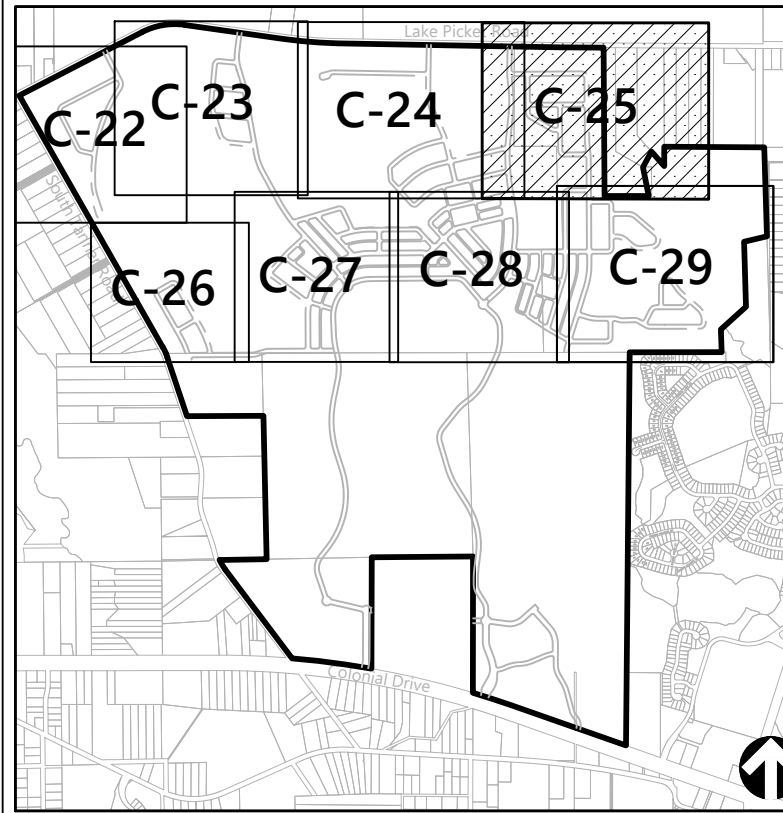
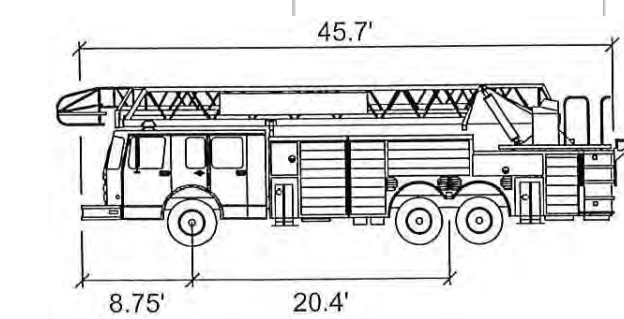




225 E. Robinson Street
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Number FL #3932

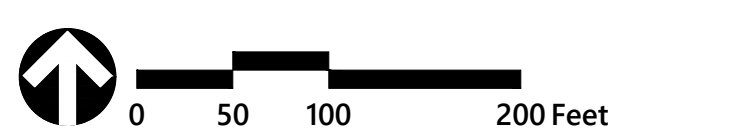


Key Map



ORANGE COUNTY 95-PLATFORM
 Width : 8.33'
 Track : 8.33'
 *Lock to Lock Time : 6.0
 *Steering Angle : 44.2"
 *Min. Centerline Radius : 29'
 *Modified L-WAGEN CROW 2004 (NL) Europe
FIRE TRUCK DIMENSIONS
 N.T.S.

- NOTES:**
1. THE OFFICE OF THE FIRE MARSHAL RECOGNIZES STREETS AND ALLEYS AS REQUIRED FIRE DEPARTMENT ACCESS.
 2. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 FFPC 2012 (5TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
 3. ALL BUILDINGS THAT DO NOT MEET THE HOSE LAY REQUIREMENT OF 150' SHALL BE PERMITTED WITH FIRE SPRINKLER SYSTEM AND MEET HOSE LAY REQUIREMENTS OF 450'.



**The Grow
Parcels F1, F2
Orange County, Florida**

No.	Revision	Date	App'd.
7	CDR Request	05/24/2023	
6	Revised per County Comments	10/05/2022	
5	Revised per County Comments	09/16/2022	
4	Revised per County Comments	08/29/2022	
3	Revised per County Comments	07/22/2022	
2	Revised per County Comments	05/06/2022	

Designed by: RAS/BD/JRW
 Checked by: RAS
 Issued for: PSP
 Date: March 04, 2022

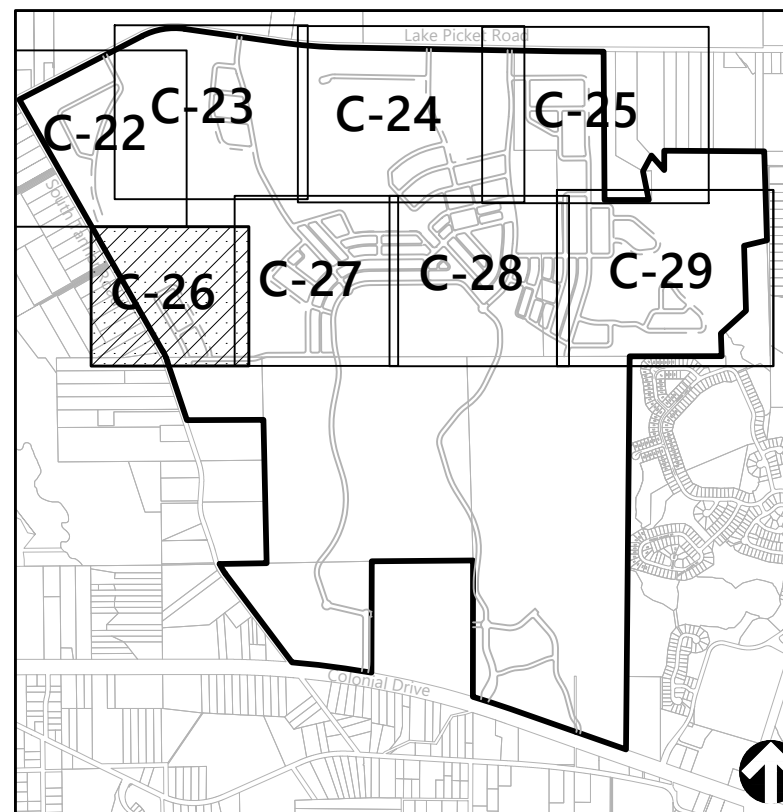
Fire Access Plan

Drawing Number

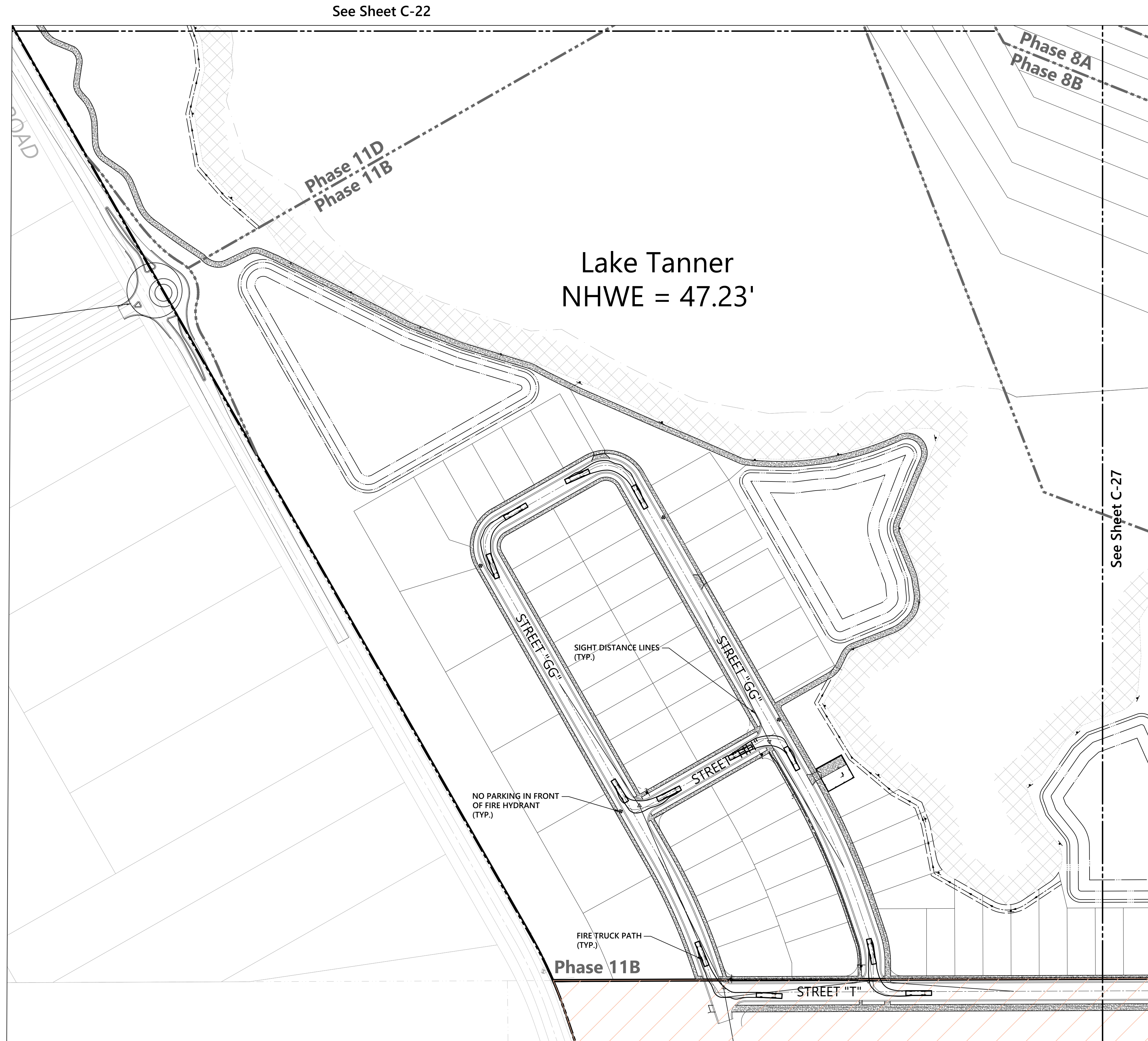
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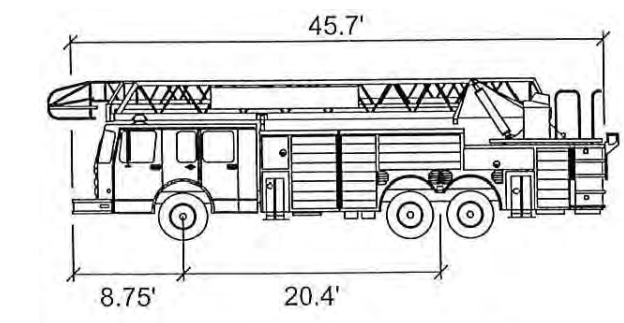
Project Number
63691.00



Key Map



△
UPDATED PROJECTED LOT LINES INTO
LAKE TANNER AND CORNER LAKE



ORANGE COUNTY 95-PLATFORM
Width : 8.33'
Track : 8.33'
*Lock to Lock Time : 6.0
*Steering Angle : 44.2°
*Min. Centerline Radius : 29'
*Modified L-WAGEN CROW 2004 (NL) Europe
FIRE TRUCK DIMENSIONS
N.T.S.



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Parcels F1, F2
Orange County, Florida**

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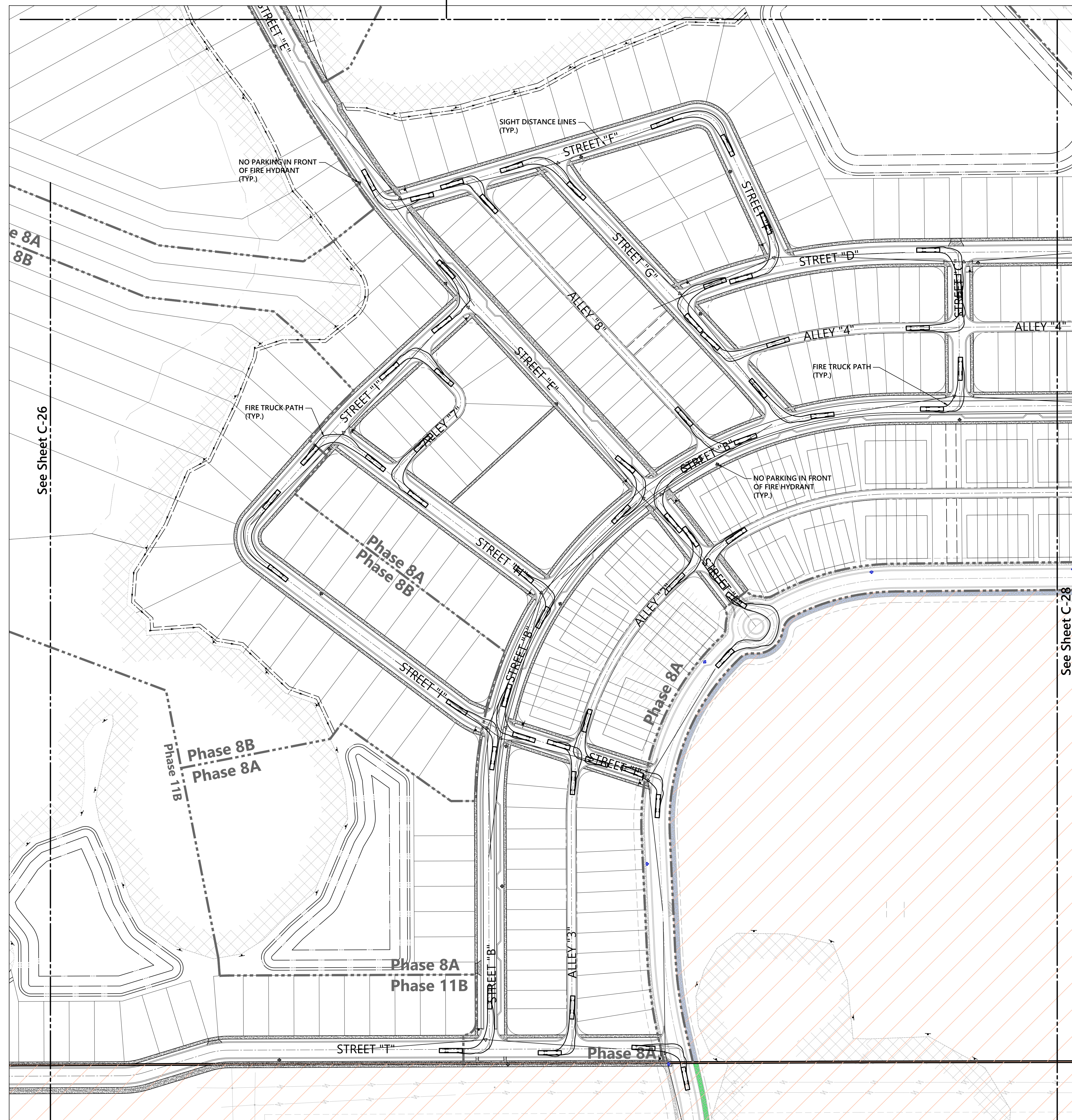
- NOTES:**
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 2. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 FFPC 2012 (5TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
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Fire Access Plan

Drawing Number

C-26

Sheet of

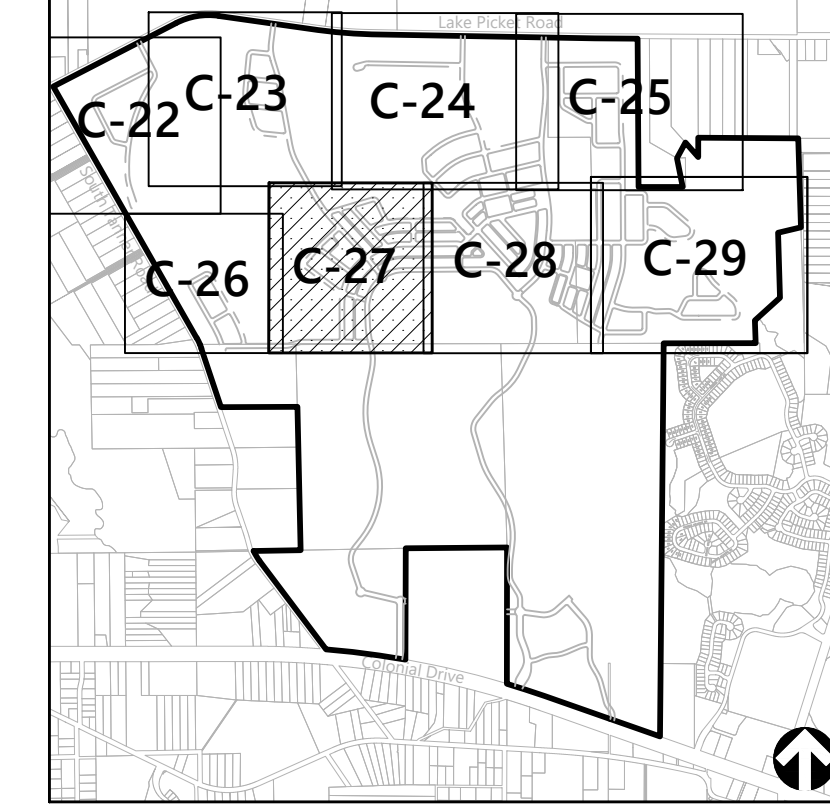


See Sheet C-26

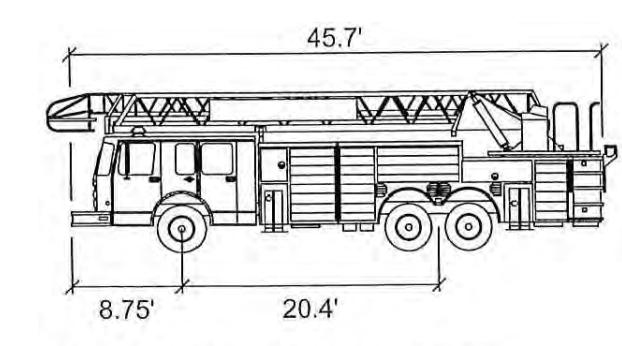
See Sheet C-28



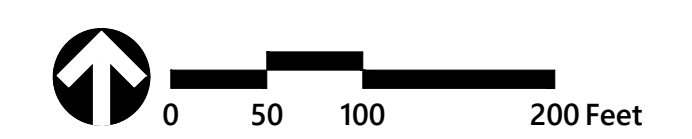
225 E. Robinson Street
 Suite 300
 Orlando, FL 32801
 407.839.4006
 Certificate of Authorization
 Number FL #3932



△
 UPDATED PROJECTED LOT LINES INTO
 LAKE TANNER AND CORNER LAKE



ORANGE COUNTY 95-PLATFORM
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FIRE TRUCK DIMENSIONS
 N.T.S.



**The Grow
 Parcels F1, F2
 Orange County, Florida**

No.	Revision	Date	App'd.
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Designed by: RAS/BD/JRW
 Checked by: RAS
 Issued for: PSP
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- NOTES:**
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Fire Access Plan

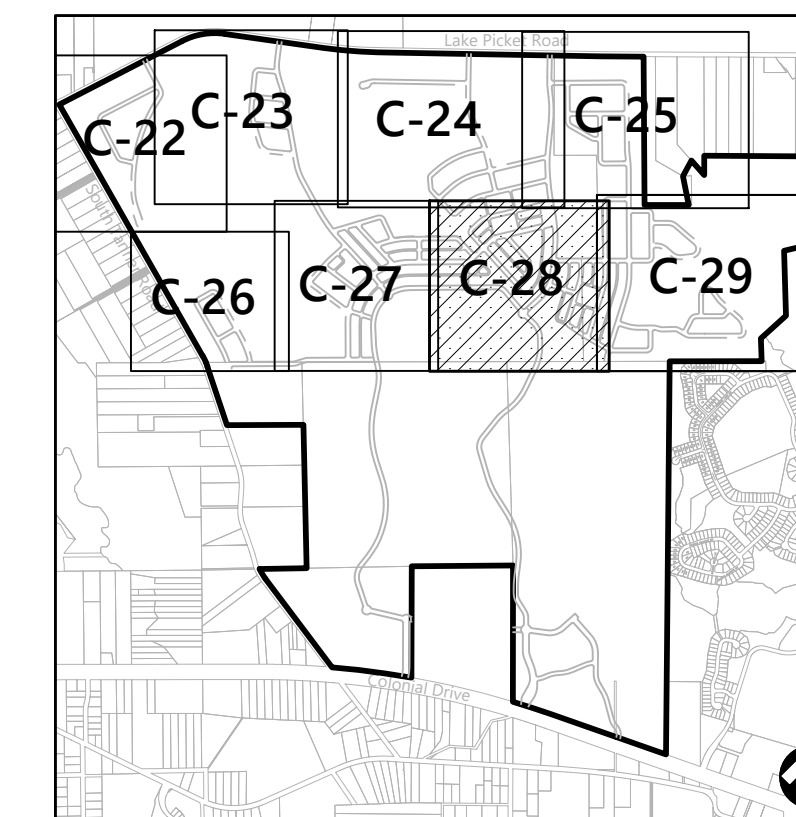
Drawing Number

C-27

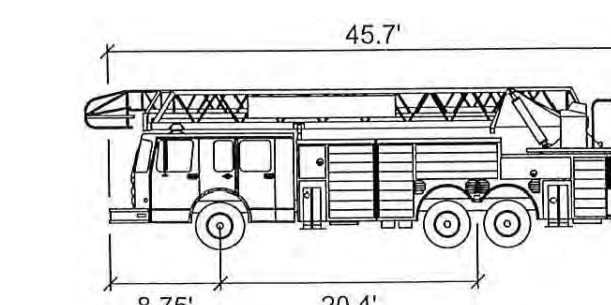
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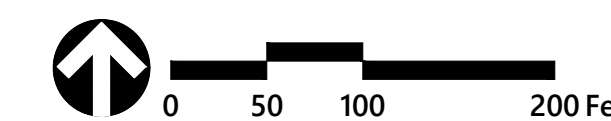
225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932



Key Map



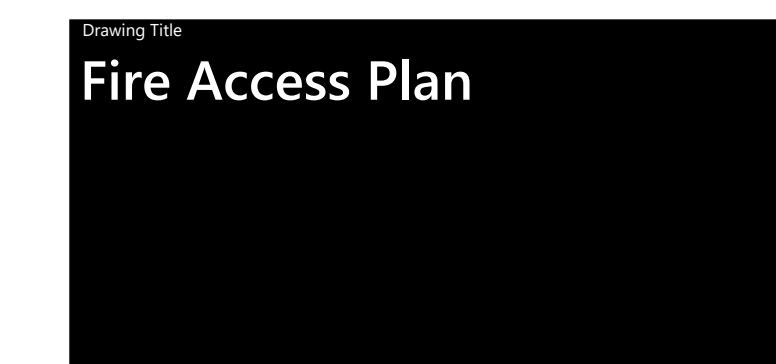
ORANGE COUNTY 95-PLATFORM
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FIRE TRUCK DIMENSIONS
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**The Grow
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Designed by: RAS/BD/JRW
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Issued for: PSP
Date: March 04, 2022



Drawing Number

C-28

Sheet of

See Sheet C-27

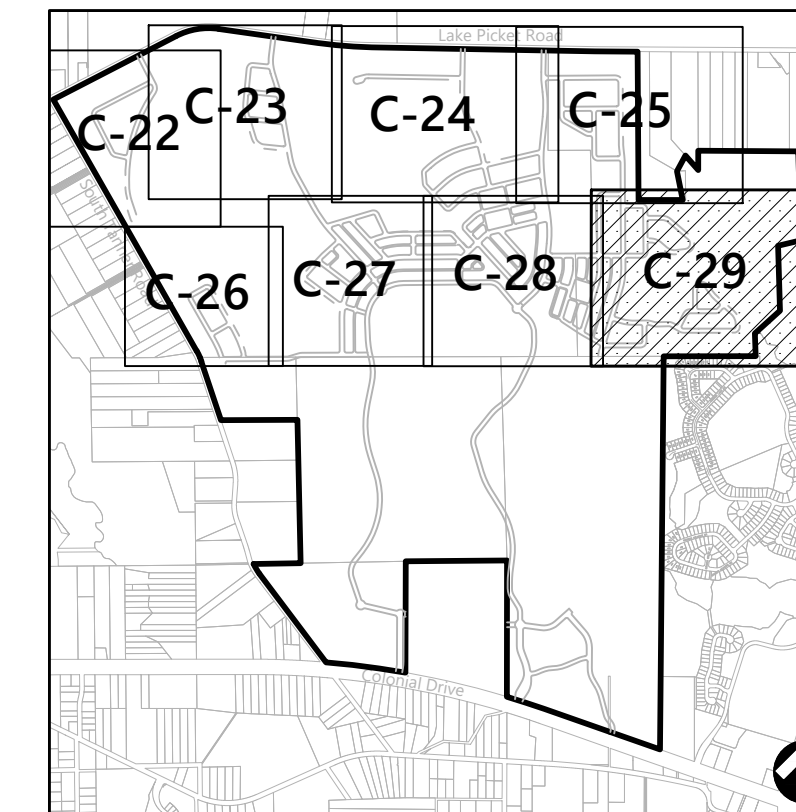
See Sheet C-29



- NOTES:**
1. THE OFFICE OF THE FIRE MARSHAL RECOGNIZES STREETS AND ALLEYS AS REQUIRED FIRE DEPARTMENT ACCESS.
 2. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 FPFC 2012 (5TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
 3. ALL BUILDINGS THAT DO NOT MEET THE HOSE LAY REQUIREMENT OF 150' SHALL BE PERMITTED WITH FIRE SPRINKLER SYSTEM AND MEET HOSE LAY REQUIREMENTS OF 450'.

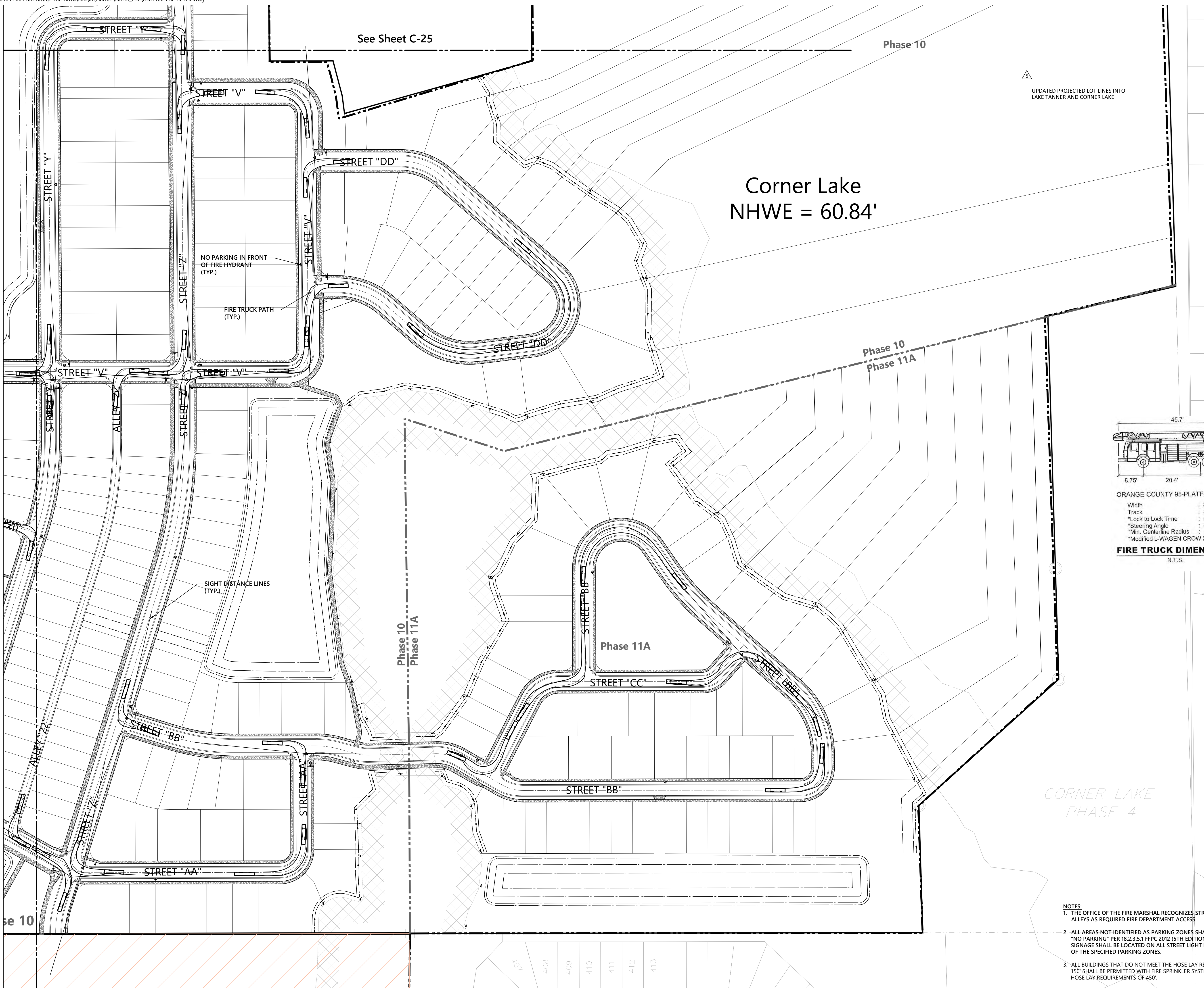


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Certificate of Authorization
Number FL #3932



Key Map

Corner Lake NHWE = 60.84'

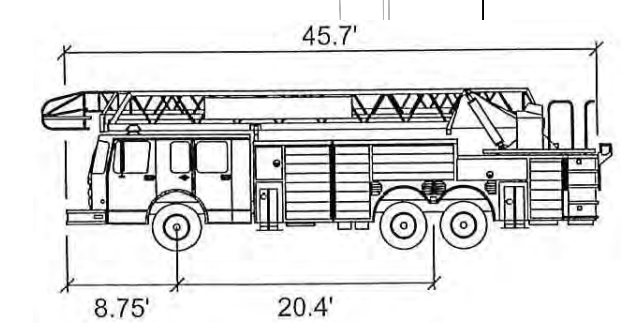


△
UPDATED PROJECTED LOT LINES INTO
LAKE TANNER AND CORNER LAKE

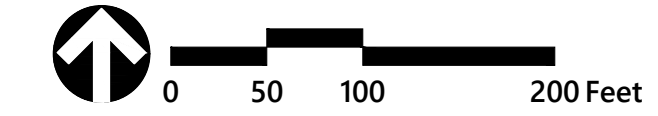
NO PARKING IN FRONT
OF FIRE HYDRANT
(TYP.)

FIRE TRUCK PATH
(TYP.)

SIGHT DISTANCE LINES
(TYP.)



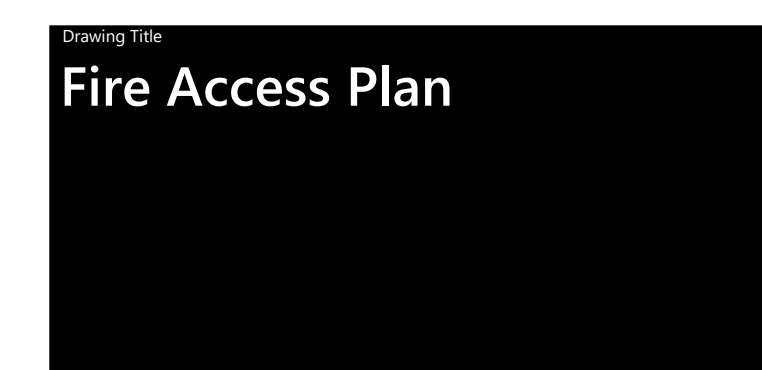
ORANGE COUNTY 95-PLATFORM
Width : 8.33'
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*Lock to Lock Time : 6.0
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*Modified L-WAGEN CROW 2004 (NL) Europe
FIRE TRUCK DIMENSIONS
N.T.S.



**The Grow
Parcels F1, F2
Orange County, Florida**

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Designed by: RAS/BD/JRW
Checked by: RAS
Issued for: PSP
Date: March 04, 2022



Drawing Number

C-29

Sheet of

Project Number
63691.00

CORNER LAKE
PHASE 4

- NOTES:**
1. THE OFFICE OF THE FIRE MARSHAL RECOGNIZES STREETS AND ALLEYS AS REQUIRED FIRE DEPARTMENT ACCESS.
 2. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 FFPC 2012 (5TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
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See Sheet C-28

See Sheet C-25

se 10



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Certificate of Authorization
Number FL #3932



Tree Schedule

Total Inches To Be Removed	Zone 'A'		Zone 'B'		Zone 'C'		Total		
	Non Specimen	Specimen	Non Specimen	Specimen	Non Specimen*	Specimen	Non Specimen*	Specimen	
	8,970"	136"	320"	179"	21"	2,868"	9,311"	3,183"	
TOTAL INCHES TO BE PRESERVED	14,257"		272"		155"		14,684"		
SUMMARY:									
	SPECIMEN TREES 24" OR GREATER TO BE REMOVED						=	3,183"	
	COUNTED @ 2X CALIPER INCHES TOWARD REPLACEMENT						=	6,366"	
	NON-SPECIMEN TREES TO BE REMOVED*						=	9,311"	
	TOTAL MITIGATION REQUIRED						=	15,677"	
	TOTAL TREES TO BE PRESERVED						=	14,684"	
	ESTIMATED TOTAL LOT TREES TO BE PLANTED (2" MINIMUM)						=	6,471"	
	ESTIMATED TOTAL STREET TREES TO BE PLANTED (3" MINIMUM)						=	10,824"	

- NOTES:
- ALL LOT TREES TO BE INSTALLED IN ACCORDANCE WITH O.C. SECTION 15-306.
 - STREET TREES NOT TO BE PLANTED WITHIN 10' OF CURB INLETS.
 - STREET TREES NOT TO BE PLANTED WITHIN 75' OF AN APPROACH TO AN INTERSECTION MEASURED FROM CURB LINE EXTENSION OF INTERSECTING STREETS.
 - STREET TREES NOT TO BE PLANTED ABOVE STORM PIPES, UNLESS TOP OF PIPE IS 5' OR DEEPER.
 - SIGHT DISTANCE MEETING FOOT STANDARDS SHALL BE MET AT ALL INTERSECTIONS.
- * LESS-THAN 24" DIAMETER TREES LOCATED WITHIN PROTECTION ZONE 'C' ARE NOT COUNTED TOWARD REMOVED TOTAL

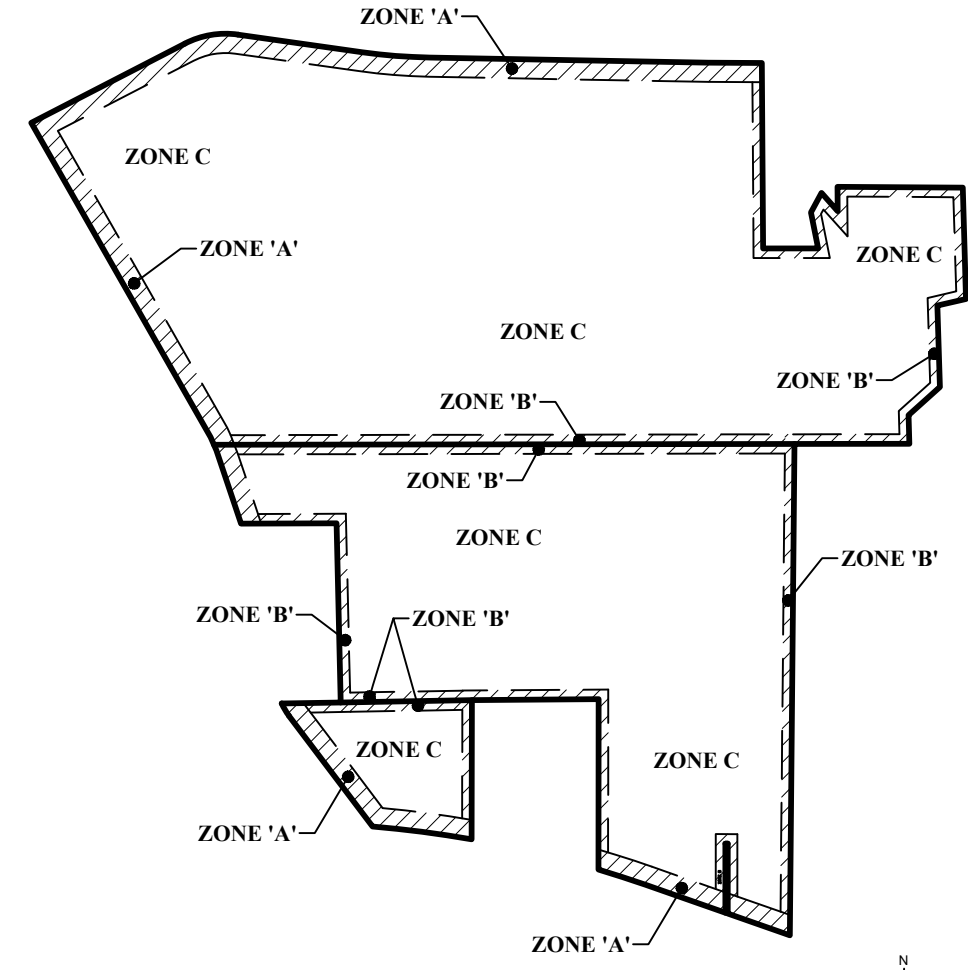
UPDATED PROJECTED LOT LINES INTO LAKE TANNER AND CORNER LAKE

Tree Preservation Notes:

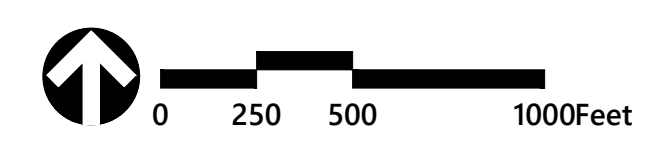
- Tree Preservation language for The Grow Code is also
- 5.7 Tree Protection.** The developer shall comply with Chapter 15, Article VIII, of the Orange County Code (last revision 11-6-01) (the "Tree Protection Ordinance"). The developer has submitted a tree survey, and is responsible for mitigation, as required under the Tree Protection Ordinance. Capitalized terms used in this Section 5.7 without definition shall have the meanings ascribed thereto in Tree Protection Ordinance. The developer has proffered, and the County has accepted, to undertake certain additional tree protection measures as set forth herein. The Tree Preservation Plan ("TPP") map is provided as Figure 5.3, and depicts the following:
- Protection Zones:** Protection Zones A, B and C (and surveyed trees in each zone), per Section 15-301, Orange County Code. The developer's tree survey shows the Protected Trees, as identified in the protection zones.
 - Preserved Trees Areas:** Protected Trees in the Preserved Trees Areas shall be preserved except for minimal impacts necessary based on reasonable and prudent engineering standards.
 - Tree Preservation Areas:** While development in the areas designated as Tree Preservation Areas ("TPA's") is permissible, the intent of TPA's is to preserve Protected Trees except minimal impacts resulting from and through the thoughtful arrangement of building pads, walkways, roadways, parking, and storm management systems (including, but not limited to, drainage swales/underdrains, sidewalks, grading and utilities crossings, in a configuration which purposefully seeks to avoid tree canopy resources).
 - Potential Tree Save Opportunity Areas:** Open space areas designated as Potential Tree Save Opportunity Areas ("PTSOA") include, for example, Central Focal Points ("CFP's") and Agriculture areas (e.g. Community Gardens and the Working Farm), and are intended to be fully improved for active and passive community and recreational uses in accordance with the Grow Code. Improvements shall also include, for example, landscape/hardscape, storm management systems (including, but not limited to, drainage swales/underdrains, sidewalks, grading and utilities crossings). However, the developer shall seek opportunities, and make good faith efforts, to preserve Protected Trees in PTSOA's taking into account the developer's planned improvements and otherwise in accordance with reasonable and prudent engineering standards.
 - Perimeter Row of Residential Lots abutting South Tanner and Lake Pickett Roads:** Protected Trees in Zone A are located on many of the planned half and one acre residential lots to be located along the perimeter of the property, adjacent to South Tanner Road and Lake Pickett Road. During rough grading of the property, the developer shall, with respect to these lots, remove only such of the Protected Trees located within required utility and drainage easements and within development pads dimensioned as 90' (width) X 150' (length). Future, individual lot plans for these lots shall reflect opportunities, and good faith efforts, to minimize impacts to the remaining Protected Trees taking into account the developer's planned improvements and otherwise in accordance with reasonable and prudent engineering standards. Notwithstanding the foregoing, the developer shall include mitigation for all of the Protected Trees located on these lots in its tree replacement/mitigation plan prepared in accordance with the Tree Protection Ordinance.

LEGEND

- PRESERVED TREE AREAS
- TREE PRESERVATION AREAS
- POTENTIAL TREE SAVE OPPORTUNITY AREAS
- HALF-ACRE AND ONE-ACRE LOTS



Key Map



The Grow Parcels F1, F2 Orange County, Florida

No.	Revision	Date	Apprv.
7	CDR Request	05/24/2022	
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Designed by: RAS/BD/JRW
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Issued for: PSP
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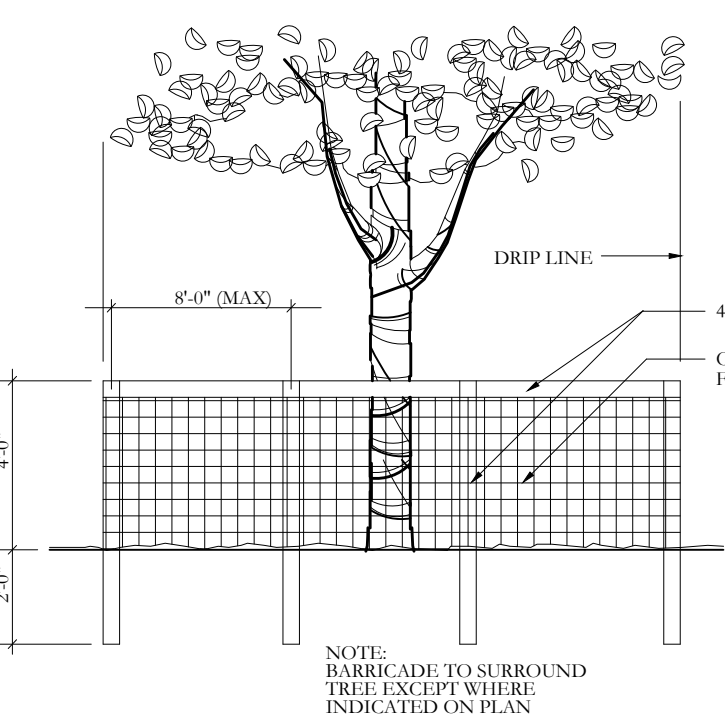
Drawing Title
Tree Preservation Plan
Drawing Number

C-30

Sheet of

Project Number
63691.00

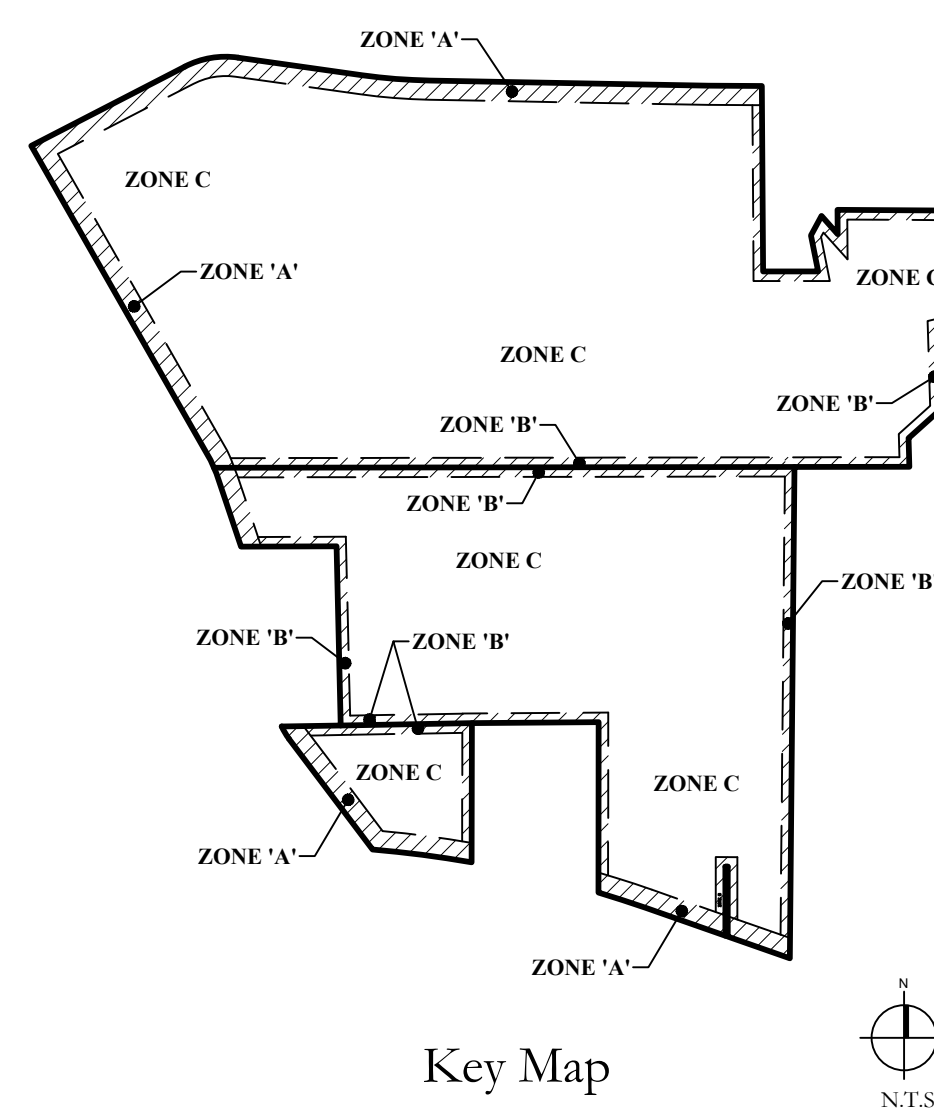
- REMOVE TREE
- PRESERVE TREE



EXISTING TREE PROTECTION DETAIL
N.T.S.

- GENERAL NOTES:**
- RESIDENTIAL PSP'S SHALL COMPLY WITH SECTION 15-306 CONCERNING MINIMUM NUMBER OF TREES PER LOT.
 - NO TREES SHALL BE REMOVED FROM WETLAND OR WETLAND BUFFERS.

Main table with 100 columns of Point Number and Description. Each column contains a list of points with their respective descriptions, such as '15601 8' PINE', '15602 16' PINE', etc.



Summary table with 10 columns of Point Number and Description, listing specific points like 18480, 18481, 18482, etc., and their descriptions.

The Grow Parcels F1, F2 Orange County, Florida. Includes a revision table with columns for No., Revision, Date, and Appr. The revision table shows several entries for 'CDR Request' and 'Revised per County Comments'.

Tree Preservation Plan C-31. Includes a legend with 'REMOVE TREE' and 'PRESERVE TREE' symbols, a sheet number 'C-31', and a date 'March 04, 2022'.

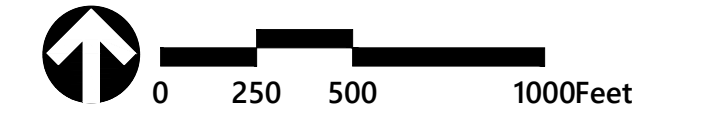
Save Tuesday, July 11, 2023 3:48:24 PM WHITE Plotted Tuesday, July 11, 2023 4:28:25 PM Jeff White



225 E. Robinson Street Suite 300 Orlando, FL 32801 407.839.4006

Certificate of Authorization Number FL #3932

Table with 10 columns: Lot Number, Area, Required Trees, Trees Provided, Replacement Trees, Total Replacement, Total Inches Provided. Contains 1000 rows of lot data.



The Grow Parcels F1, F2 Orange County, Florida

Revision table with columns: No., Revision, Date, Appr. Contains 7 revision entries.

Tree Chart

Tree Chart table with columns: Number Of, Average Lot Area, Required Trees, Trees Provided (2" Min.), Proposed Replacement Trees, Caliper Provided (3" Min.), Preserved Trees, Total Replacement, Total Inches Provided. Includes a total row.

ORANGE COUNTY CODE SEC. 15-306: PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, EACH RESIDENTIAL LOT SHALL CONTAIN AT LEAST THE FOLLOWING MINIMUM NUMBER OF RESIDENTIAL LOT TREES...

C-31A



See Sheet C-33

Sign Summary					
M.U.T.C.D. Number	Specification		Desc.	Quantity	
	Width	Height			
1	R1-1	30"	30"		81
2	R5-1	30"	30"		
3	R8-3	12"	18"		197
4	R2-1	24"	30"		10
5	R6-2	24"	30"		
6	W11-2	30"	30"		
6A	W16-9P	30"	15"		
7	R8-3	12"	18"		5
8	R8-3	12"	18"		10
9	STREET SIGNS	24,30,36,42 or 48"	60"		81
9A	WLD LIFE CROSSING SIGN	TO BE DETERMINED (SEE NOTE)			14
9B	W14-1	12"	18"		2

10	24" STOP BAR 6" BEHIND CROSSWALK/CURB RAMP
11	DIRECTION OF TRAFFIC FOR ALLEYS
12	8' WIDE PEDESTRIAN SPECIAL HIGH EMPHASIS CROSS WALK (FDOT INDEX NO. 711-001)
5	DESIGNATED PARALLEL PARKING SPACES
	POTENTIAL PARALLEL PARKING SPACES

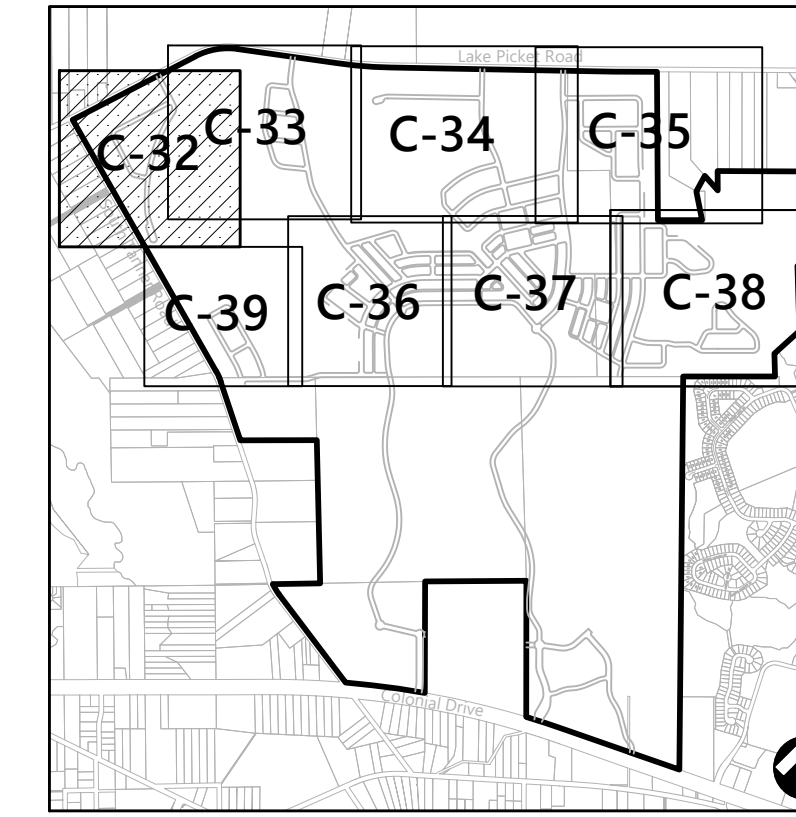
SIGNAGE & MARKING LEGEND

NOTE: SIGNAGE QUANTITIES FOR OVERALL NORTH PSP FINAL WERE BEING DETERMINED. SIGNAGE AND SIGN LOCATIONS TO BE COORDINATED WITH ORANGE COUNTY EPD DURING FINAL CONSTRUCTION PLAN PREPARATION.

UPDATED PROJECTED LOT LINES INTO LAKE TANNER AND CORNER LAKE

vhb.com

225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
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**The Grow
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Orange County, Florida**

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Designed by: RAS/BD/JRW Checked by: RAS
Issued for: PSP Date: March 04, 2022

**Signage and Pavement
Marking Plan**

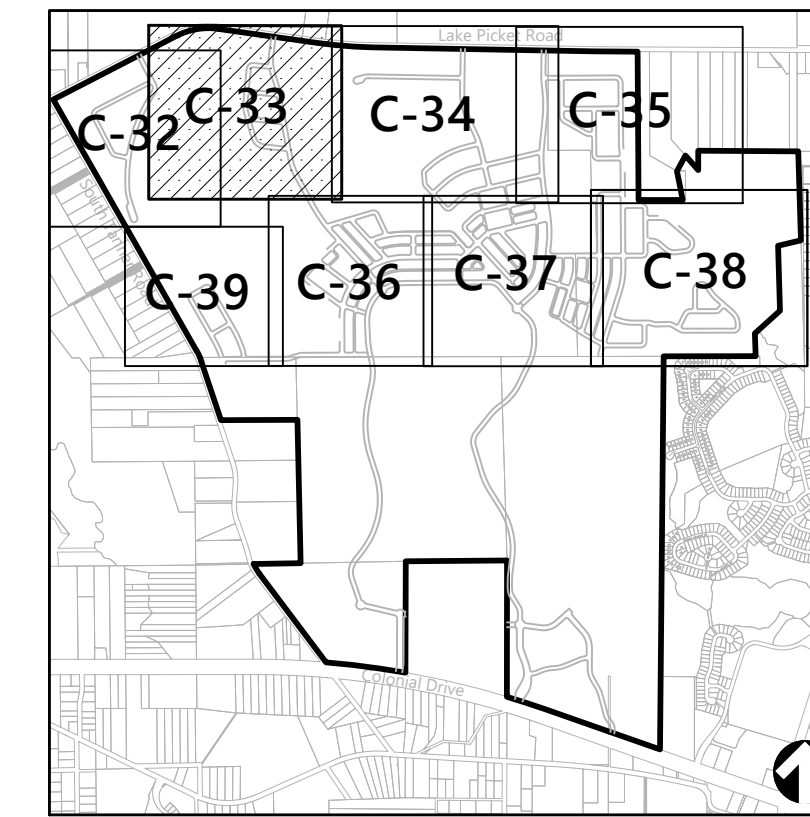
Drawing Number

C-32

Sheet of

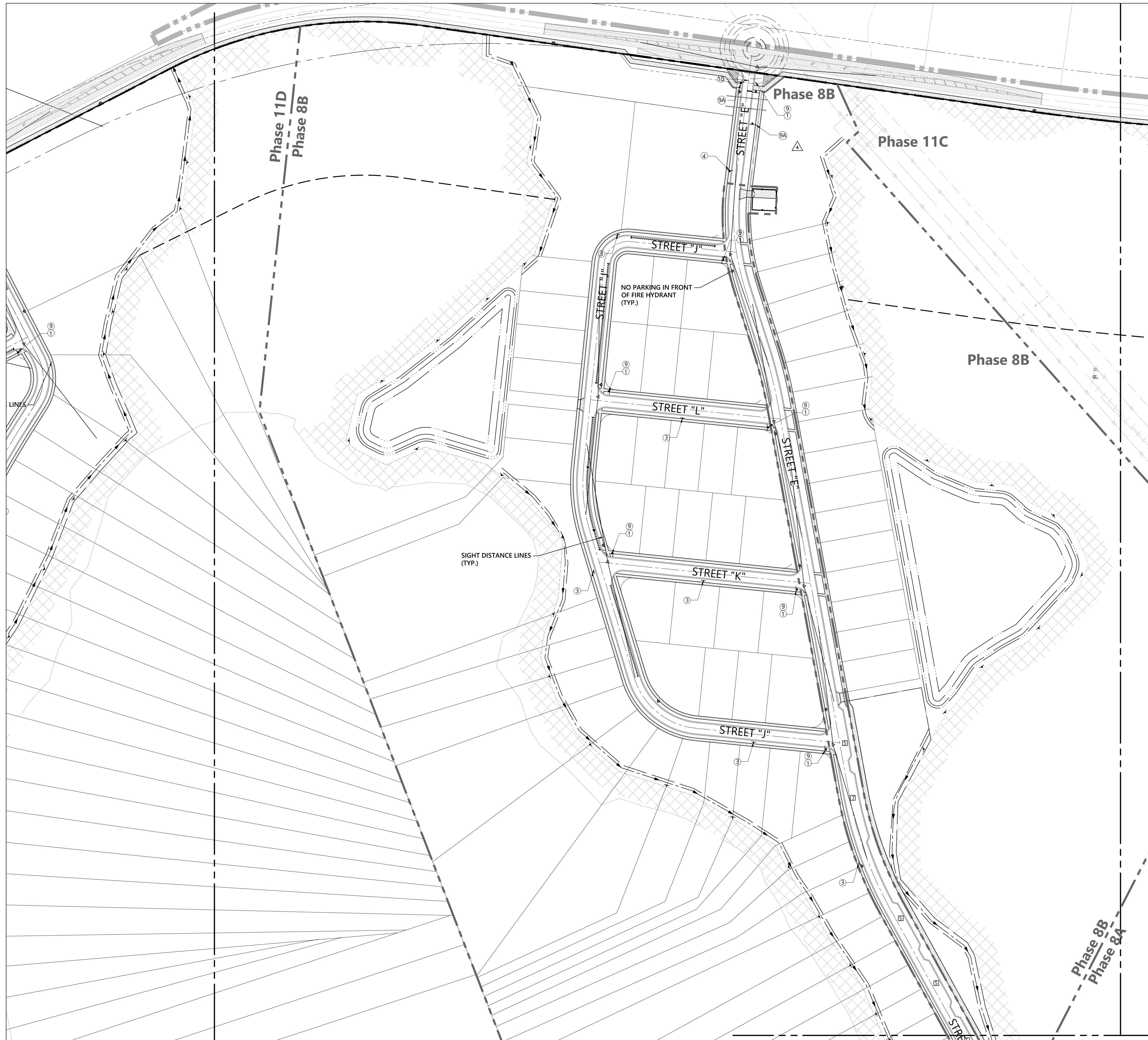
Project Number
63691.00

See Sheet C-39



Key Map

See Sheet C-32



See Sheet C-34

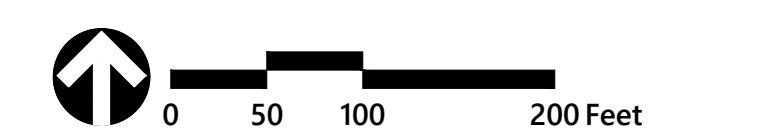
▲
UPDATED PROJECTED LOT LINES INTO
LAKE TANNER AND CORNER LAKE

Sign Summary

No.	M.U.T.C.D.		Spec. Desc.	Quantity
	Number	Width		
1	R1-1	30"	STOP	81
2	R5-1	30"	DO NOT ENTER	
3	R8-3	12"	NO PARKING ANY TIME	197
4	R2-1	24"	SPEED LIMIT 25	10
5	R6-2	24"	ONE WAY	
6	W1-2	30"	PEDESTRIAN	
6A	W16-9P	30"	AHEAD	
7	R8-3	12"	NO PARKING ANY TIME	5
8	R8-3	12"	NO PARKING ANY TIME	10
9	STREET SIGNS	24, 30, 36, 42 or 48"	STREET NAME	81
9A	WLD LIFE CROSSING SIGN	TO BE DETERMINED (SEE NOTE)	WILDLIFE	14
9B	W14-1	12"	ROAD END	2

- 10 24" STOP BAR
- 11 6' BEHIND CROSSWALK/CURB RAMP
- 12 8' WIDE PEDESTRIAN SPECIAL HIGH EMPHASIS CROSS WALK (FDOT INDEX NO. 711-001)
- 13 DESIGNATED PARALLEL PARKING SPACES
- 14 POTENTIAL PARALLEL PARKING SPACES

SIGNAGE & MARKING LEGEND
NOTE: SIGNAGE QUANTITIES FOR OVERALL NORTH PSP
FINAL WILDLIFE CROSSING DESIGN, SIGNAGE, AND SIGN LOCATIONS
TO BE COORDINATED WITH ORANGE COUNTY FDOT FOR FINAL
CONSTRUCTION PLAN PREPARATION



**The Grow
Parcels F1, F2
Orange County, Florida**

No.	Revision	Date	Appvd.
7	CDR Request	05/24/2023	
6	Revised per County Comments	10/05/2022	
5	Revised per County Comments	09/16/2022	
4	Revised per County Comments	08/29/2022	
3	Revised per County Comments	07/22/2022	
2	Revised per County Comments	05/06/2022	

Designed by: RAS/BD/JRW
Checked by: RAS
Issued for: PSP
Date: March 04, 2022

**Signage and Pavement
Marking Plan**

Drawing Number

C-33

Sheet of