

TEMPORARY EROSION AND SEDIMENT CONTROL (TESC) PLAN  
FOR  
MONTAINE FILING 4 - VERTICAL CONSTRUCTION

SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRIME MERIDIAN  
THE LANTERNS AT MONTAINE FILING 4, COAL BANK TRAIL & JOLITY CT.  
TOWN OF CASTLE ROCK, STATE OF COLORADO 80104  
PROJECT NO. TESV21-0013

DETAIL NO.

SHEET NO.

1

1

2

1

3

1

4

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5

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28

4

LOC

GH

SS

GOOD HOUSEKEEPING

SURFACE FLOW DIRECTION

EXISTING CONTOUR

STREET SWEEPING

CD

CB

CFB

CWA

CF

CM

DW

DD

BCB

P

RCD

RRB

RRC

BB

SCL

ST

SM

BF

BBA

SR

TRC

TSD

TSC

TER

VTC

WW

A

B

CHECK DAM

COMPOST BLANKET

COMPOST FILTER BERM

CONCRETE WASHOUT AREA

CONSTRUCTION FENCE

CONSTRUCTION MARKERS

DEWATERING

DIVERSION DITCH

ROCK AND RIPRAP GRADATIONS

EROSION CONTROL BLANKET

INLET PROTECTION

REINFORCED CHECK DAM

REINFORCED ROCK BERM

RRB FOR CULVERT PROTECTION

SEDIMENT BASIN

SEDIMENT CONTROL LOG

SEDIMENT TRAP

SEEDING AND MULCHING

SILT FENCE

STABILIZED STAGING AREA

SURFACE ROUGHENING

TEMPORARY ROAD CROSSING

TEMPORARY SLOPE DRAIN

TEMPORARY STREAM CROSSING

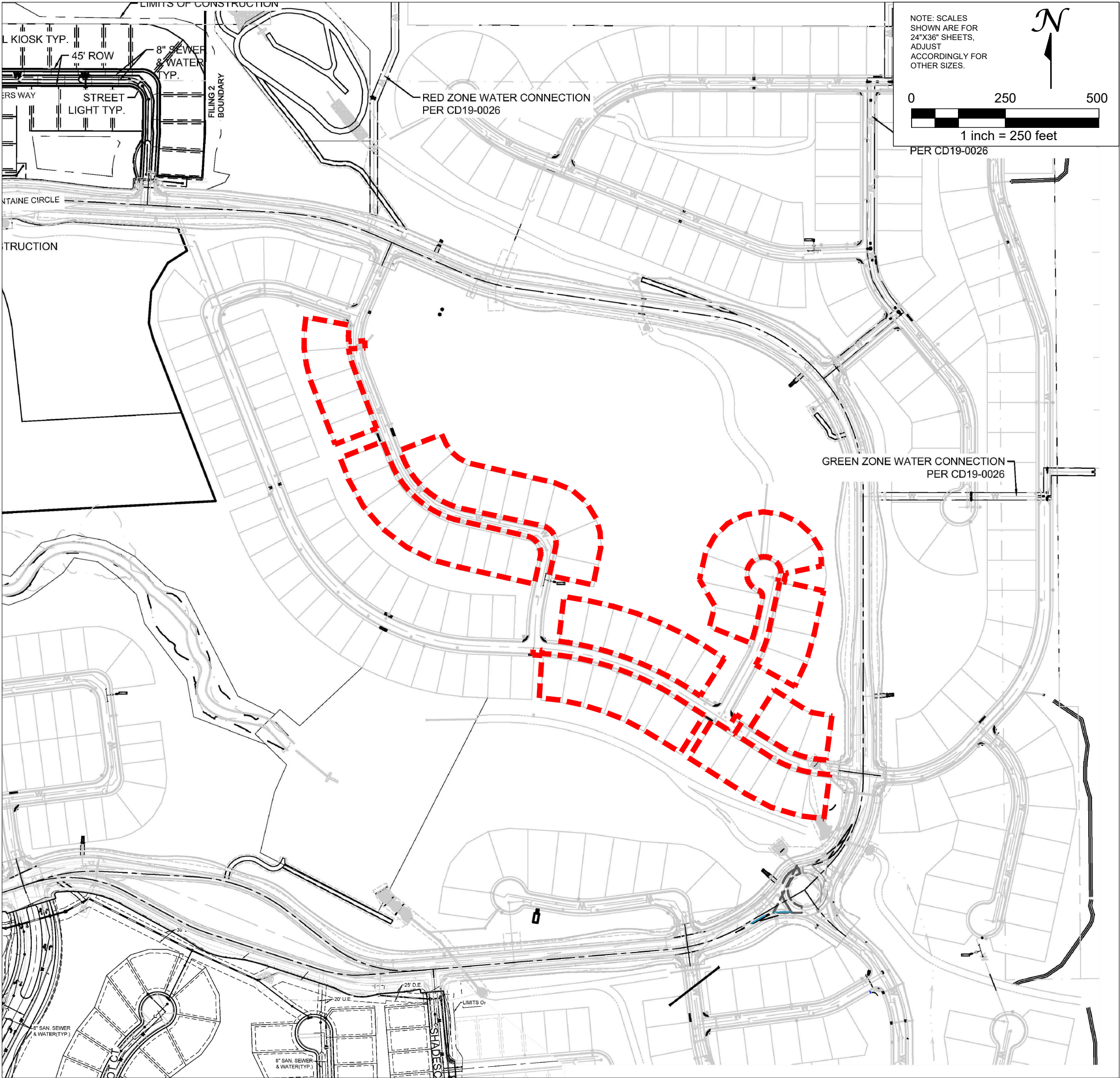
TERRACING

VEHICLE TRACKING CONTROL

VTC WITH WHEEL WASH

A LOT EROSION CONTROL

B LOT EROSION CONTROL



SITE MAP

SHEET INDEX	
SHEET 1 OF 8	COVER SHEET
SHEET 2 OF 8	TESC PLAN - VERTICAL CONSTRUCTION (NORTH)
SHEET 3 OF 8	TESC PLAN - VERTICAL CONSTRUCTION (SOUTH)
SHEET 4 OF 8	TYPICAL LANDSCAPING PLAN
SHEETS 5-8	TOWN OF CASTLE ROCK TESC PLAN STANDARD NOTES AND DETAILS

TESC ENGINEER'S CERTIFICATION:

THE TEMPORARY EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN IS ON FILE AT THE TOWN OF CASTLE ROCK AND APPEARS TO FULFILL APPLICABLE TOWN OF CASTLE ROCK TEMPORARY EROSION AND SEDIMENT CONTROL CRITERIA, AS AMENDED. ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE PERMITTEES DUE TO UNFORSEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF THE PERMITTEES, UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED OR VOIDED.

REGISTERED PROFESSIONAL ENGINEER: DAVID C. HAINES, P.E.

STATE OF COLORADO NO. 36260  
AFFIX SEAL W/DATE

PERMITTEE/OWNER:  
WONDERLAND HOMES  
ATTN: DEREK PETERSON  
5660 GREENWOOD PLAZA BLVD.  
SUITE 101-N  
GREENWOOD VILLAGE, CO 80111  
P: (303) 567-7630

TESC ENGINEER:  
CMS ENVIRONMENTAL  
SOLUTIONS  
DAVID HAINES, P.E.  
1778 S. BROADWAY  
DENVER, CO 80210  
P: (720) 810-0805



TOWN OF CASTLE ROCK ACCEPTANCE BLOCK

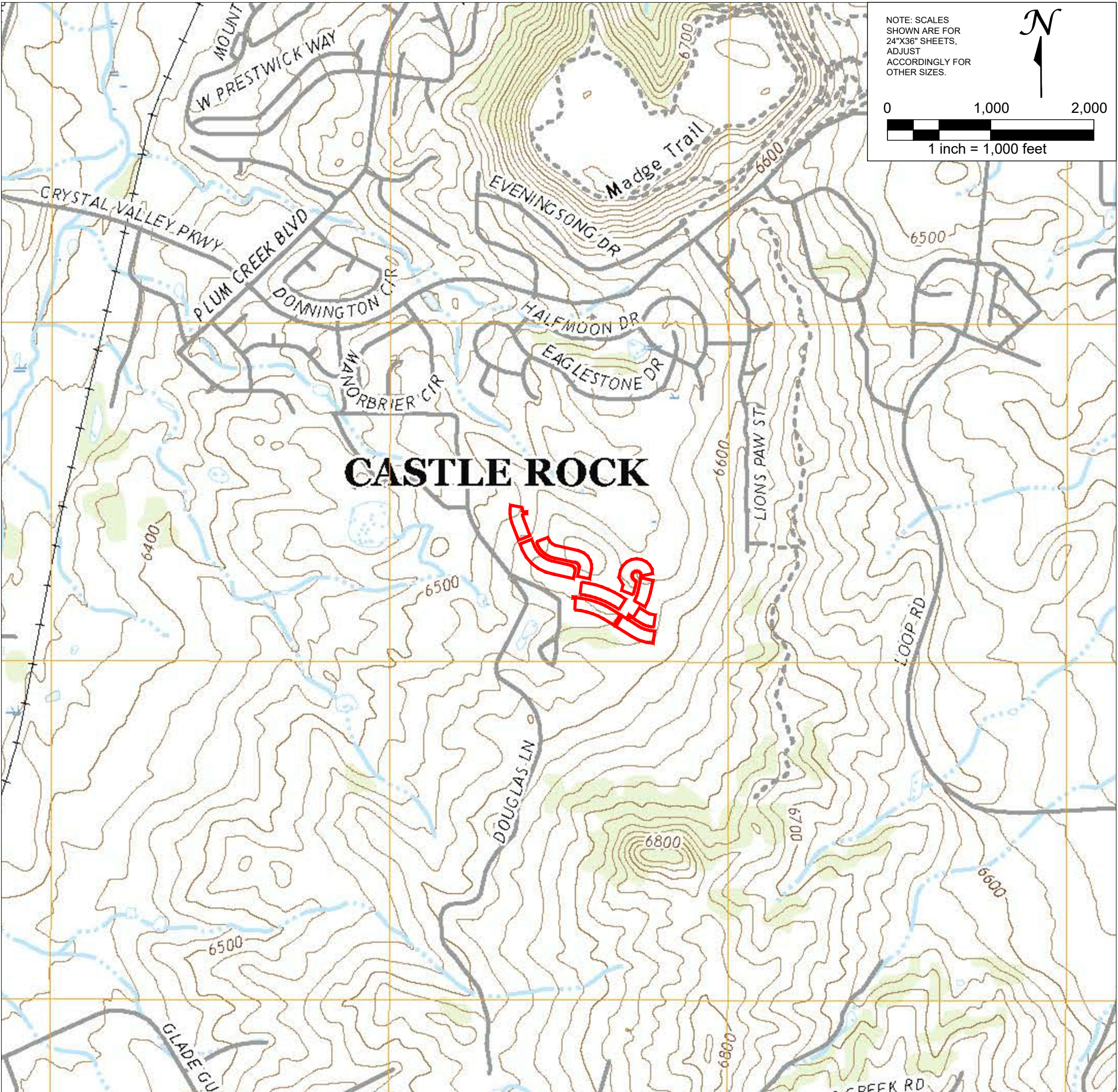
THESE DRAWINGS HAVE BEEN REVIEWED BY THE TOWN OF CASTLE ROCK FOR TEMPORARY EROSION AND SEDIMENT CONTROL IMPROVEMENTS ONLY.

APPROVED

by Larry Hearold  
on 01/19/2022

Approved TESV21-0013 TESV Plans.pdf  
Record Document on File  
DEVELOPMENT SERVICES DEPARTMENT

DATE



VICINITY MAP

----- PROJECT AREA: ~10.2 AC  
DISTURBANCE AREA: ~10.2 AC

NO.

DATE

REVISIONS

ORIGINAL

0

11/10/2021

1778 S. Broadway  
Denver, CO 80210  
P: (303) 593-2107  
F: (303) 923-3416

CMS

Environmental Solutions  
ENVIRONMENTAL CONSULTING SERVICES

PROJECT TITLE:

MONTAINE FILING 4 - VERTICAL CONSTRUCTION

SHEET TITLE:

COVER SHEET

PROJ #:

11-2021

DATE:

11/10/2021

DESIGN ENG:

EJ

CHECKED BY:

DH

PERMITTEE:

WONDERLAND@MONTAINE, LLC  
5660 GREENWOOD PLAZA BLVD. STE. 101-N, GREENWOOD VILLAGE, CO 80111 P: (303) 567-7630

SHEET

1 OF 8





CASTLE ROCK VERTICAL RESIDENTIAL TESC NOTES:

- CONTROL MEASURES INSTALLED PER FINAL TESC DRAWING TRANSFER TO THE PERMITTEE AND SHALL BE LEFT, OR REPLACED, UNTIL REVEGETATION ESTABLISHMENT IS APPROVED BY THE TOWN OR VERTICAL LOT CONSTRUCTION IS COMPLETE.
- IF LOCATION(S) OF VTC(S), STOCKPILE(S), STAGING AREA(S) AND CONCRETE WASHOUT AREA(S) CHANGE DURING CONSTRUCTION, THE PERMITTEE SHALL REVISE THE DRAWING ACCORDINGLY AND MUST SHOW APPROPRIATE CONTROL MEASURES IMPLEMENTED AT ALL TIMES.
- ALL STRUCTURAL CONTROL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES AND ARE SUBJECT TO INSPECTION AND ENFORCEMENT UNDER THE TESC PERMIT.
- IF SEDIMENT OR OTHER POLLUTANTS ARE TRACKED, SPILLED, OR WASHED ONTO STREETS, PERMITTEE SHALL CLEAN THE STREETS IN ACCORDANCE WITH TOWN APPROVED METHODS, OR AS DIRECTED BY THE STORMWATER INSPECTOR. FAILURE TO CLEAN UP TRACKING OF MATERIAL ONTO STREETS WILL RESULT IN AN IMMEDIATE STOP WORK ORDER.
- PERMITTEE SHALL NOT STOCKPILE, PLACE OR STORE ON STREETS, SIDEWALKS OR STORM WATER FLOW LINES EARTH MATERIALS AND LANDSCAPE MATERIALS, SUCH AS SOD, COMPOST, DIRT, ROCK AND MULCH. STOCKPILING OF SUCH MATERIALS IN THE RIGHT-OF-WAY MAY RESULT IN AN IMMEDIATE STOP WORK ORDER.
- PERMITTEE SHALL ENSURE THAT ALL CONCRETE WASHOUT AREAS ARE PROPERLY INSTALLED, POSTED AND CLEANED SUCH THAT ALL WASTEWATER IS CONTAINED AND DOES NOT ENTER THE STORM DRAIN SYSTEM. FAILURE TO PROPERLY MAINTAIN CONCRETE WASHOUT AREAS SUCH THAT A DISCHARGE OCCURS WILL RESULT IN A STOP WORK ORDER AND/OR AN IMMEDIATE CLEANUP ORDER.
- PERMITTEE SHALL ENSURE THAT ALL SANITARY FACILITIES ARE PROPERLY SECURED TO THE GROUND TO PREVENT TOPPLING AND DISCHARGE OF LIQUID WASTE. FAILURE TO PROPERLY SECURE SANITARY FACILITIES WILL RESULT IN A VIOLATION.
- PERMITTEE SHALL ENSURE THAT THE TESC DRAWING REMAINS UPDATED WITH CURRENT FIELD CONDITIONS. FAILURE TO MAINTAIN THE TESC DRAWING MAY RESULT IN VIOLATION.
- REMOVAL OF CONTROL MEASURES SHALL NOT OCCUR WITHOUT THE APPROVAL OF THE STORMWATER INSPECTOR.

VERTICAL CONSTRUCTION NOTES:

- BMP'S SHOWN ARE PLANNED OR TYPICAL ONLY, CONTRACTOR WILL BE REQUIRED TO UPDATE ACTIVE MAPS FOR ACTUAL CONDITIONS. LAND DEVELOPMENT AND BACK OF CURB BMPS WILL REMAIN IN PLACE UNTIL AREAS MEET STABILIZATION REQUIREMENTS OR UNTIL VERTICAL CONSTRUCTION ON LOTS BEGINS. DEPENDING ON PHASING, BLOCK CONTROLS AS SHOWN WILL BE IMPLEMENTED OR INDIVIDUAL LOT CONTROLS WILL BE IMPLEMENTED AS CONSTRUCTION ON LOTS BEGIN.
- INDIVIDUAL LOT CONTROLS WILL ONLY BE IMPLEMENTED WHEN A LOT BECOMES ACTIVE. SIDE LOT CONTROLS MAY NOT BE REQUIRED WHEN NEIGHBORING LOTS ARE ALSO DISTURBED OR WHEN ADEQUATE PERIMETER CONTROLS ARE IN PLACE ON THE BLOCK. REFER TO STANDARD DETAILS 27 OR 28 FOR INDIVIDUAL LOT CONTROLS.
- REFER TO CONSTRUCTION PLANS FOR FULL CONSTRUCTION DETAILS INCLUDING BENCHMARK.
- SEQUENCING OF THE PROJECT WILL BE DETERMINED DURING CONSTRUCTION AND UPDATES CAN BE OBTAINED FROM SITE SUPERINTENDENT.
- CONSTRUCTION AND DISTURBANCE OF THE GROUND WILL BE CONFINED TO THE LIMITS OF CONSTRUCTION AND THE LOTS WITHIN THE PERMITTED AREA. ANY UNEXPECTED DISTURBANCE OUTSIDE THE PERMITTED AREA WILL REQUIRE STABILIZATION AND POSSIBLE MODIFICATION OF THE PERMIT.
- SOILS FROM FOUNDATION EXCAVATION WILL BE STOCKPILED ON EACH LOT OR THE ADJACENT LOT IF POSSIBLE.
- STAGING AREA AND CWA LOCATION WILL BE DETERMINED IN FIELD. THE CONCRETE WASHOUTS NEED TO BE INSTALLED PRIOR TO PLACING ANY CONCRETE ON THE SITE. ADEQUATE SIGNAGE SHALL BE PLACED AT THE CONCRETE WASHOUT AREA TO CLEARLY IDENTIFY THE LOCATION OF THE CONCRETE WASHOUT.
- VEHICLE TRACKING CONTROL DURING HOME CONSTRUCTION MAY CONSIST OF AN ACCESS POINT WITH STREET SWEEPING. LIMIT TO AS FEW ACCESS POINTS AS POSSIBLE. PAVED ROADWAY PARKING WILL BE INSTRUCTED. TRACKING CONTROL MEASURES WILL BE MAINTAINED AND MONITORED REGULARLY FOR EFFECTIVENESS.
- IF MUD MATS OR STABILIZED CONSTRUCTION ENTRANCES (SCE) ARE NEEDED, THEY DO NOT NEED TO BE INSTALLED UNTIL DISTURBANCE OF A BLOCK OR LOT COMMENCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING AND CLEAN UP OF ALL PAVED AREAS SURROUNDING THE PROJECT ON A DAILY BASIS AND AS NEEDED DURING THE DAY WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ONTO THEM. ADDITIONAL GOOD HOUSEKEEPING PRACTICES (PORTABLE TOILETS, DUMPSTERS) WILL BE IMPLEMENTED THROUGHOUT CONSTRUCTION AND WILL BE REFLECTED ON THE ACTIVE SITE MAP.
- IT IS THE PERMITTEE'S RESPONSIBILITY TO ADJUST OR REMOVE INLET PROTECTIONS AS NECESSARY PRIOR TO LARGE RAIN EVENTS THAT MAY EXCEED THE NORMAL CAPACITY OF THE INLET PROTECTION TO PREVENT FLOODING AND POTENTIAL PROPERTY DAMAGE.
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P.E. CERTIFICATION (SEAL)

36260

C. J. HARRIS

PROFESSIONAL ENGINEER

TOWN OF CASTLE ROCK ACCEPTANCE BLOCK

THESE DRAWINGS HAVE BEEN REVIEWED BY THE TOWN OF CASTLE ROCK FOR TEMPORARY EROSION AND SEDIMENT CONTROL IMPROVEMENTS ONLY.

TOWN OF CASTLE ROCK

COLORADO

APPROVED

by Larry Hearold  
on 01/19/2022

Approved TESV21-0013 TESV Plans.pdf  
Record Document on File

DEVELOPMENT SERVICES DEPARTMENT

DATE

PROJECT TITLE: MONTAINE FILING 4 - VERTICAL CONSTRUCTION

SHEET TITLE: TESC PLAN - VERTICAL CONSTRUCTION (NORTH)

PERMITTEE: WONDERLAND@MONTAINE, LLC  
5660 GREENWOOD PLAZA BLVD. STE. 101-N, GREENWOOD VILLAGE, CO 80111 P: (303) 567-7630

PROJ #: 11-2021

DATE: 11/10/2021

DESIGN ENG: EJ

CHECKED BY: DH

SHEET 2 OF 8

NO.	DATE	REVISIONS	ENG.	CAD	EJ
0	11/10/2021	ORIGINAL	DH		
1778 S. Broadway Denver, CO 80210 P: (303) 593-2107 F: (303) 923-3416					
<div><div>CMS</div><div>Environmental Solutions</div><div>ENVIRONMENTAL CONSULTING &amp; DESIGN</div></div>					
PROJECT TITLE: MONTAINE FILING 4 - VERTICAL CONSTRUCTION					
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DESIGN ENG: EJ					
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SHEET 2 OF 8					





- CASTLE ROCK VERTICAL RESIDENTIAL TESC NOTES:
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P.E. CERTIFICATION (SEAL)

TOWN OF CASTLE ROCK ACCEPTANCE BLOCK

THESE DRAWINGS HAVE BEEN REVIEWED BY THE TOWN OF CASTLE ROCK FOR TEMPORARY EROSION AND SEDIMENT CONTROL IMPROVEMENTS ONLY.

**APPROVED**

by Larry Hearold  
on 01/19/2022

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PROJECT TITLE: MONTAINE FILING 4- VERTICAL CONSTRUCTION		NO.	DATE	REVISIONS	ENG	CAD
					DH	EJ
SHEET TITLE: TESC PLAN - VERTICAL CONSTRUCTION - (SOUTH)		0	11/10/2021	ORIGINAL		
PERMITTEE: WONDERLAND@MONTAINE, LLC 5660 GREENWOOD PLAZA BLVD. STE. 101-N, GREENWOOD VILLAGE, CO 80111 P: (303) 567-7630						
PROJ #: 11-2021		1778 S. Broadway Denver, CO 80210 P: (303) 593-2107 F: (303) 923-3416				
		 Environmental Solutions ENVIRONMENTAL COMPLIANCE TRACE SWIRE				
DATE: 11/10/2021						
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CHECKED BY: DH						
SHEET 3 OF 8						