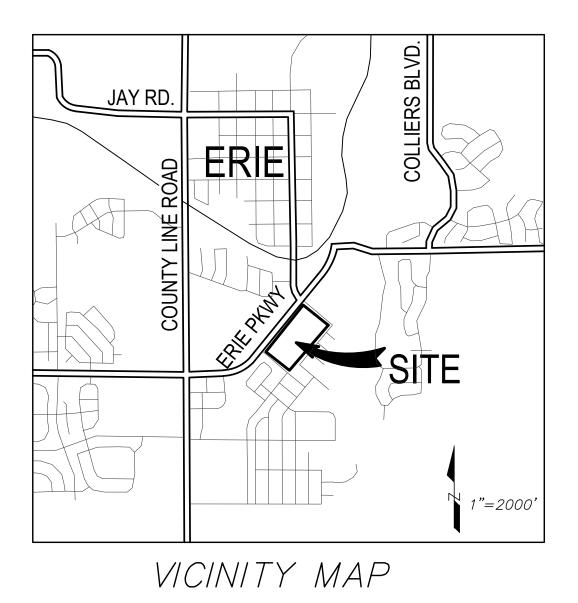
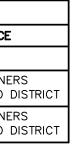
AN AMENDMENT OF LOT 1, BLOCK 5 OF "ERIE COMMONS FILING NO. 4" LOCATED IN THE NORTH HALF OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO 21.10 ACRES – 6 LOTS, 3 TRACTS MINOR SUBDIVISION MS-001144-2020

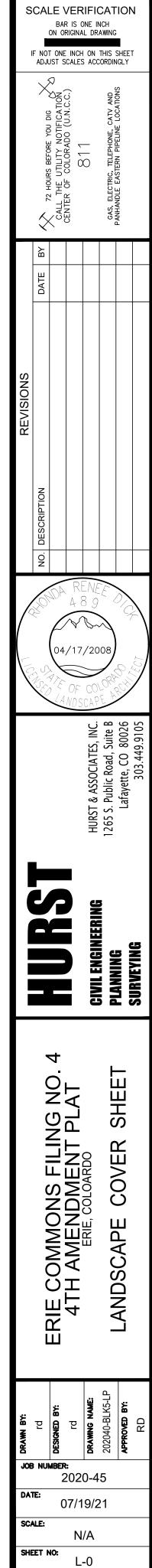
LAND SUMMARY CHART						
TYPE	AREA (±)	% OF TOTAL AREA				
COMMERCIAL LOTS (1-5)	7.14 Ac.	33.8%				
RESIDENTIAL LOT (6)	11.65 Ac.	55.2%				
TRACTS	0.53 Ac.	2.5%				
PUBLIC ROW	1.78 Ac.	8.4%				
TOTAL	21.10 Ac.	100.0%				

	TRACT SUMMARY CHART						
TRACT	AREA	USE	OWNERSHIP	MAINTENANCE			
А	0.150 Ac.	LANDSCAPING, COMMON GATHERING AREA	TOWN	TOWN			
В	0.014 Ac.	ACCESS, DRAINAGE, UTILITIES	DEVELOPER	PROPERTY OWNER ASSOCIATION/METRO D			
С	0.362 Ac.	ACCESS, DRAINAGE, UTILITIES	METRO DISTRICT NO. 3	PROPERTY OWNER ASSOCIATION/METRO D			

## ERIE COMMONS FILING NO. 4, 4TH AMENDMENT







<u>Sheet index:</u>

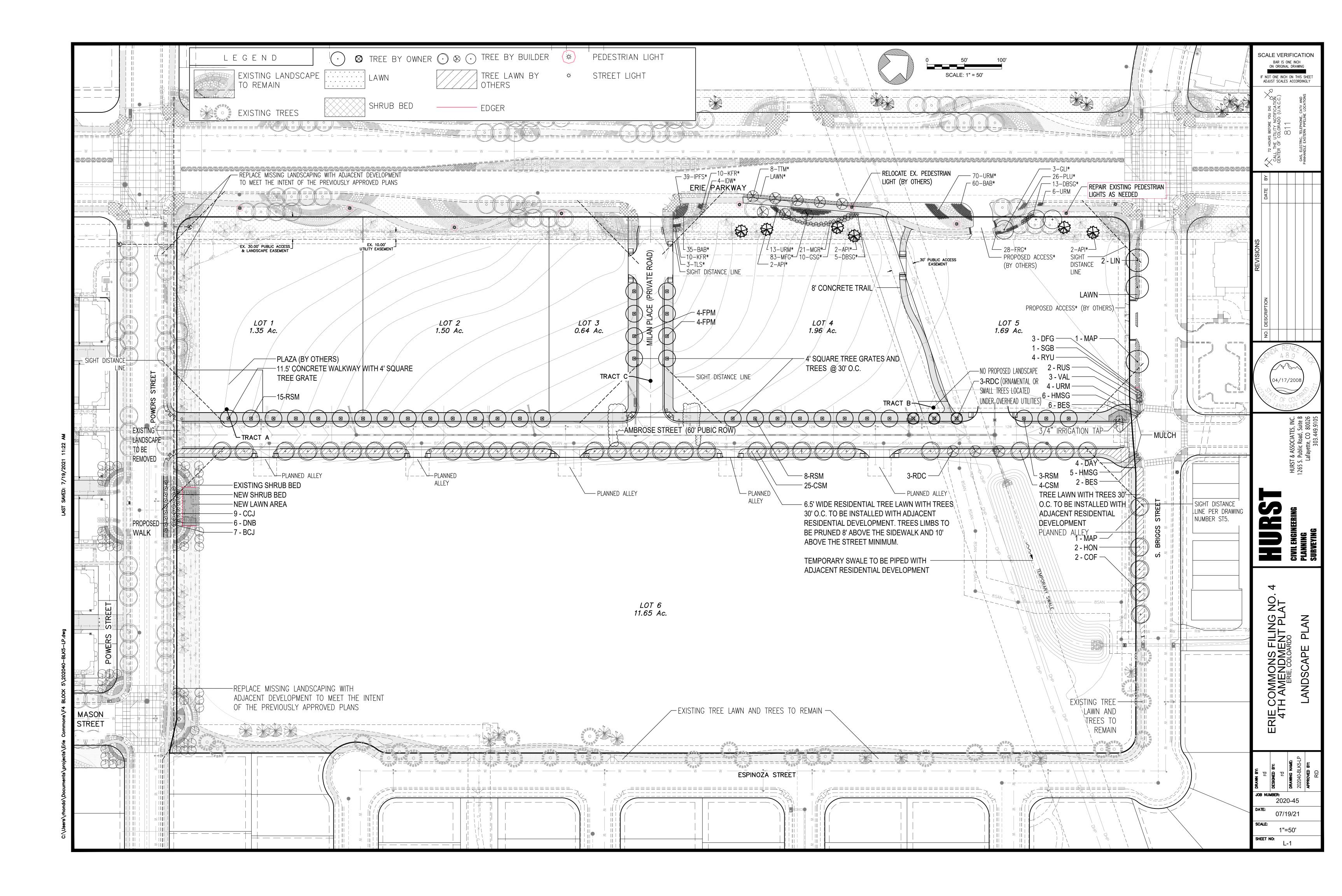
L-0	LANDSCAPE COVER SHEET
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
IRO.O	IRRIGATION COVER SHEET
IR1.0	IRRIGATION PLAN
IR1.1	IRRIGATION PLAN
IR2.0	IRRIGATION DETAILS
IR2.1	IRRIGATION DETAILS

APPLICANT/DEVELOPER:

COMMUNITY DEVELOPMENT GROUP OF ERIE, INC. 2500 ARAPAHOE AVE., SUITE 200 BOULDER, CO 80301

LANDSCAPE ARCHITECT/ENGINEER/SURVEYOR:

HURST & ASSOCIATES, INC. 1265 S. PUBLIC ROAD, SUITE B LAFAYETTE, CO 80026



REQUIREMENT REFERENCE R	EQUIREMENT	QUANTITY	TREES REQUIRED		TREES	stimated to remain on lot or RC	)W
0-6-4.E.1.a O st (4	ne deciduous or ornamental reet tree for every forty 0) linear feet of street ontage or portion thereof		18 32 18 27	8	5 <sup>2</sup> <sup>2</sup> P 47 <sup>3</sup> <sup>3</sup> E 43 <sup>4</sup> <sup>4</sup> E	Proposed/existing street frontage Existing street frontage (Erie Par Existing street frontage (Powers Existing street frontage (Espinoz	e (Briggs Stree kway) Street)
C PD CS/ST-60-36	ENANCE	2,783	92	69			a Olicely
AND AERATION OF LAWNS MATERIAL DIE, THE OWNE	S, REPLACEMENT OF MULCH, W	EEDING, REMOVAL	OF LITTER ANI PONSIBLE FO TI ATE:	D THE REGL HE REPLACI	ILAR WATERING OF EMENT OF PLANT(S)	HALL INCLUDE PROPER PRUNING, ALL PLANTINGS. SHOULD ANY PLA ) WITHIN ONE PLANTING SEASON.	
TYPE		1 YEAR	PLANT REF	PLACEMENT	WITHIN	2+ YEARS	
REE- DECIDUOUS		E CALIPER BY 1"			INCRE	EASE CALIPER BY 1.5"	
REE- CONIFEROUS HRUB	INCREAS REPLACE WITH PLANTS	E HEIGHT BY 1.5" OF AT LEAST 1/2 N	1ATURE SIZE			REASE HEIGHT BY 2" NTS OF AT LEAST 1/2 MATURE SIZE	<u> </u>
NOTES	5						
DONE BY OTHER CONSUL	E THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE I SULTANTS SO THE PROPOSED GRADING, STORM DRAINAG N DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AN		, OR	SHALL BE	THE RESPONSIBILITY O	ND MAINTENANCE OF PUBLIC R.O.W. AE OF THE DISTRICT. SIBLE, TOPSOIL THAT IS REMOVED DURIN	
2. DEVELOPER TO FOLLOW A PERMANENT LANDSCAPE	LL TOWN OF ERIE STANDARDS AND AND IRRIGATION WORK. ALL TOWN	E STANDARDS AND SPECIFICATIONS FOR ALL I WORK. ALL TOWN OF ERIE LANDSCAPE		ACTIVITY AND LAI	SHALL BE CONSERVE	D FOR LATER USE ON AREAS REQUIRING	G REVEGETATION
INSPECTIONS FOR SAID WE WITH THE EXCEPTION OF A	E PROCEDURES FOR HOA/DISTRICT MAINTAINED TRACTS SHALL BE FOLLOWED. ALL FOR SAID WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT, CEPTION OF ANY TOWN-OWNED/MAINTAINED PARCELS, WHICH SHALL BE THE TY OF THE PARKS AND OPEN SPACE DIVISION MANAGER OR DESIGNEE TO		CHITECT, BE THE	<ol> <li>ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN (American Association Nurserymen) SPECIFICATIONS FOR NUMBER ONE GRADE.</li> <li>ALL TREES TO BE BALLED &amp; BURLAPPED, CONTAINERIZED, OR ROOT CONTROL BAGS.</li> </ol>			
3. UPON COMPLETION OF TH TOWN OF ERIE A FULL SET A CD SET INCLUDING LATE	IE PROJECT, DEVELOPER / LANDSCA OF AS-BUILT DRAWINGS OF ALL LAN EST VERSION OF PDF AND AUTO-CAI COMPLIANCE STATEMENT SHALL BE	DSCAPE AND IRRIGAT D. IN ADDITION, A SIG	TION, ON NED	recrea <sup>-</sup> homes,	TON DIRECTOR OR DE WHETHER THEY BE INST	THEIR LOCATIONS SHALL BE APPROVED ESIGNEE FOR TREES PLANTED ADJACEN TALLED BY THE DEVELOPER/CONTRACT ALL NOT BE PLANTED UNDER ANY CIRC	t to residential Or or individu,
<ol> <li>IF TRANSFORMERS, GROUI SHOWN ON THE LANDSCA REQUIRED BASED UPON FI</li> </ol>	ND MOUNTED HVAC EQUIPMENT, UT APE PLAN, ADDITIONAL LANDSCAPIN ELD CONDITIONS DISCOVERED VIA NCE OF THE CERTIFICATE OF OCCU	TILITY PEDESTALS, ETC. NG/SCREENING MAY THE SITE INSPECTION	ARE NOT BE BY STAFF,	landsc averag landsc	APING FILTER FABRIC. E DEPTH). ALL BEDS A APE EDGER. EDGER T	IED WITH ROCK MULCH (3" AVERAGE D INDIVIDUAL TREES IN SOD TO RECEIVE DJACENT TO SOD OR NATIVE SEED TO O BE SET LEVEL WITH TOP OF SOD. EDG D MULCH AND ROCK MULCH.	WOOD MULCH ( BE BORDERED WI
LANDS	CAPE P	LANT	LIS				
BY OWNER	S TREES			BY OTH D E C I I		REES	
8 FPM Maple, Fireb 2 LIN Linden 1 MAP Maple 26 RSM Maple, Ruby	urst Paperbark Acer griseum 'J Tilia cordata Acer rubrum Sunset Acer truncatun	2'	' cal. B&B ' cal. B&B ' cal. B&B	<ul><li>2 COF</li><li>29 CSM</li><li>2 HON</li></ul>	Coffee Tree, Kentuch Crimson Sunset Map Honeylocust, Northe	Acer truncatum x Acer platanoides 'JFS-KW202'	2" cal. B& 2" cal. B&
ORNAMENT	platanoides 'JF	S-KW249'			Sentenial Maple	GMorgenson1' Acer rubrum	2" cal. Ba 2" cal. Ba
3 RDC Ruby Dayze		39MX' 1-1/2'	'cal. B&B	3 RDC	Ruby Dayze Crabap		1-1/2" cal. B
SHRUBS7BCJBlue Chip Ju9CCJCalgary Car6DNBDiablo Ninet1SGBSpanish Gold	pet Juniper Juniperus sabin park Physocarpus or	ontalis 'Blue Chip' na 'Calgary Carpet' oulifolius 'Monlo' s	5 GAL 5 GAL 5 GAL 5 GAL 5 GAL				
ORNAMENT	· · · ·				MENTAL	GRASSES	
3 DFG Dwarf Fount 6 HMSG Heavy Meta 4 URM Undaunted F	ain Pennisetum ala Switch Panicum virgat	pecuroides 'Hameln' um 'Heavy Metal' reverchonii	1 GAL 1 GAL 1 GAL		Heavy Metal Switch		Metal' 1 G.
				DEDE	NNIALS		
PERENNIAL	S						

10. TURF GRASS WILL BE SODDED WITH TURF-TYPE TALL FESCUE.

11. ALL TURF AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC POP-UP IRRIGATION SYSTEM PROVIDING FULL COVERAGE. ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM.

