

ERIE COMMONS FILING NO. 4, 4TH AMENDMENT

AN AMENDMENT OF LOT 1, BLOCK 5 OF "ERIE COMMONS FILING NO. 4"

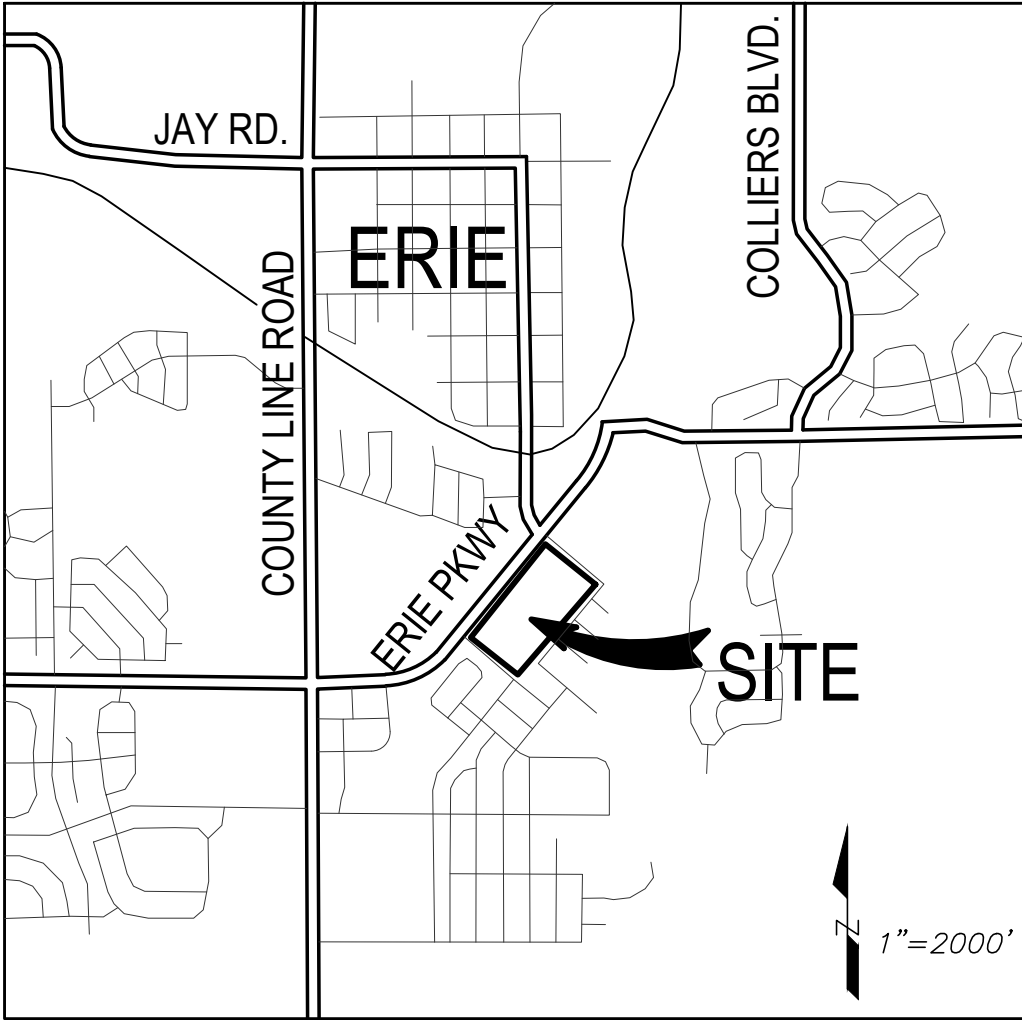
LOCATED IN THE NORTH HALF OF SECTION 19

TOWNSHIP 1 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN

TOWN OF ERIE, COUNTY OF WELD, STATE OF COLORADO

21.10 ACRES - 6 LOTS, 3 TRACTS

MINOR SUBDIVISION MS-001144-2020



VICINITY MAP

LAND SUMMARY CHART		
TYPE	AREA (±)	% OF TOTAL AREA
COMMERCIAL LOTS (1-5)	7.14 Ac.	33.8%
RESIDENTIAL LOT (6)	11.65 Ac.	55.2%
TRACTS	0.53 Ac.	2.5%
PUBLIC ROW	1.78 Ac.	8.4%
TOTAL	21.10 Ac.	100.0%

TRACT SUMMARY CHART				
TRACT	AREA	USE	OWNERSHIP	MAINTENANCE
A	0.150 Ac.	LANDSCAPING, COMMON GATHERING AREA	TOWN	TOWN
B	0.014 Ac.	ACCESS, DRAINAGE, UTILITIES	DEVELOPER	PROPERTY OWNERS ASSOCIATION/METRO DISTRICT
C	0.362 Ac.	ACCESS, DRAINAGE, UTILITIES	METRO DISTRICT NO. 3	PROPERTY OWNERS ASSOCIATION/METRO DISTRICT

SHEET INDEX:

L-0	LANDSCAPE	COVER SHEET
L-1	LANDSCAPE	PLAN
L-2	LANDSCAPE	DETAILS
IR0.0	IRRIGATION	COVER SHEET
IR1.0	IRRIGATION	PLAN
IR1.1	IRRIGATION	PLAN
IR2.0	IRRIGATION	DETAILS
IR2.1	IRRIGATION	DETAILS

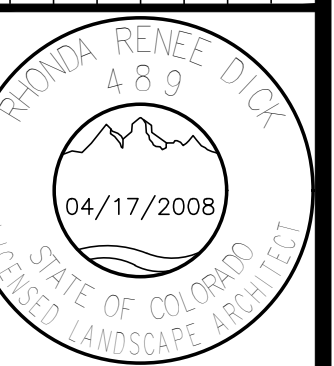
SCALE VERIFICATION

BAR IS ONE INCH
ORIGINAL DRAWING

F NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY

72 HOURS BEFORE YOU DIG
CALL THE UTILITY NOTIFICATION
CENTER OF COLORADO (U.N.C.C.)

GAS, ELECTRIC, TELEPHONE, CATV AND
PANHANDLE EASTERN PIPELINE LOCATIONS

[illegible]

HURST & ASSOCIATES, INC.
1265 S. Public Road, Suite B
Lafayette, CO 80026
303.449.9105

HURST
CIVIL ENGINEERING
PLANNING
SURVEYING

ERIE COMMONS FILING NO. 4
4TH AMENDMENT PLAT

ERIE, COLORADO
LANDSCAPE COVER SHEET

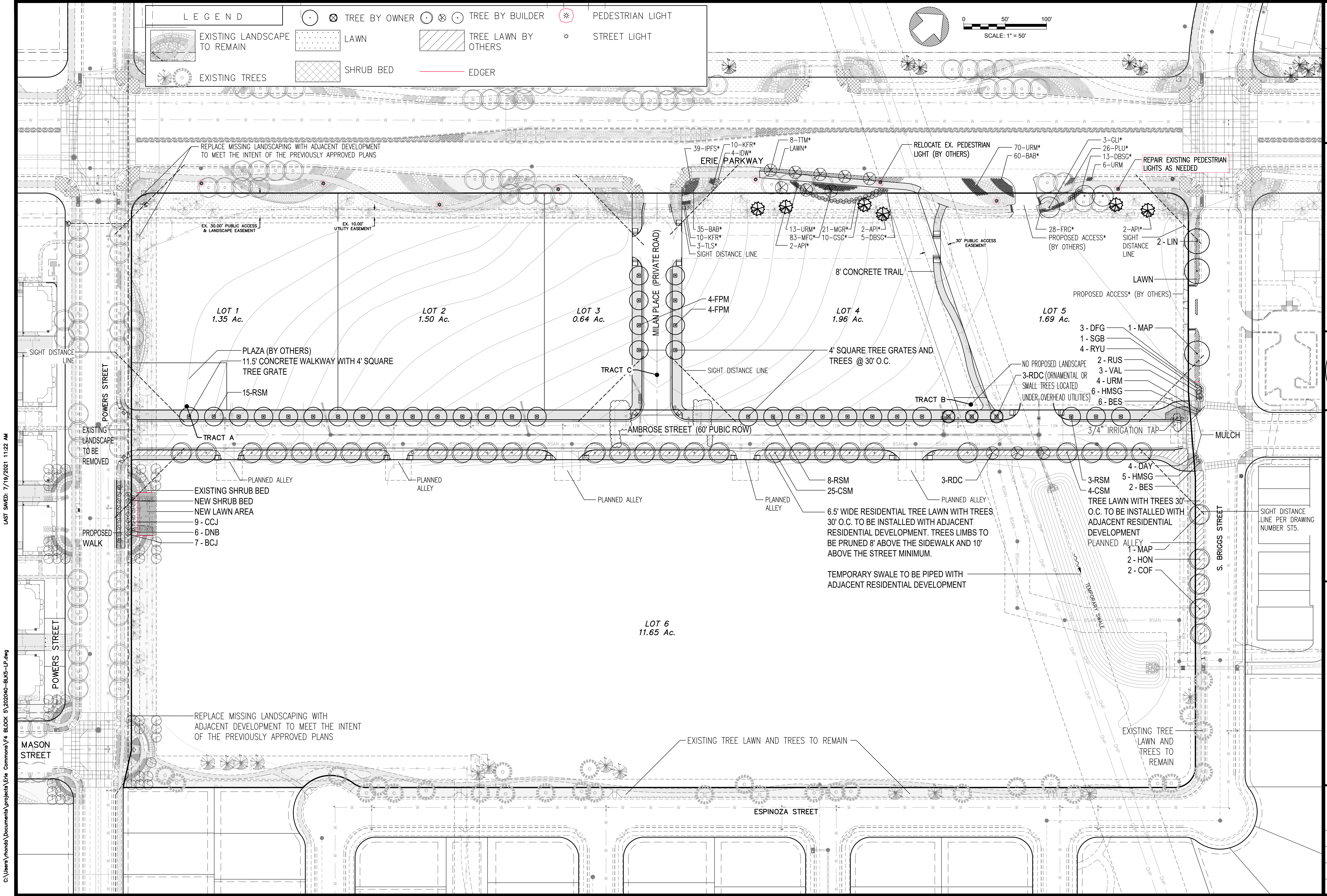
rd	DESIGNED BY:	rd	DRAWING NAME:	202040-BLKS-1P	APPROVED BY:	RD
6 NUMBER:			2020-45			
DATE:			07/19/21			
SCALE:			N/A			
SHEET NO:			L-0			

APPLICANT/DEVELOPER

COMMUNITY DEVELOPMENT GROUP OF ERIE, INC.
2500 ARAPAHOE AVE., SUITE 200
BOULDER, CO 80301

LANDSCAPE ARCHITECT/ENGINEER/SURVEYOR:

HURST & ASSOCIATES, INC.
1265 S. PUBLIC ROAD, SUITE B
LAFAYETTE, CO 80026



LEGEND

EXISTING LANDSCAPE TO REMAIN

EXISTING TREES

LAWN

SHRUB BED

TREE LAWN BY OTHERS

EDGER

TREE BY OWNER

TREE BY BUILDER

PEDESTRIAN LIGHT

STREET LIGHT



SCALE VERIFICATION

BAR IS ONE INCH ON ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

811

CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (N.C.C.)

72 HOURS BEFORE YOU DIG

ALL UTILITIES, INCLUDING GAS, AND PAVEMENT, EXISTING UTILITIES

NO.

DESCRIPTION

DATE

BY

REVISIONS

PROVIDED REUSE DOP

A 8 9

04/17/2008

STATE OF COLORADO

LANDSCAPE ARCHITECT

HURST

CIVIL ENGINEERING

PLANNING

SURVEYING

HURST & ASSOCIATES, INC.

1265 S. Public Road, Suite 8

Lafayette, CO 80026

303.449.9105

ERIE COMMONS FILING NO. 4

4TH AMENDMENT PLAT

ERIE, COLORADO

LANDSCAPE PLAN

DRAWN BY:

RD

DESIGNED BY:

rd

DRAWING NAME:

2020-04-BLK5-LP

APPROVED BY:

RD

JOB NUMBER:

2020-45

DATE:

07/19/21

SCALE:

1"=50'

SHEET NO.:

L-1

LAST SAVED: 7/19/2021 11:22 AM

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