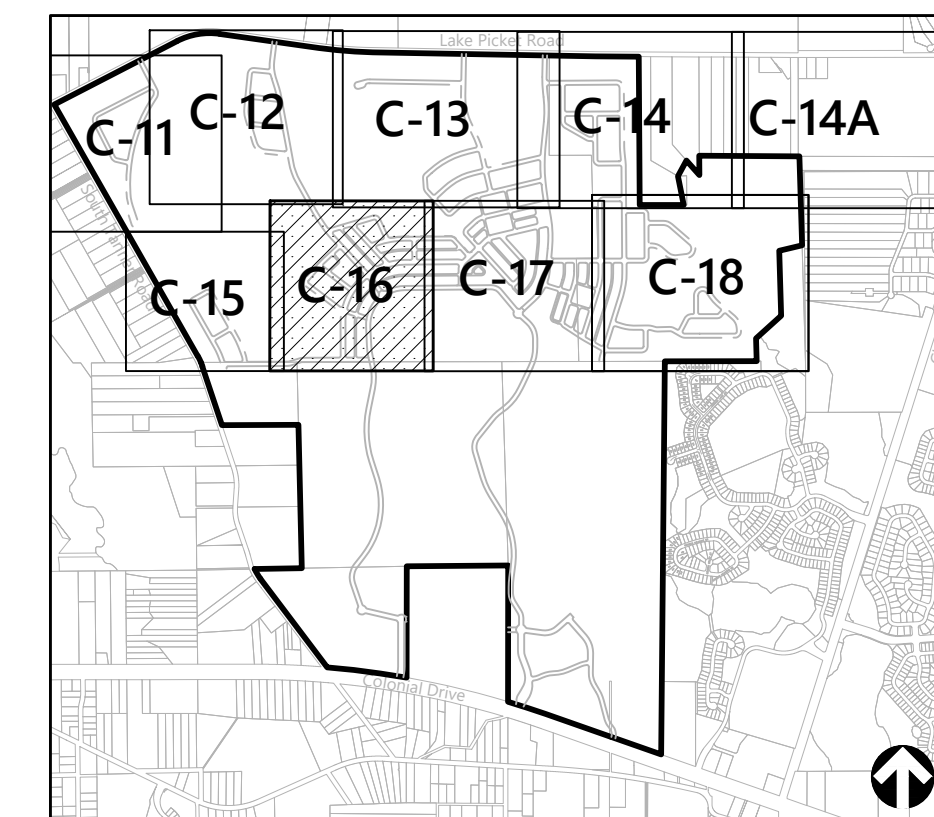




225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932



Key Map

| Legend | |
|--------|---|
| | PROPOSED SANITARY SEWER MAIN/ SEWER MANHOLE |
| | FORCEMAIN |
| | PROPOSED WATERMAIN / FIRE HYDRANT |
| | PROPOSED RECLAIMED WATER MAIN |
| | POLLUTION ABATEMENT SWALE |
| | PRESERVED WETLAND |
| | UPLAND BUFFER |
| | MASTER INFRASTRUCTURE PSP |
| | NOT IN PROJECT AREA |
| | PUBLIC UTILITY EASEMENT |



The Grow Parcels F1, F2 Orange County, Florida

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Designed by: RAS/BD/JRW
Checked by: RAS
Issued for: PSP
Date: March 04, 2022

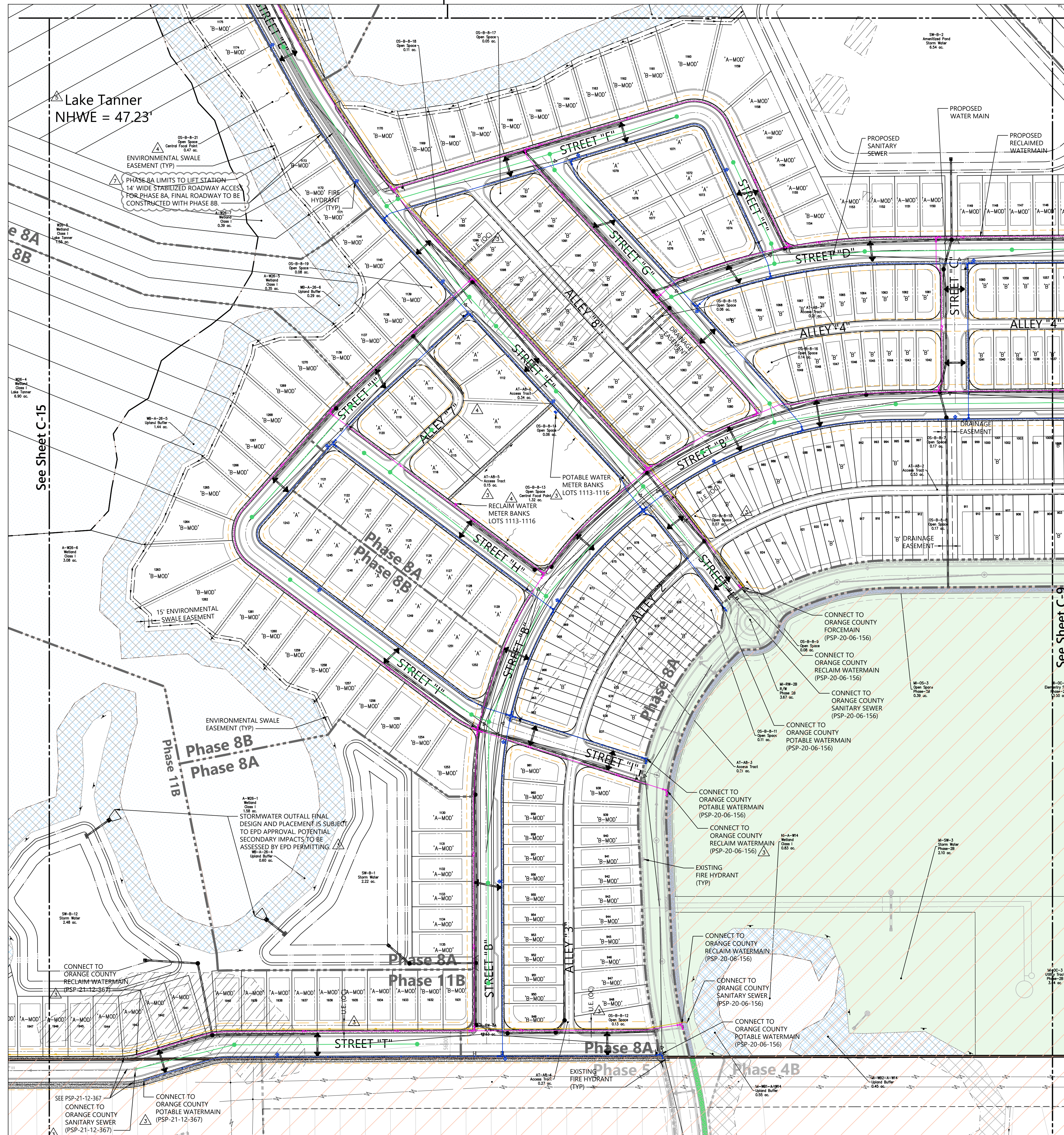
Drainage & Utility Plan

Drawing Number

C-16

Sheet of

Project Number
63691.00



See Sheet C-15

See Sheet C-9

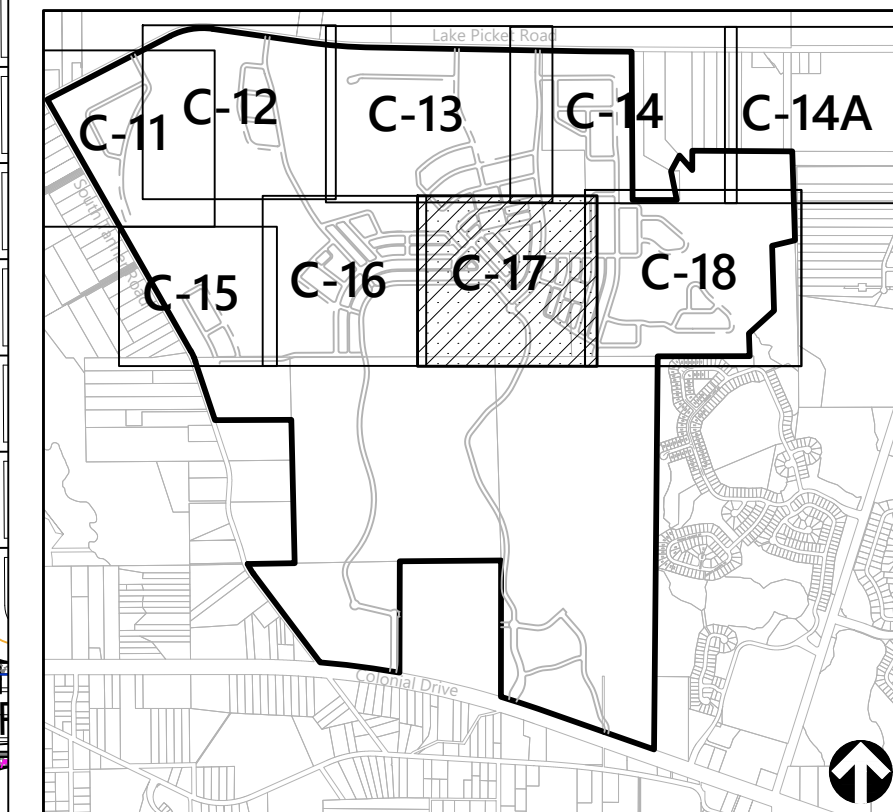
Lake Tanner
NHWE = 47.23'

UPDATED PROJECTED LOT LINES INTO LAKE TANNER AND CORNER LAKE.

NOTE: SANITARY SEWER SERVICES FOR THE LOTS FRONTING STREET A WILL BE COORDINATED WITH DEVELOPMENT ENGINEERING AND UTILITIES AT FINAL CONSTRUCTION PLANS. OPTIONS FOR THE SANITARY SEWER SERVICES ALONG STREET A HAVE BEEN PROVIDED TO ORANGE COUNTY FOR CONSIDERATION.

- NOTES:
- UTILITY LOCATIONS AS SHOWN ARE CONSIDERED CONCEPTUAL. DURING THE REVIEW OF FINAL CONSTRUCTION PLANS, UTILITIES WILL BE LOCATED TO MEET OCU REQUIREMENTS FOR SEPARATION FROM LANDSCAPE AND HARDSCAPE ELEMENTS. IN ORDER TO SHOW FULL CONFORMANCE WITH OCU STANDARDS, A PERMIT FOR THE LANDSCAPE AND HARDSCAPE IMPROVEMENTS SHALL BE SUBMITTED TO THE ORANGE COUNTY BUILDING DEPARTMENT AND PROCESSED CONCURRENT WITH THE SUBDIVISION PERMIT.
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 - A MINIMUM 38-FOOT CLEAR ZONE IS REQUIRED FROM STRUCTURE TO STRUCTURE.
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 - ALL GRAVITY MAINS SHALL BE 8-INCH DIAMETER AND UPGRADED TO SDR-26 PVC PIPE.
 - THE WASTEWATER GRAVITY SYSTEM EXTENDING INTO THE ALLEYWAY WILL HAVE NO MORE THAN ONE MANHOLE (THE TERMINAL MANHOLE), IN ACCORDANCE WITH FDEP REQUIREMENTS, THE MAXIMUM LENGTH OF PIPE BETWEEN THE TERMINAL MANHOLE AND THE DOWNSTREAM MANHOLE LOCATED IN ROAD RIGHT-OF-WAY IS 400 FEET. GRAVITY SYSTEMS CAN EXTEND INTO THE ALLEYWAY FROM EITHER DIRECTION, SO THERE CAN BE TWO MANHOLES LOCATED IN THE SAME ALLEYWAY AS LONG AS BOTH ARE TERMINAL MANHOLES FLOWING IN OPPOSITE DIRECTIONS.
 - GRAVITY MAINS SHALL HAVE A MAXIMUM OF FIVE FEET OF COVER
 - UTILITIES SHALL BE PLACED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 3' FROM ALL STORMWATER INLETS AND PIPES.

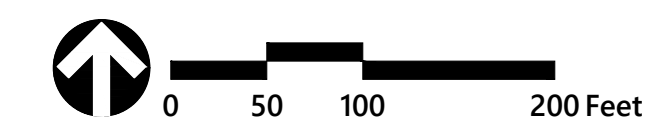
THE PLAT AND THE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&RS) FOR THIS PROJECT SHALL NOTIFY HOMEOWNERS OF THE FOLLOWING:
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Key Map

Legend

- PROPOSED SANITARY SEWER MAIN/ SEWER MANHOLE
- FORCEMAIN
- PROPOSED WATERMAIN / FIRE HYDRANT
- PROPOSED RECLAIMED WATER MAIN
- POLLUTION ABATEMENT SWALE
- PRESERVED WETLAND
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- NOT IN PROJECT AREA
- PUBLIC UTILITY EASEMENT



**The Grow
Parcels F1, F2
Orange County, Florida**

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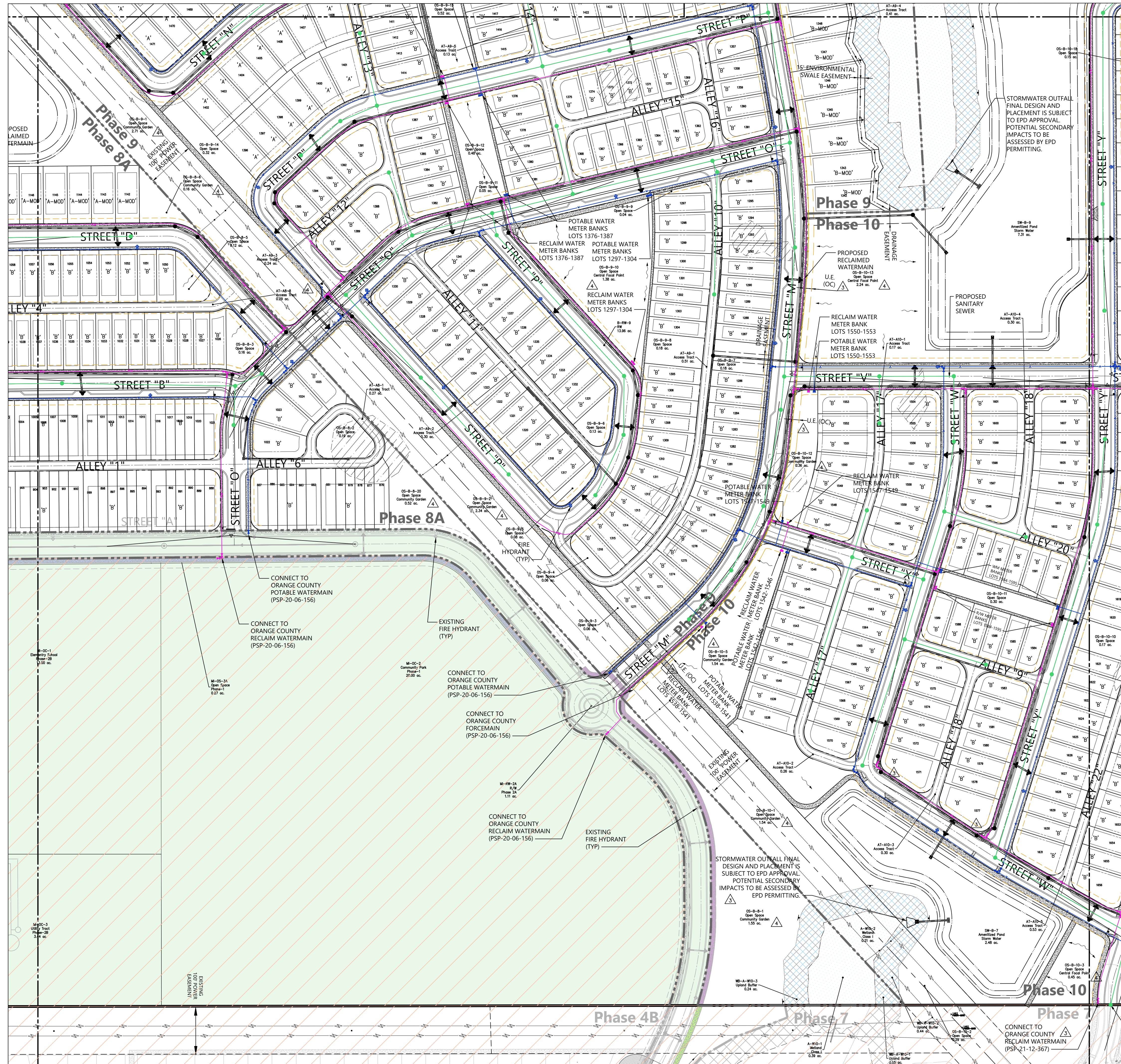
Drainage & Utility Plan

Sheet **C-17** of

NOTE: SANITARY SEWER SERVICES FOR THE LOTS FRONTING STREET A WILL BE COORDINATED WITH DEVELOPMENT ENGINEERING AND UTILITIES AT FINAL CONSTRUCTION PLANS. OPTIONS FOR THE SANITARY SEWER SERVICES ALONG STREET A HAVE BEEN PROVIDED TO ORANGE COUNTY FOR CONSIDERATION.

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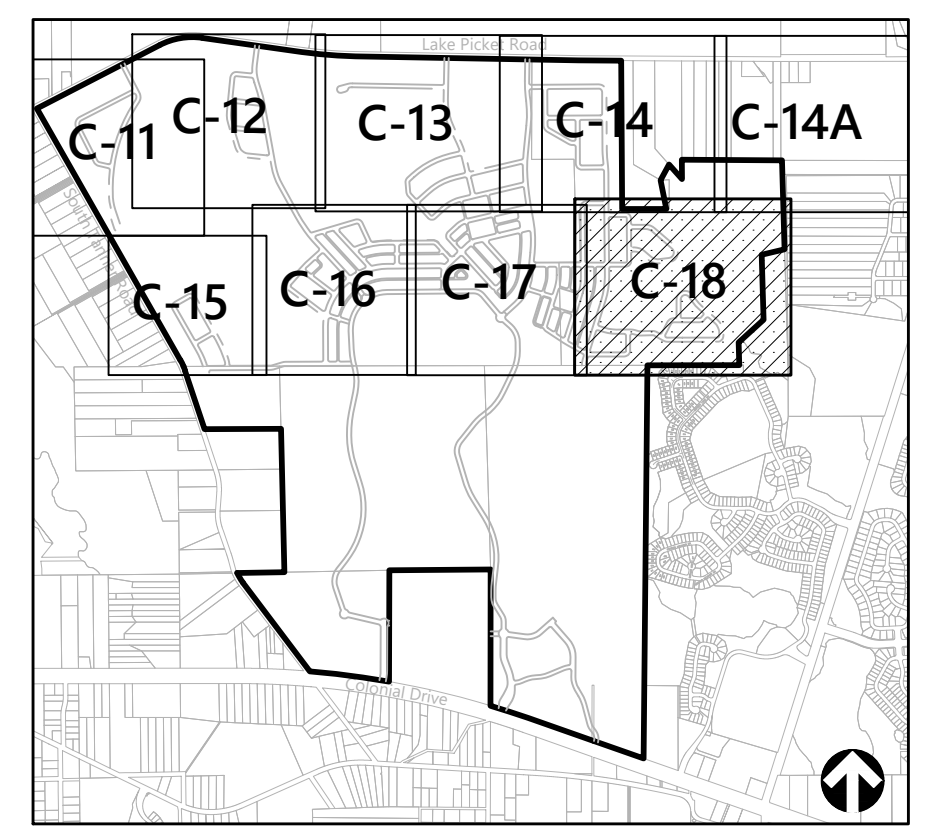


See Sheet C-16

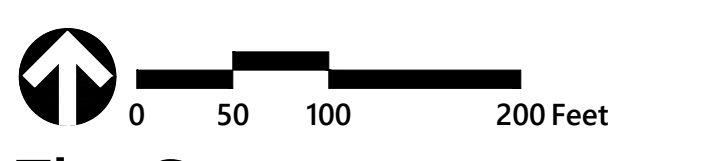
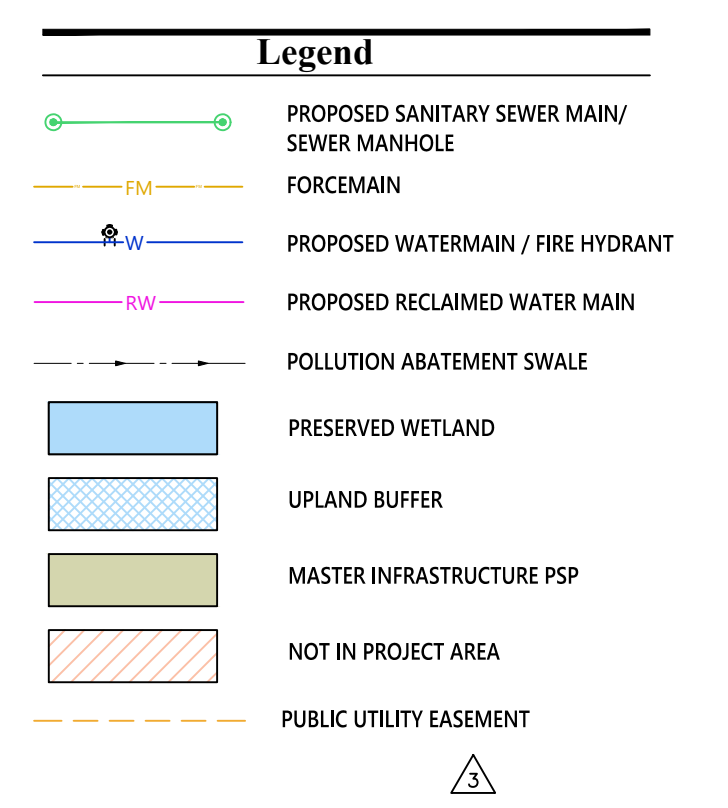
See Sheet C-18



225 E. Robinson Street
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Certificate of Authorization
Number FL #3932



Key Map



The Grow
Parcels F1, F2
Orange County, Florida

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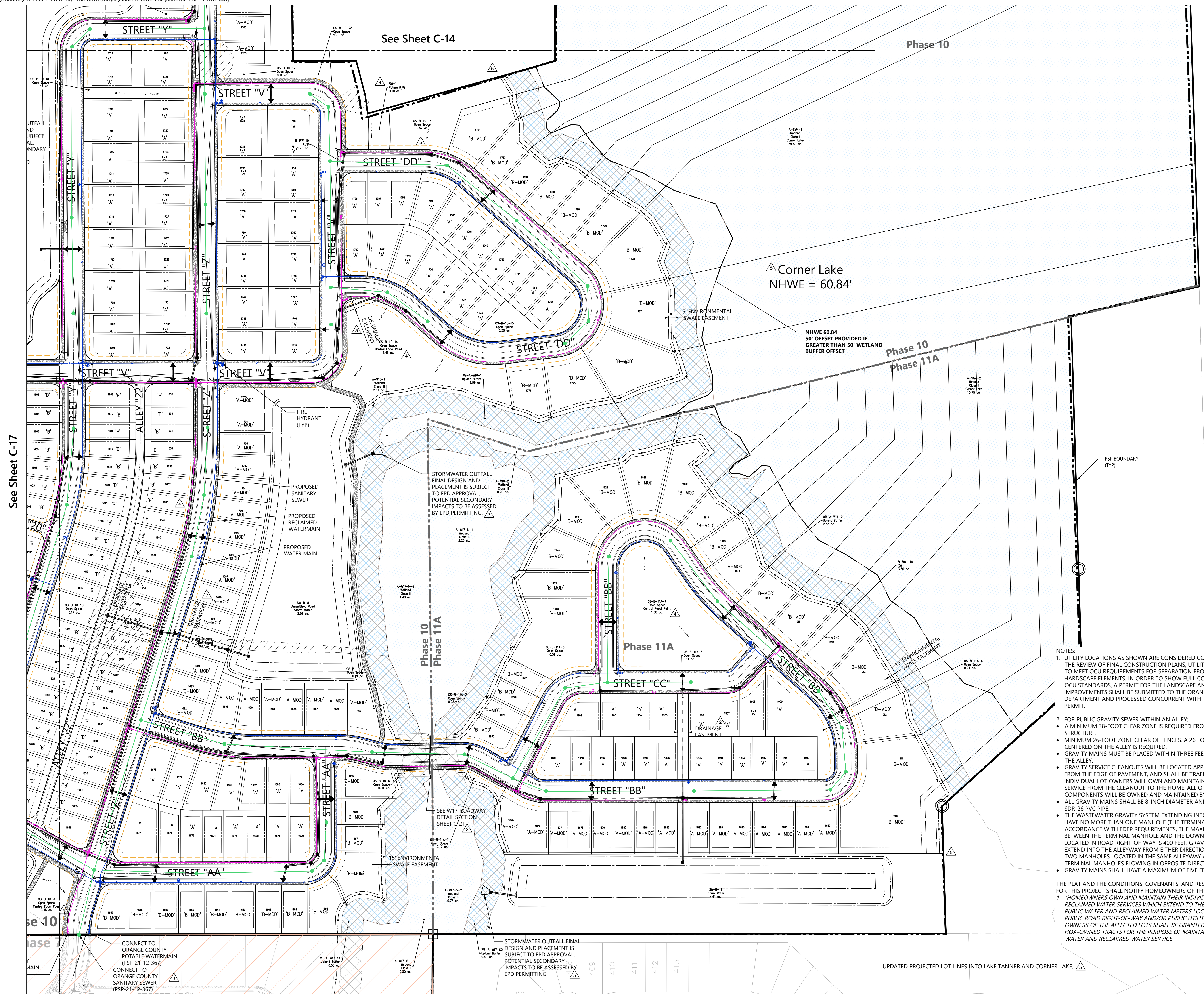
Drainage & Utility Plan

Drawing Number

C-18

Sheet of

Project Number
63691.00



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UPDATED PROJECTED LOT LINES INTO LAKE TANNER AND CORNER LAKE.

See Sheet C-17

See Sheet C-14

Phase 10

Corner Lake
NHWE = 60.84'

NHWE 60.84
50' OFFSET PROVIDED IF
GREATER THAN 50' WETLAND
BUFFER OFFSET

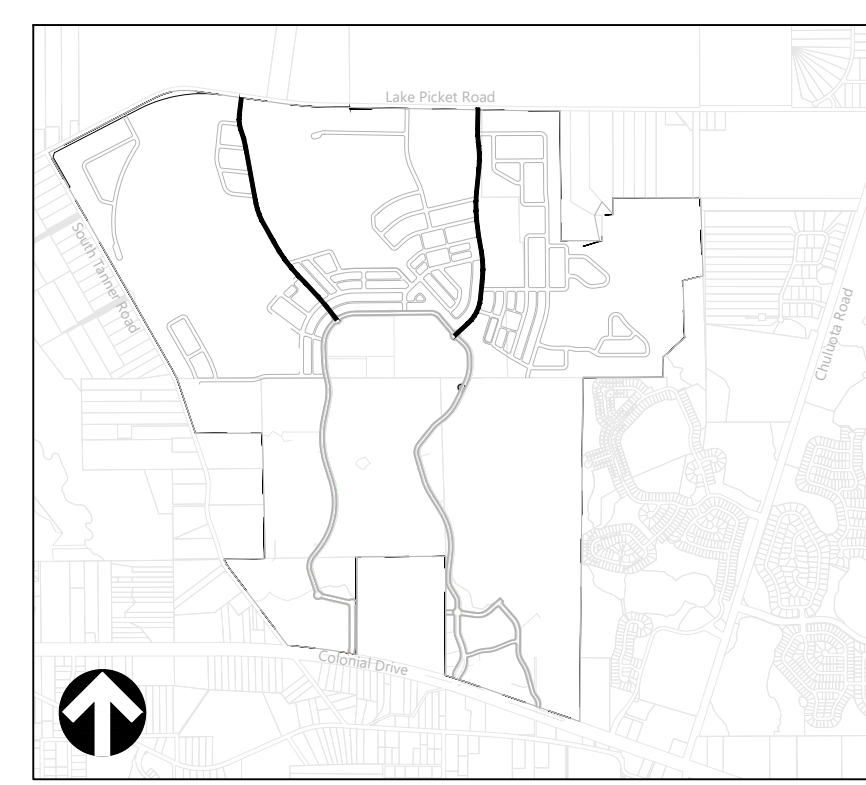
Phase 10
Phase 11A

Phase 10
Phase 11A

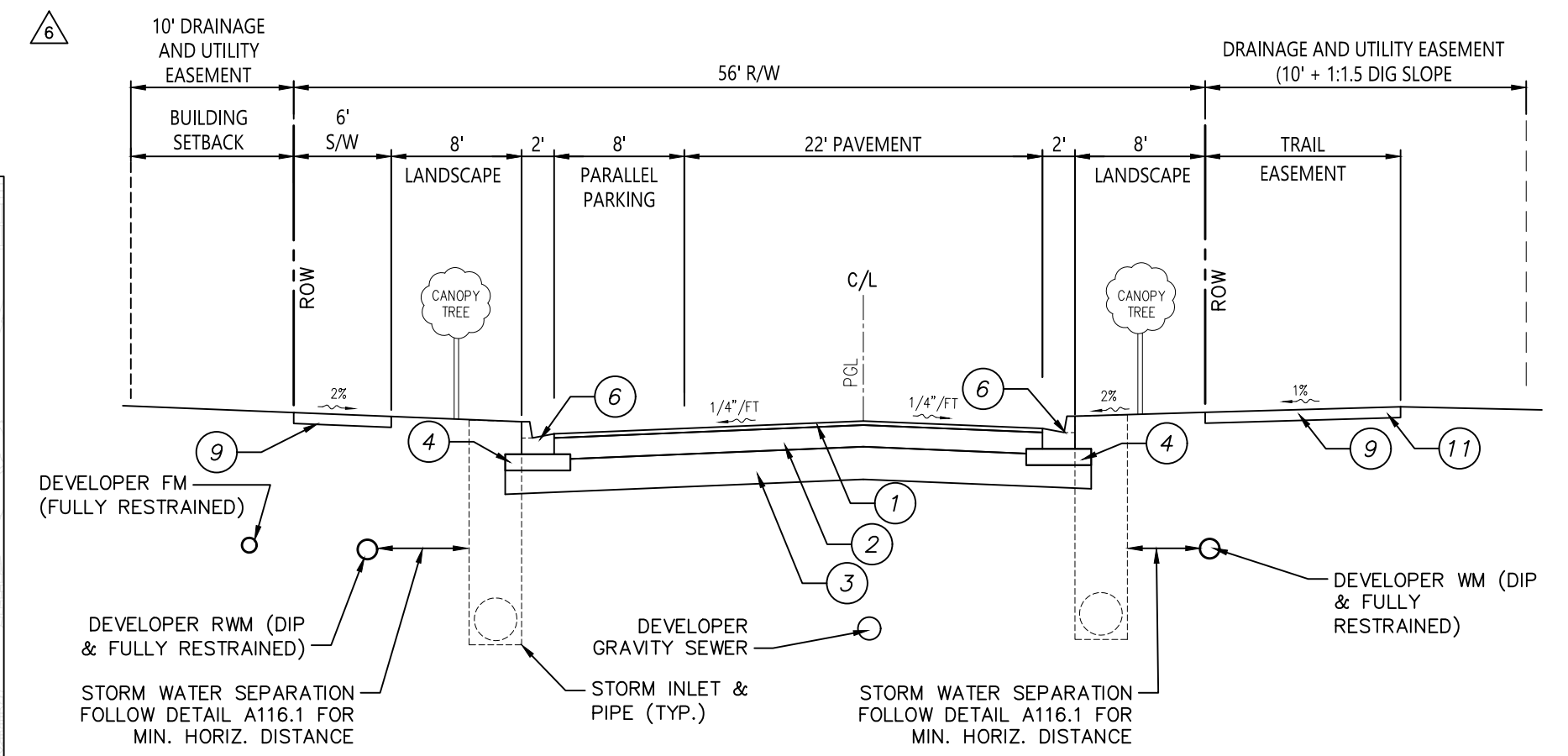
Phase 11A



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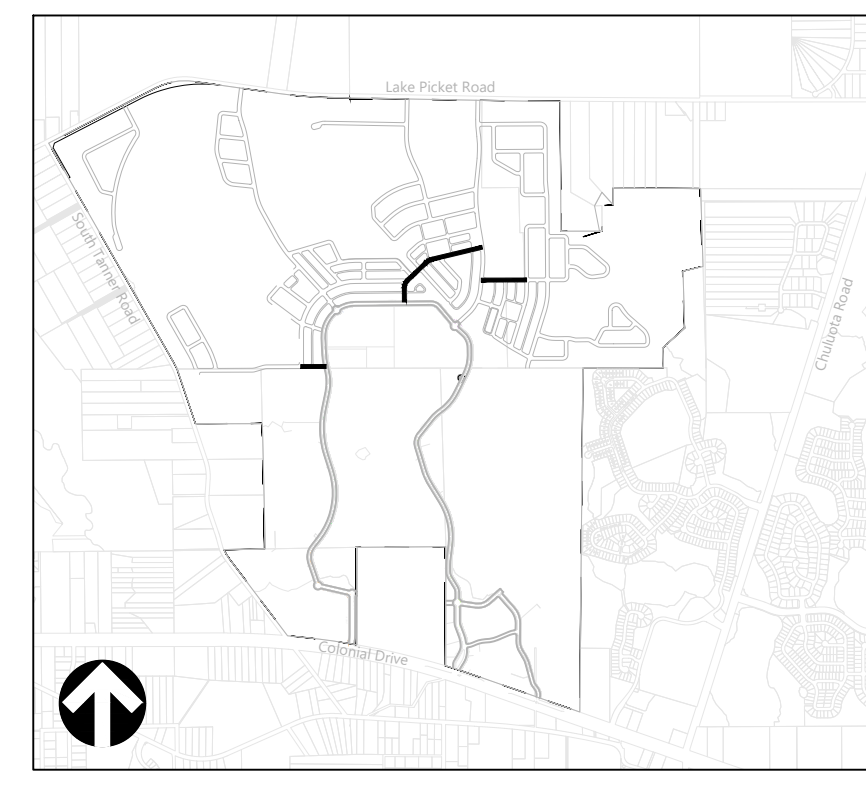


KEY MAP

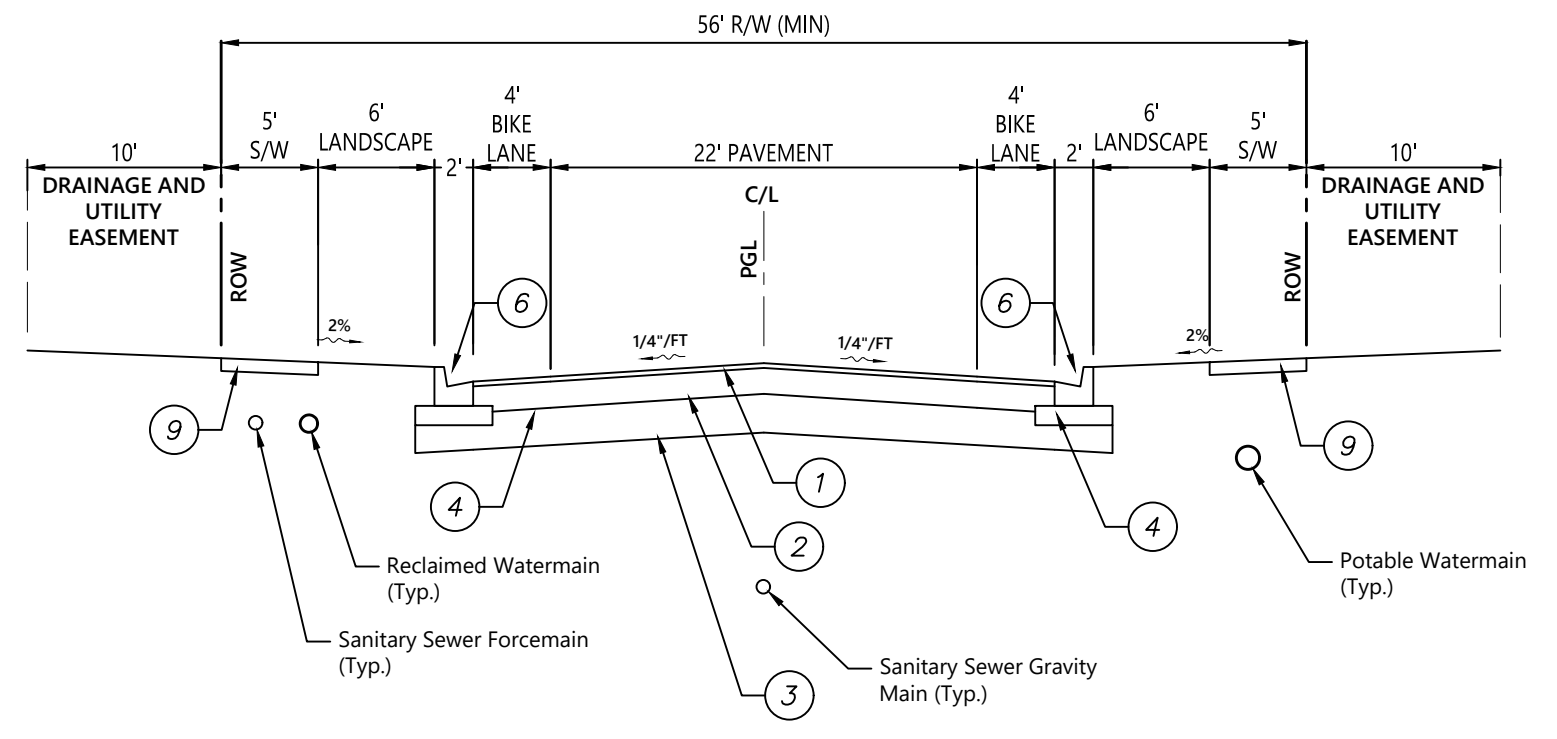


A - Typ. Road Section - Loop Road (56' ROW)

N.T.S.

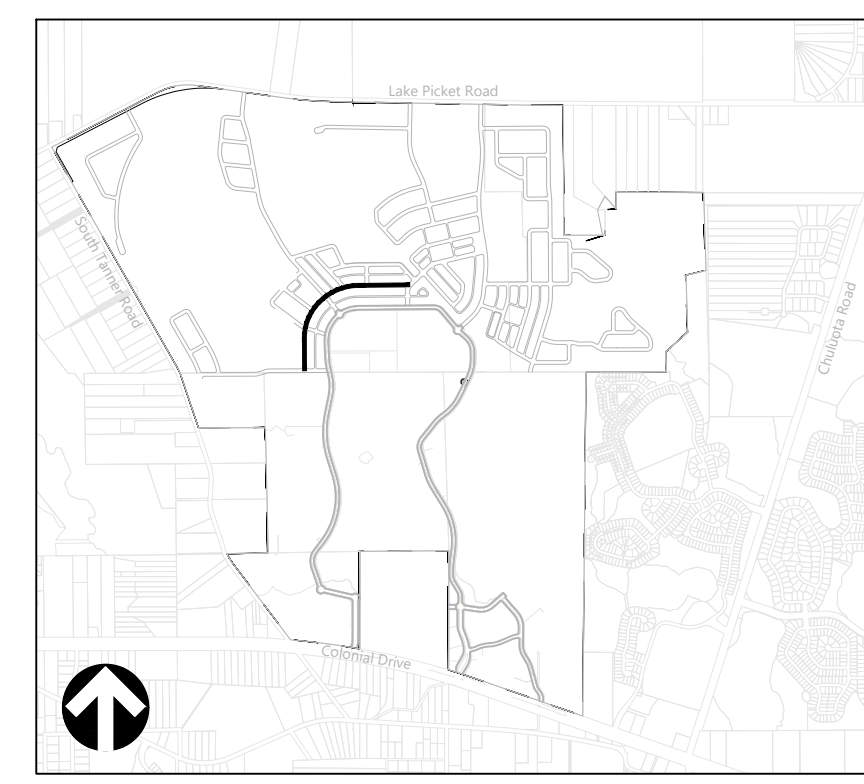


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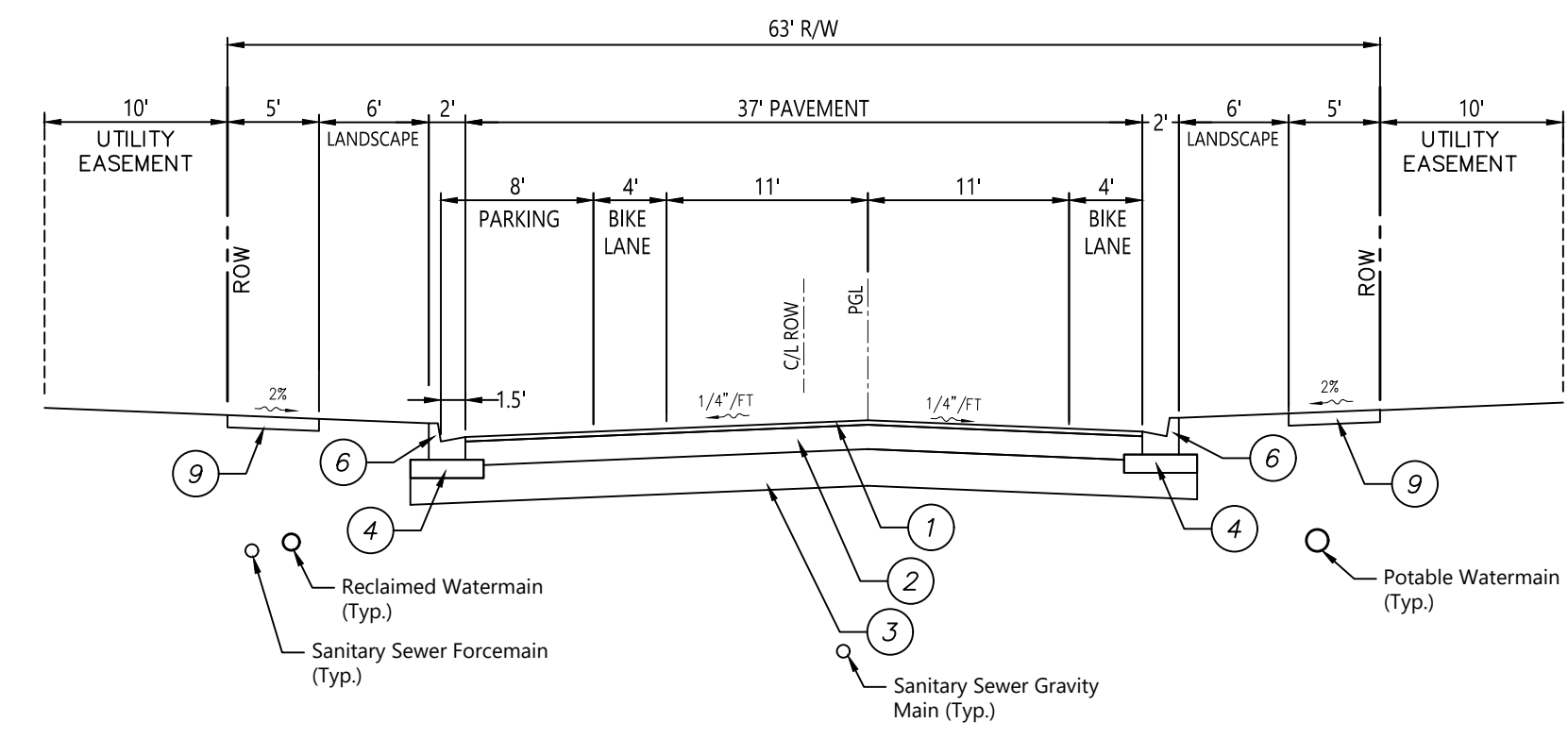


B - Typ. Road Section - Connector (56' ROW MIN)

N.T.S.

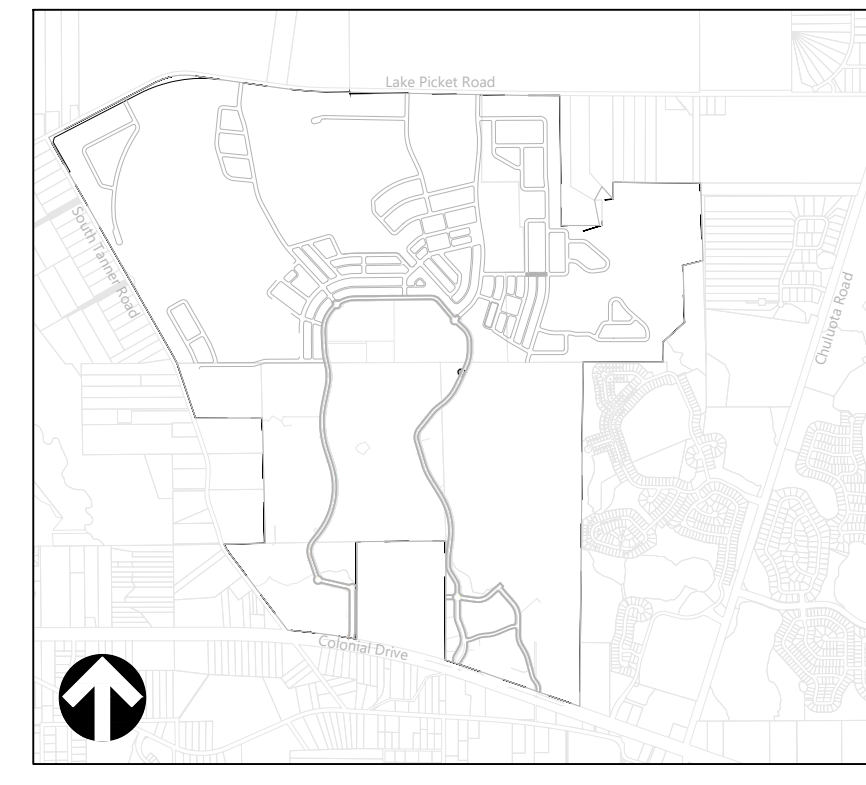


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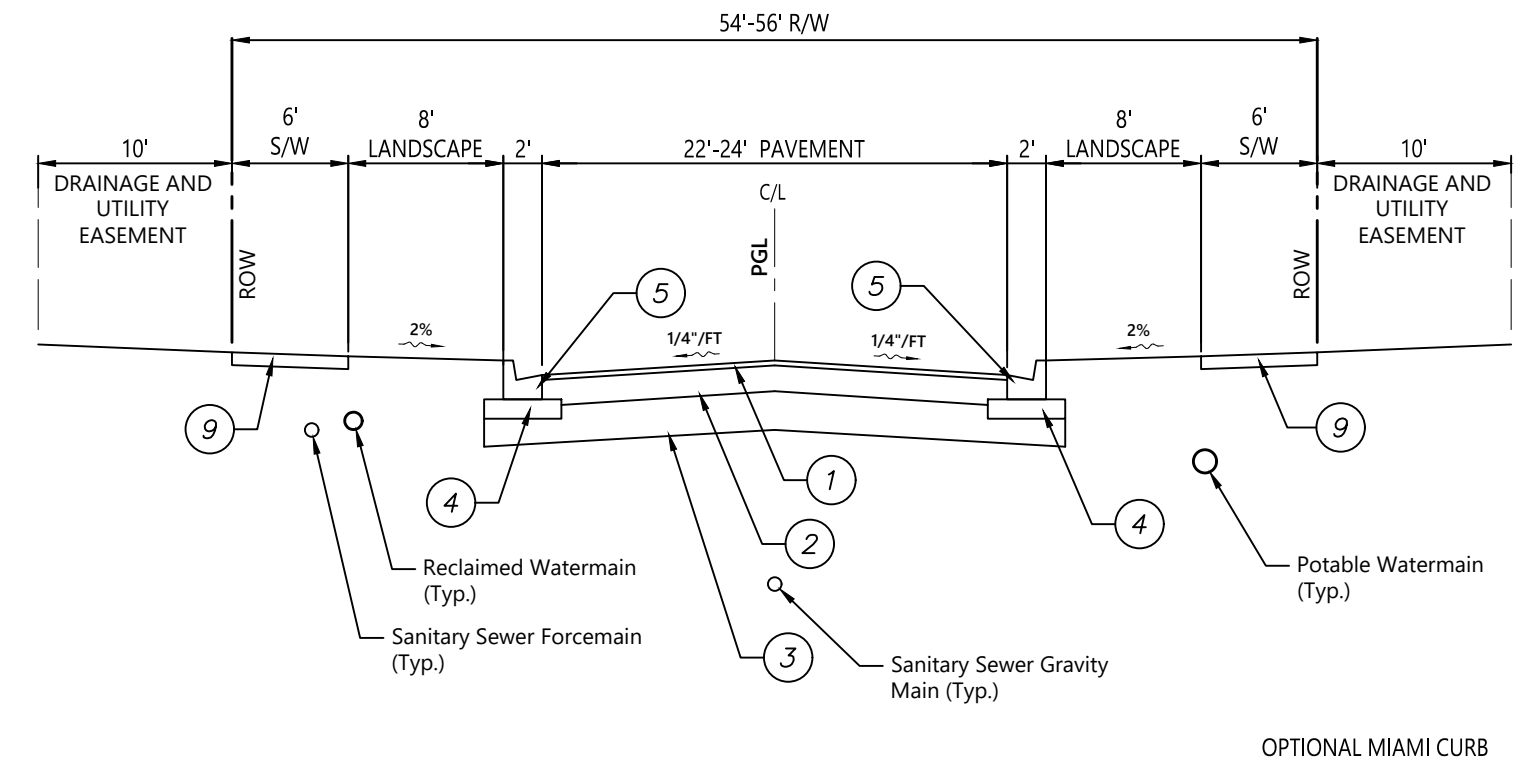


B1 - Typ. Road Section - Connector Street (63' ROW)

N.T.S.



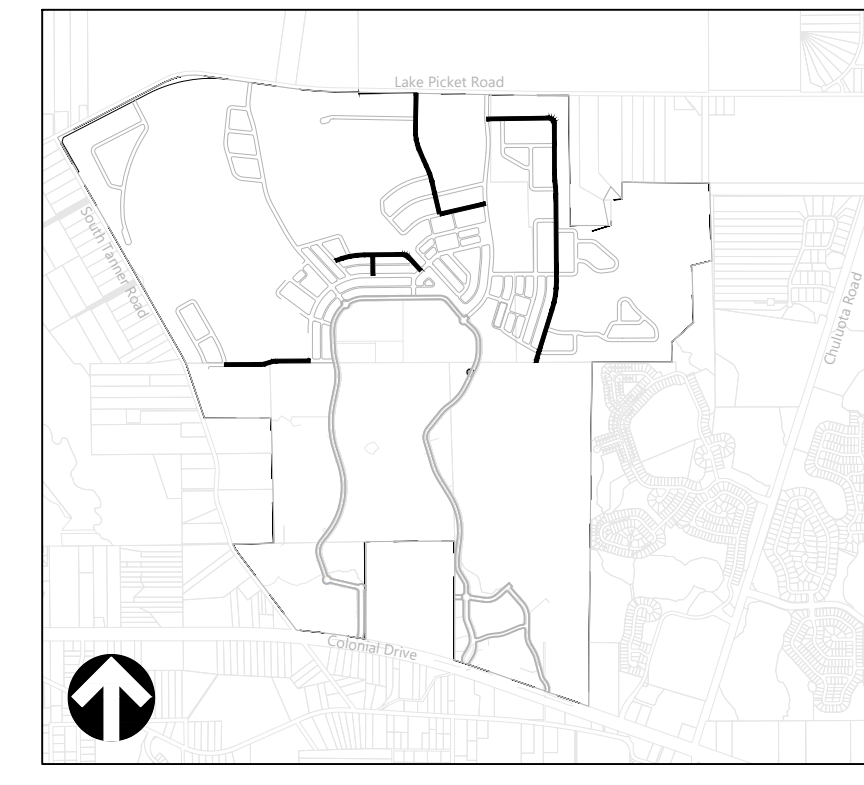
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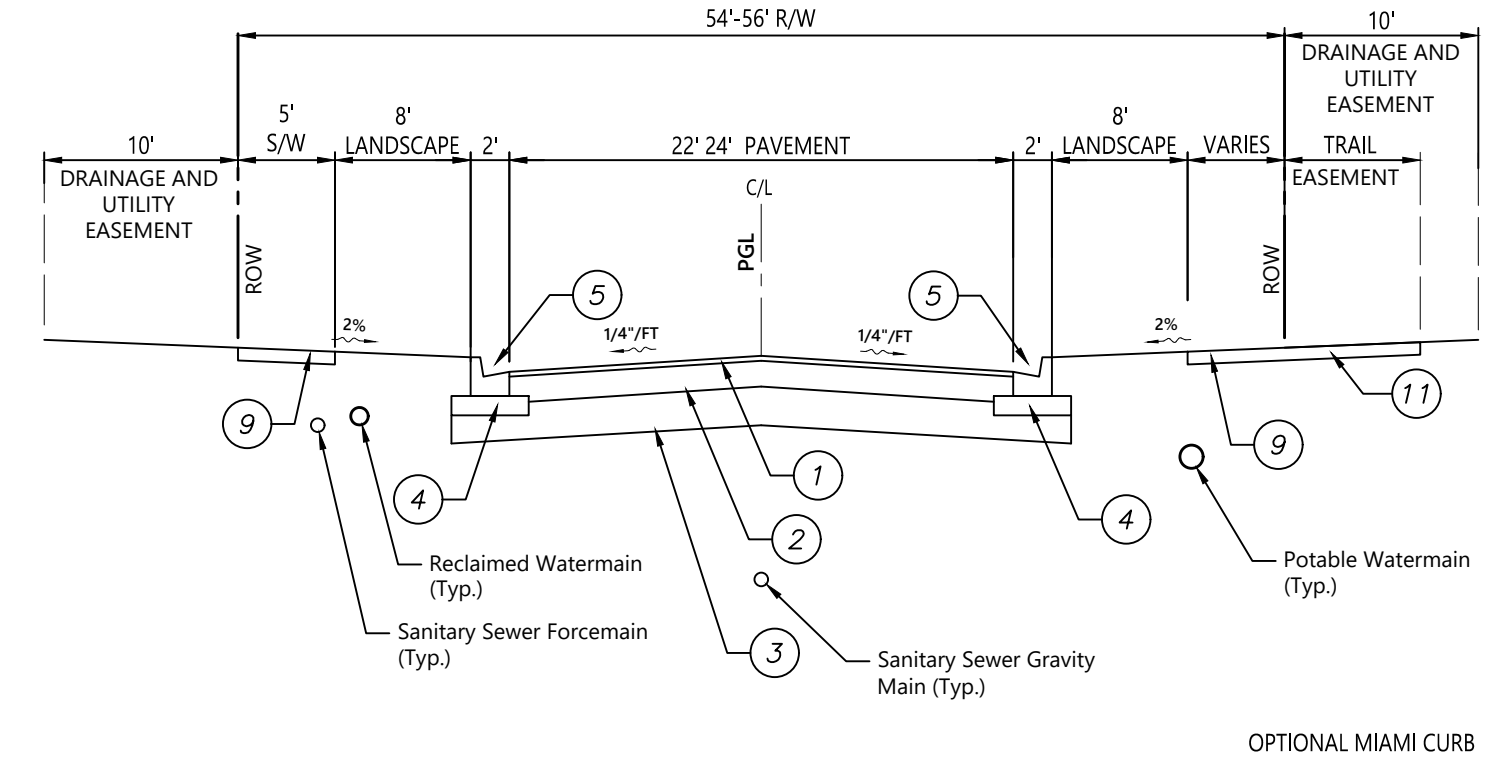
C - Typ. Road Section - Local (54'-56' ROW)

N.T.S.

OPTIONAL MIAMI CURB



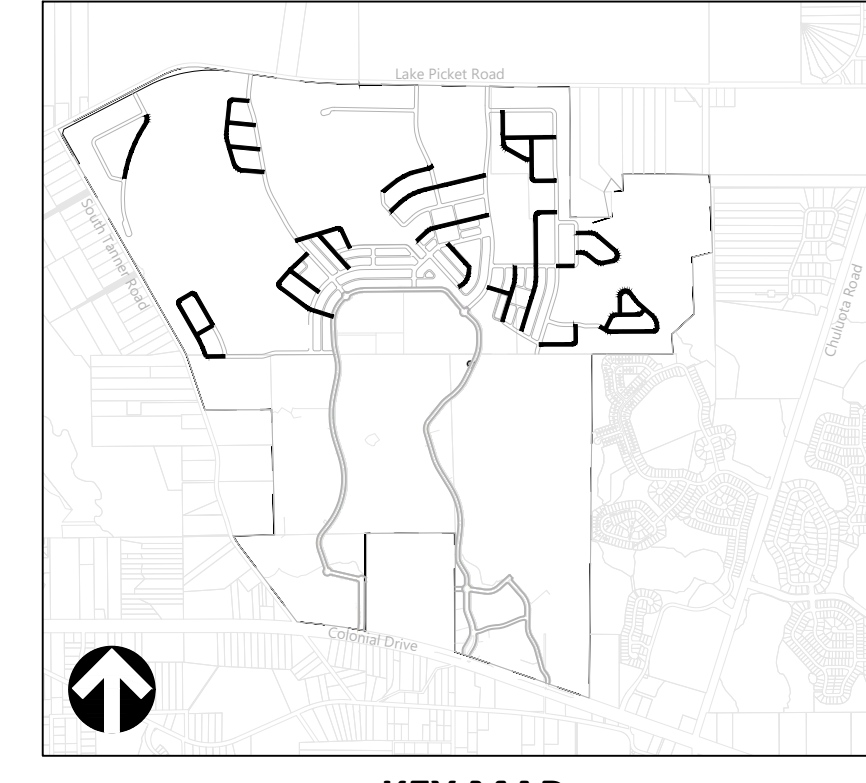
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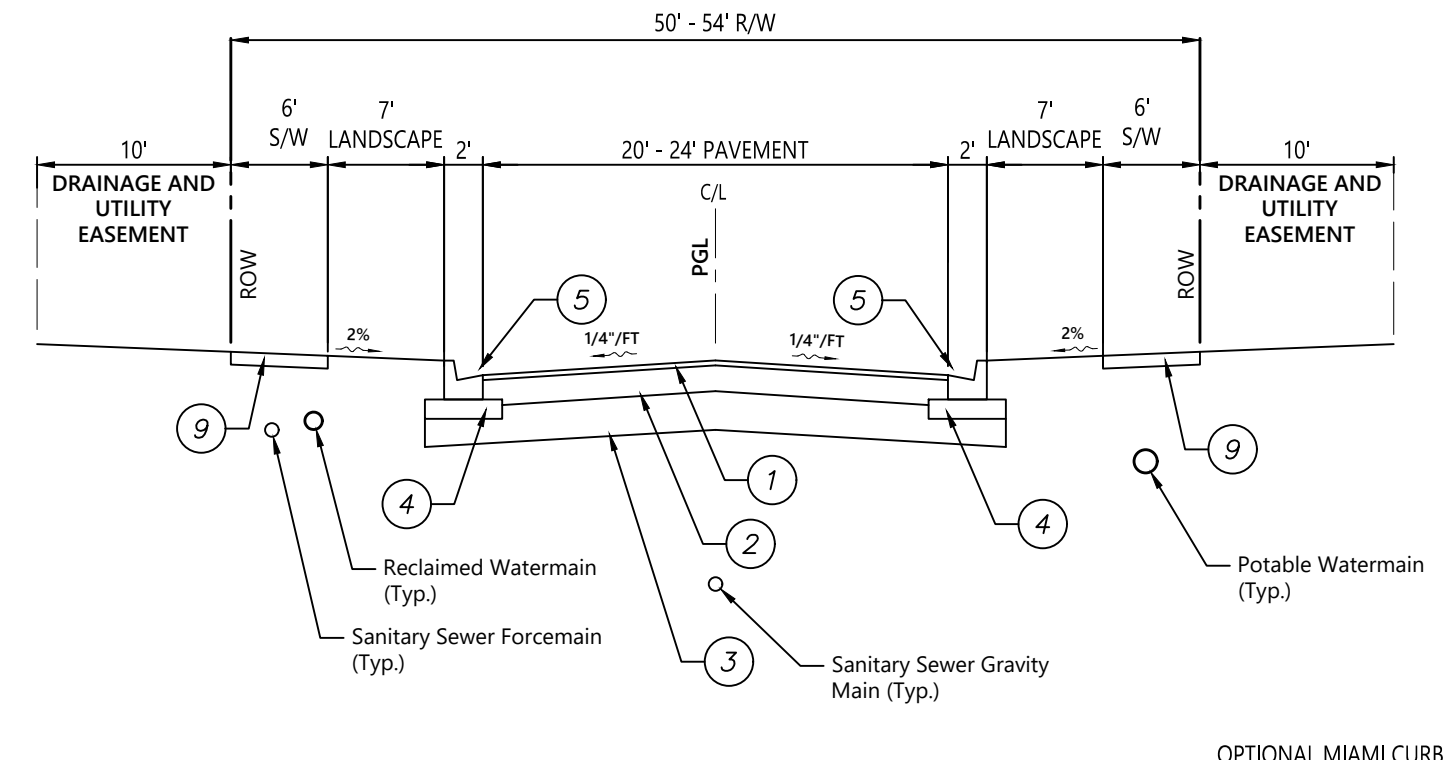
C1 - Typ. Road Section - Local w/ Trail (54'-56' ROW)

N.T.S.

OPTIONAL MIAMI CURB



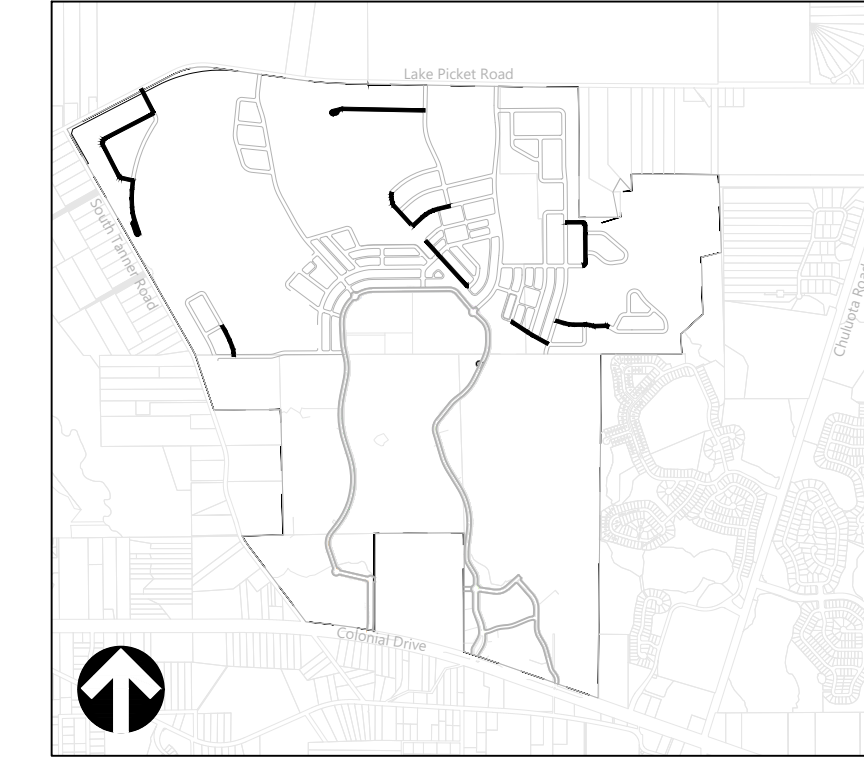
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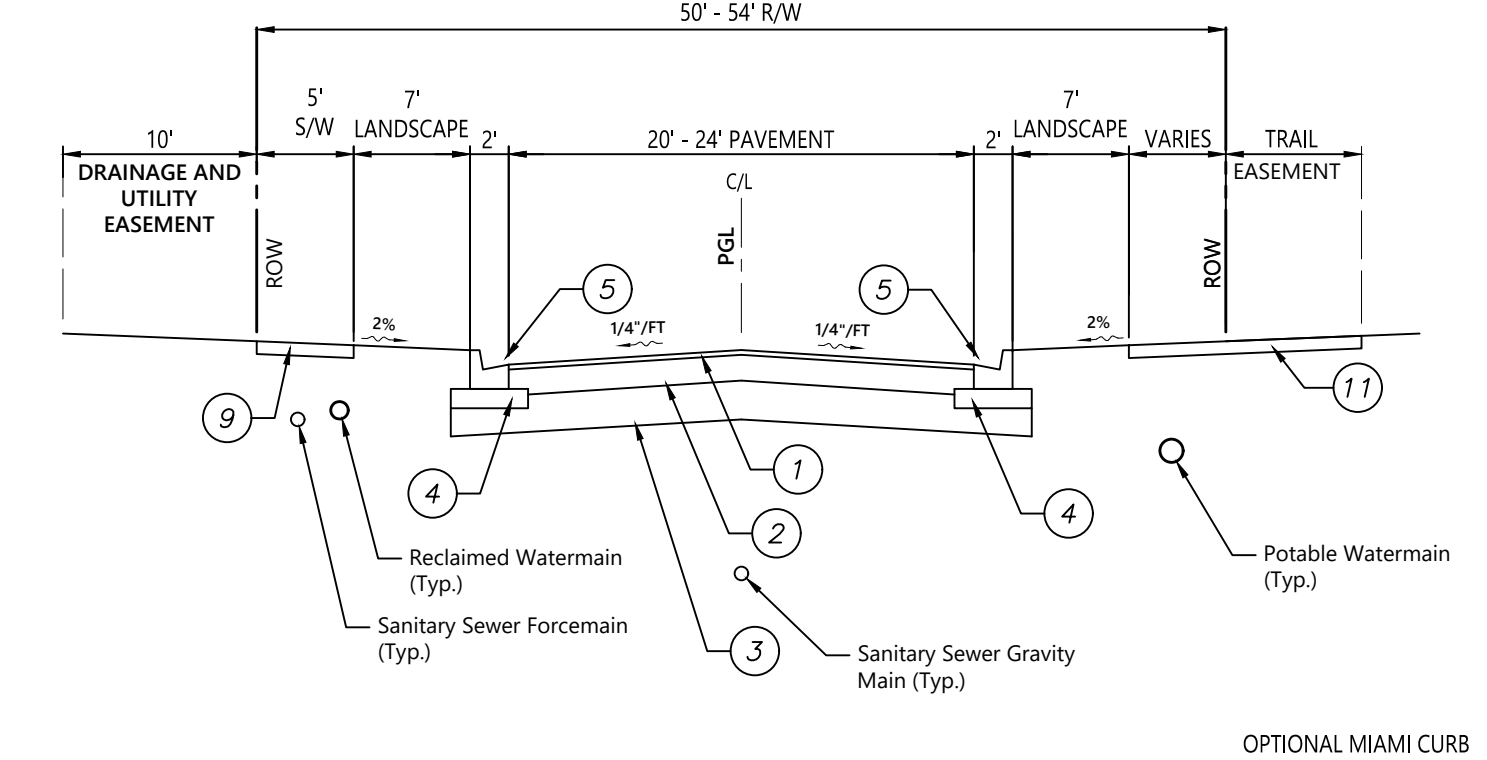
D - Typ. Road Section - Local Low Volume (50'-54' LOCAL ROW)

N.T.S.

OPTIONAL MIAMI CURB



KEY MAP



D1 - Typ. Road Section - Local Low Volume (50'-54' Local ROW)

N.T.S.

OPTIONAL MIAMI CURB

LEGEND:

- 1 ASPHALT
- 2 BASE
- 3 SUBGRADE
- 4 6" STABILIZED SUBGRADE IN CURB AREA TO EXTEND 12" EACH SIDE TO 50 FBV
- 5 TYPE 'F' CONC. CURB (MIAMI CURB AS AN ALTERNATE)
- 6 TYPE 'F' CONC. CURB
- 7 2" RIBBON CONC. CURB
- 8 2" MIAMI CONC. CURB
- 9 4" CONC. SIDEWALK (3000 P.S.I.)+
- 10 CONCRETE PAVERS
- 11 10' MULTI-USE TRAIL (STREET SIDE VARIES)

NOTES:

1. FINAL PAVEMENT SECTIONS WILL BE DETERMINED AT TIME OF CONSTRUCTION PLAN SUBMITTAL
2. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 NFPA 1 AND 101 (FFPC 7TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
3. UTILITIES SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO MOVEMENT WITH FINAL ENGINEERING PLANS

The Grow
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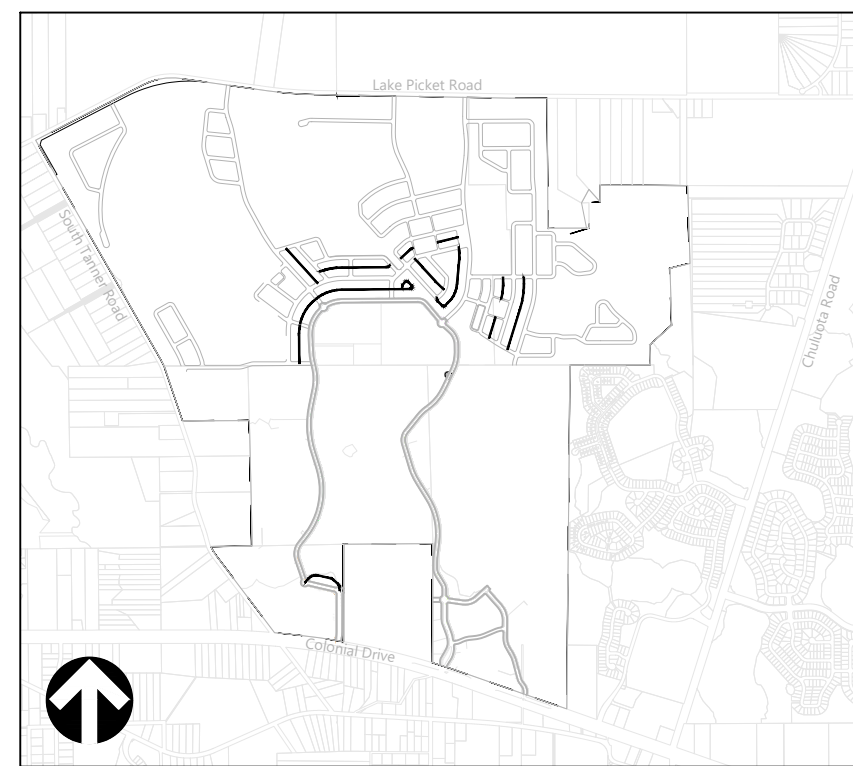
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Typical Roadway Sections

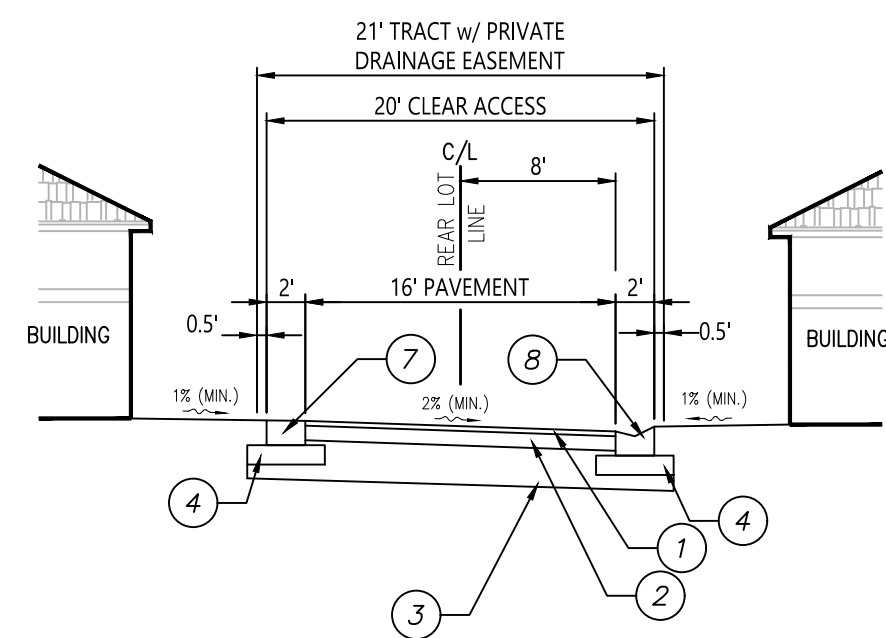
Drawing Number

C-19

Sheet of



KEY MAP



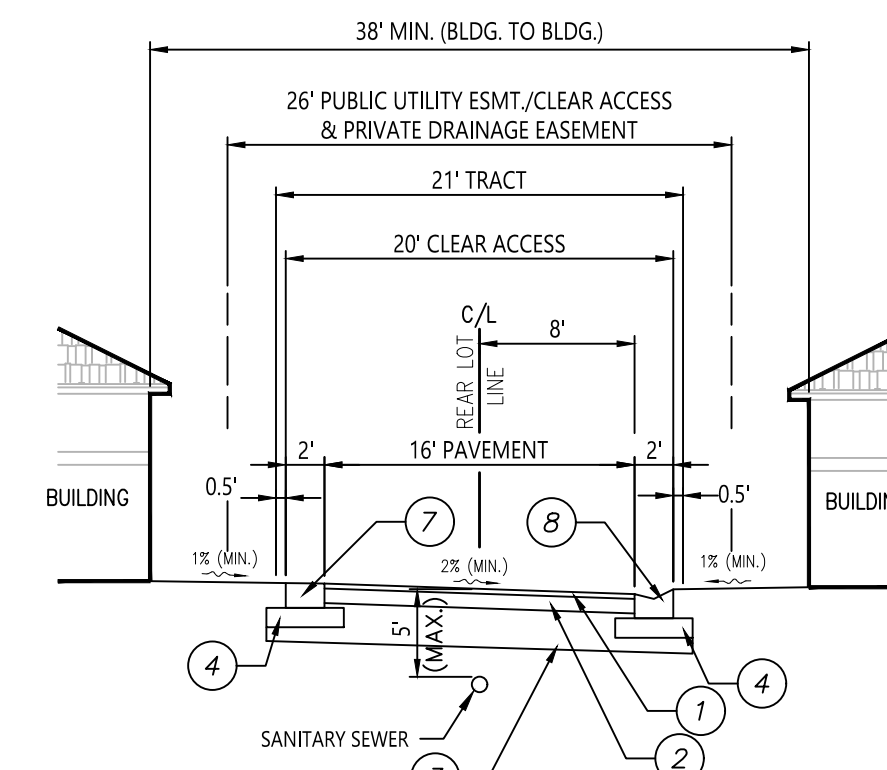
- NOTES:
1. THERE SHALL BE NO STRUCTURE OR ANY KIND OF PERMANENT OBSTRUCTION IN REAR ALLEY ACCESS TRACT.
 2. A MINIMUM 35-FOOT TURNING RADIUS SHALL BE PROVIDED WITHIN ALLEYS AND AT INTERSECTIONS BETWEEN ALLEYS. A MINIMUM 25-FOOT TURNING RADIUS SHALL BE PROVIDED WHERE ALLEYS INTERSECT ROADWAYS. THE TURNING RADIUS SHALL BE MEASURED FROM THE INSIDE OF THE CURB.
 3. NO UTILITIES SHALL BE PROPOSED IN ALLEYS.

H - Typical Alley/Fire Access Section

N.T.S.



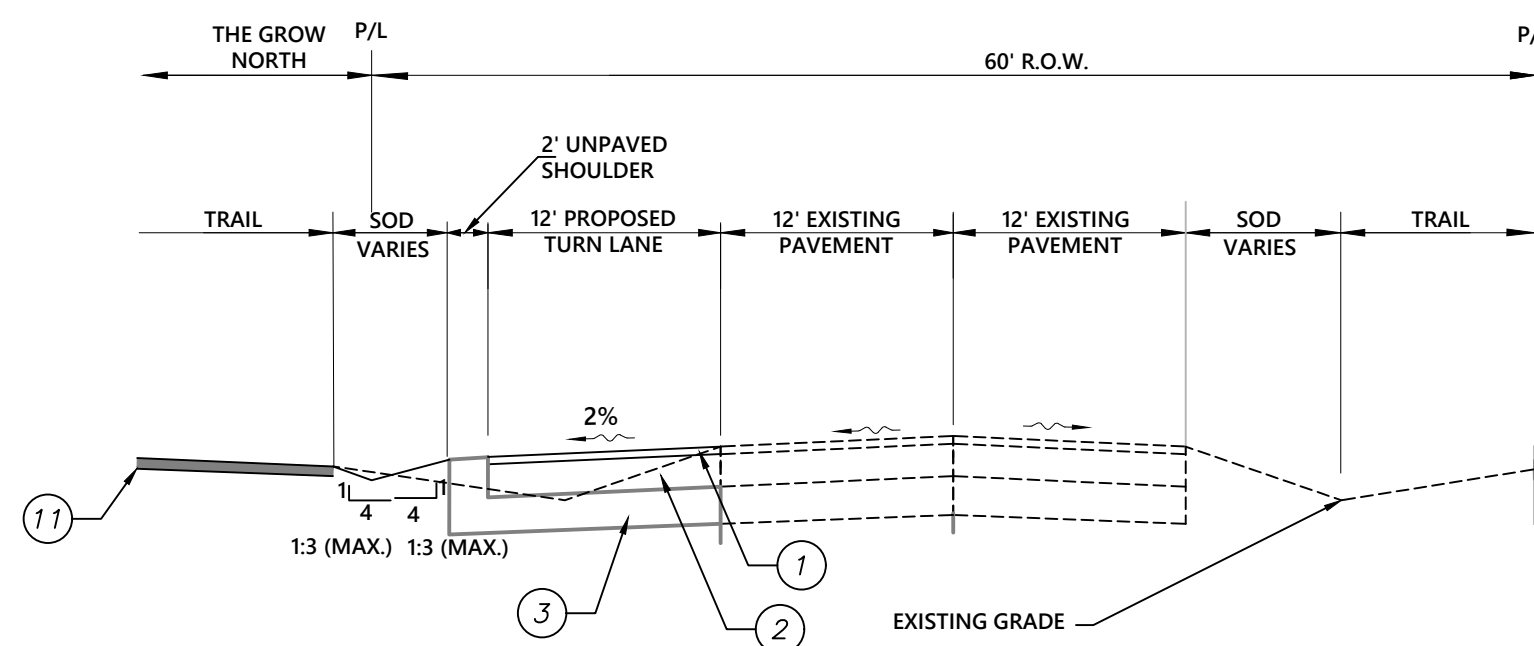
KEY MAP



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 3. WHERE PUBLIC GRAVITY MAIN IS LOCATED WITHIN ALLEYS, BUILDING SETBACKS SHALL BE A MINIMUM OF 19' FROM THE PROPERTY LINE TO PROVIDE 38' TOTAL BETWEEN BUILDINGS.
 4. A MINIMUM 38' CLEAR ZONE IS REQUIRED FROM BUILDING TO BUILDING.
 5. MINIMUM 26' ZONE CLEAR OF FENCES. A 26' UTILITY EASEMENT CENTERED ON THE ALLEY IS REQUIRED.
 6. GRAVITY MAINS MUST BE PLACED WITHIN THREE FEET OF THE CENTER OF THE ALLEY.
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 10. GRAVITY MAINS WITHIN ALLEYS SHALL HAVE A MAXIMUM 5' OF COVER.

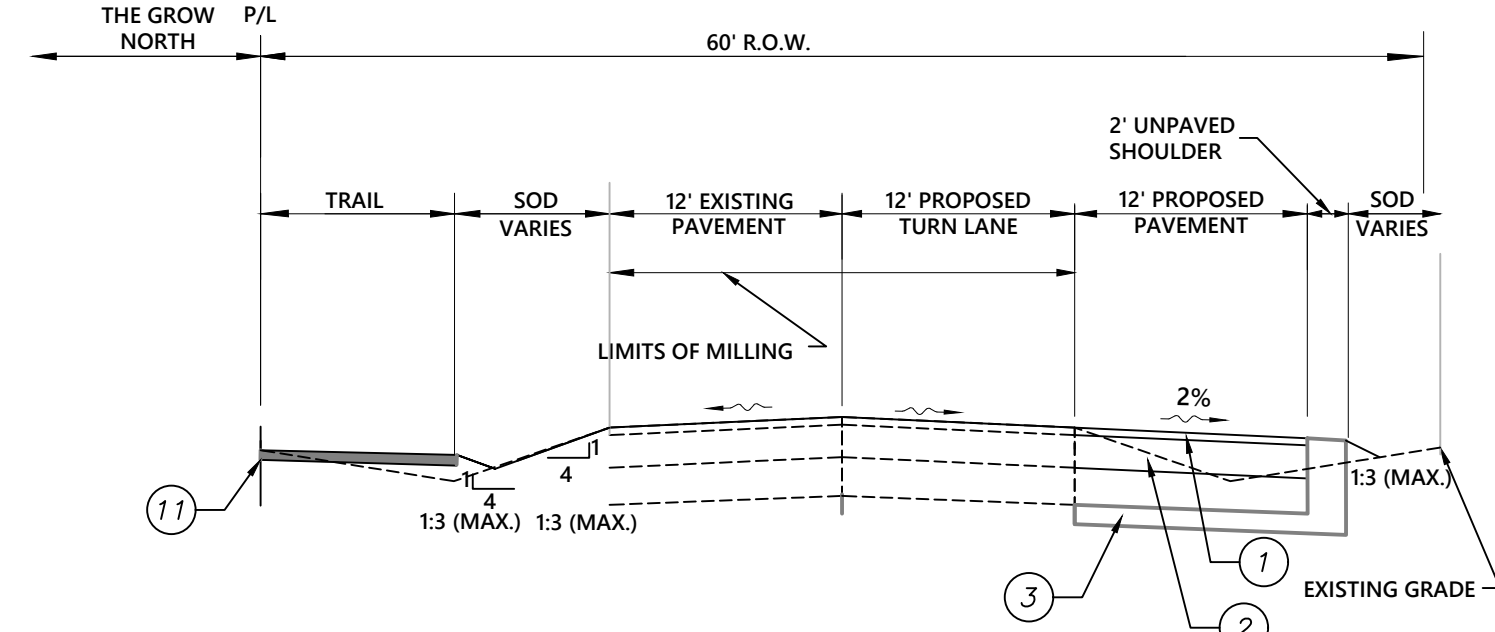
I - Typical Alley/Fire Access Section (With Sewer)

N.T.S.



Typical Section - Lake Pickett Rd (Right Turn Lane)

N.T.S.



Typical Section - Lake Pickett Rd (Left Turn Lane)

N.T.S.

NOTES:

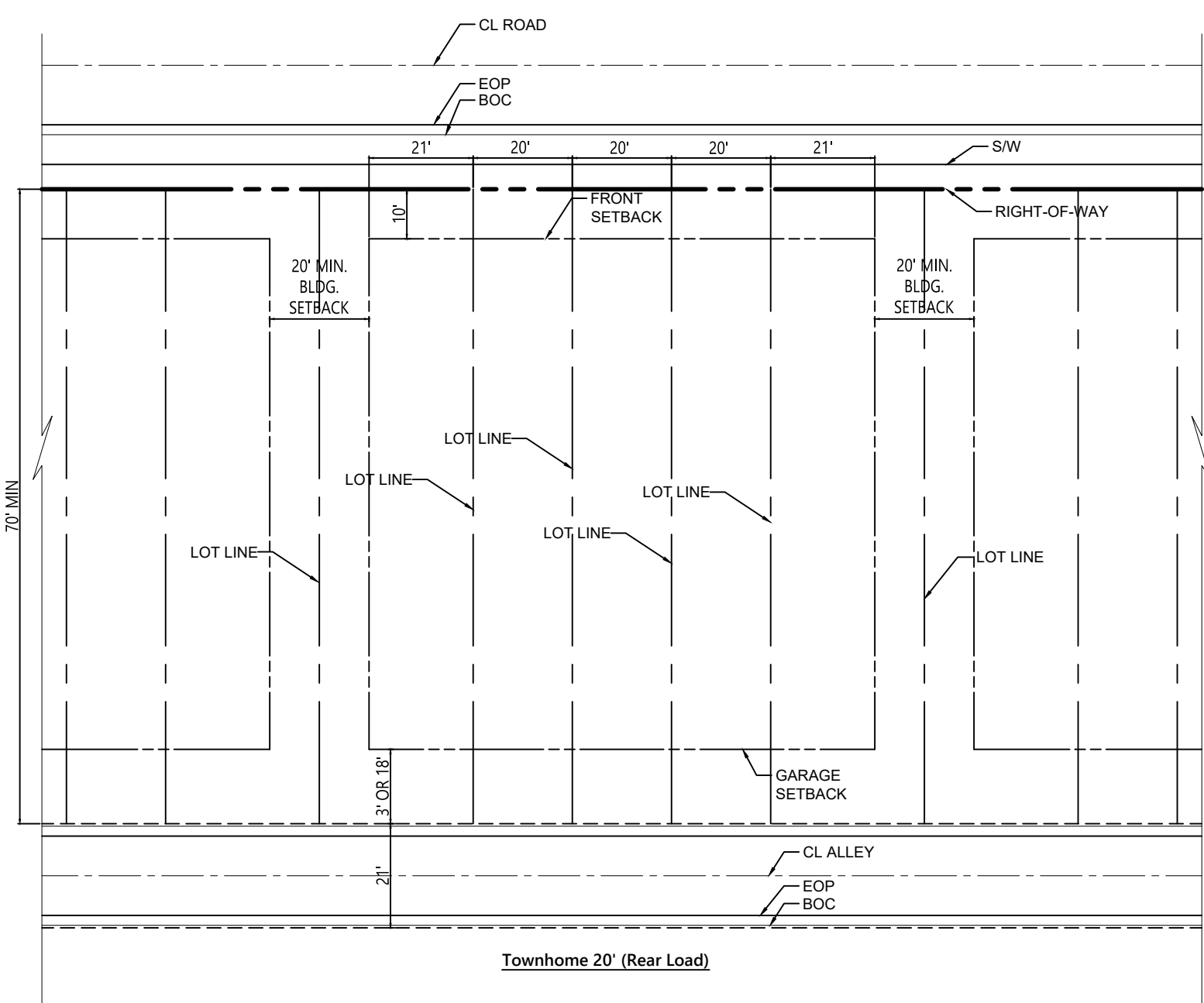
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4. DURING FINAL CONSTRUCTION PLAN PREPARATION, WE WILL COORDINATE IF ANY ALLEYS WITHOUT SEWER (SECTION H) WILL BE CHANGED TO AN ALLEY WITH SEWER (SECTION I) WITH COUNTY STAFF.

LAKE PICKETT TURN LANE NOTES:

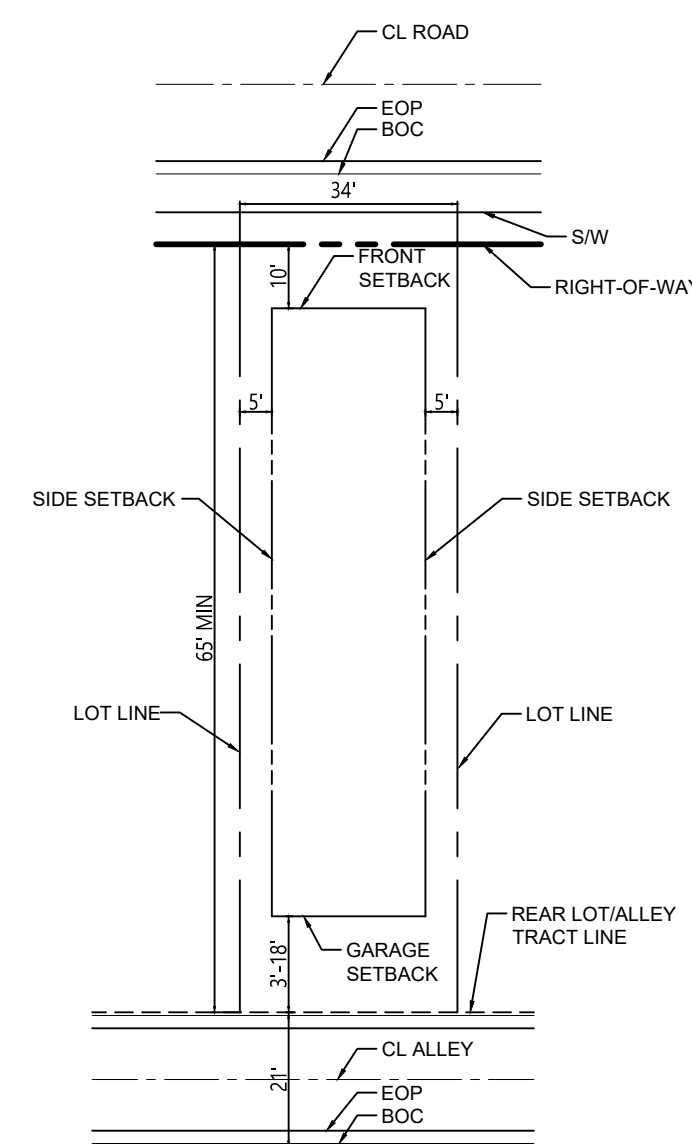
1. FINAL TURN LANE SECTIONS WILL BE SHOWN IN CONSTRUCTION PLANS AS COORDINATED WITH COUNTY STAFF.
2. MILLING LIMITS WILL BE THROUGH THE FULL LEFT TURN LANE IMPROVEMENTS ON LAKE PICKETT.
3. DRAINAGE WILL BE DESIGNED WITH FINAL CONSTRUCTION PLANS TO MAINTAIN EXISTING CAPACITY.

LEGEND:

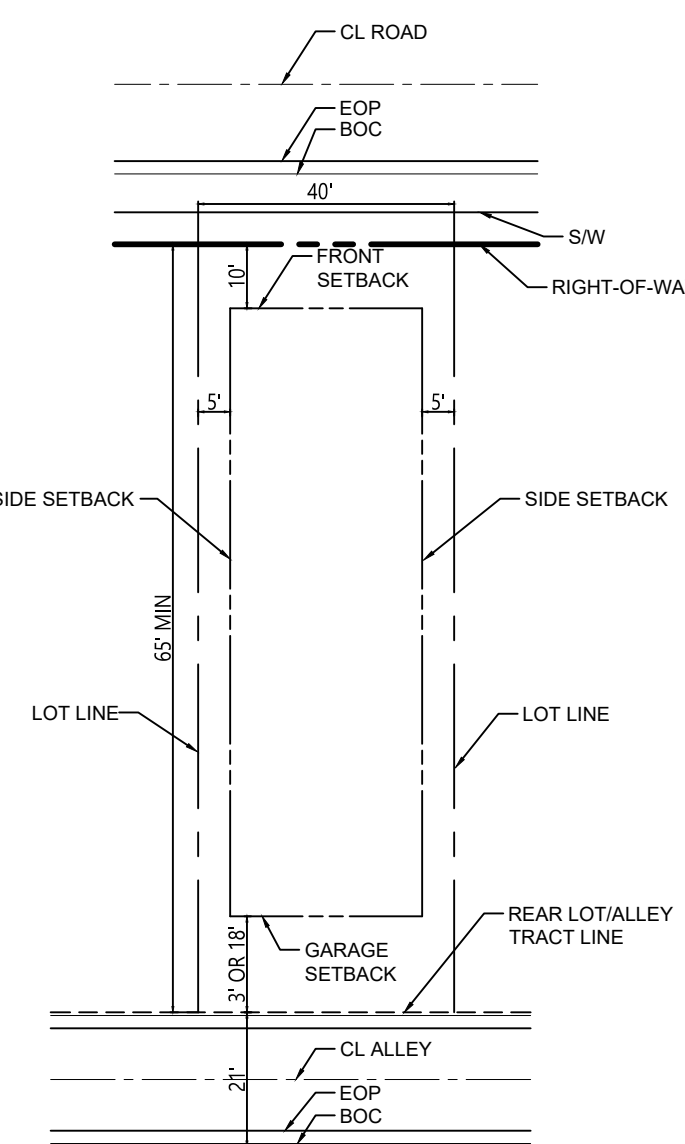
- ① ASPHALT
- ② BASE
- ③ SUBGRADE
- ④ 6" STABILIZED SUBGRADE IN CURB AREA TO EXTEND 12" EACH SIDE TO 50 FBV
- ⑤ TYPE 'F' CONC. CURB (MIAMI CURB AS AN ALTERNATE)
- ⑥ TYPE 'F' CONC. CURB
- ⑦ 2" RIBBON CONC. CURB
- ⑧ 2" MIAMI CONC. CURB
- ⑨ 4" CONC. SIDEWALK (3000 P.S.I.)+
- ⑩ CONCRETE PAVERS
- ⑪ 10' MULTI-USE TRAIL (STREET SIDE VARIES)



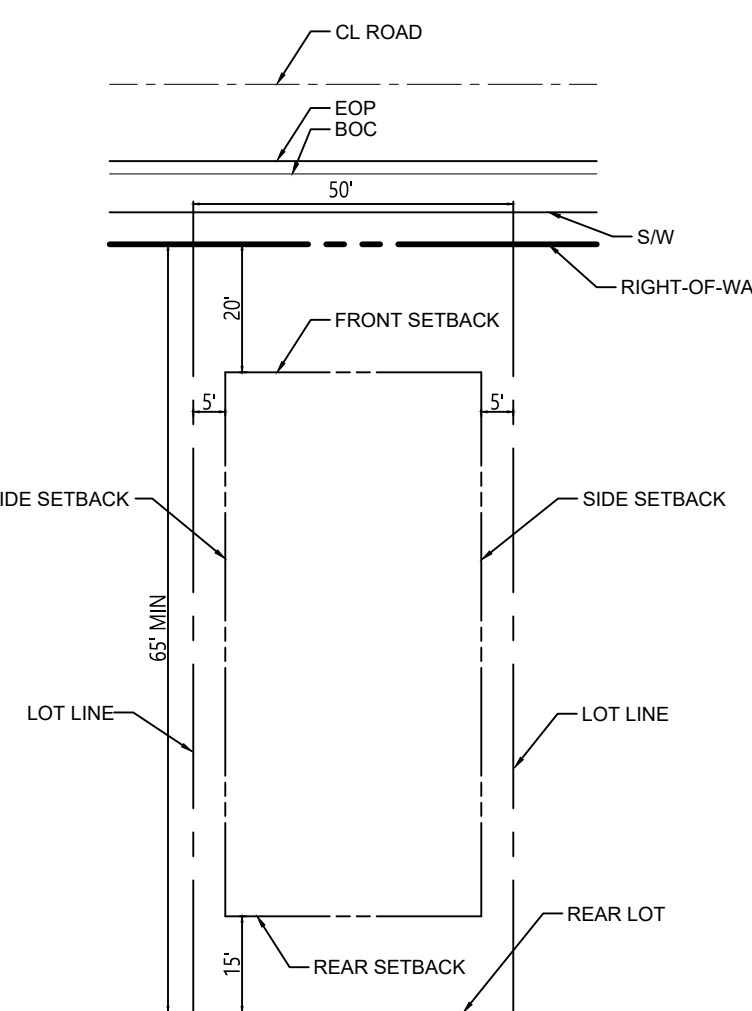
Townhome 20' (Rear Load)



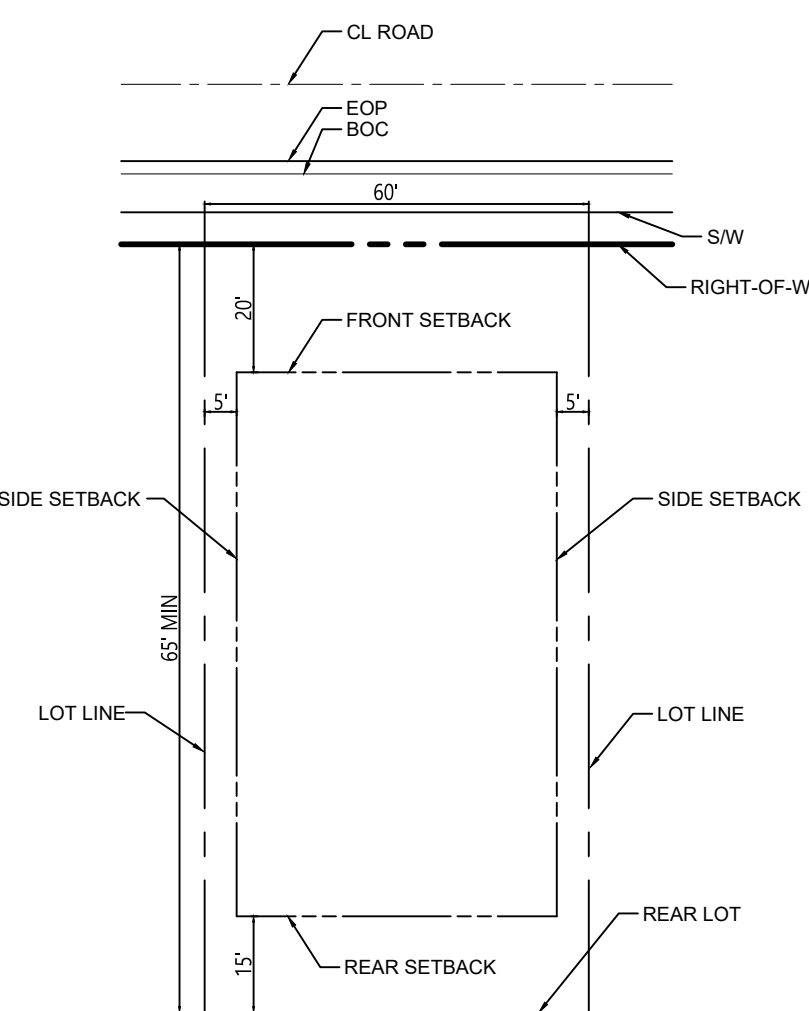
Typical 34' (Rear Load)



Typical 40' (Rear Load)



Typical 50' (Front Load)



Typical 60' (Front Load)

Typical Lot Types

N.T.S.

**The Grow
Parcels F1, F2
Orange County, Florida**

| No. | Revision | Date | Aspd. |
|-----|-----------------------------|------------|-------|
| 7 | CDR Request | 05/24/2023 | |
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| 3 | Revised per County Comments | 07/22/2022 | |
| 2 | Revised per County Comments | 05/06/2022 | |

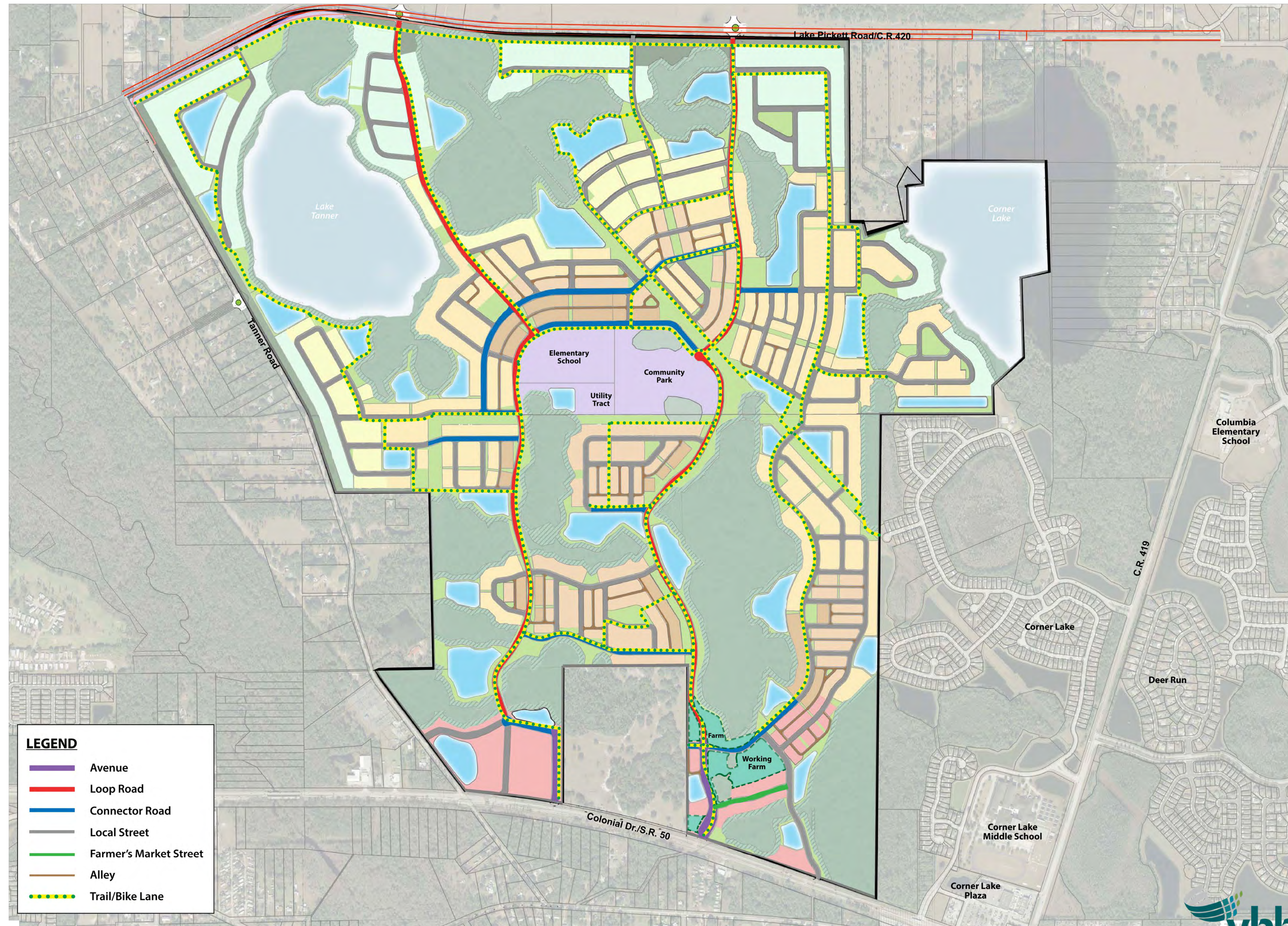
Designed by: RAS/BD/JRW
Issued for: PSP
Checked by: RAS
Date: March 04, 2022

Typical Roadway Sections

Drawing Number

C-20

Sheet of



**THE GROW PD
STREET HIERARCHY**
ORANGE COUNTY • FLORIDA



DATE: March 3, 2022
PROJECT NUMBER: 63691.00
225 E. Robinson St, Suite 300 | Orlando, Florida 32801
Tel: 407.839.4006 | Fax: 407.839.4008

FILE PATH: \\vhb.com\gbl\proj\Orlando\63691.00 ALOC-Bartoville-TheGrow\Graphics\KORADRS\Conceptual_Regulating_Plan_20221227

**The Grow
Parcels F1, F2
Orange County, Florida**

| No. | Revision | Date | Appvd. |
|-----|-----------------------------|------------|--------|
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| Designed by | Checked by |
|-------------|------------|
| RAS/BD/JRW | RAS |

Issued for: PSP Date: March 04, 2022

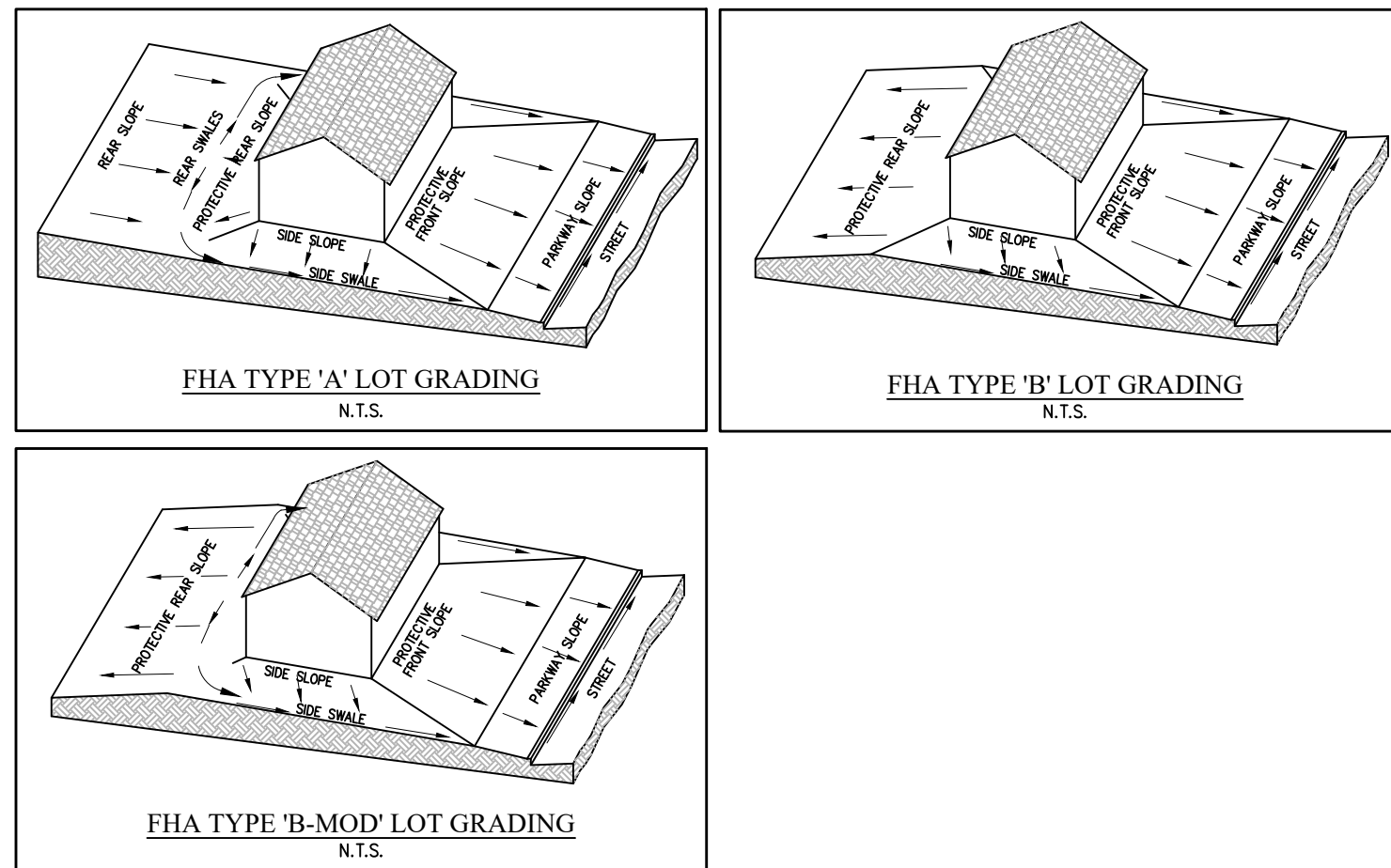
**Regulating Plan Street
Hierarchy**

Drawing Number

C-20A

Sheet of

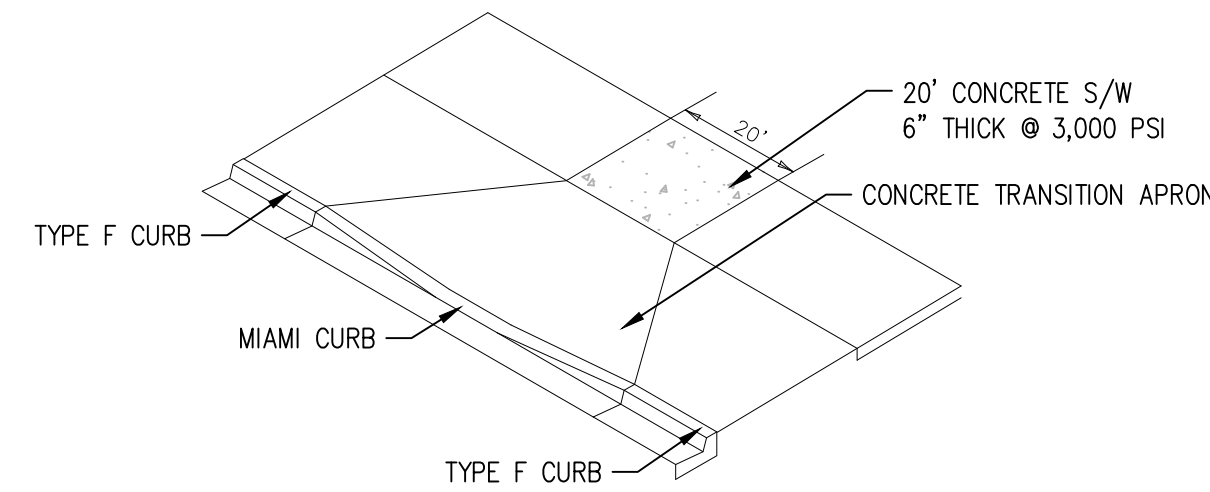
Project Number
63691.00



- NOTES:
1. LOT GRADING TYPES ARE ASSUMED. FINAL LOT GRADING TO BE DETERMINED WITH ENGINEERING PLANS.
 2. FINISHED GRADES FOR PROPOSED IMPROVEMENTS SHALL BE DETERMINED WITH ENGINEERING PLANS. FINISHED GRADES MAY VARY FROM EXISTING CONDITIONS BY MORE THAN 1'.
 3. PROPOSED GRADES TO TIE INTO EXISTING GRADES AT ALL BOUNDARY CONDITIONS.
 4. AN ENVIRONMENTAL SWALE IS REQUIRED AT THE REAR OF ALL LOTS ADJACENT TO THE WETLAND.

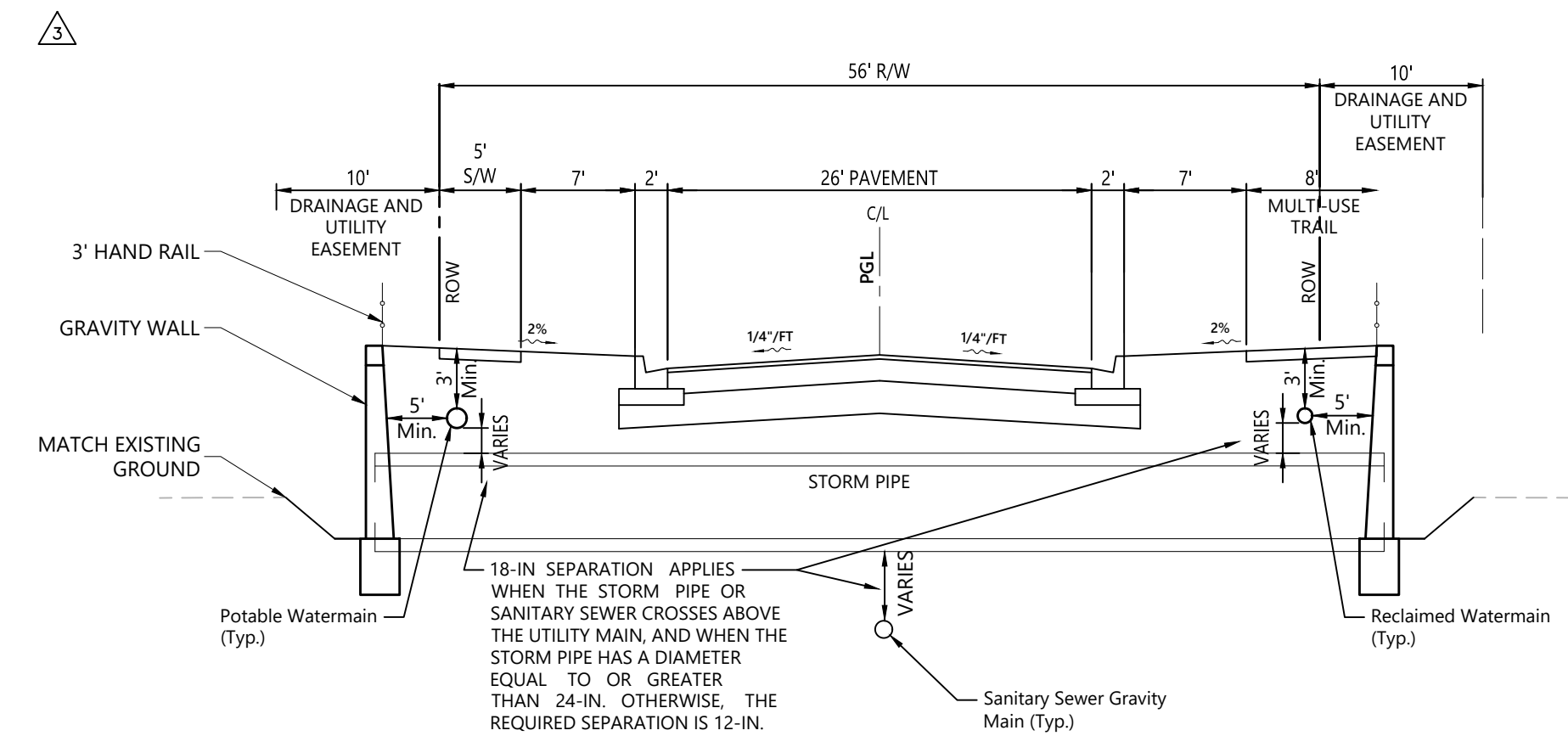
Typical Lot Grading Details

N.T.S.



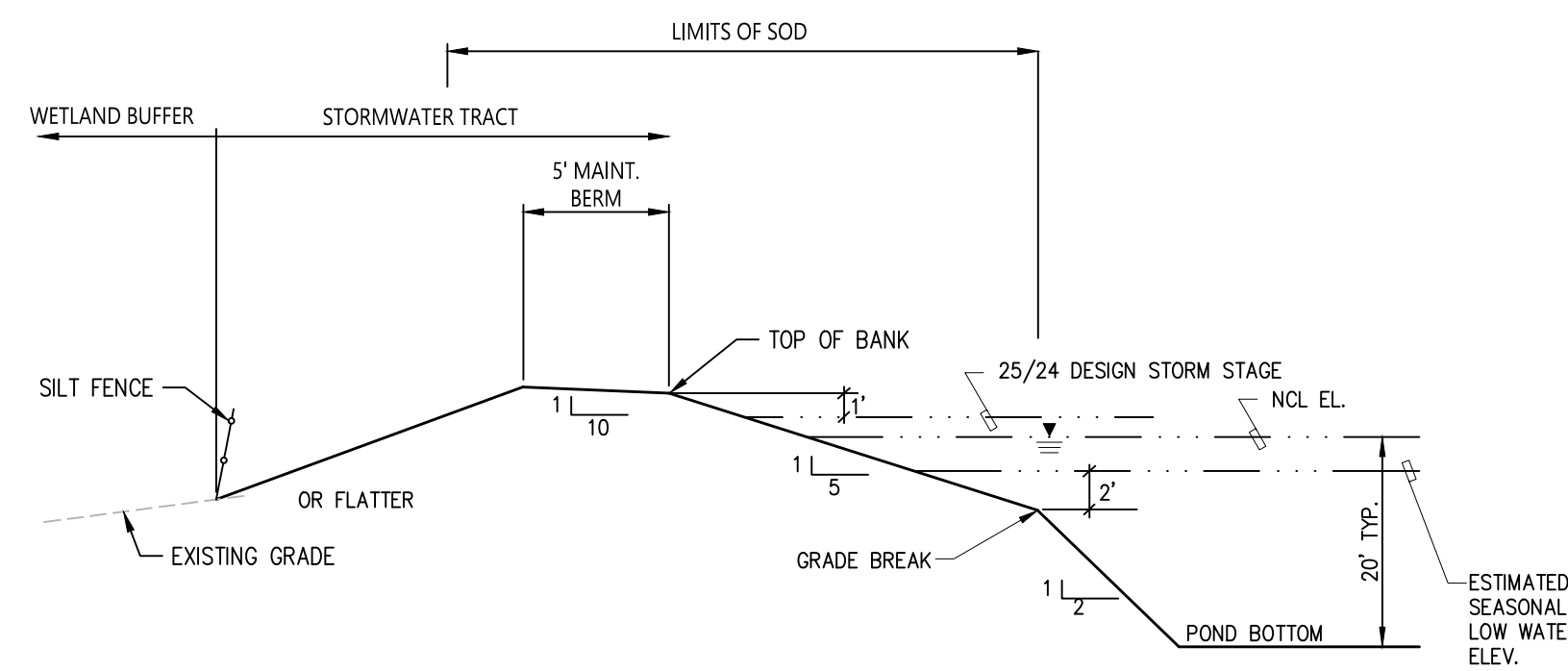
Sidewalk Apron Detail - Pond Access

N.T.S.



Wetland 17 - Typical Roadway Section

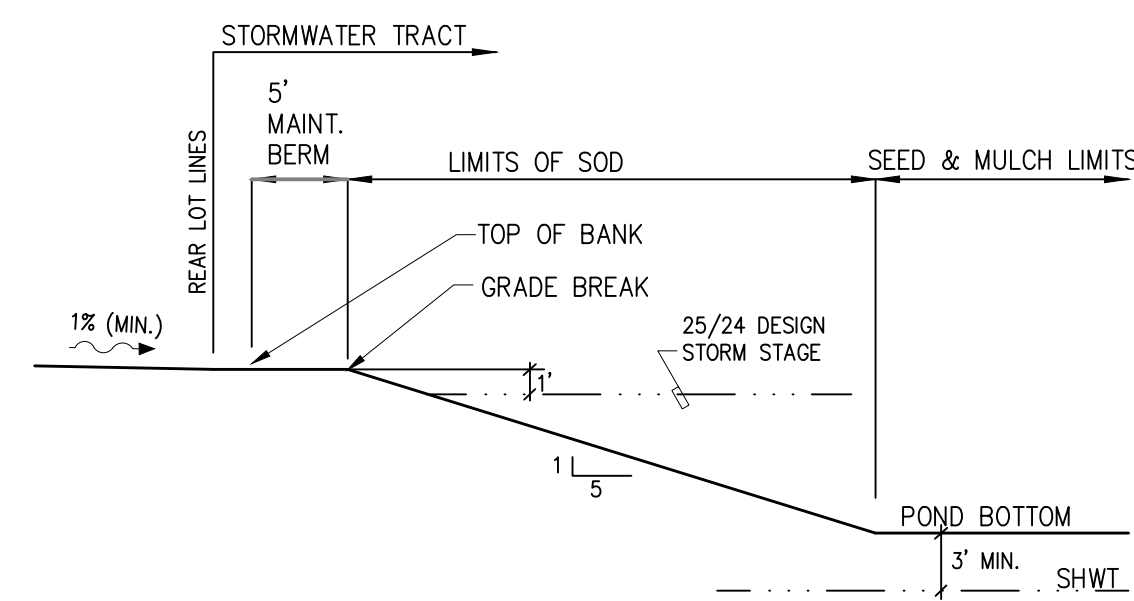
N.T.S.



NOTE: NO GRADING TO BE PERFORMED IN THE BUFFER OR WETLAND

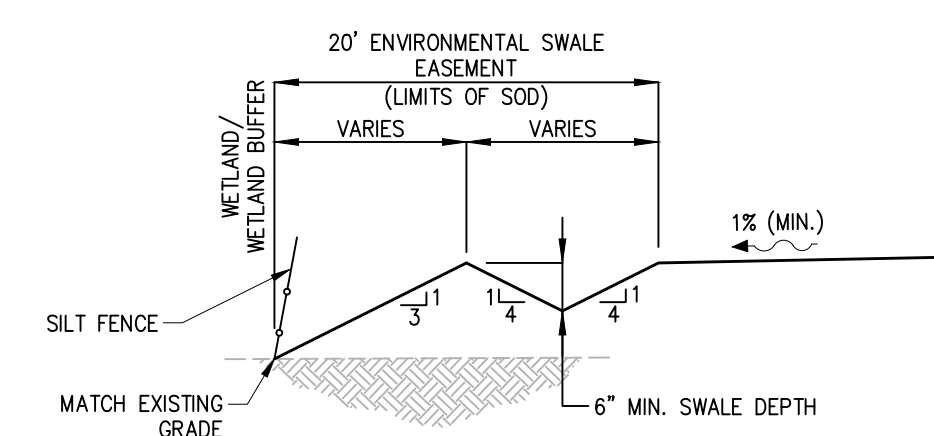
Wet Detention - Pond Grading Section

N.T.S.



Dry Retention - Pond Grading Section

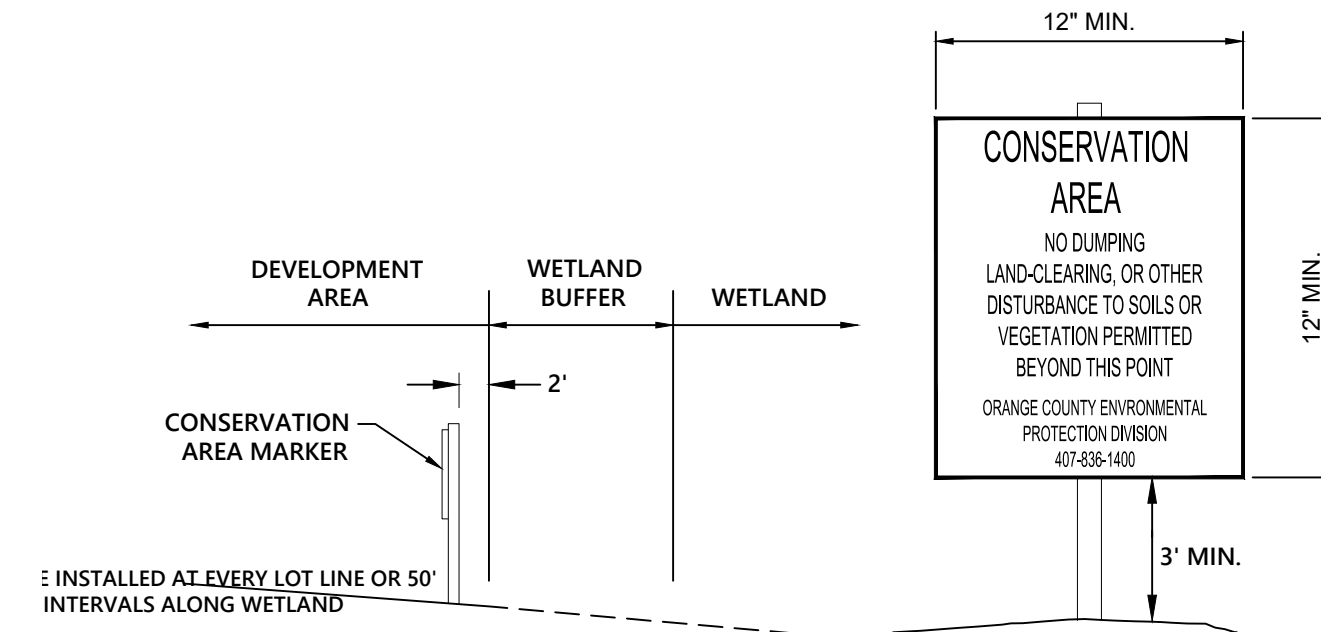
N.T.S.
NOTE: STORM DRAINAGE PIPES SHALL ENTER THE DRY BOTTOM PONDS NO LOWER THAN THE POND BOTTOM. NO SUMPS OR BUBBLE-UP TYPE STRUCTURES SHALL BE ACCEPTED



NOTE: NO GRADING TO BE PERFORMED IN THE BUFFER OR WETLAND

Environmental Swale Section

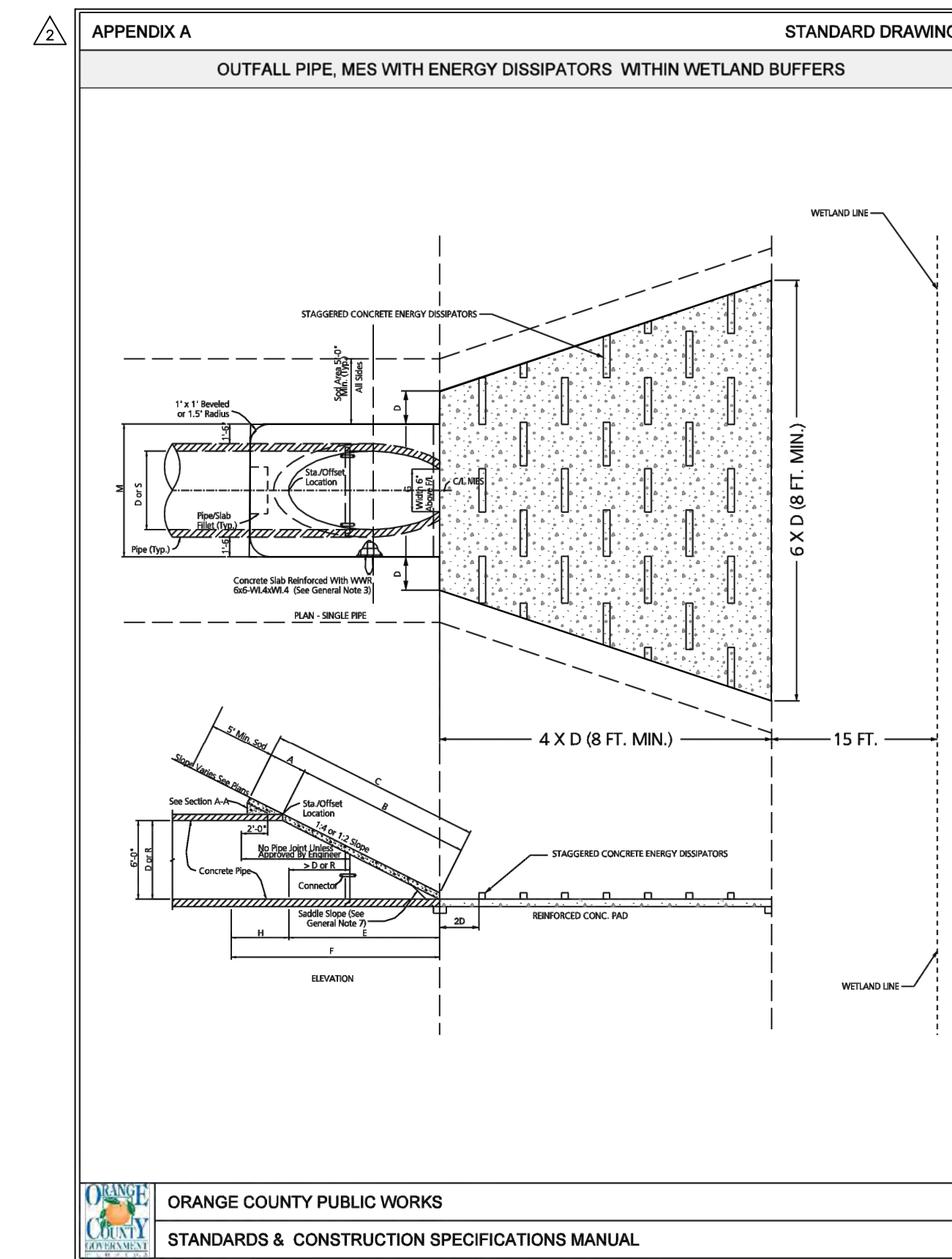
N.T.S.



Typical Conservation Marker Detail

N.T.S.

- NOTES:
1. CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS STATING: "CONSERVATION AREA - NO DUMPING, LAND-CLEARING, OR OTHER DISTURBANCE TO SOILS OR VEGETATION PERMITTED BEYOND THIS POINT. ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION 407-836-1400." THESE SIGNS SHALL BE LOCATED NO FARTHER THAN 150 FEET APART IN COMMON AREAS ON THE LANDWARD EDGE OF THE BUFFER (NOT IN THE BUFFER), AND ON EVERY OTHER INDIVIDUAL LOT LINE FOR RESIDENTIAL PROPERTIES, OR AS SPECIFIED WITHIN AN APPROVED ORANGE COUNTY CONSERVATION AREA IMPACT (CAI) PERMIT. PROVIDE A TYPICAL SIGN SHOWING THE DIMENSIONS OF THE SIGN AT 12 BY 12 INCHES MINIMUM AND AT LEAST 24 INCHES ABOVE GRADE.



Typical MES Outfall Pipe Detail

N.T.S.

The Grow Parcels F1, F2 Orange County, Florida

| No. | Revision | Date | Appvd. |
|-----|-----------------------------|------------|--------|
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Designed by: RAS/BD/JRW
Checked by: RAS
Issued for: PSP
Date: March 04, 2022

Typical Drainage Sections

Drawing Number

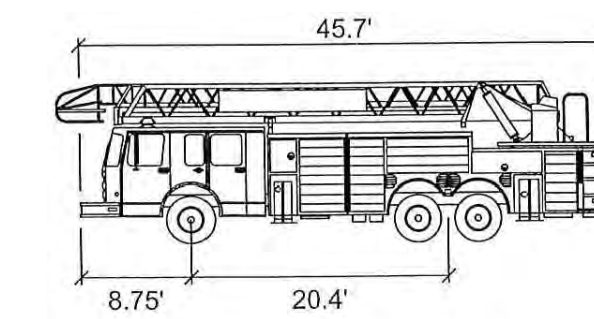
C-21

Sheet of

Project Number
63691.00



▲
UPDATED PROJECTED LOT LINES INTO LAKE TANNER AND CORNER LAKE



ORANGE COUNTY 95-PLATFORM

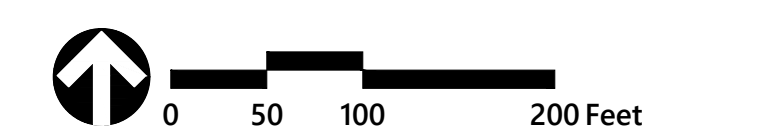
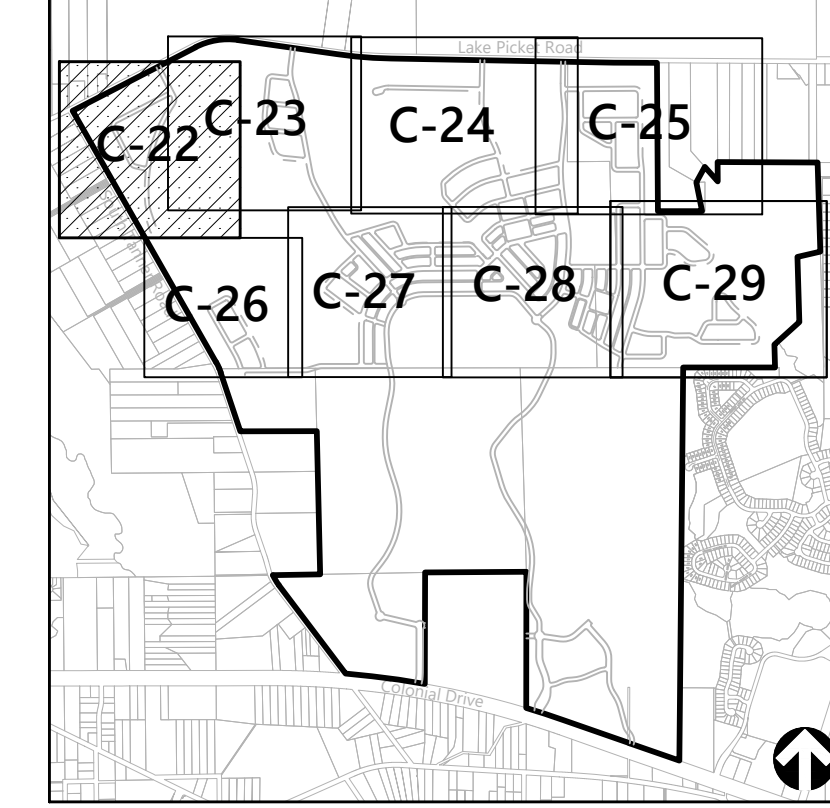
Width : 8.33'
 Track : 8.33'
 *Lock to Lock Time : 6.0
 *Steering Angle : 44.2°
 *Min. Centerline Radius : 29'
 *Modified L-WAGEN CROW 2004 (NL) Europe

FIRE TRUCK DIMENSIONS
 N.T.S.

- NOTES:
1. THE OFFICE OF THE FIRE MARSHAL RECOGNIZES STREETS AND ALLEYS AS REQUIRED FIRE DEPARTMENT ACCESS.
 2. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 FFPC 2012 (5TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
 3. ALL BUILDINGS THAT DO NOT MEET THE HOSE LAY REQUIREMENT OF 150' SHALL BE PERMITTED WITH FIRE SPRINKLER SYSTEM AND MEET HOSE LAY REQUIREMENTS OF 450'.

vhb.com

225 E. Robinson Street
 Suite 300
 Orlando, FL 32801
 407.839.4006
 Certificate of Authorization
 Number FL #3932



**The Grow
 Parcels F1, F2
 Orange County, Florida**

| No. | Revision | Date | Appvd. |
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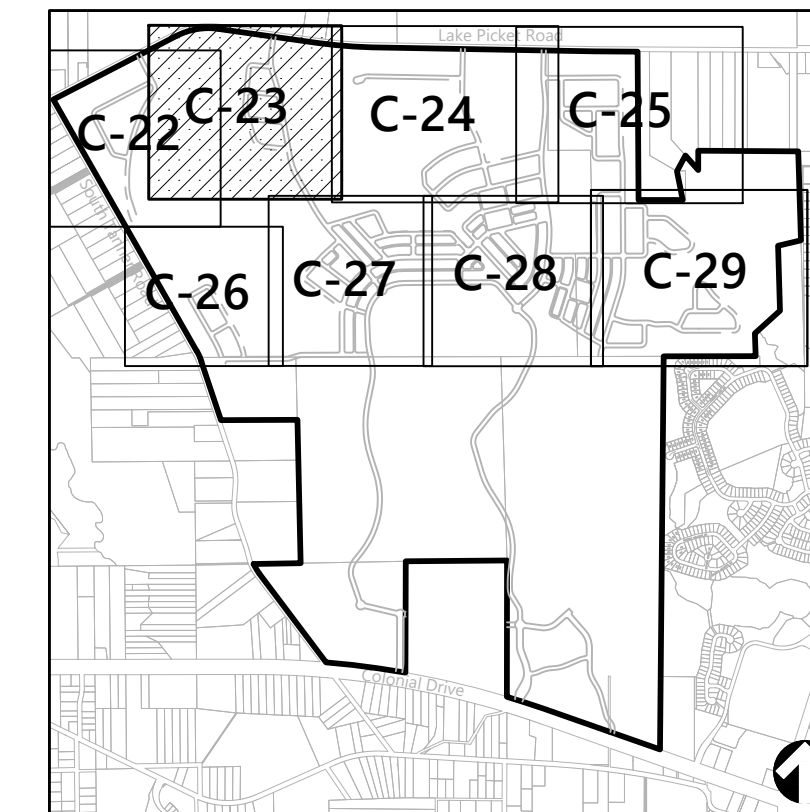
Designed by: RAS/BD/JRW
 Checked by: RAS
 Issued for: PSP
 Date: March 04, 2022

Drawing Title
Fire Access Plan

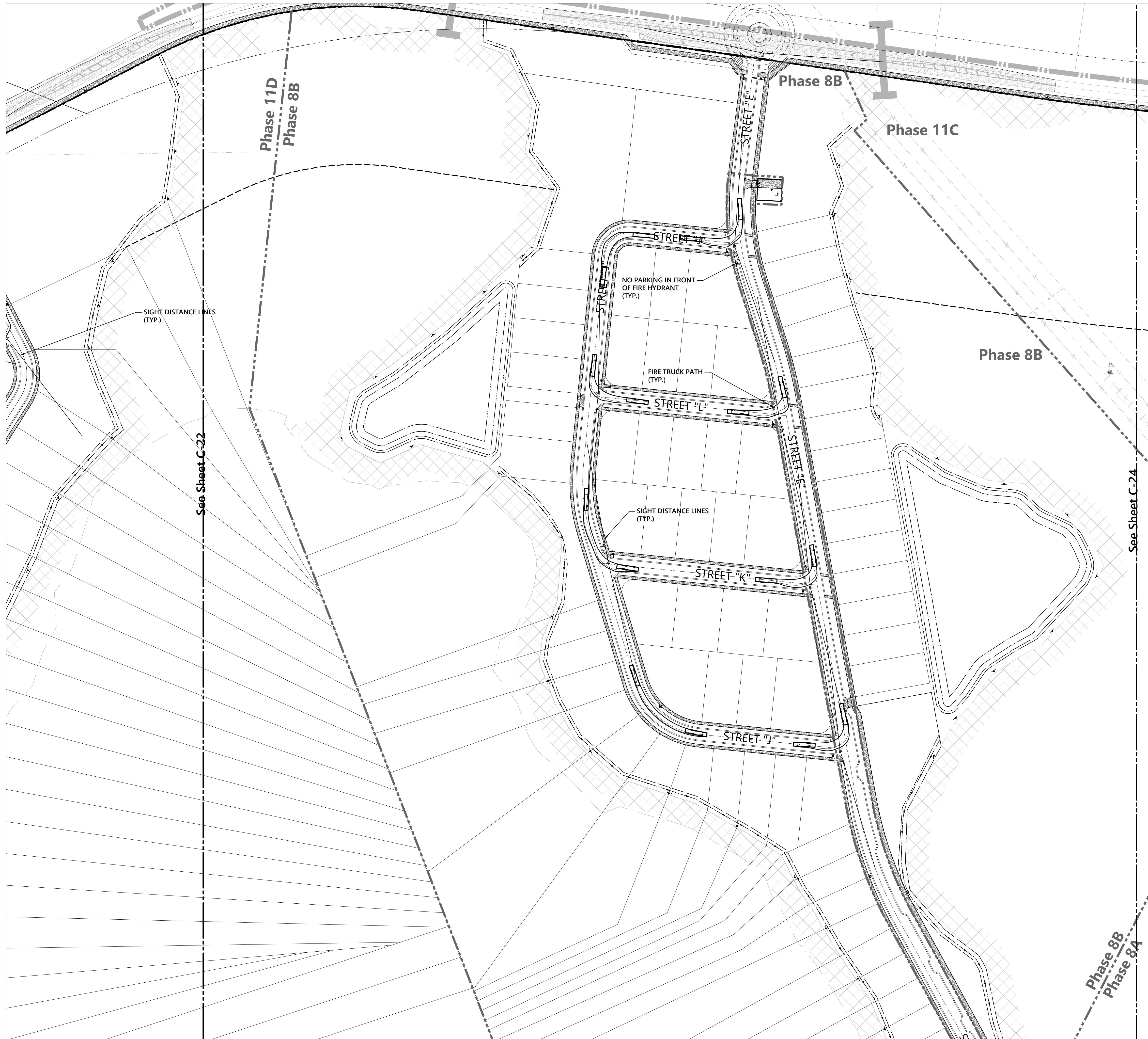
Drawing Number

C-22

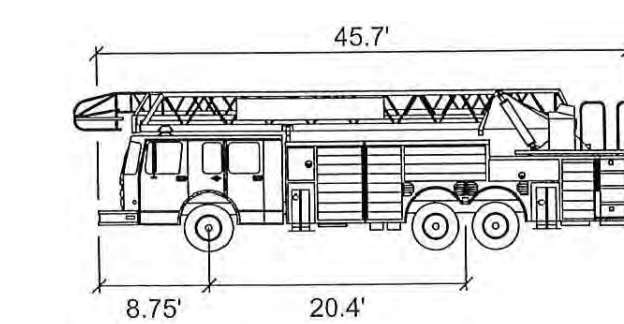
Sheet of



Key Map

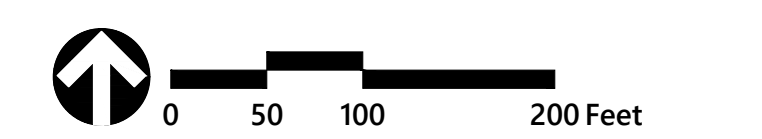


△
UPDATED PROJECTED LOT LINES INTO
LAKE TANNER AND CORNER LAKE



ORANGE COUNTY 95-PLATFORM
Width : 8.33'
Track : 8.33'
*Lock to Lock Time : 6.0
*Steering Angle : 44.2"
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*Modified L-WAGEN CROW 2004 (NL) Europe
FIRE TRUCK DIMENSIONS
N.T.S.

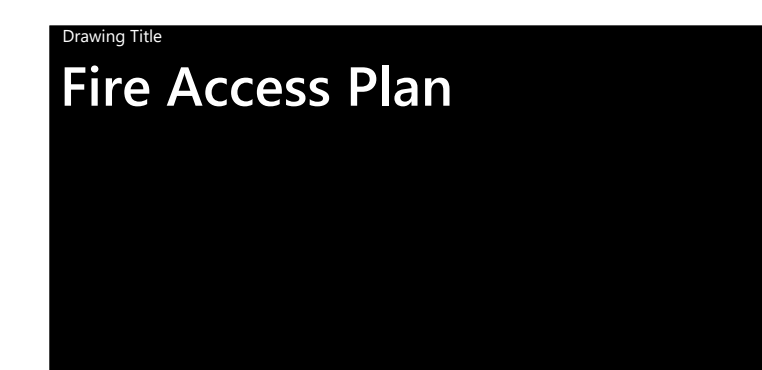
- NOTES:**
1. THE OFFICE OF THE FIRE MARSHAL RECOGNIZES STREETS AND ALLEYS AS REQUIRED FIRE DEPARTMENT ACCESS.
 2. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 FFPC 2012 (5TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
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**The Grow
Parcels F1, F2
Orange County, Florida**

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Designed by: RAS/BD/JRW
Checked by: RAS
Issued for: PSP
Date: March 04, 2022



C-23
Sheet of

See Sheet C-27

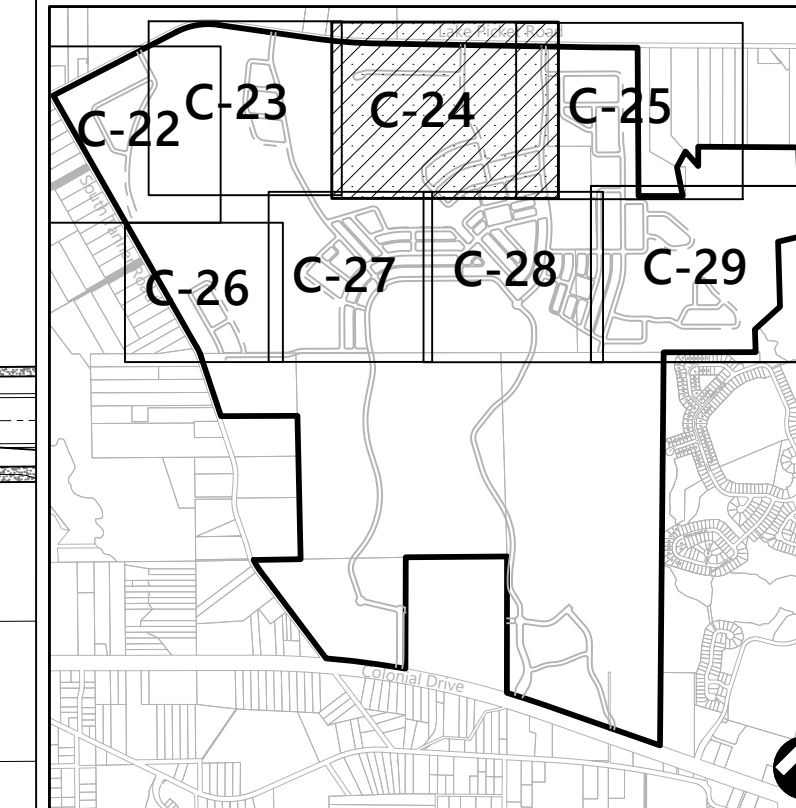
See Sheet C-24

See Sheet C-22

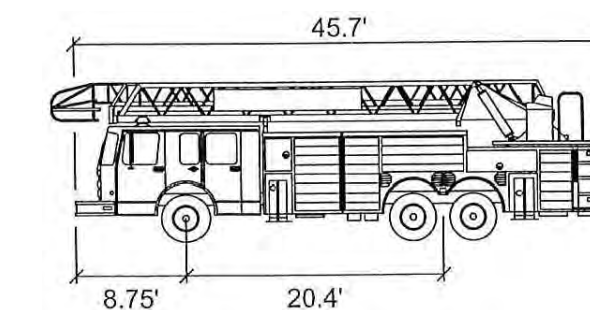
Phase 8B
Phase 8A



225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932



Key Map



ORANGE COUNTY 95-PLATFORM
Width : 8.33'
Track : 8.33'
*Lock to Lock Time : 6.0
*Steering Angle : 44.2°
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FIRE TRUCK DIMENSIONS
N.T.S.



**The Grow
Parcels F1, F2
Orange County, Florida**

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Designed by: RAS/BD/JRW Checked by: RAS
Issued for: PSP Date: March 04, 2022

Fire Access Plan

Drawing Number

C-24

Sheet of

Project Number
63691.00



NO PARKING IN FRONT OF FIRE HYDRANT (TYP.)

FIRE TRUCK PATH (TYP.)

SIGHT DISTANCE LINES (TYP.)

- NOTES:**
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See Sheet C-23

See Sheet C-25

See Sheet C-27

See Sheet C-28