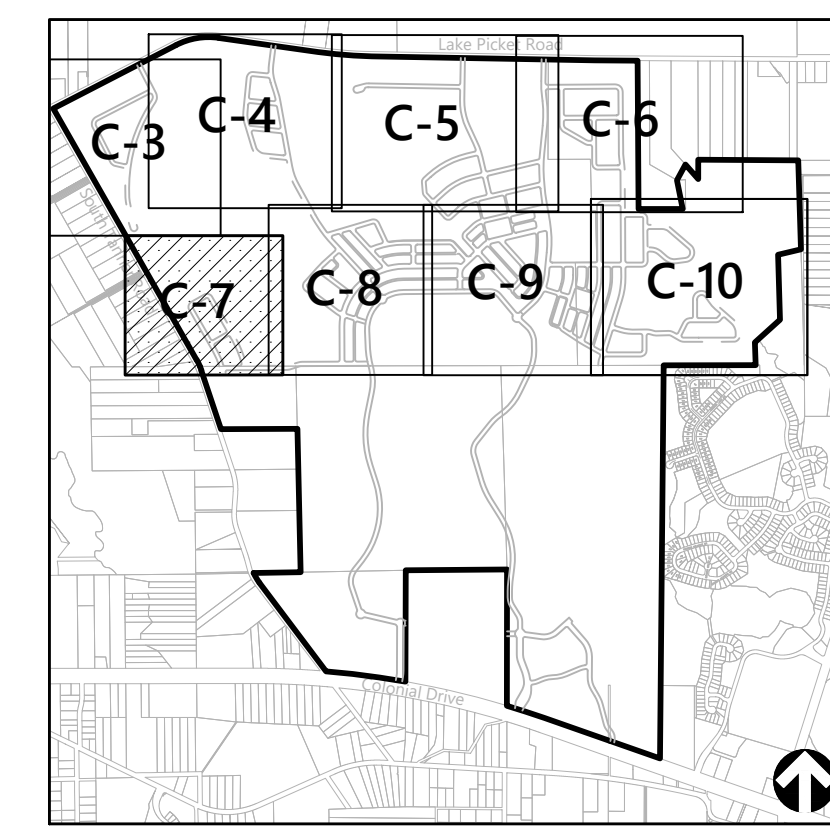


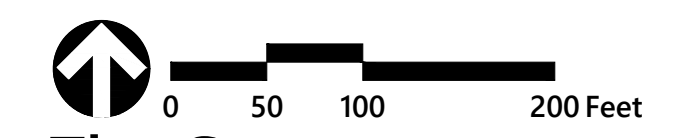


225 E. Robinson Street  
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Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932



Key Map

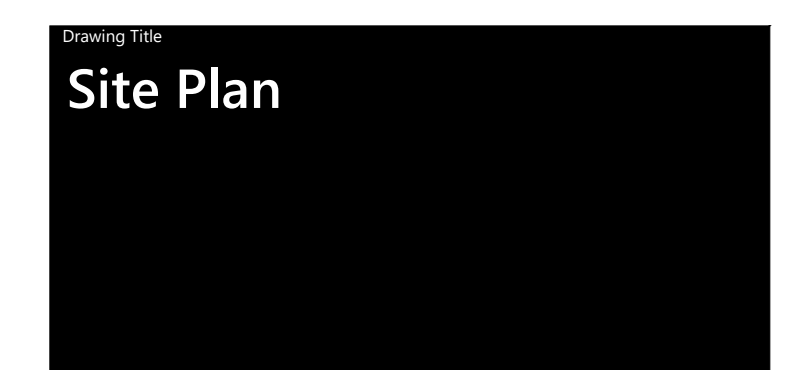
- Legend**
- PSP BOUNDARY
  - PHASE BOUNDARY
  - PD PARCEL LINE
  - NORMAL HIGH WATER ELEVATION N.H.W.E.
  - PRESERVED WETLAND
  - WETLAND TO BE REMOVED
  - UPLAND BUFFER/ CONSERVATION EASEMENT/ UNDISTURBED VEGETATED NATURAL BUFFER
  - NOT IN PROJECT AREA
  - MASTER INFRASTRUCTURE PSP
  - ENVIRONMENTAL SWALE



**The Grow  
Parcels F1, F2  
Orange County, Florida**

No.	Revision	Date	Appr'd.
7	CDR Request	05/24/2023	
6	Revised per County Comments	10/05/2022	
5	Revised per County Comments	09/16/2022	
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2	Revised per County Comments	05/06/2022	

Designed by: RAS/BD/JRW      Checked by: RAS  
Issued for: PSP      Date: March 04, 2022



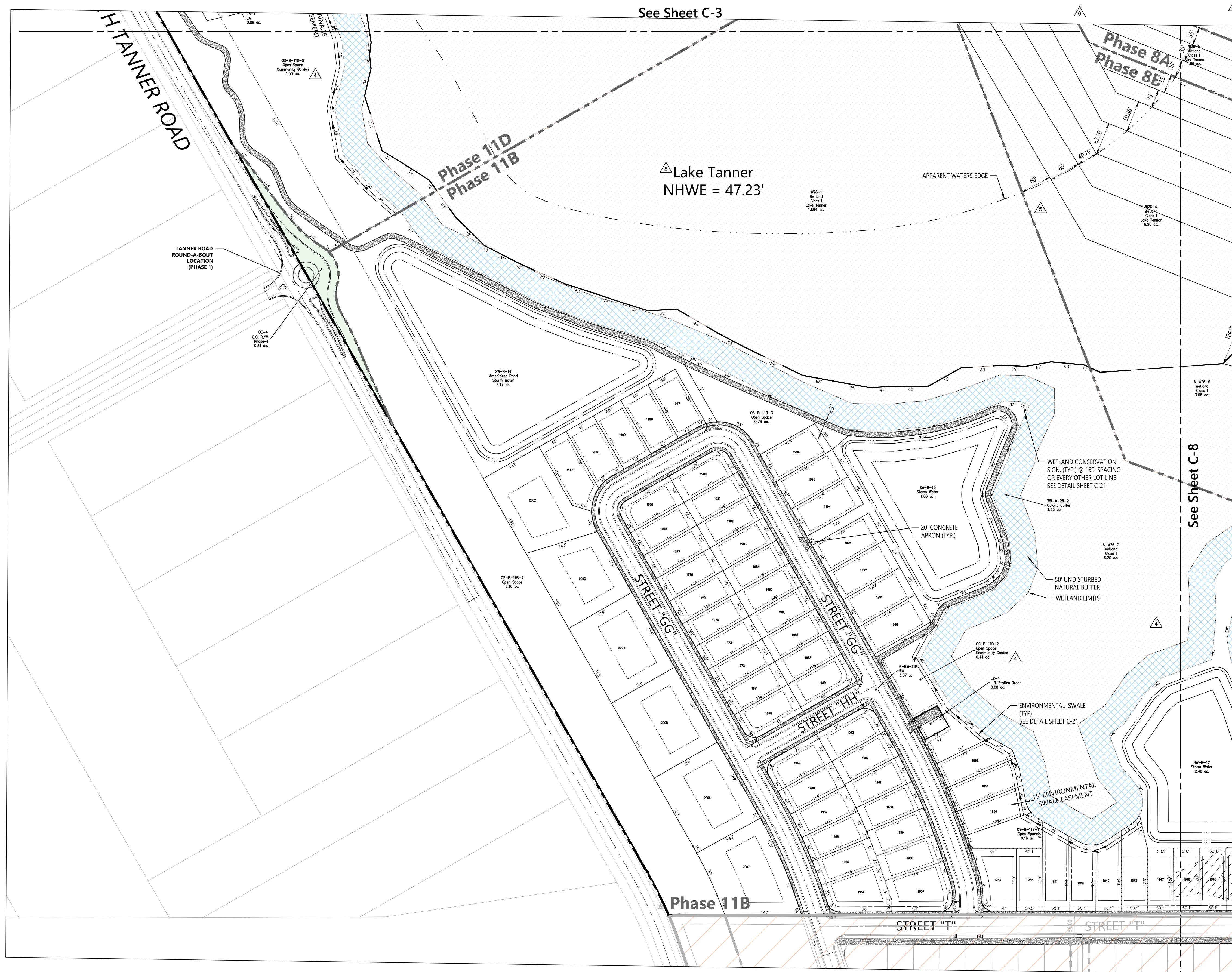
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**C-7**

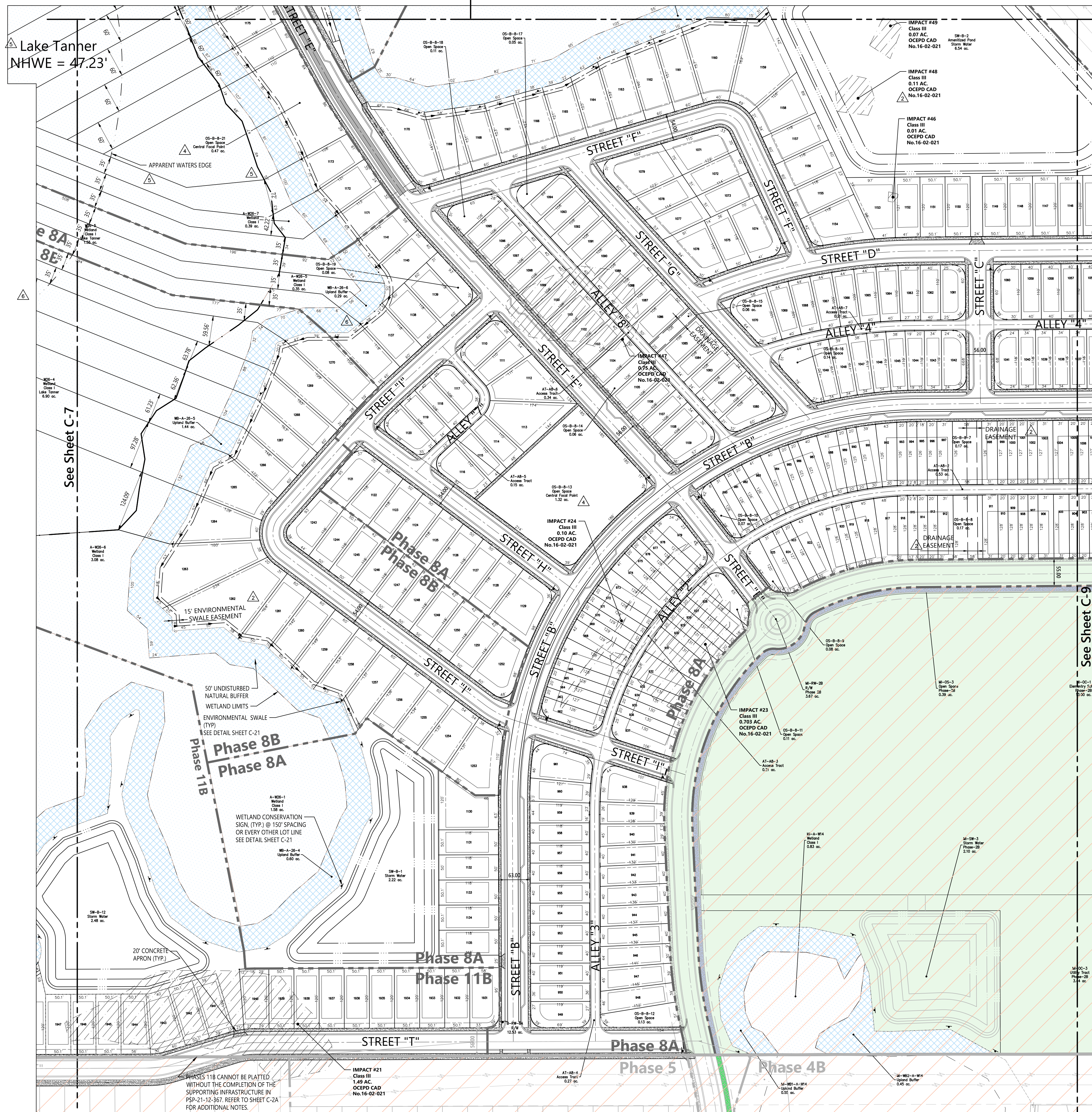
Sheet of

Project Number  
63691.00

- NOTES:
1. ANY CLEARING OF VEGETATION, WETLAND ENHANCEMENT, OR ALTERING OF THE SHORELINE IN THE UPLAND BUFFER, WETLAND, OR BELOW THE NORMAL HIGH WATER ELEVATION (NHWE) SHALL REQUIRE APPROVAL BY THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION.
  2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF A PERMIT FOR THE CONSTRUCTION OF A BOAT RAMP. ANY PERSON DESIRING TO CONSTRUCT A BOAT RAMP SHALL APPLY TO THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION FOR AN ORANGE COUNTY BOAT RAMP FACILITY PERMIT, AS WELL AS TO APPLY ANY OTHER ORANGE COUNTY DIVISION(S) FOR ANY OTHER APPLICABLE PERMITS. REFERENCE OC CODE CHAPTER 15 ENVIRONMENTAL CONTROL, ARTICLE XV BOAT RAMP.
  3. LAKE PICKET DEPICTED TURN LANES SHOWN ARE PRELIMINARY. FINAL DESIGN WILL BE BASED ON THE TRAFFIC STUDY AND COORDINATED WITH COUNTY STAFF AT CONSTRUCTION PLAN SUBMITTAL.
  4. LOTS 1948 THRU LOT 1956, LOTS 1990 THRU 1998, OR ANY LOTS NOT PLATTED TO THE NHWE ARE RESTRICTED FROM APPLYING FOR DOCK PERMIT.

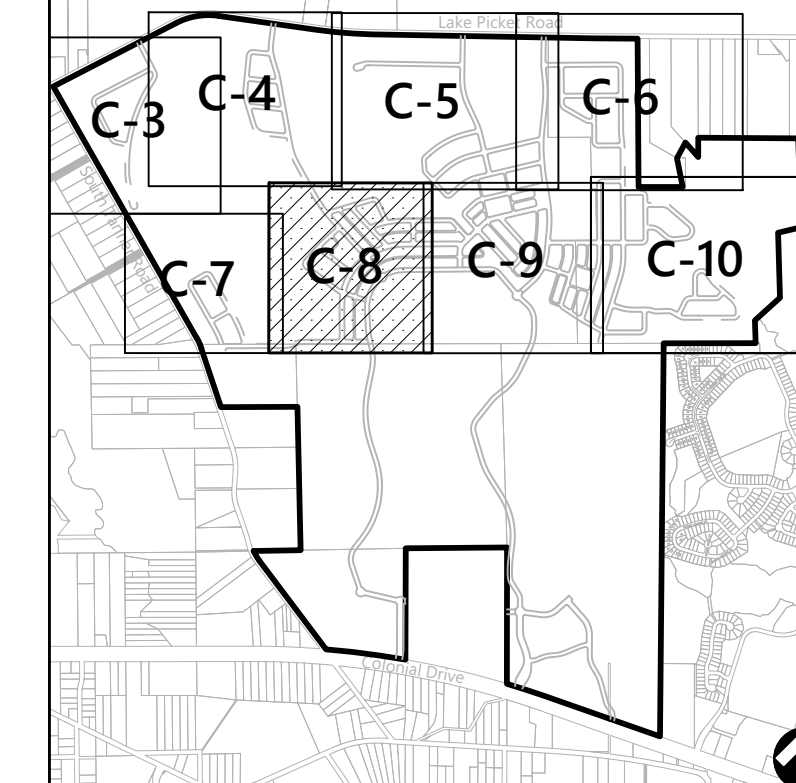




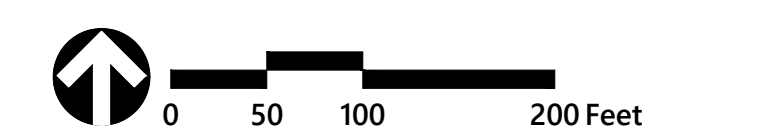


- NOTES:
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  3. LAKE PICKET DEPICTED TURN LANES SHOWN ARE PRELIMINARY. FINAL DESIGN WILL BE BASED ON THE TRAFFIC STUDY AND COORDINATED WITH COUNTY STAFF AT CONSTRUCTION PLAN SUBMITTAL.
  4. LOTS 1138 THRU 1140, LOTS 1253 THRU 1263 OR ANY LOTS NOT PLATTED TO THE NHWE ARE RESTRICTED FROM APPLYING FOR DOCK PERMIT.

225 E. Robinson Street  
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Orlando, FL 32801  
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Number FL #3932



- Key Map**
- Legend**
- PSP BOUNDARY
  - - - PHASE BOUNDARY
  - PD PARCEL LINE
  - - - NORMAL HIGH WATER ELEVATION N.H.W.E.
  - ▨ PRESERVED WETLAND
  - ▨ WETLAND TO BE REMOVED
  - ▨ UPLAND BUFFER/ CONSERVATION EASEMENT/ UNDISTURBED VEGETATED NATURAL BUFFER
  - ▨ NOT IN PROJECT AREA
  - ▨ MASTER INFRASTRUCTURE PSP
  - ENVIRONMENTAL SWALE



**The Grow  
Parcels F1, F2  
Orange County, Florida**

No.	Revision	Date	App'd
7	CDR Request	05/24/2023	
6	Revised per County Comments	10/05/2022	
5	Revised per County Comments	09/16/2022	
4	Revised per County Comments	08/29/2022	
3	Revised per County Comments	07/22/2022	
2	Revised per County Comments	05/06/2022	

Designed by: RAS/BD/JRW  
Checked by: RAS  
Issued for: PSP  
Date: March 04, 2022

**Site Plan**

Drawing Number

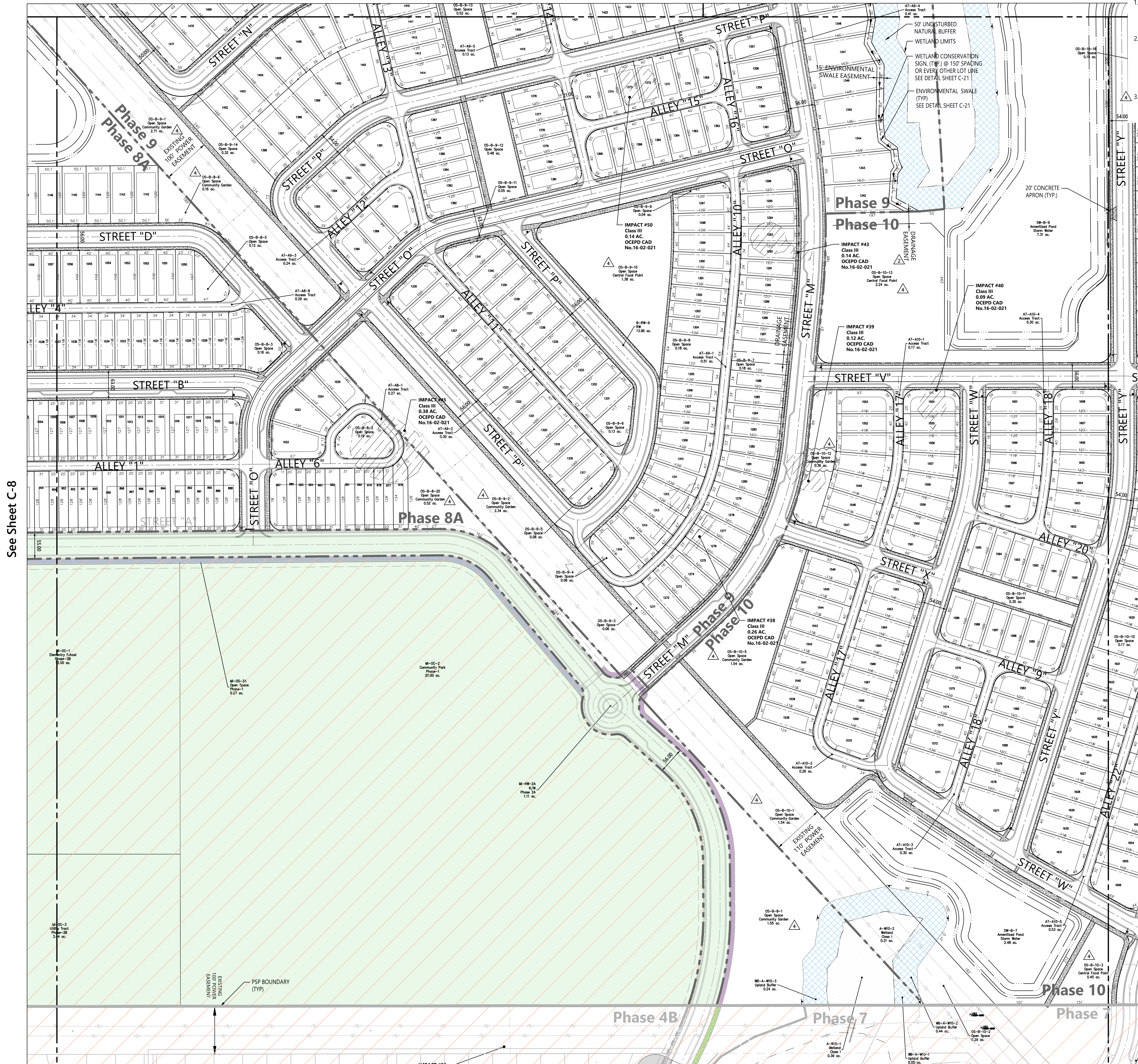
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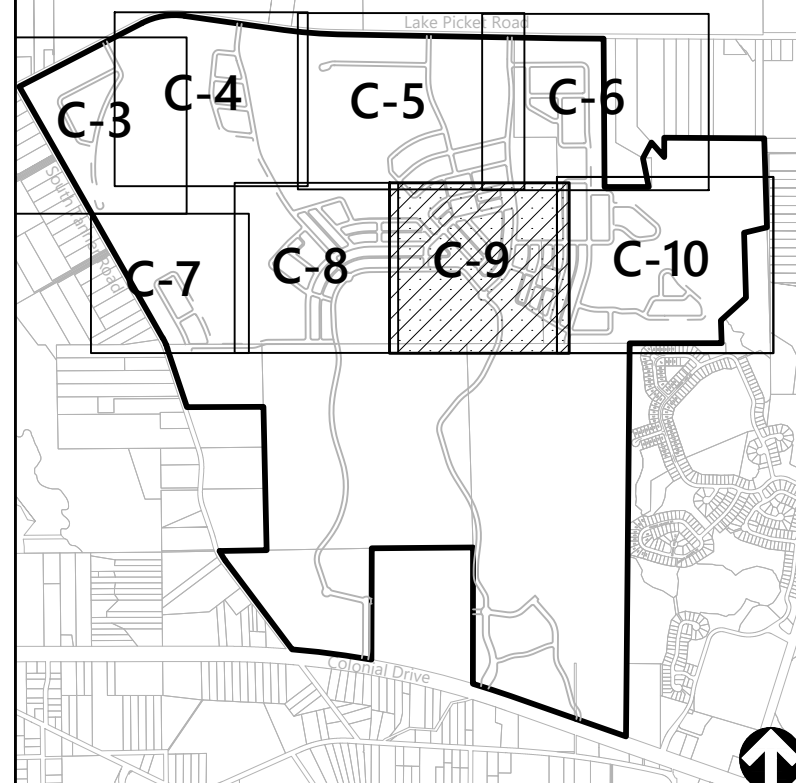
See Sheet C-5

See Sheet C-6

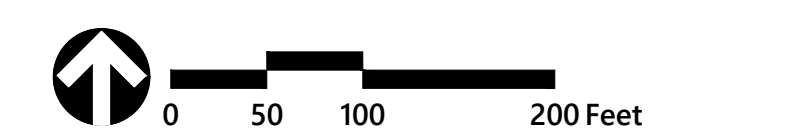


- NOTES:
1. ANY CLEARING OF VEGETATION, WETLAND ENHANCEMENT, OR ALTERING OF THE SHORELINE IN THE UPLAND BUFFER, WETLAND, OR BELOW THE NORMAL HIGH WATER ELEVATION (N.H.W.E.) SHALL REQUIRE APPROVAL BY THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION.
  2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF A PERMIT FOR THE CONSTRUCTION OF A BOAT RAMP. ANY PERSON DESIRING TO CONSTRUCT A BOAT RAMP SHALL APPLY TO THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION FOR AN ORANGE COUNTY BOAT RAMP FACILITY PERMIT, AS WELL AS TO APPLY ANY OTHER ORANGE COUNTY DIVISION(S) FOR ANY OTHER APPLICABLE PERMITS. REFERENCE OC CODE CHAPTER 15 ENVIRONMENTAL CONTROL, ARTICLE XV BOAT RAMPS.
  3. LAKE PICKET DEPICTED TURN LANES SHOWN ARE PRELIMINARY. FINAL DESIGN WILL BE BASED ON THE TRAFFIC STUDY AND COORDINATED WITH COUNTY STAFF AT CONSTRUCTION PLAN SUBMITTAL.

**vhb**  
 225 E. Robinson Street  
 Suite 300  
 Orlando, FL 32801  
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- Key Map**
- Legend**
- PSP BOUNDARY
  - PHASE BOUNDARY
  - - - PD PARCEL LINE
  - - - NORMAL HIGH WATER ELEVATION N.H.W.E.
  - ▨ PRESERVED WETLAND
  - ▨ WETLAND TO BE REMOVED
  - ▨ UPLAND BUFFER/ CONSERVATION EASEMENT/ UNDISTURBED VEGETATED NATURAL BUFFER
  - ▨ NOT IN PROJECT AREA
  - ▨ MASTER INFRASTRUCTURE PSP
  - ENVIRONMENTAL SWALE



**The Grow  
 Parcels F1, F2  
 Orange County, Florida**

No.	Revision	Date	App'd.
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Designed by: RAS/BD/JRW  
 Checked by: RAS  
 Issued for: PSP  
 Date: March 04, 2022

**Site Plan**

Drawing Number

**C-9**

Sheet of

Project Number  
63691.00



See Sheet C-6

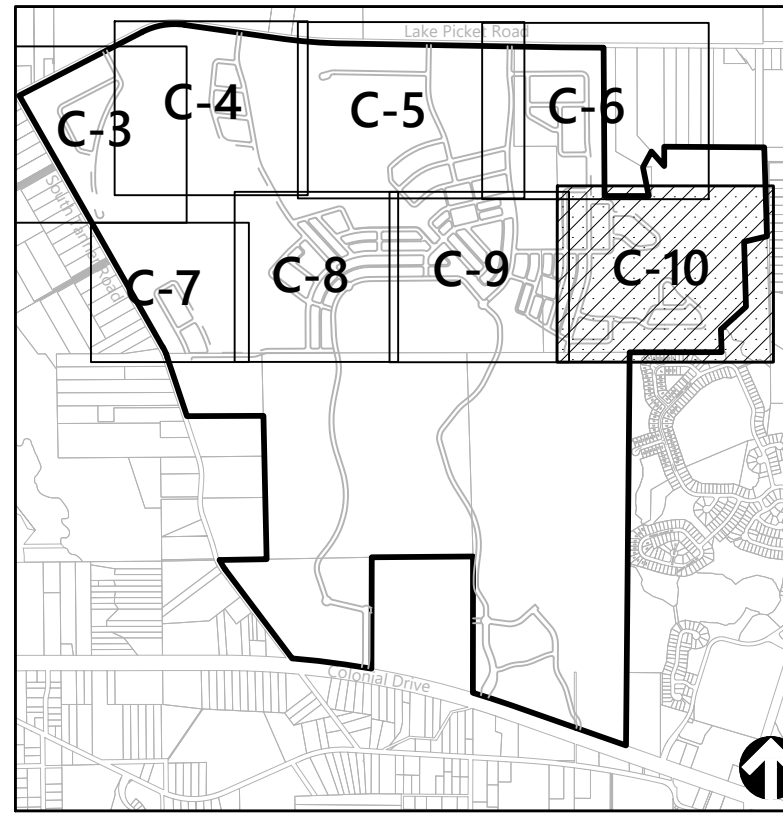
See Sheet C-6

Phase 10

- NOTES:
1. ANY CLEARING OF VEGETATION, WETLAND ENHANCEMENT, OR ALTERING OF THE SHORELINE IN THE UPLAND BUFFER, WETLAND, OR BELOW THE NORMAL HIGH WATER ELEVATION (NHWE) SHALL REQUIRE APPROVAL BY THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION.
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  3. LAKE PICKET DEPICTED TURN LANES SHOWN ARE PRELIMINARY. FINAL DESIGN WILL BE BASED ON THE TRAFFIC STUDY AND COORDINATED WITH COUNTY STAFF AT CONSTRUCTION PLAN SUBMITTAL.
  4. LOTS 1774 THRU 1775, LOTS 1921 THRU 1930, OR ANY LOTS NOT PLATTED TO THE NHWE ARE RESTRICTED FROM APPLYING FOR DOCK PERMIT.



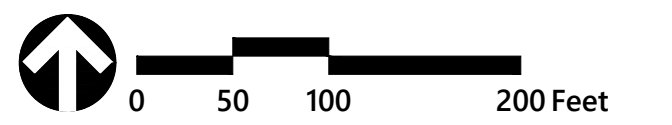
225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932



Key Map

Legend

- PSP BOUNDARY
- - - PHASE BOUNDARY
- PD PARCEL LINE
- - - NORMAL HIGH WATER ELEVATION N.H.W.E.
- ▨ PRESERVED WETLAND
- ▨ WETLAND TO BE REMOVED
- ▨ UPLAND BUFFER/ CONSERVATION EASEMENT/ UNDISTURBED VEGETATED NATURAL BUFFER
- ▨ NOT IN PROJECT AREA
- ▨ MASTER INFRASTRUCTURE PSP
- ENVIRONMENTAL SWALE



The Grow  
Parcels F1, F2  
Orange County, Florida

No.	Revision	Date	App'd.
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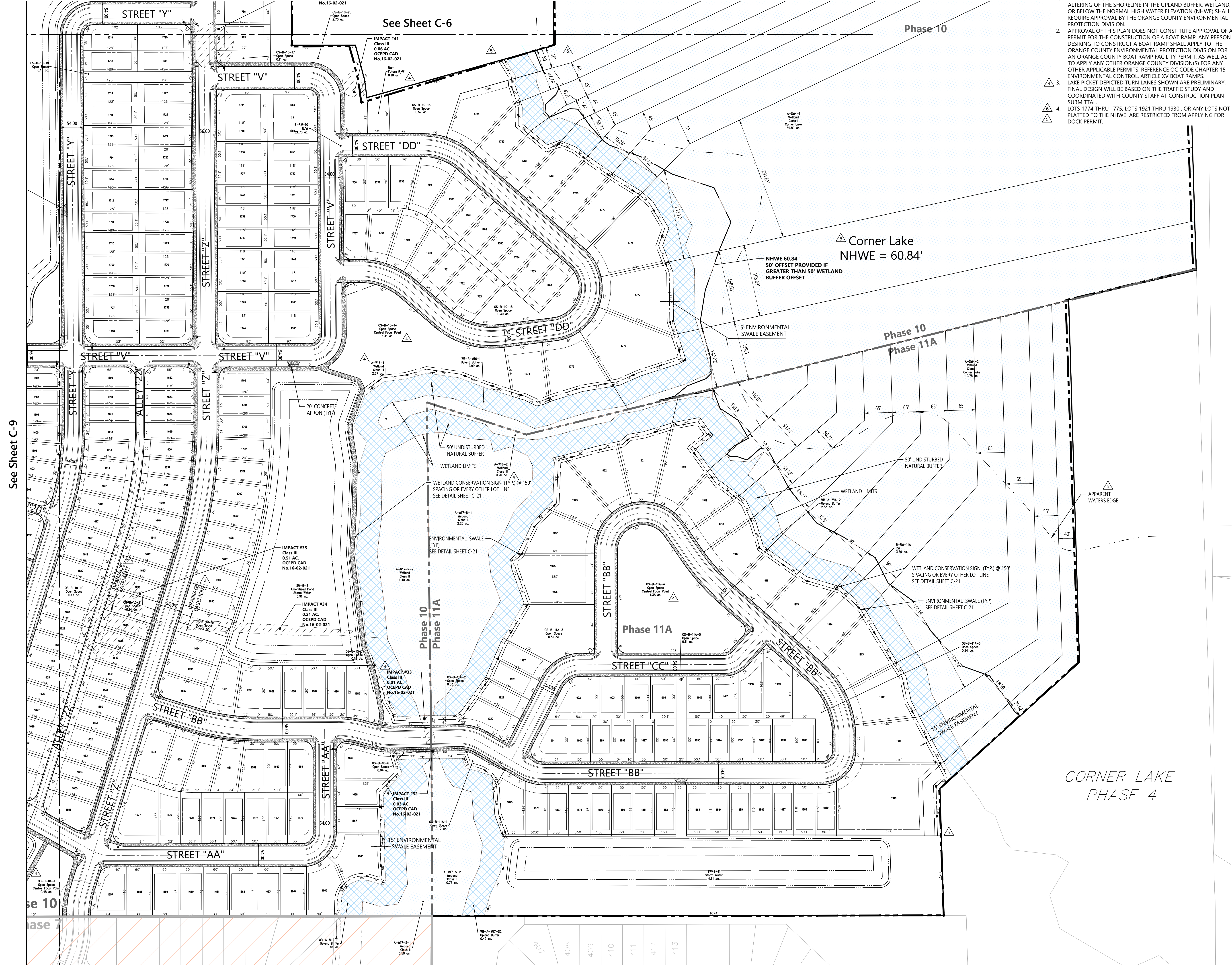
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Drawing Number

C-10

Sheet of

Project Number  
63691.00

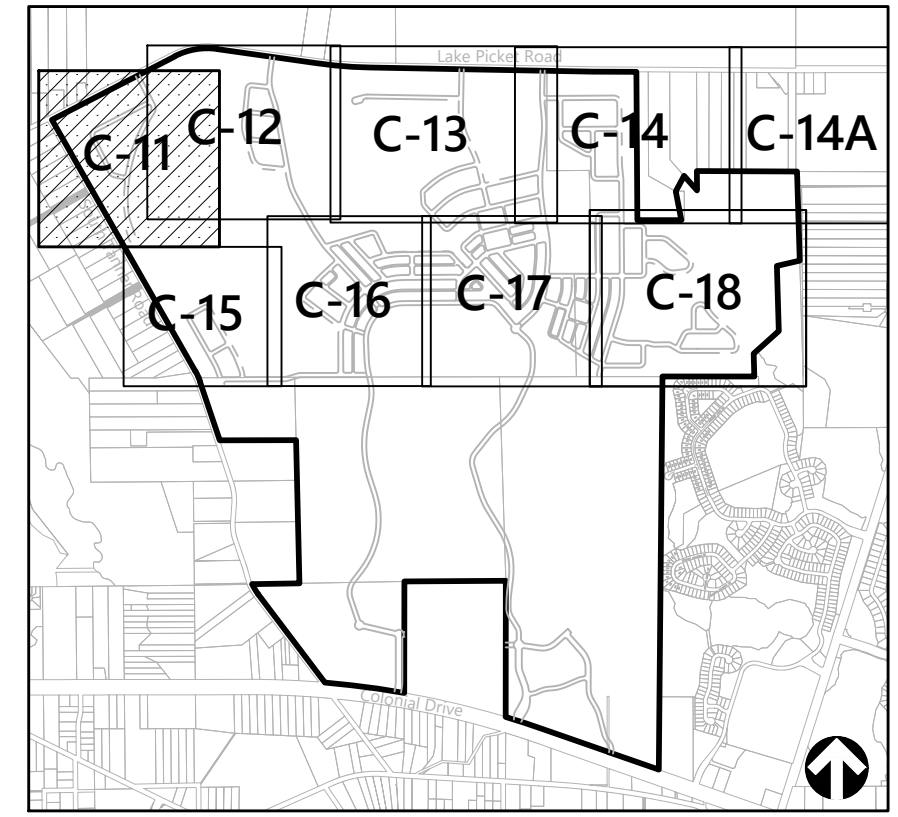


See Sheet C-9

Phase 10

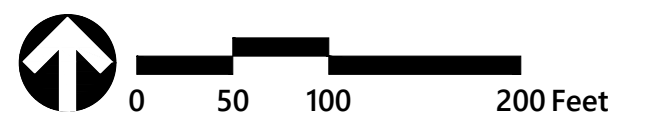
CORNER LAKE  
PHASE 4





Key Map

Legend	
	PROPOSED SANITARY SEWER MAIN/SEWER MANHOLE
	FORCEMAIN
	PROPOSED WATERMAIN / FIRE HYDRANT
	PROPOSED RECLAIMED WATER MAIN
	POLLUTION ABATEMENT SWALE
	PRESERVED WETLAND
	UPLAND BUFFER
	MASTER INFRASTRUCTURE PSP
	NOT IN PROJECT AREA
	PUBLIC UTILITY EASEMENT



The Grow  
Parcels F1, F2  
Orange County, Florida

No.	Revision	Date	App'd
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Date: March 04, 2022

Drainage & Utility Plan

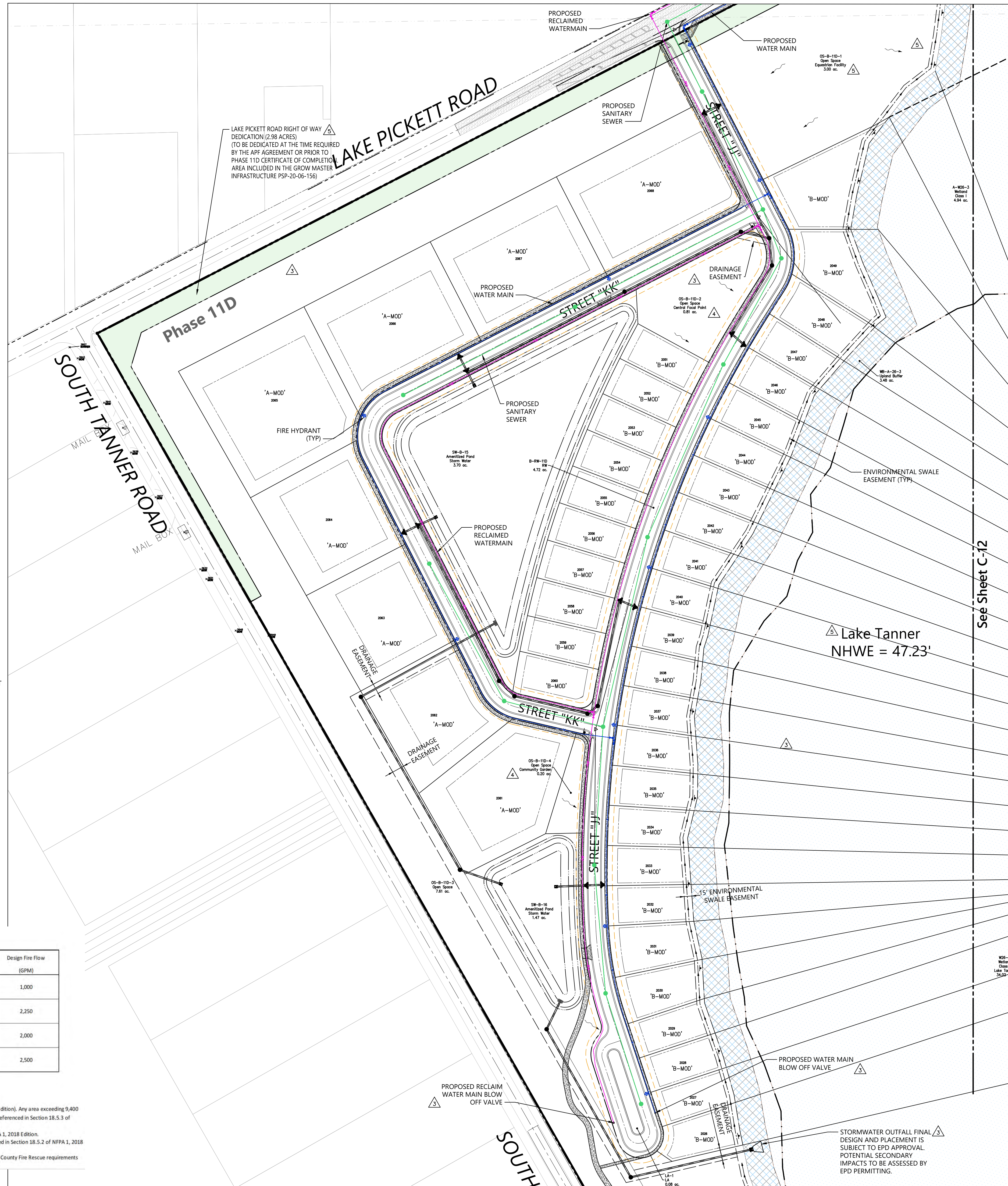
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C-11

Sheet of

Project Number  
63691.00

UPDATED PROJECTED LOT LINES INTO LAKE TANNER AND CORNER LAKE.



- NOTES:
- UTILITY LOCATIONS AS SHOWN ARE CONSIDERED CONCEPTUAL. DURING THE REVIEW OF FINAL CONSTRUCTION PLANS, UTILITIES WILL BE LOCATED TO MEET OCU REQUIREMENTS FOR SEPARATION FROM LANDSCAPE AND HARDSCAPE ELEMENTS. IN ORDER TO SHOW FULL CONFORMANCE WITH OCU STANDARDS, A PERMIT FOR THE LANDSCAPE AND HARDSCAPE IMPROVEMENTS SHALL BE SUBMITTED TO THE ORANGE COUNTY BUILDING DEPARTMENT AND PROCESSED CONCURRENT WITH THE SUBDIVISION PERMIT.
  - FOR PUBLIC GRAVITY SEWER WITHIN AN ALLEY:
    - A MINIMUM 38-FOOT CLEAR ZONE IS REQUIRED FROM STRUCTURE TO STRUCTURE.
    - MINIMUM 26-FOOT ZONE CLEAR OF FENCES. A 26 FOOT UTILITY EASEMENT CENTERED ON THE ALLEY IS REQUIRED.
    - GRAVITY MAINS MUST BE PLACED WITHIN THREE FEET OF THE CENTER OF THE ALLEY.
    - GRAVITY SERVICE CLEANOUTS WILL BE LOCATED APPROXIMATELY TWO FEET FROM THE EDGE OF PAVEMENT, AND SHALL BE TRAFFIC BEARING. INDIVIDUAL LOT OWNERS WILL OWN AND MAINTAIN THEIR WASTEWATER SERVICE FROM THE CLEANOUT TO THE HOME. ALL OTHER SYSTEM COMPONENTS WILL BE OWNED AND MAINTAINED BY OCU.
    - ALL GRAVITY MAINS SHALL BE 8-INCH DIAMETER AND UPGRADED TO SDR-26 PVC PIPE.
    - THE WASTEWATER GRAVITY SYSTEM EXTENDING INTO THE ALLEYWAY WILL HAVE NO MORE THAN ONE MANHOLE (THE TERMINAL MANHOLE). IN ACCORDANCE WITH FDEP REQUIREMENTS, THE MAXIMUM LENGTH OF PIPE BETWEEN THE TERMINAL MANHOLE AND THE DOWNSTREAM MANHOLE LOCATED IN ROAD RIGHT-OF-WAY IS 400 FEET. GRAVITY SYSTEMS CAN EXTEND INTO THE ALLEYWAY FROM EITHER DIRECTION, SO THERE CAN BE TWO MANHOLES LOCATED IN THE SAME ALLEYWAY AS LONG AS BOTH ARE TERMINAL MANHOLES FLOWING IN OPPOSITE DIRECTIONS.
    - GRAVITY MAINS SHALL HAVE A MAXIMUM OF FIVE FEET OF COVER.
  - UTILITIES SHALL BE PLACED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 3' FROM ALL STORMWATER INLETS AND PIPES.

THE PLAT AND THE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&RS) FOR THIS PROJECT SHALL NOTIFY HOMEOWNERS OF THE FOLLOWING:  
1. HOMEOWNERS OWN AND MAINTAIN THEIR INDIVIDUAL WATER AND RECLAIMED WATER SERVICES WHICH EXTEND TO THEIR HOMES FROM PUBLIC WATER AND RECLAIMED WATER METERS LOCATED ADJACENT TO PUBLIC ROAD RIGHT-OF-WAY AND/OR PUBLIC UTILITY EASEMENTS. THE OWNERS OF THE AFFECTED LOTS SHALL BE GRANTED ACCESS TO HOA-OWNED TRACTS FOR THE PURPOSE OF MAINTAINING THEIR WATER AND RECLAIMED WATER SERVICE

The Grow  
Fire Flow Calculations

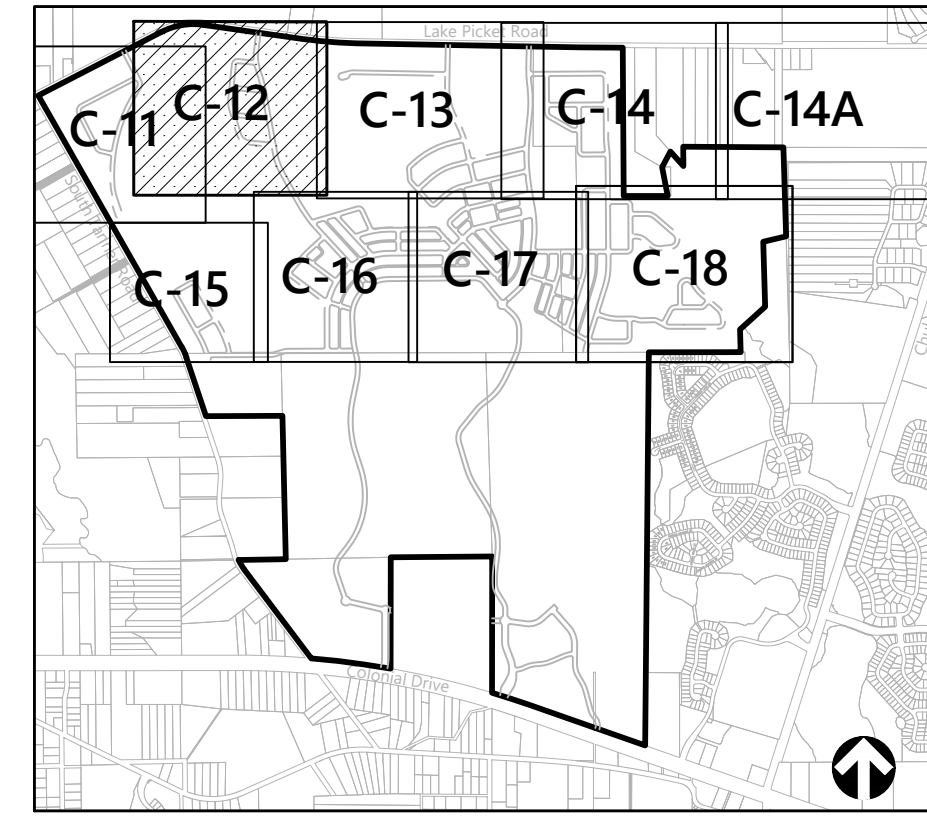
Units	Fire Area (FT <sup>2</sup> )	Average Spacing Between Hydrants (FT)	Maximum Distance to Building (FT)	Design Fire Flow (GPM)
Detached One Family Dwelling <sup>1,3</sup>	< 5,000	800	600	1,000
Detached One Family Dwelling <sup>4,5</sup>	5,001 - 7,700	800	600	2,250
School <sup>6</sup>	66,001-73,000	450	400	2,000
Townhome <sup>3</sup>	< 9,400	450	400	2,500

- Notes:
- All fire hydrants shall be installed in accordance with Chapter 18 of NFPA 1, 2018 Edition.
  - Fire flow for Single Family Units based on Section 18.4.5.1.1 of NFPA 1, 2018 Edition for units less than 5,000 FT<sup>2</sup>.
  - Needed fire flow for townhome units based on maximum fire area of 9,400 FT<sup>2</sup> (Table 18.4.5.2.1 of NFPA 1, 2018 Edition). Any area exceeding 9,400 FT<sup>2</sup> will be separated with 4-hour fire walls. Average spacing between hydrants and maximum distance to building referenced in Section 18.5.3 of NFPA 1, 2018 Edition.
  - Single Family Units exceeding 5,000 square feet shall provide fire flow in accordance with Table 18.4.5.2.1 of NFPA 1, 2018 Edition.
  - Average spacing between hydrants and maximum distance to building for Detached One Family Dwellings referenced in Section 18.5.2 of NFPA 1, 2018 Edition.
  - The school square footage is assumed to be between 66,001-73,000 sq. ft. (based off site acreage). As per Orange County Fire Rescue requirements for schools, the fire flow for the school is 2,000 GPM.

See Sheet C-15

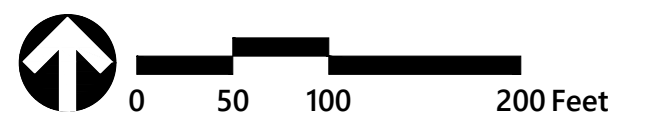
See Sheet C-12





Key Map

Legend	
	PROPOSED SANITARY SEWER MAIN/ SEWER MANHOLE
	FORCEMAIN
	PROPOSED WATERMAIN / FIRE HYDRANT
	PROPOSED RECLAIMED WATER MAIN
	POLLUTION ABATEMENT SWALE
	PRESERVED WETLAND
	UPLAND BUFFER
	MASTER INFRASTRUCTURE PSP
	NOT IN PROJECT AREA
	PUBLIC UTILITY EASEMENT



### The Grow Parcels F1, F2 Orange County, Florida

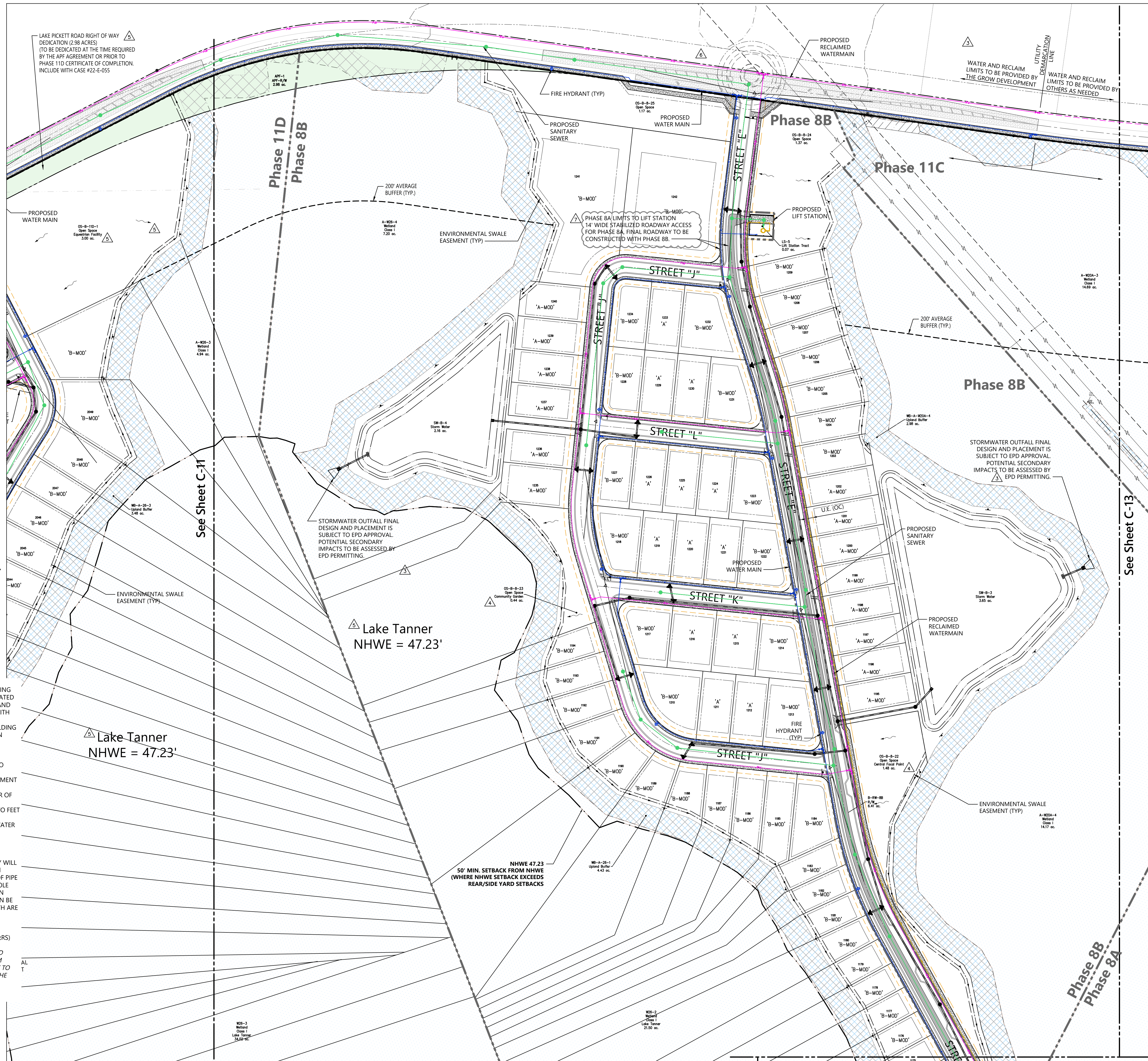
No.	Revision	Date	App'd.
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Designed by: RAS/BD/JRW  
Checked by: RAS  
Issued for: PSP  
Date: March 04, 2022

Drawing Title  
**Drainage & Utility Plan**

Drawing Number  
**C-12**

Sheet of



UPDATED PROJECTED LOT LINES INTO LAKE TANNER AND CORNER LAKE.

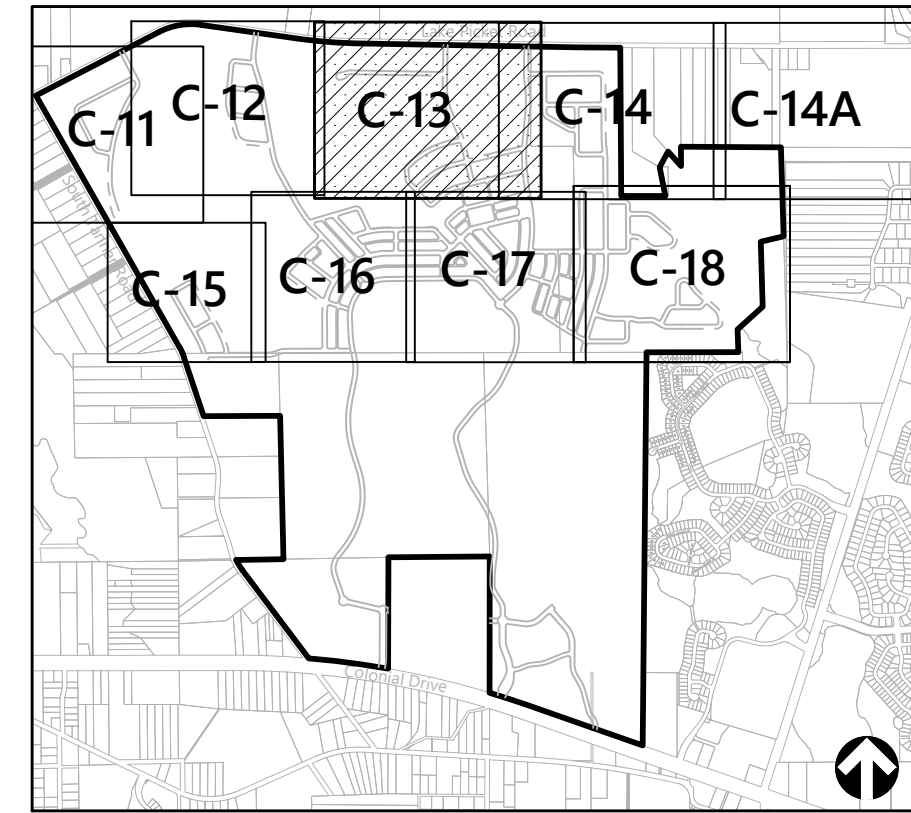
- NOTES:
- UTILITY LOCATIONS AS SHOWN ARE CONSIDERED CONCEPTUAL. DURING THE REVIEW OF FINAL CONSTRUCTION PLANS, UTILITIES WILL BE LOCATED TO MEET OCU REQUIREMENTS FOR SEPARATION FROM LANDSCAPE AND HARDSCAPE ELEMENTS. IN ORDER TO SHOW FULL CONFORMANCE WITH OCU STANDARDS, A PERMIT FOR THE LANDSCAPE AND HARDSCAPE IMPROVEMENTS SHALL BE SUBMITTED TO THE ORANGE COUNTY BUILDING DEPARTMENT AND PROCESSED CONCURRENT WITH THE SUBDIVISION PERMIT.
  - FOR PUBLIC GRAVITY SEWER WITHIN AN ALLEY:
    - A MINIMUM 38-FOOT CLEAR ZONE IS REQUIRED FROM STRUCTURE TO STRUCTURE.
    - MINIMUM 26-FOOT ZONE CLEAR OF FENCES. A 26 FOOT UTILITY EASEMENT CENTERED ON THE ALLEY IS REQUIRED.
    - GRAVITY MAINS MUST BE PLACED WITHIN THREE FEET OF THE CENTER OF THE ALLEY.
    - GRAVITY SERVICE CLEANOUTS WILL BE LOCATED APPROXIMATELY TWO FEET FROM THE EDGE OF PAVEMENT, AND SHALL BE TRAFFIC BEARING. INDIVIDUAL LOT OWNERS WILL OWN AND MAINTAIN THEIR WASTEWATER SERVICE FROM THE CLEANOUT TO THE HOME. ALL OTHER SYSTEM COMPONENTS WILL BE OWNED AND MAINTAINED BY OCU.
    - ALL GRAVITY MAINS SHALL BE 8-INCH DIAMETER AND UPGRADED TO SDR-26 PVC PIPE.
    - THE WASTEWATER GRAVITY SYSTEM EXTENDING INTO THE ALLEYWAY WILL HAVE NO MORE THAN ONE MANHOLE (THE TERMINAL MANHOLE). IN ACCORDANCE WITH FDPER REQUIREMENTS, THE MAXIMUM LENGTH OF PIPE BETWEEN THE TERMINAL MANHOLE AND THE DOWNSTREAM MANHOLE LOCATED IN ROAD RIGHT-OF-WAY IS 400 FEET. GRAVITY SYSTEMS CAN EXTEND INTO THE ALLEYWAY FROM EITHER DIRECTION, SO THERE CAN BE TWO MANHOLES LOCATED IN THE SAME ALLEYWAY AS LONG AS BOTH ARE TERMINAL MANHOLES FLOWING IN OPPOSITE DIRECTIONS.
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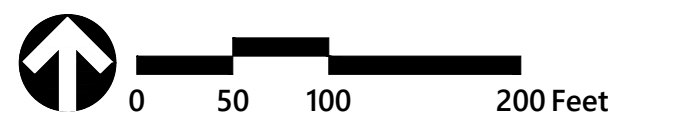
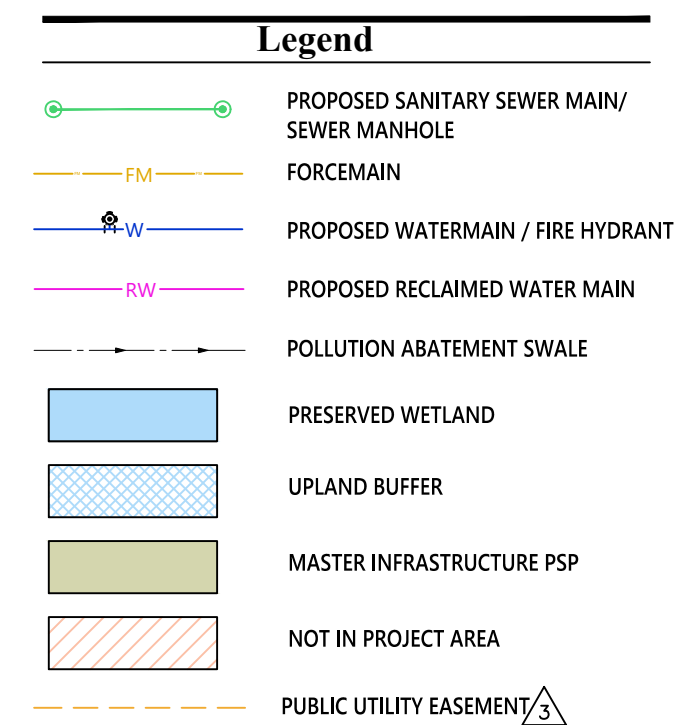
See Sheet C-16

See Sheet C-17





Key Map



The Grow  
Parcels F1, F2  
Orange County, Florida

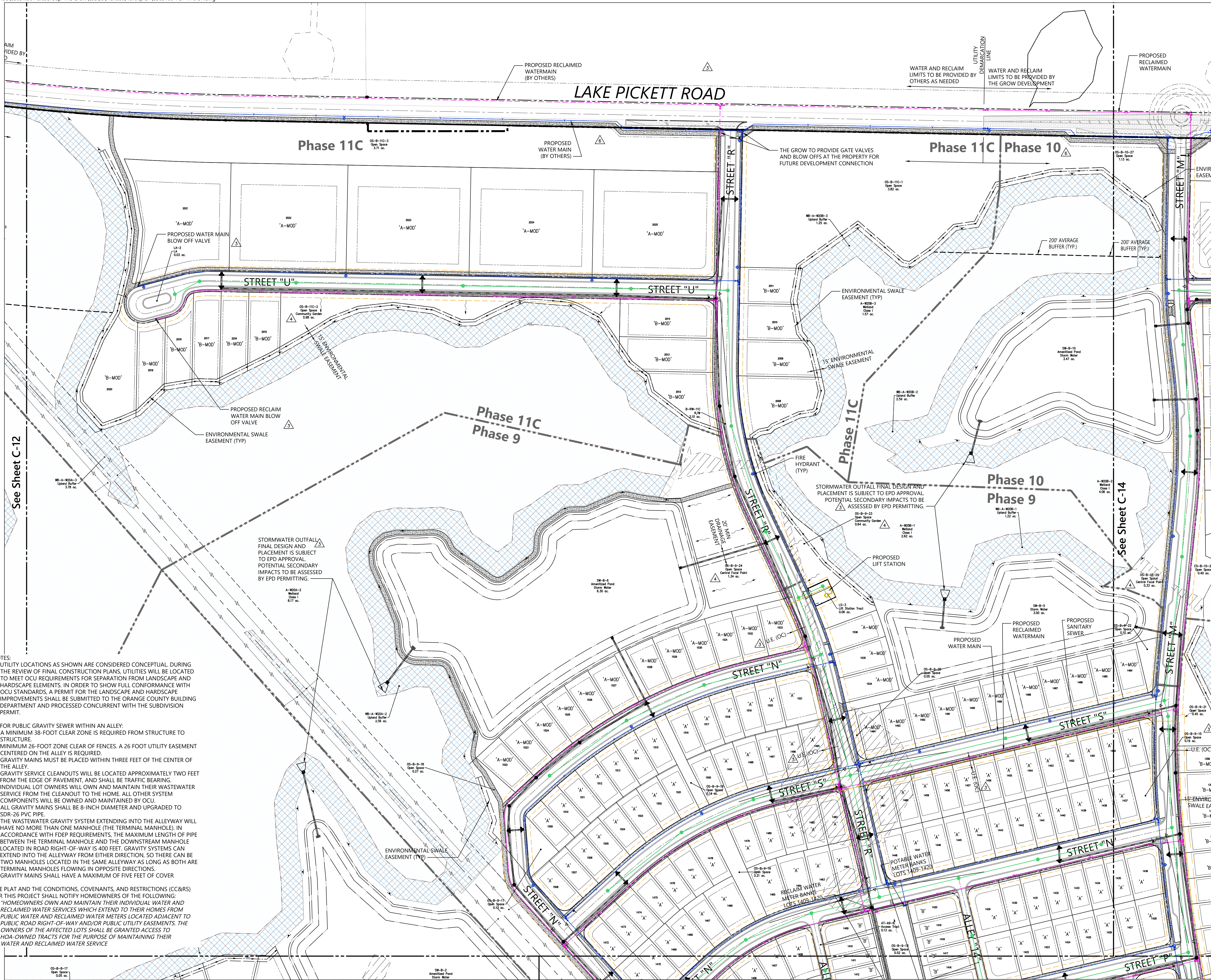
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Designed by RAS/BD/JRW Checked by RAS  
Issued for PSP Date March 04, 2022

Drainage & Utility Plan

C-13

Sheet of



NOTES:  
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2. FOR PUBLIC GRAVITY SEWER WITHIN AN ALLEY:  
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• GRAVITY SERVICE CLEANOUTS WILL BE LOCATED APPROXIMATELY TWO FEET FROM THE EDGE OF PAVEMENT, AND SHALL BE TRAFFIC BEARING.  
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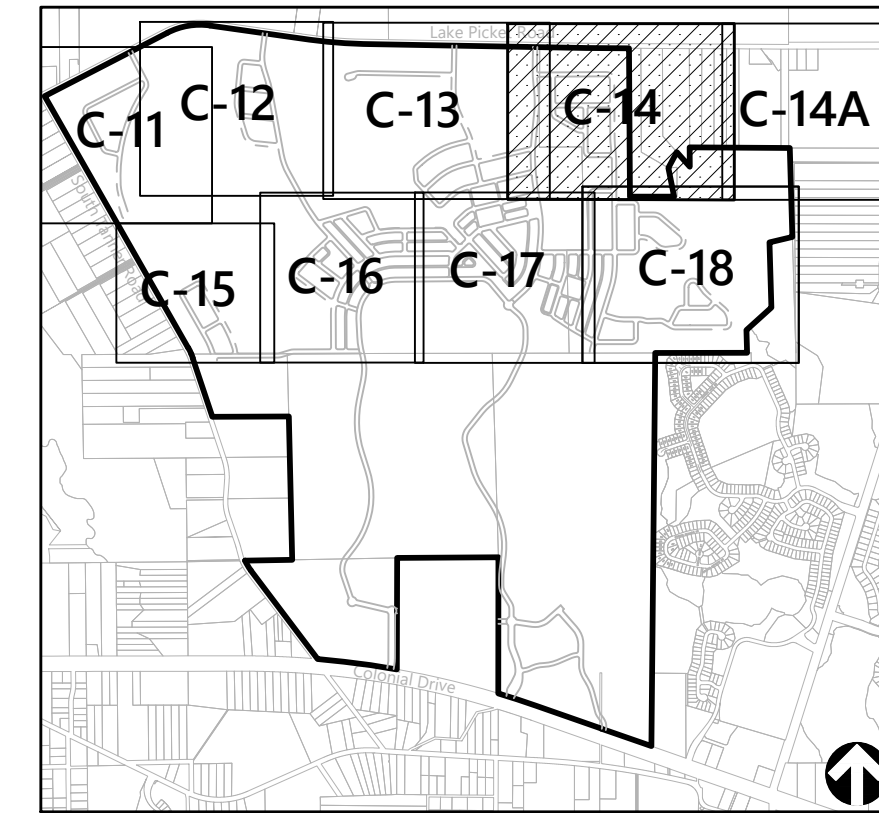
See Sheet C-16

See Sheet C-17



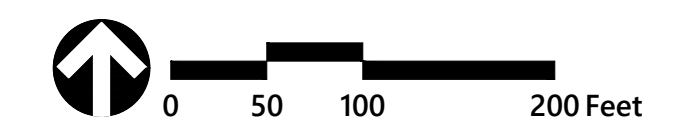


225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932



Key Map

Legend	
	PROPOSED SANITARY SEWER MAIN/ SEWER MANHOLE
	FORCEMAIN
	PROPOSED WATERMAIN / FIRE HYDRANT
	PROPOSED RECLAIMED WATER MAIN
	POLLUTION ABATEMENT SWALE
	PRESERVED WETLAND
	UPLAND BUFFER
	MASTER INFRASTRUCTURE PSP
	NOT IN PROJECT AREA
	PUBLIC UTILITY EASEMENT



The Grow  
Parcels F1, F2  
Orange County, Florida

No.	Revision	Date	App'd.
7	CDR Request	05/24/2023	
6	Revised per County Comments	10/05/2022	
5	Revised per County Comments	09/16/2022	
4	Revised per County Comments	08/29/2022	
3	Revised per County Comments	07/22/2022	
2	Revised per County Comments	05/06/2022	

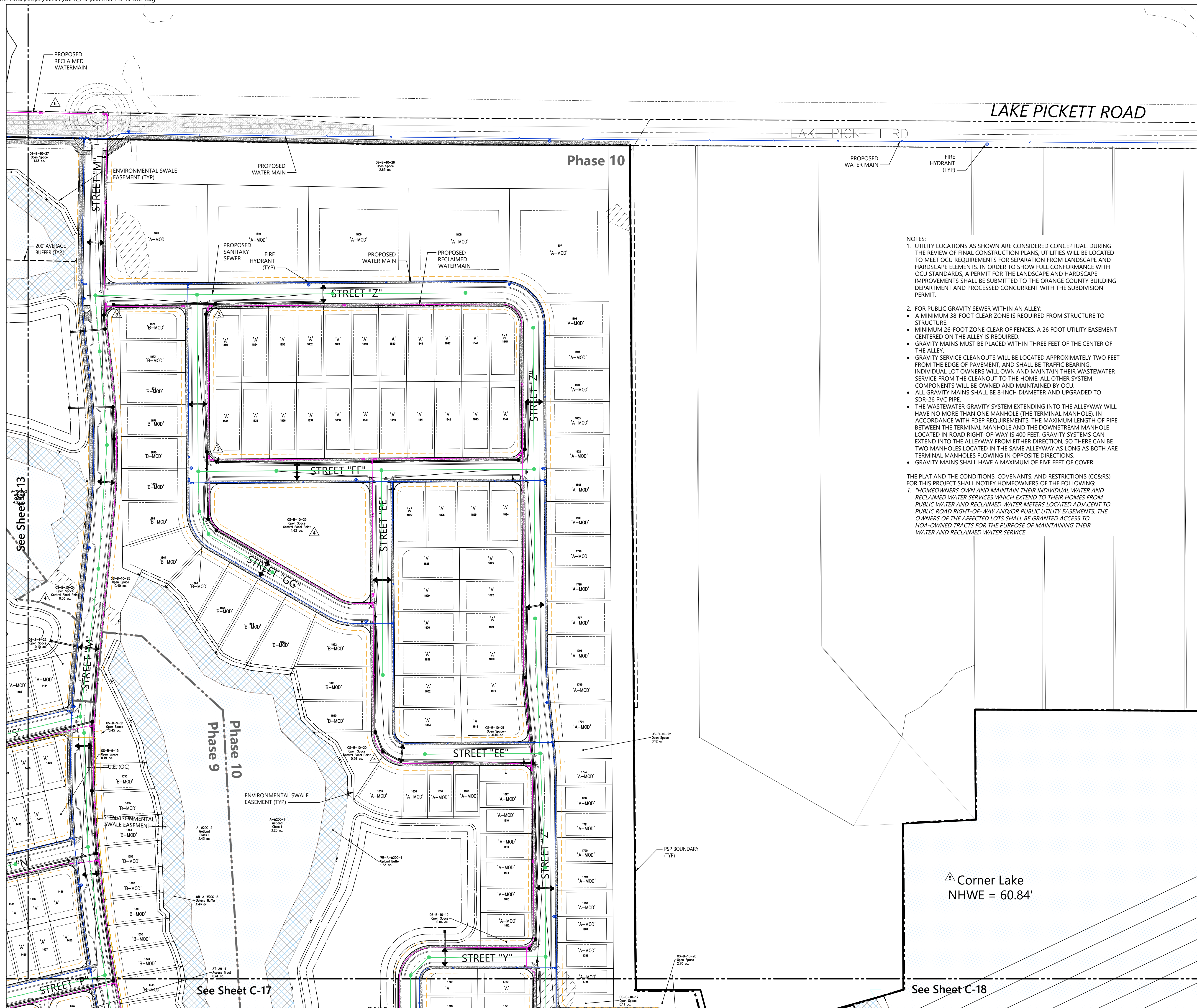
Designed by: RAS/BD/JRW  
Issued for: PSP  
Date: March 04, 2022  
Checked by: RAS

Drawing Title: **Drainage & Utility Plan**  
Drawing Number: \_\_\_\_\_

**C-14**

Sheet of \_\_\_\_\_

Project Number: 63691.00



NOTES:

- UTILITY LOCATIONS AS SHOWN ARE CONSIDERED CONCEPTUAL DURING THE REVIEW OF FINAL CONSTRUCTION PLANS. UTILITIES WILL BE LOCATED TO MEET OCU REQUIREMENTS FOR SEPARATION FROM LANDSCAPE AND HARDSCAPE ELEMENTS. IN ORDER TO SHOW FULL CONFORMANCE WITH OCU STANDARDS, A PERMIT FOR THE LANDSCAPE AND HARDSCAPE IMPROVEMENTS SHALL BE SUBMITTED TO THE ORANGE COUNTY BUILDING DEPARTMENT AND PROCESSED CONCURRENT WITH THE SUBDIVISION PERMIT.

- FOR PUBLIC GRAVITY SEWER WITHIN AN ALLEY:
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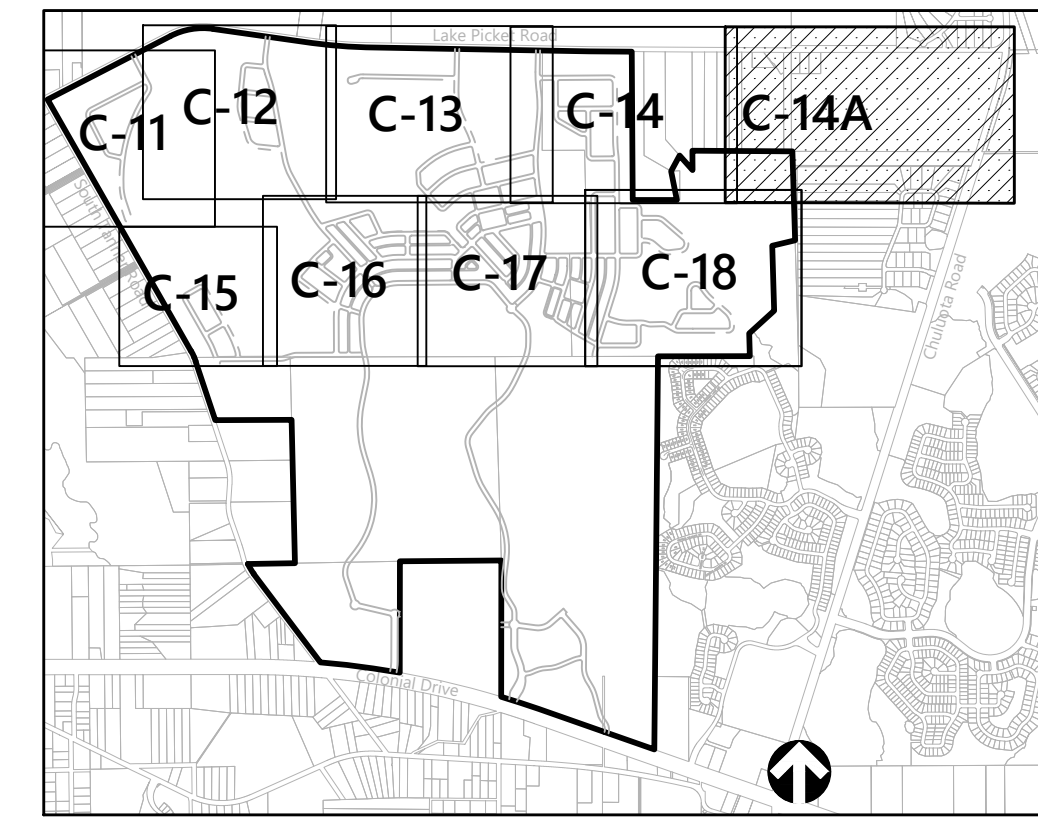
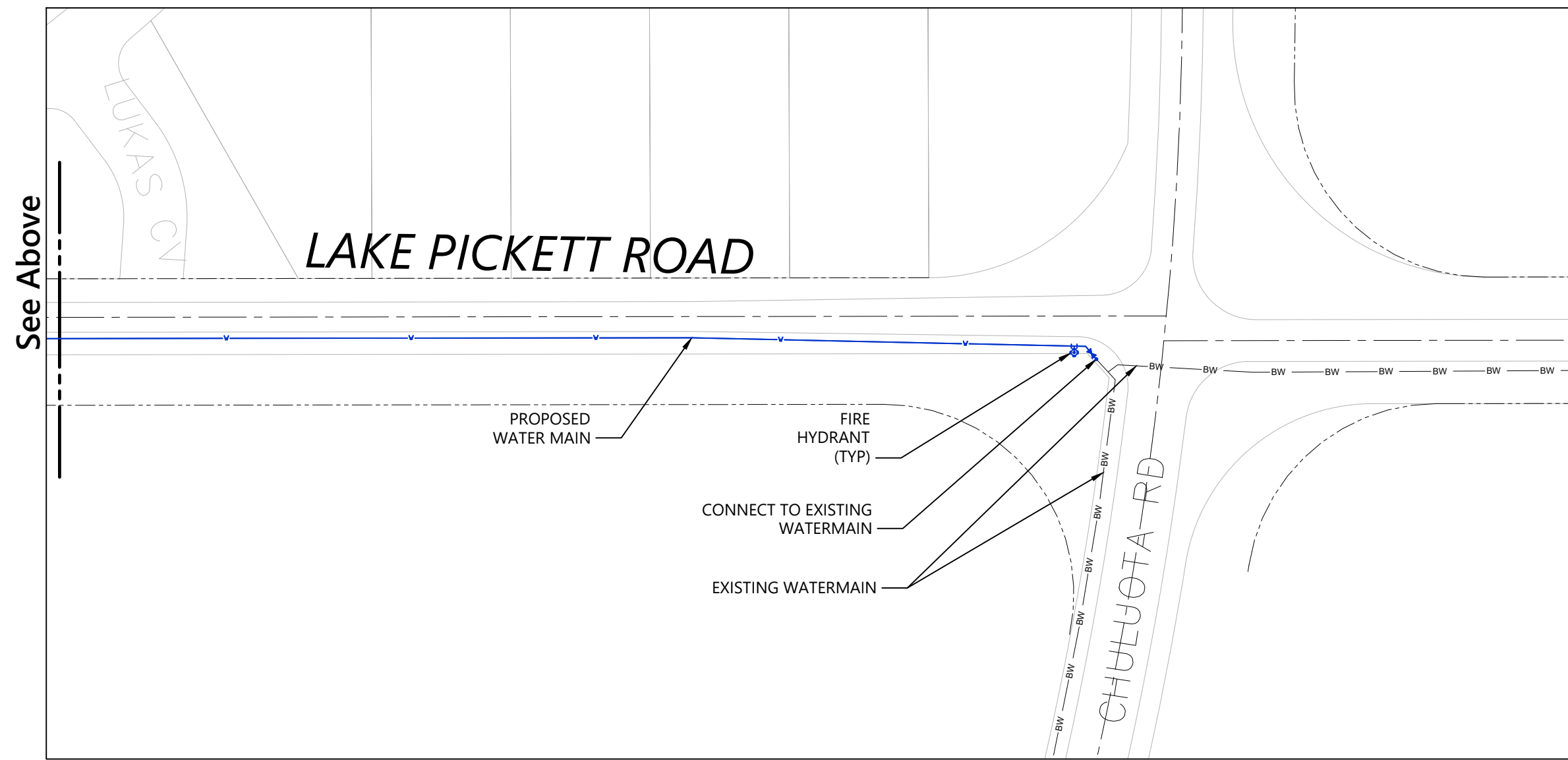
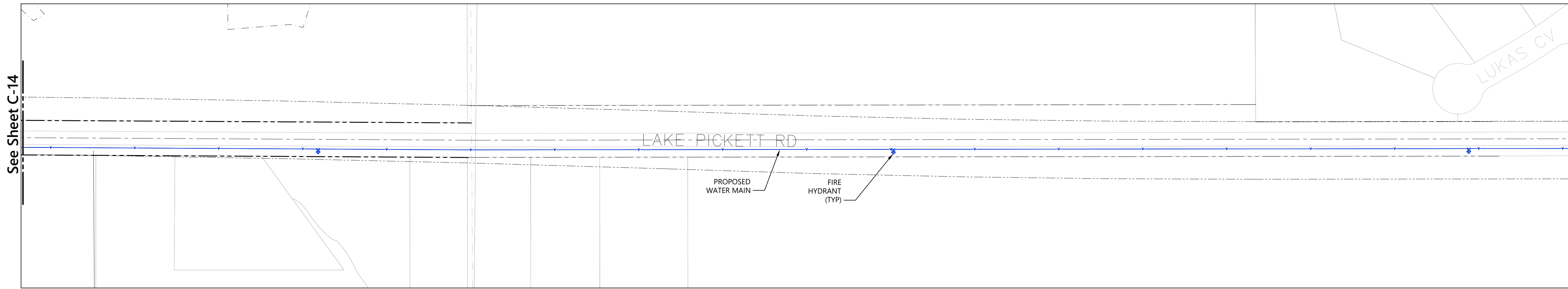
Corner Lake  
NHWE = 60.84'

Saved Tuesday, July 11, 2023 3:58:30 PM JWHITE Plotted Tuesday, July 11, 2023 4:19:42 PM JWF White





225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932



Key Map

Legend	
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	FORCEMAIN
	PROPOSED WATERMAIN / FIRE HYDRANT
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The Grow  
Parcels F1, F2  
Orange County, Florida

No.	Revision	Date	App'd.
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2	Revised per County Comments	05/06/2022	

Designed by: RAS/BD/JRW  
 Checked by: RAS  
 Issued for: PSP  
 Date: March 04, 2022

Drawing Title  
**Drainage & Utility Plan**  
 Drawing Number

C-14A

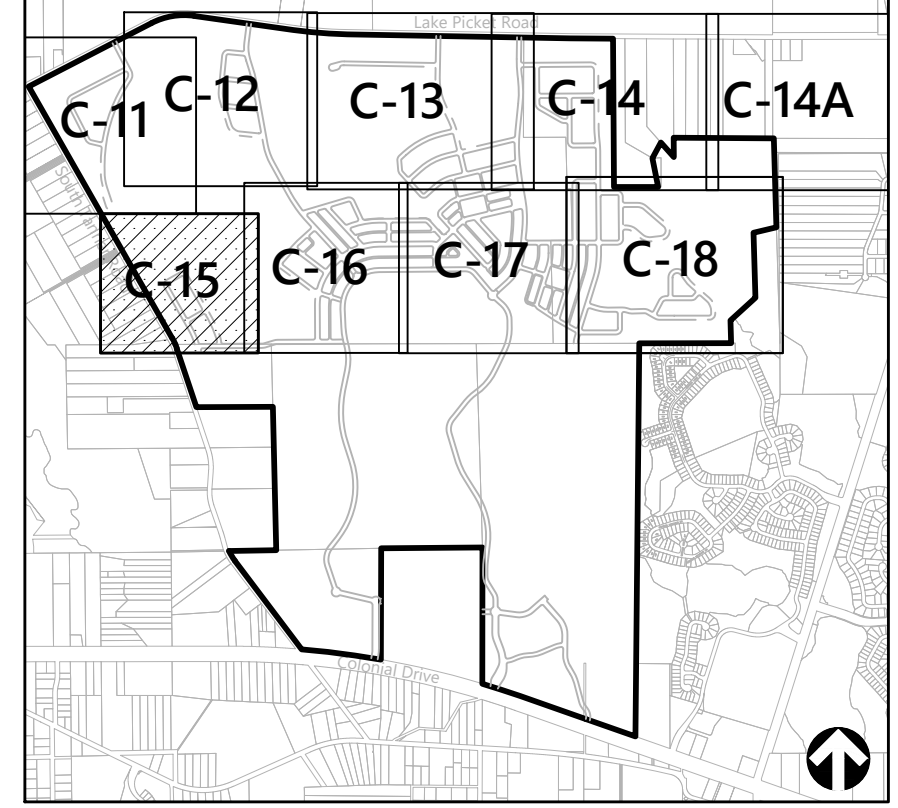
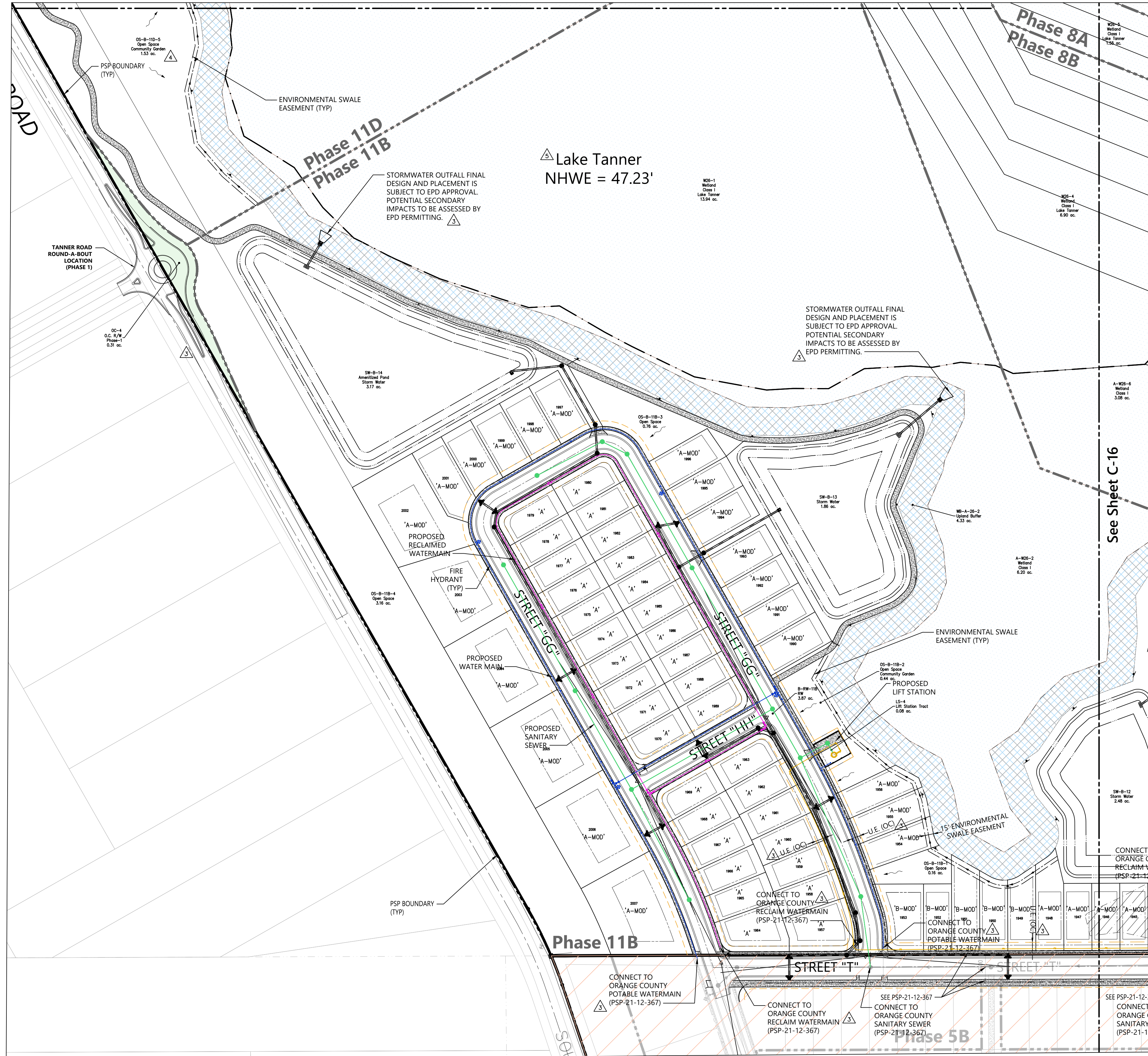
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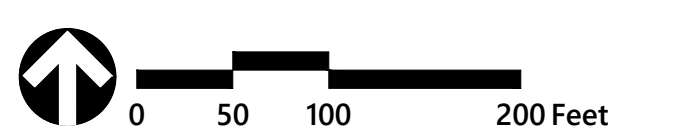
225 E. Robinson Street  
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Number FL #3932

See Sheet C-11



Key Map

Legend	
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Designed by: RAS/BD/JRW  
Checked by: RAS  
Date: March 04, 2022

Issued for: **PSP**

Drawing Title: **Drainage & Utility Plan**

Drawing Number: **C-15**

Sheet of **C-15**

Project Number: **63691.00**

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    - GRAVITY MAINS SHALL HAVE A MAXIMUM OF FIVE FEET OF COVER
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