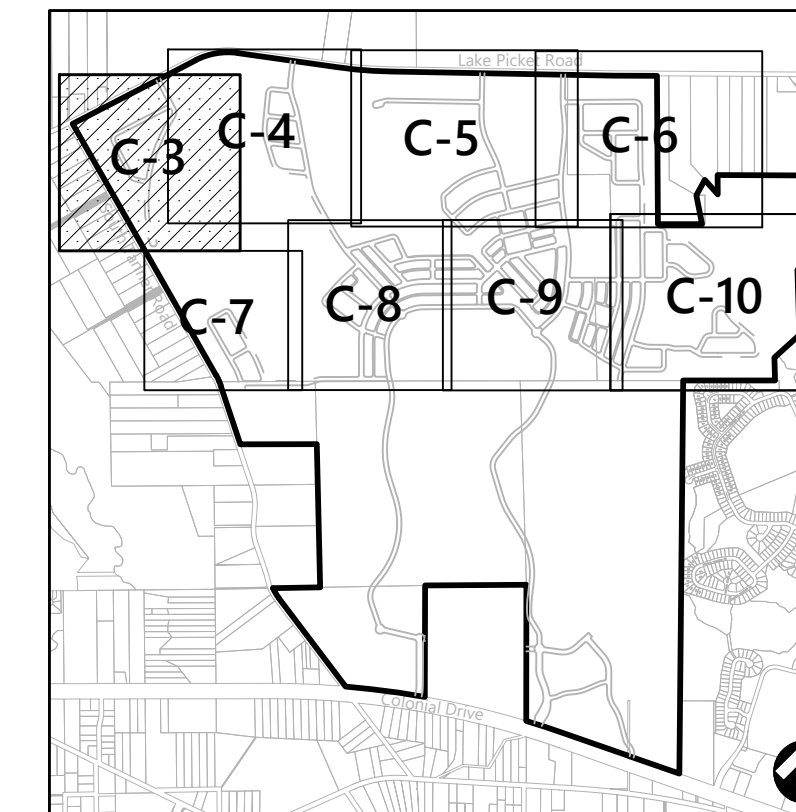
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 Checked by: RAS
 Issued for: PSP
 Date: March 04, 2022

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Site Data





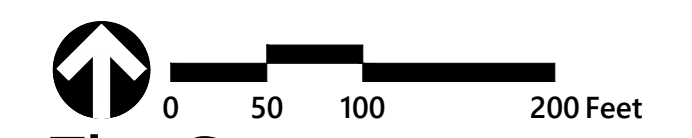
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Key Map

Legend

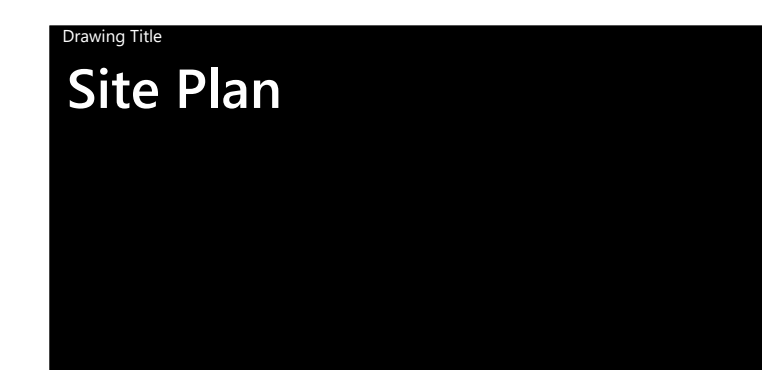
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Drawing Number

C-3

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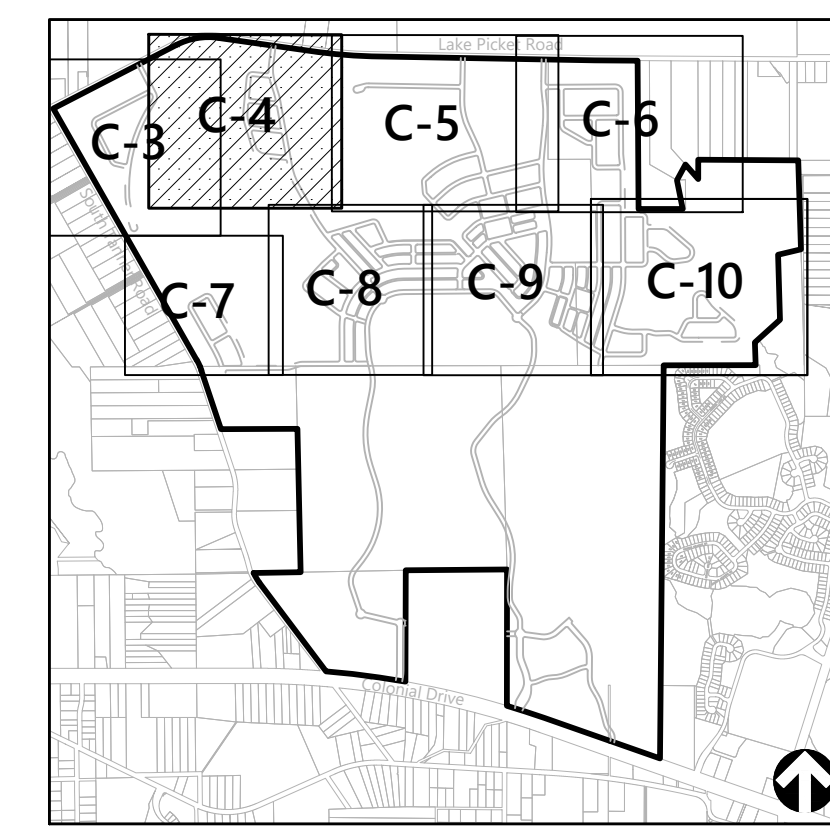


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 3. LOTS 1236 THRU 1241 OR ANY LOTS NOT PLATTED TO THE NHWE ARE RESTRICTED FROM APPLYING FOR DOCK PERMIT.



Key Map

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0 50 100 200 Feet

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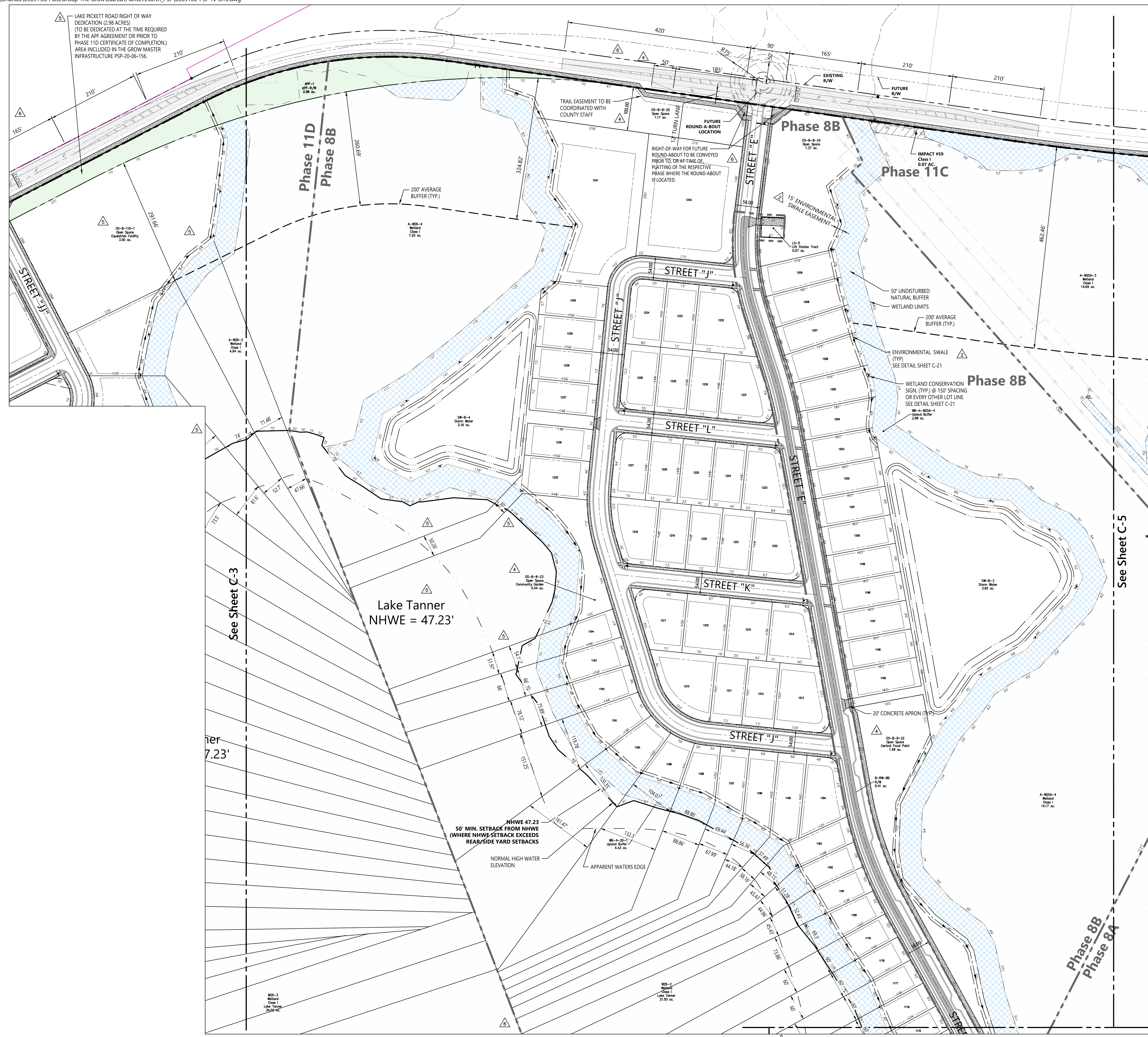
Drawing Title
Site Plan

Drawing Number

C-4

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See Sheet C-8

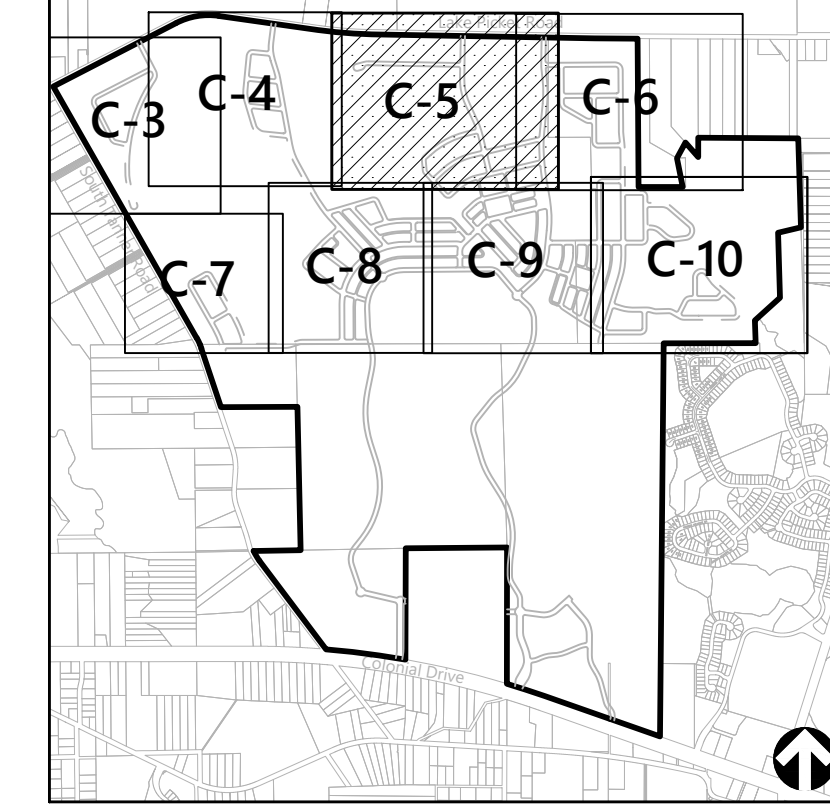
See Sheet C-5

See Sheet C-3

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 - 3.



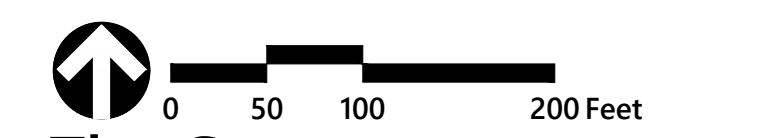
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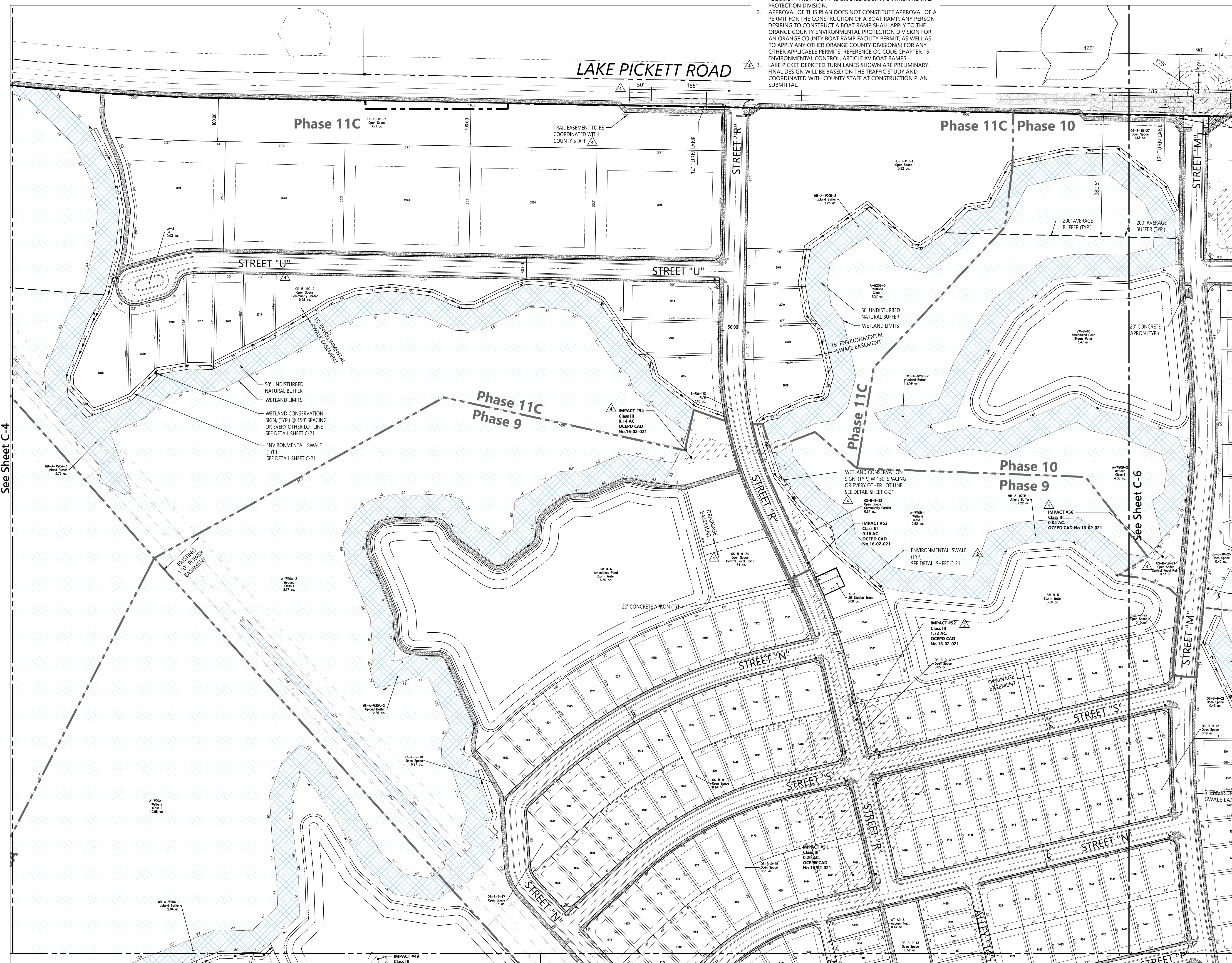
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Site Plan

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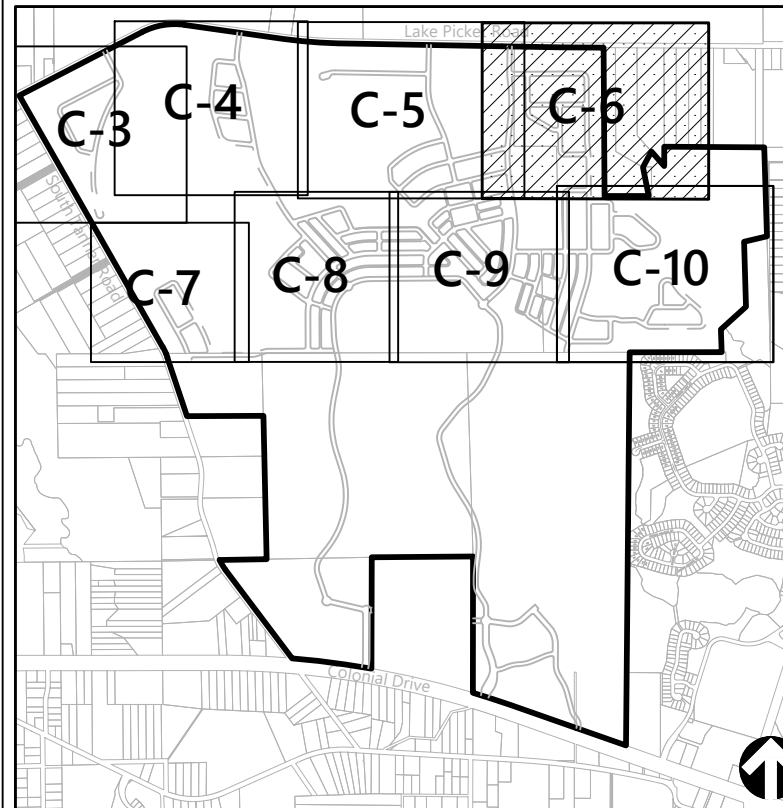
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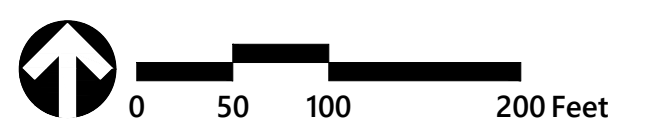
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Drawing Title: **Site Plan**
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