

CARRIER WEST 950 VAPOR TRAIL

DEVELOPMENT PLAN

LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19

SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION

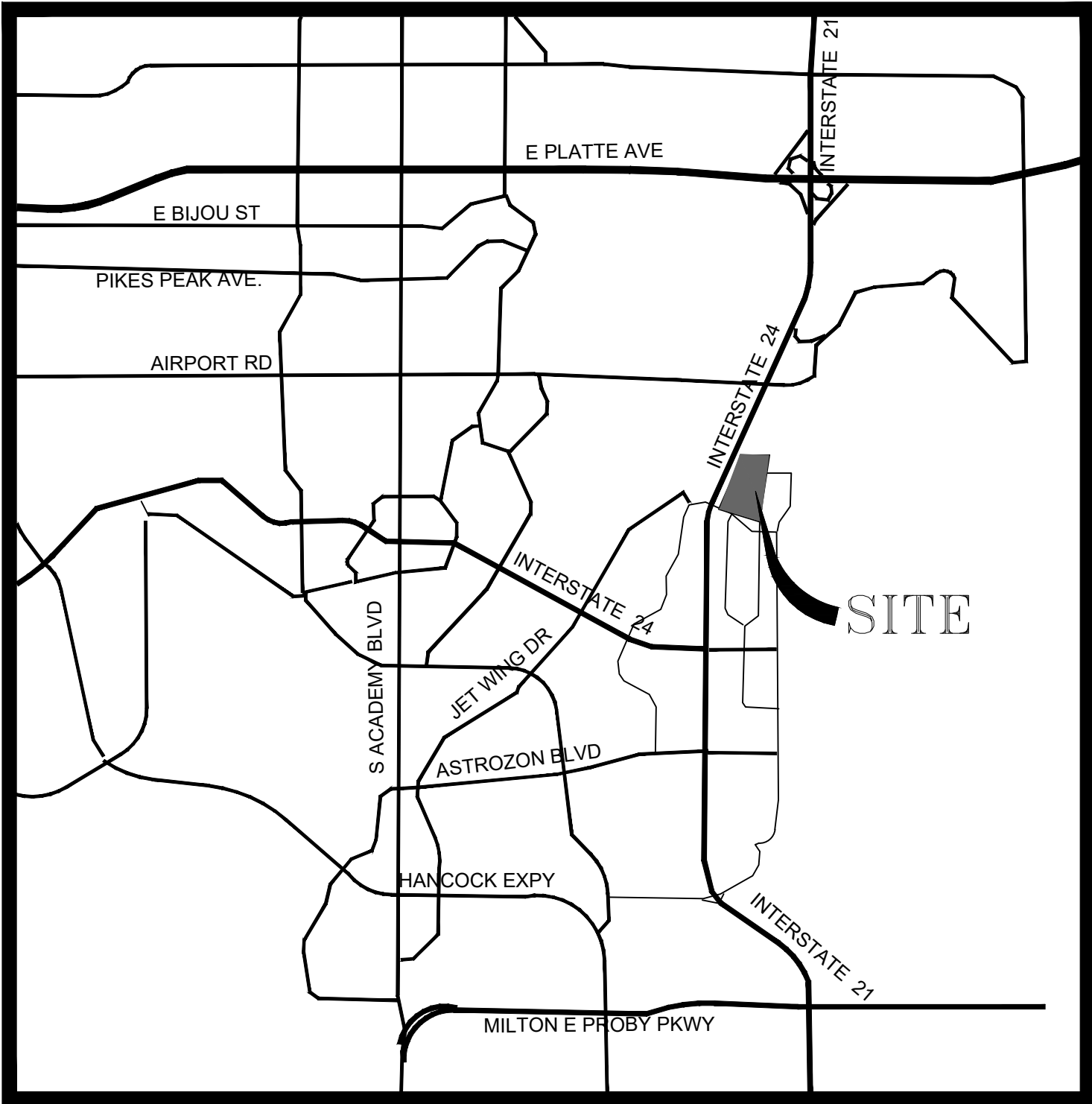
LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.

PROJECT DESCRIPTION

PROPOSED DEVELOPMENT PLAN ADDRESSES THE DEVELOPMENT OF TWO INDUSTRIAL BUILDINGS ON LOT 2, BLOCK 2 NEWPORT SUBDIVISION FILING NO. 19.

SITE DATA

OWNER:	PONCHIK LLC C/O CORDIA CAPITAL MANAGEMENT 2235 CAMPUS DR. EL SEGUNDO, CA 90245		
SCHEDULE NUMBER:	6424104005		
ADDRESS:	950 VAPOR TRAIL		
SITE AREA:	10.00 AC (435,690 SF)		
MASTER PLAN:	N/A		
CURRENT ZONING:	PIP-2 / CR AO PLANNED INDUSTRIAL PARK CONDITIONS OF RECORD AIRPORT OVERLAY		
EXISTING USE:	VACANT INDUSTRIAL LOT		
PROPOSED USE:	INDUSTRIAL		
DEVELOPMENT SCHEDULE:	FALL 2020		
BUILDING USE:	INDUSTRIAL		
BUILDING SIZE:	-BUILDING A: 50,000 SF -BUILDING B: 58,240 SF		
DRAINAGE BASIN:	PETERSON FIELD		
LANDSCAPE SETBACKS:	-SOUTH POWERS BOULEVARD: 25' -OTHERS: 10'		
PARKING REQUIREMENTS:	WAREHOUSES AND DISTRIBUTION REQUIRED: PROVIDED:		
	1/1,000 SF 109 SPACES 260 STANDARD SPACES 10 ACCESSIBLE SPACES		
BUILDING SETBACKS:	FRONT: 25' SIDE: 10' REAR: 25'		
MAXIMUM BUILDING HEIGHT:	45'		
PROPOSED BUILDING HEIGHT:	BUILDING A - 37'-0" BUILDING B - 39'-0"		
BUILDING COVERAGE:	108,240 SF	25%	
PAVING:	191,987 SF	44%	
LANDSCAPING:	135,463 SF	31%	



NOTES:

- PER FEMA FLOOD INSURANCE RATE MAP (FIRM) NO. 08041C0753G, DATED DECEMBER 7, 2018, THIS PARCEL IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATIONS.
- ALL PRIVATE TRAFFIC SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD GUIDELINES AND INSTALLED BY THE DEVELOPER.
- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- THIS PROPERTY MAY BE IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATING INTO AND OUT OF THE COLORADO SPRINGS MUNICIPAL AIRPORT. THE BUYER SHOULD FAMILIARIZE HIM/HERSELF WITH THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.

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17 OF 17	BUILDING B ELEVATIONS

PROJECT TEAM

DEVELOPER

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LANDSCAPE ARCHITECT

Redland
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bbradley@redland.com

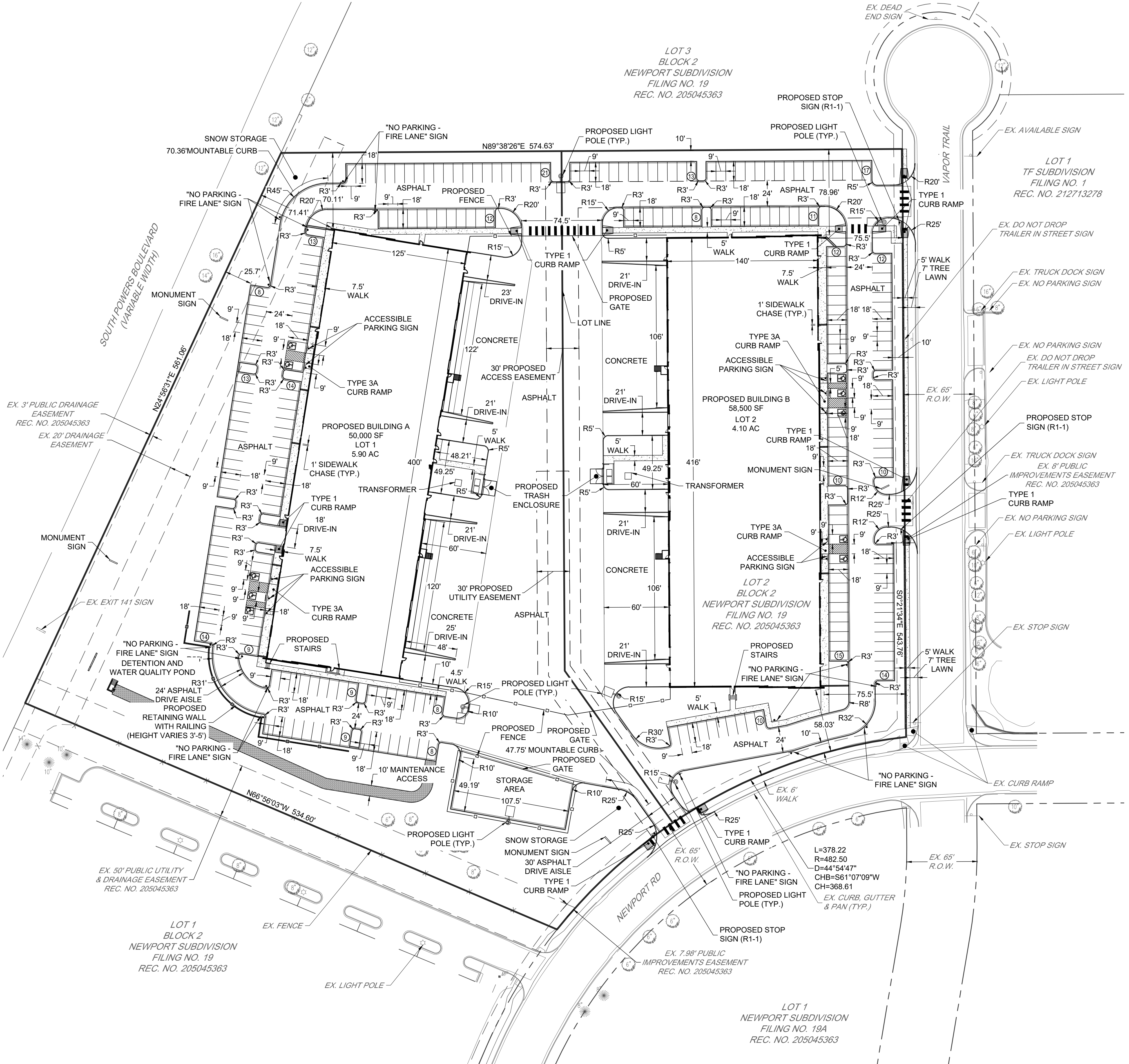
LAND SURVEYOR

Aztec Consultants, Inc.
302 E. Mineral Ave, Suite 1
Littleton, CO 80122
Phone (303) 713-1895
CONTACT: Karl Szyzskoski

CARRIER WEST 950 VAPOR TRAIL
DEVELOPMENT PLAN

LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19

SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



- EXISTING LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING R.O.W.
 - EXISTING LOT LINE
 - EXISTING EASEMENT
 - SECTION LINE
 - ROAD CENTERLINE
 - EDGE OF PAVEMENT
 - CURB AND GUTTER
 - FENCE
- PROPOSED LEGEND**
- PROPOSED PROPERTY LINE
 - PROPOSED R.O.W.
 - PROPOSED LOT LINE
 - PROPOSED SETBACK
 - PROPOSED EASEMENT
 - PROPOSED ROAD CENTERLINE
 - PROPOSED CURB AND GUTTER (CATCH)
 - PROPOSED CURB AND GUTTER (SPILL)
 - PROPOSED SIDEWALK
 - PROPOSED RETAINING WALL
 - PROPOSED LIMITS OF DISTURBANCE

NOTE:
1. PRIVATE CURB RAMPS DO NOT HAVE DETECTABLE RAMPS

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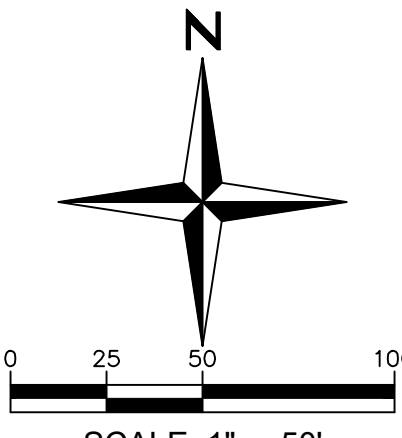
FC	DRAWN	CHECKED	APPROVED	PROJECT NO.	HORIZ. SCALE	VERT. SCALE
				20014	1" = 50'	NA

DATE	NO.	NOTES
08/27/2020	1	FIRST SUBMITTAL TO CITY

CARRIER WEST 950 VAPOR TRAIL
PRELIMINARY SITE PLAN

SHEET

2 OF 17



CARRIER WEST 950 VAPOR TRAIL
DEVELOPMENT PLAN

LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19

SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
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- FENCE
- EXISTING STORM SEWER
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

PROPOSED LEGEND

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- PROPOSED SLOPE ARROW
- PROPOSED STORM SEWER

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FC	DRAWN	CHECKED	APPROVED

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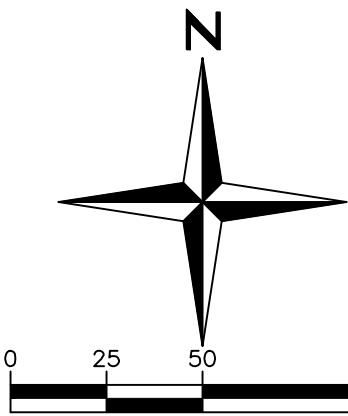
DATE	NO.	NOTES
08/27/2020	1	FIRST SUBMITTAL TO CITY

CARRIER WEST 950 VAPOR TRAIL
PRELIMINARY GRADING PLAN

SHEET

3 OF 17

DEVELOPMENT NO. DS DP XX-XXX-XXXXXX



L:\2020\2014 - carrier west 950 vapor trail\CAD\sheet sets\development plan\2014 - Preliminary Grading Plan.dwg, tab: 3 OF 17 PRELIMINARY GRADING PLAN, Aug 21, 2020 - 1:45pm, mceval

CARRIER WEST 950 VAPOR TRAIL

DEVELOPMENT PLAN

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CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS:

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

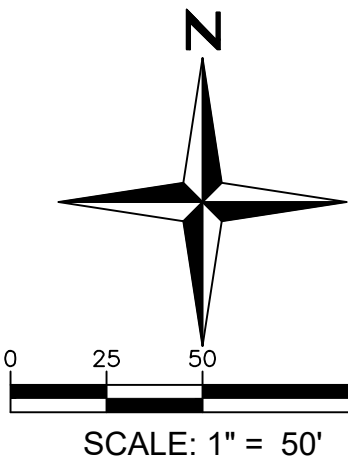
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
- FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET.

PROPOSED LEGEND

	PROPOSED PROPERTY LINE
	PROPOSED R.O.W.
	PROPOSED LOT LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB AND GUTTER (CATCH)
	PROPOSED CURB AND GUTTER (SPILL)
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED SPOT ELEVATION
	PROPOSED SLOPE ARROW
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	PROPOSED MANHOLE w/ DIA. (FT.)
	PROPOSED INLET
	PROPOSED FLARED END SECTION
	PROPOSED WATER BEND
	PROPOSED WATER CROSS
	PROPOSED WATER TEE
	PROPOSED WATER REDUCER
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED PLUG/CAP

EXISTING LEGEND

	EXISTING PROPERTY LINE
	EXISTING R.O.W.
	EXISTING LOT LINE
	EXISTING EASEMENT
	EXISTING SECTION LINE
	EXISTING ROAD CENTERLINE
	EXISTING EDGE OF PAVEMENT
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING WATERLINE
	EXISTING RAW WATERLINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING FIBER LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING CABLE TELEVISION



DEVELOPMENT NO. DS DP XX-XXX-XXXXXX

CARRIER WEST 950 VAPOR TRAIL

PRELIMINARY UTILITY PLAN

SHEET

4 OF 17

Redland
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10000 E. North
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DATE	NO.	NOTES
08/27/2020	1	FIRST SUBMITTAL TO CITY

DRAWN	FC
CHECKED	MDC
APPROVED	MDC
PROJECT NO.	20014
HORZ. SCALE	1" = 50'
VERT. SCALE	NA

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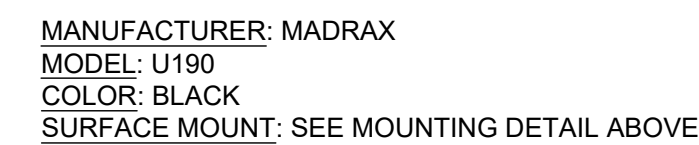
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



- EXISTING CURB AND GUTTER.



1. RAMP SLOPES SHALL NOT BE STEEPER THAN 12:1.



SCALE: NTS



CARRIER WEST 950 VAPOR TRAIL DEVELOPMENT PLAN

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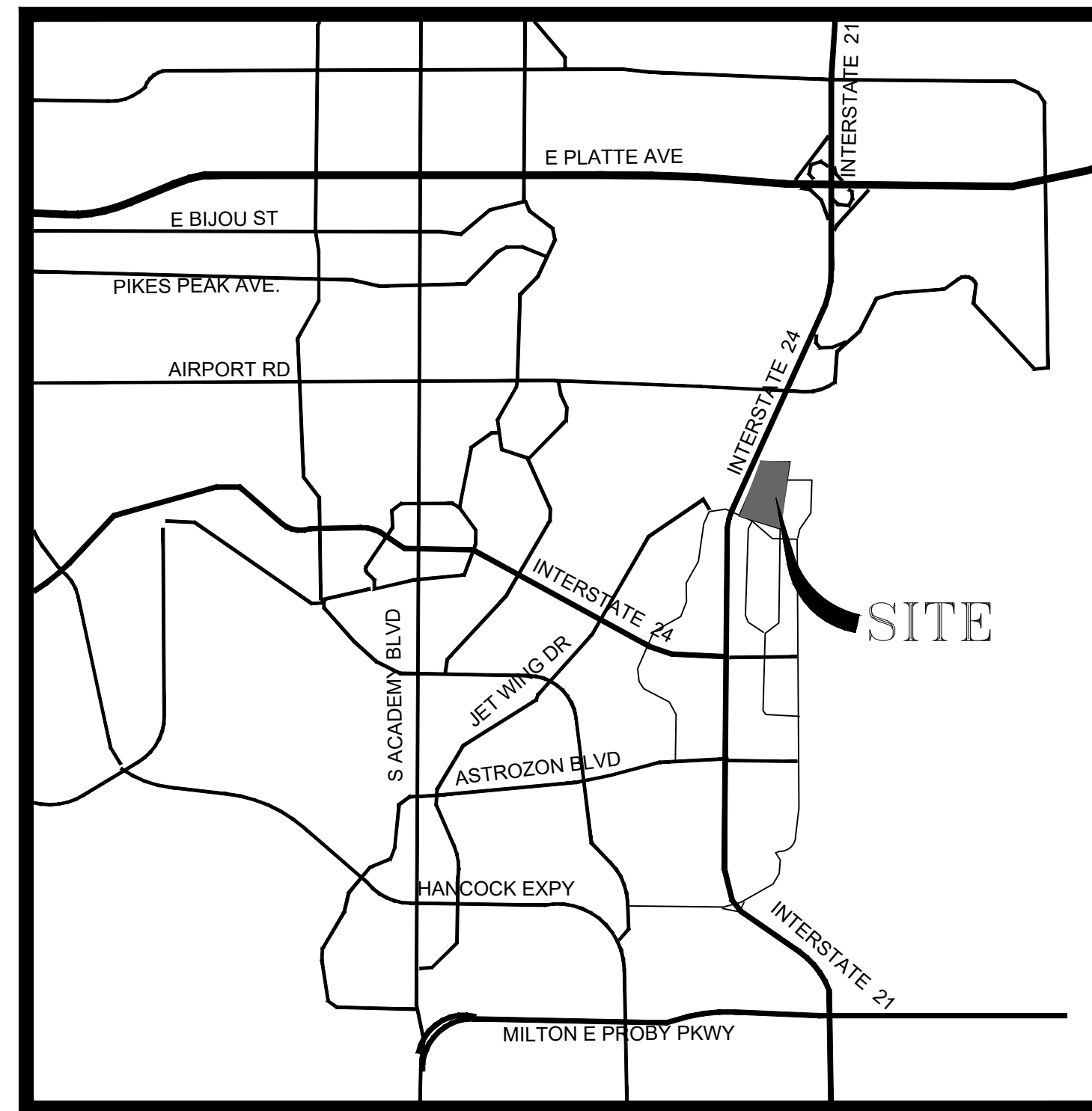
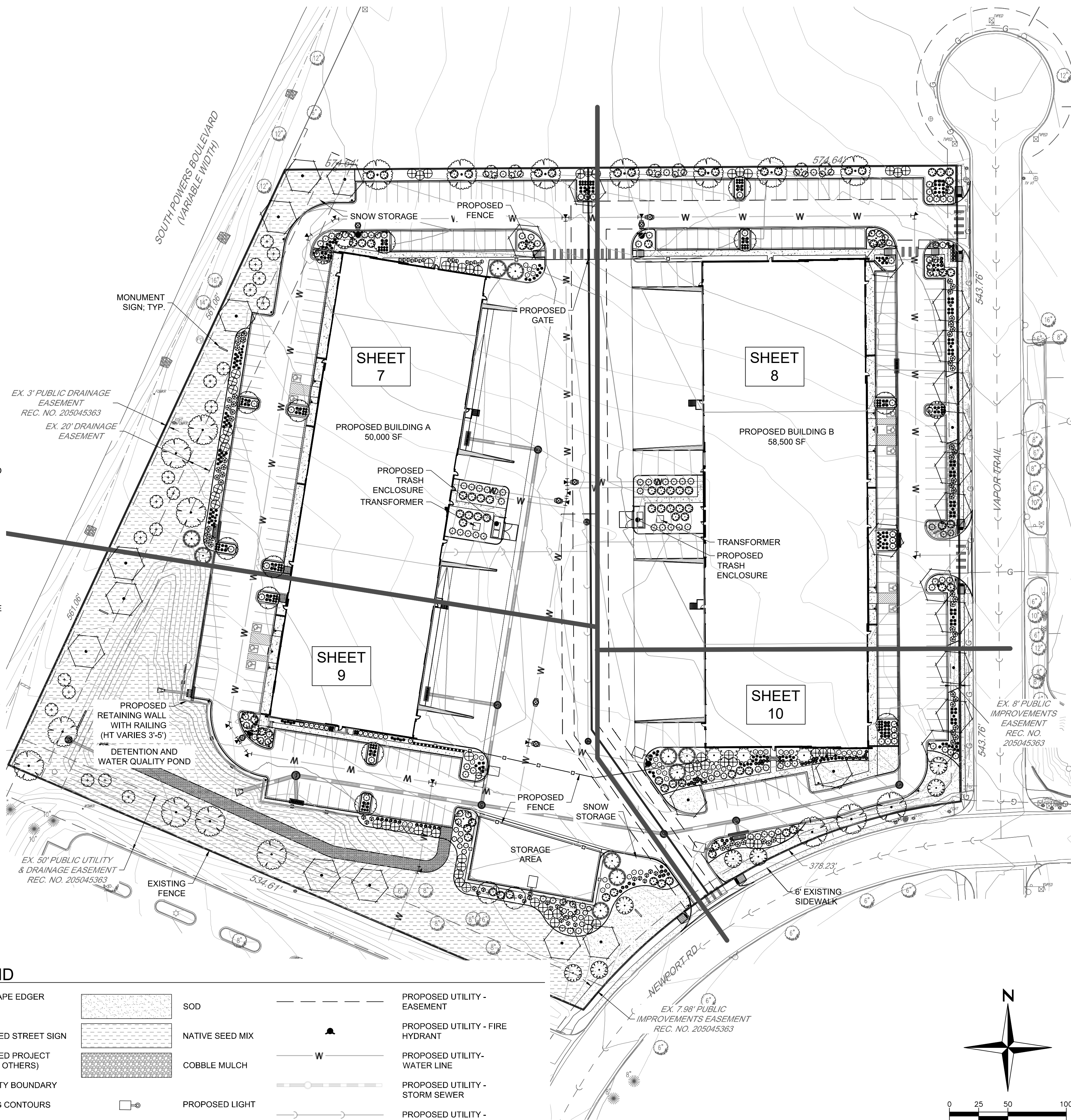
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- SOIL PREPARATION INCLUDES AMENDMENT, TILLING, AND ANY NECESSARY DE-COMPACTION OR EXCAVATION
- SLOPE PROTECTION, RECLAMATION AND EROSION CONTROL (CODE 315) AS NEEDED OVER AND ABOVE SWMP PERMIT FOR RE-VEGETATION AND ESTABLISHMENT OF NATIVE SEED (OR COMPARABLE) WITHIN THE LANDSCAPE PROCESS.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH THE BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- SOIL AMENDMENT: REQUIRED MINIMUM SOIL AMENDMENT FOR ALL LANDSCAPE AREAS EQUALS FOUR (4) CUBIC YARDS (CY)/1000 SQUARE FEET (SF).
 - A-1 ORGANICS (EATON, CO, 970-454-3492) BLOCOMP CLASS 1 COMPOST OR APPROVED EQUAL.
- RIVER COBBLE: 2"-4" LOCAL RIVER ROCK (TAN) OVER NONWOVEN POLYPROPYLENE FILTER FABRIC OR APPROVED EQUAL.
- IRRIGATION:
 - PERMANENT, UNDERGROUND IRRIGATION WILL BE INSTALLED IN ALL LANDSCAPE AREAS.
 - NO TURF AREAS AREA PROPOSED.
 - CONTROLLER WILL INCLUDE RAIN SHUT-OFF.
 - HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER DEMAND.
 - IRRIGATION CONSTRUCTION PLANS WILL BE PREPARED BY A QUALIFIED PROFESSIONAL.
- OWNER OR ASSIGNS WILL MAINTAIN ALL LANDSCAPED AREAS.
- DECIDUOUS TREES WILL BE PLANTED A MINIMUM SIX (6) FEET FROM SIDEWALKS AND PLANTING BEDS. EVERGREEN TREES WILL BE PLANTED A MINIMUM 10 FEET FROM SIDEWALKS AND PLANTING BED EDGES. DECIDUOUS TREES WILL BE LOCATED A MINIMUM SIX (6) FEET FROM EDGE OF BUILDINGS; EVERGREEN TREES A MINIMUM OF 10 FEET. SHRUBS WILL BE PLANTED A MINIMUM FOUR (4) FEET FROM SIDEWALKS, PLANTING BED EDGES, EDGE OF BUILDINGS OR ONE-HALF THEIR MATURE WIDTH, WHICHEVER IS GREATER. SPACING FOR PLANT PLACEMENT WILL BE MEASURED FROM THE CENTERLINE OF THE PLANT.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE DESIGN LANDSCAPE ARCHITECT REGARDING THE REQUIRED SOIL ANALYSIS REPORT AND IS RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS TESTING LAB FOR TESTING. THIS WOULD INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED). THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT AND THE CITY OF COLORADO SPRINGS PRIOR TO INSTALLING ANY LANDSCAPING (PLANTS/SOD/NATIVE SEED) ONSITE.

LANDSCAPE LEGEND

—	LANDSCAPE EDGER		SOD	---	PROPOSED UTILITY - EASEMENT
—○—○—○—	FENCE		NATIVE SEED MIX	—●—	PROPOSED UTILITY - FIRE HYDRANT
—+—	PROPOSED STREET SIGN		COBBLE MULCH	—W—	PROPOSED UTILITY- WATER LINE
—	PROPOSED PROJECT SIGN (BY OTHERS)			—○—	PROPOSED UTILITY - STORM SEWER
---	PROPERTY BOUNDARY			—+—	PROPOSED UTILITY - SANITARY SEWER
---	EXISTING CONTOURS		PROPOSED LIGHT		
---	PROPOSED CONTOURS				



VICINITY MAP
SCALE: 1" = 2000'



LANDSCAPE SETBACKS

STREET NAME OR ZONE BOUNDARY	STREET CLASSIFICATION	WIDTH (IN FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROV.
POWERS BOULEVARD	PRINCIPAL ARTERIAL ROAD	25' / 25'	561'-0"	1 / 20'	29 / 29
VAPOR TRAIL	NON-ARTERIAL ROAD	10' / 10'	378' - 3"	1 / 30'	13 / 12
NEWPORT ROAD	NON-ARTERIAL ROAD	10' / 10'	543' - 8"	1 / 30'	19 / 14
NORTHERN & SOUTHWEST BOUNDARY	N/A	N/A	1,109' - 3"	1 / 30'	37 / 32

- UP TO TWENTY-FIVE PERCENT (25%) OF THE REQUIRED SETBACK OR STREETScape TREES MAY BE SUBSTITUTED WITH SHRUBS AND/OR ORNAMENTAL GRASSES.
- TREE SUBSTITUTIONS: 25% MAXIMUM. ONE (1) TREE = TEN (10) #5 SHRUBS OR TWENTY (20) #1 PERENNIALS.
- REQUIRED TREES SHALL BE LOCATED WITHIN FIFTY (50) FEET OF THE PROPERTY LINE ADJACENT TO THE STREET OR NON-STREET BOUNDARY.

MOTOR VEHICLE LOTS (MVL)

NUMBER OF VEHICLE PROVIDED SPACES	SHADE TREES (1/15 SPACES) REQUIRED/PROVIDED	VEHICLE LOT FRONTAGE(S)	LENGTH OF FRONTAGE (FT.) (EXCLUDING DRIVEWAYS)	2/3 LENGTH OF FRONTAGE (FT.)
270	18 / 18	VAPOR TRAIL & NEWPORT ROAD	682' - 8"	450' - 6"

- MOTOR VEHICLE LOT PLANTER: MINIMUM TEN FEET (10') WIDE. MINIMUM THREE-HUNDRED (300) SQUARE FEET. MINIMUM ONE-HUNDRED FIFTY (150) SQUARE FEET PER TREE WHEN MORE THAN ONE TREE IS PROPOSED FOR A PLANTER.
- NO SHRUB SUBSTITUTIONS PERMITTED.
- REQUIRED TREES MAY BE PLANTED IN OTHER SITE CATEGORY AREAS, PROVIDED THEY ARE LOCATED WITHIN FIVE TO EIGHT FEET (5'-8') OF A PAVED MOTOR VEHICLE LOT, AND TREE SPACING REQUIREMENTS ARE MAINTAINED.
- SCREEN SHALL BE AT LEAST TWO-THIRDS (2/3) OF EACH FRONTAGE OF ANY APPLICABLE MOTOR VEHICLE LOT. SCREENING TO BE THREE FEET (3') MINIMUM HEIGHT.

INTERNAL LANDSCAPING

NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REQUIRED/PROVIDED	INTERNAL TREES (1/500 SF) REQUIRED/PROVIDED
401,945 SF	NONRESIDENTIAL (5%)	20,097 SF / 135,463 SF	41 / 20
SHRUB SUBSTITUTES REQUIRED/PROVIDED	ORNAMENTAL GRASS SUB. REQUIRED/PROVIDED	INTERNAL PLANT ABBR. DENOTED ON PLAN	PERCENT GROUND PLAIN VEG. REQ./PROVIDED
310 / 706*	0 / 212*	GDI	75% / 75%

- UP TO ONE HUNDRED PERCENT (100%) OF REQUIRED TREES MAY BE SUBSTITUTED BY SHRUBS.
- SUBSTITUTIONS: ONE (1) TREE = TEN (10) #5 SHRUBS = TWENTY (20) APPROVED #1 ORNAMENTAL GRASS CLUMPS.
- MINIMUM SHRUB BED AREA FIFTEEN (15) SQUARE FEET.
- NET SITE AREA DOESN'T INCLUDE BUFFER SF.
- SHRUB AND ORNAMENTAL GRASS QUANTITIES ARE HIGHER THAN REQUIRED TO SATISFY SCREENING REQUIREMENTS FOR PARKING AREAS.

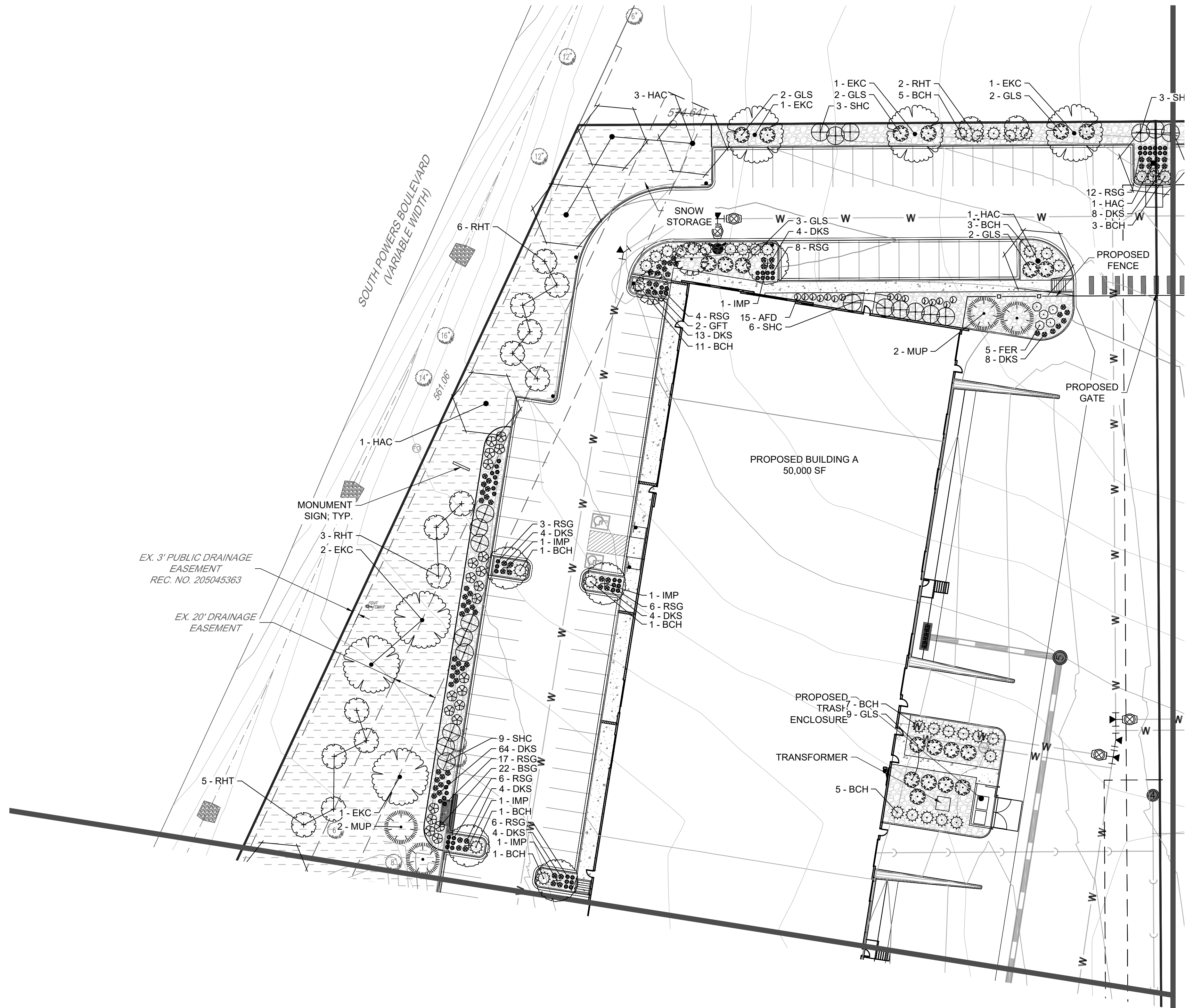
DEVELOPMENT NO. DS DP XX-XXX-XXXXXX

CARRIER WEST 950 VAPOR TRAIL
DEVELOPMENT PLAN

LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19

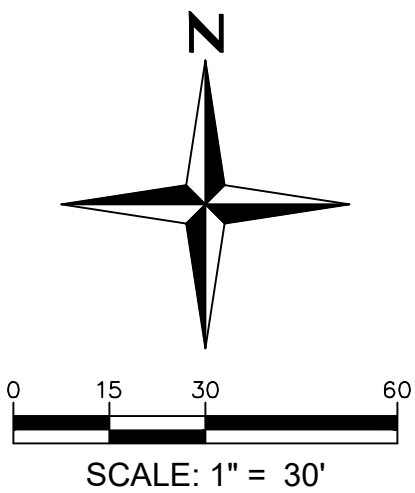
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LANDSCAPE LEGEND

	LANDSCAPE EDGER		SOD		PROPOSED UTILITY - EASEMENT
	FENCE		NATIVE SEED MIX		PROPOSED UTILITY - FIRE HYDRANT
	PROPOSED STREET SIGN		COBBLE MULCH		PROPOSED UTILITY - WATER LINE
	PROPOSED PROJECT SIGN (BY OTHERS)		PROPOSED LIGHT		PROPOSED UTILITY - STORM SEWER
	PROPERTY BOUNDARY				PROPOSED UTILITY - SANITARY SEWER
	EXISTING CONTOURS				
	PROPOSED CONTOURS				



DETENTION BASIN SEED MIX		
COMMON NAME	SCIENTIFIC NAME	PERCENT
Western wheatgrass	Agropyron smithii	30%
Alkaligrass	Puccinellia distans	10%
Streambank wheatgrass	Elymus lanceolatus	30%
Nebraska sedge	Carex nebrascensis	15%
Meadow sedge	Carex granularis	15%
Total		100%
Seed at 15lbs/acre Broadcast, 7.5lbs/acre drilled		

PLANT SCHEDULE

DECIDUOUS TREES					
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AG	19	Acer ginnala	Amur Maple	1.5" Cal.
	CBT	17	Rhamnus cathartica	Common Buckthorn	1.5" Cal.
	EKC	7	Gymnocladus dioicus 'Espresso'	Espresso Kentucky Coffee Tree	2" Cal.
	HAC	25	Celtis occidentalis	Common Hackberry	2.5" Cal.
	PS	14	Populus sargentii	Plains Cottonwood	1.5" Cal.
EVERGREEN TREES					
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	BRP	8	Pinus aristata	Bristlecone Pine	#1
	MUP	11	Pinus mugo	Mugo Pine	1.5" Cal.
	PIN	3	Pinus edulis	Pinon Pine	6' Ht.
ORNAMENTAL TREES					
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	RHT	6	Crataegus ambigua	Russian Hawthorn	1.5" Cal.
SHRUBS					
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	SHC	72	Cotoneaster lucidus	Shiny Cotoneaster	#1
DECIDUOUS SHRUBS					
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AFD2	33	Cornus sericea 'Farrow'	Arctic Fire Dogwood	#5
	DKS	253	Caryopteris x clandonensis 'Dark Knight'	Dark Knight Blue Mist Spirea	#5
	FER	45	Chamaebatiaria millefolium	Fernbush	#5
	GLS	83	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#5
	PM	24	Philadelphus x lemoinei	Mock Orange	#1
EVERGREEN SHRUBS					
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AND	16	Juniperus horizontalis 'Youngstown'	Youngstown Juniper	#5
	BCH	142	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	#5
	BSG	98	Cytisus purgan 'Spanish Gold'	Spanish Gold Broom	#5
	WBL	11	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	#5
ORNAMENTAL GRASSES					
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	RSG	202	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#1
GRASSES					
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AVG	139	Helictotrichon sempervirens	Blue Avena	#1

NATIVE PRAIRIE SEED MIX		
COMMON NAME	SCIENTIFIC NAME	PERCENT
Sideoats grama	Bouteloua curtipendula	15%
Western wheatgrass	Agropyron smithii	28%
Blue grama	Bouteloua gracilis	8%
Little bluestem	Schizachyrium scoparium	8%
Slender wheatgrass	Elymus trachycaulus	15%
Streambank wheatgrass	Elymus lanceolatus	8%
Switchgrass	Panicum virgatum	8%
Sand dropseed	Sporobolus cryptandrus	3%
Green needlegrass	Nassella viridula	5%
Annual ryegrass	Lolium multiflorum	5%
Total		100%
Seed at 15lbs/acre Broadcast, 7.5lbs/acre drilled		

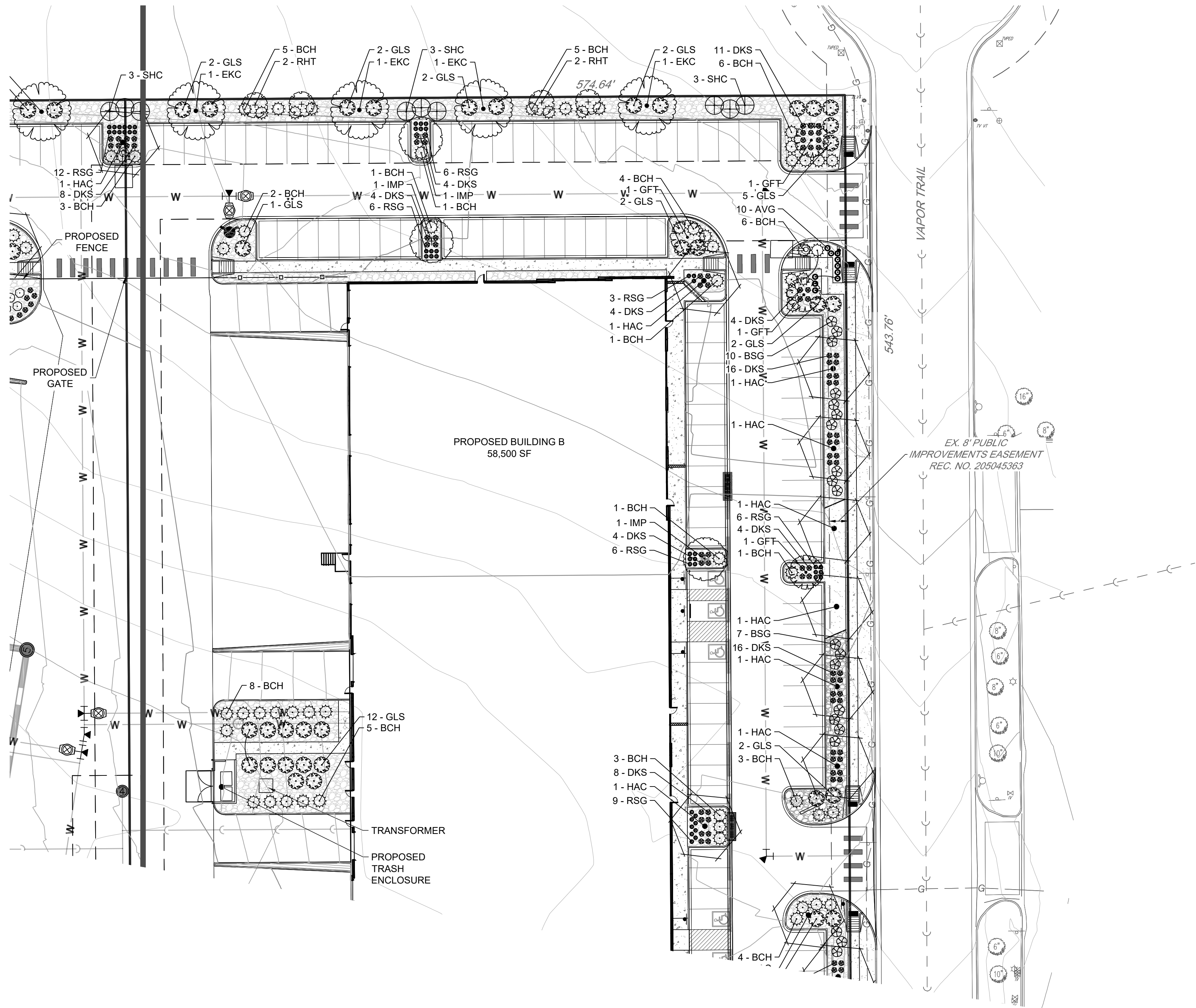
I:\2020\2014 - carrier west 950 vapor trail\CAD\sheet seeds\development plan\2014 - Preliminary Landscape Plan.dwg Tab: 7 OF 10 LANDSCAPE ENLARGEMENT Aug 21, 2020 - 1:46pm mcoval

CARRIER WEST 950 VAPOR TRAIL
DEVELOPMENT PLAN

LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19

SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

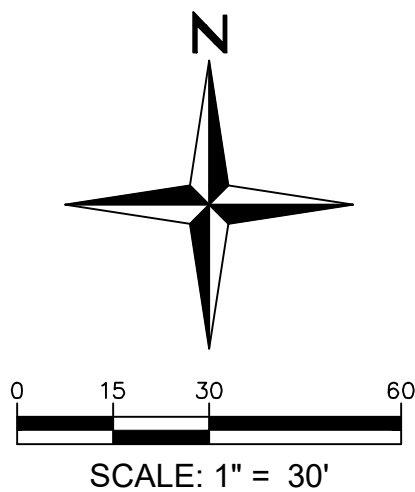


LANDSCAPE LEGEND

	LANDSCAPE EDGER		SOD		PROPOSED UTILITY - EASEMENT
	FENCE		NATIVE SEED MIX		PROPOSED UTILITY - FIRE HYDRANT
	PROPOSED STREET SIGN		COBBLE MULCH		PROPOSED UTILITY- WATER LINE
	PROPOSED PROJECT SIGN (BY OTHERS)		PROPOSED LIGHT		PROPOSED UTILITY- STORM SEWER
	PROPERTY BOUNDARY				PROPOSED UTILITY - SANITARY SEWER
	EXISTING CONTOURS				
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PLANT SCHEDULE

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	FER	45	Chamaebatiaria millefolium	Fernbush	#5
	GLS	83	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#5
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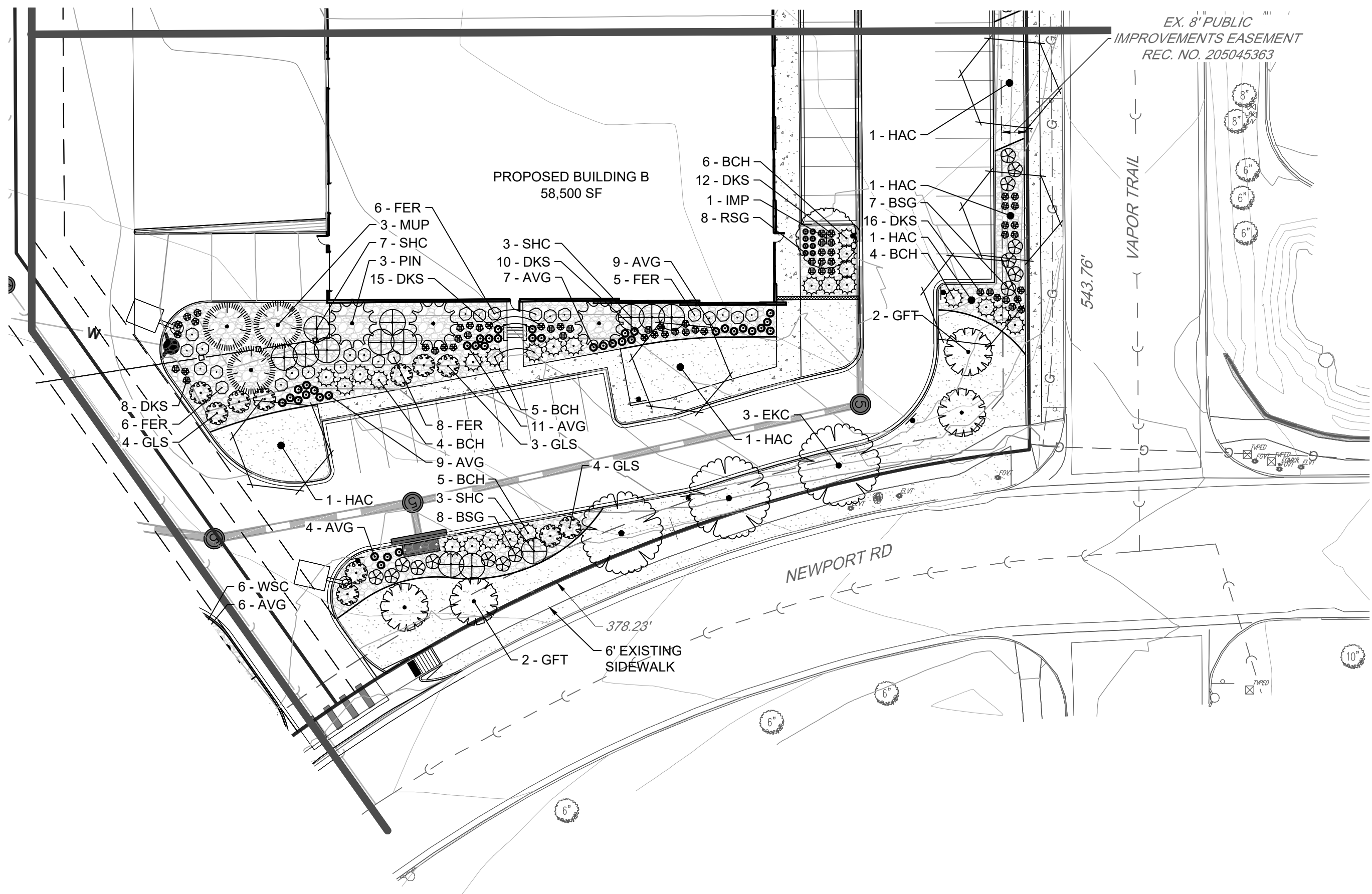
CARRIER WEST 950 VAPOR TRAIL

DEVELOPMENT PLAN

LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19

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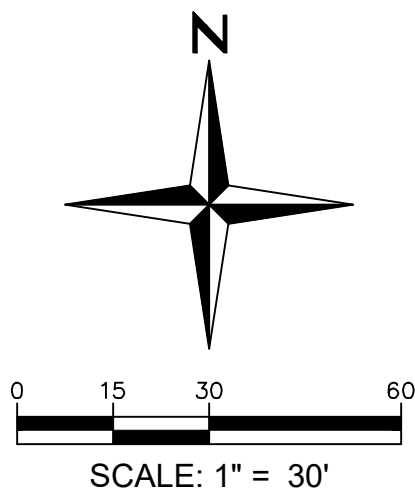


LANDSCAPE LEGEND

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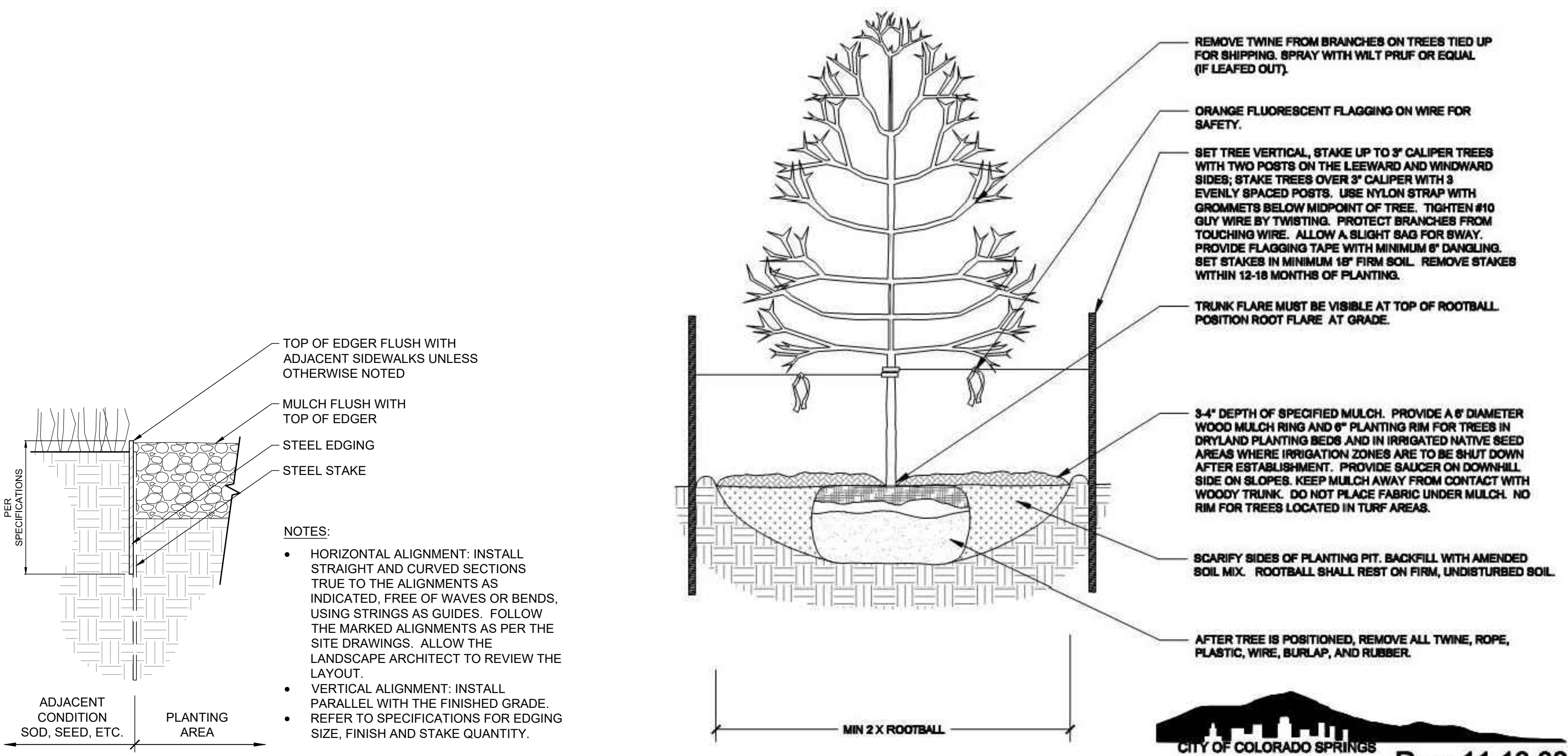
DEVELOPMENT NO. DS DP XX-XXX-XXXXXX

CARRIER WEST 950 VAPOR TRAIL DEVELOPMENT PLAN

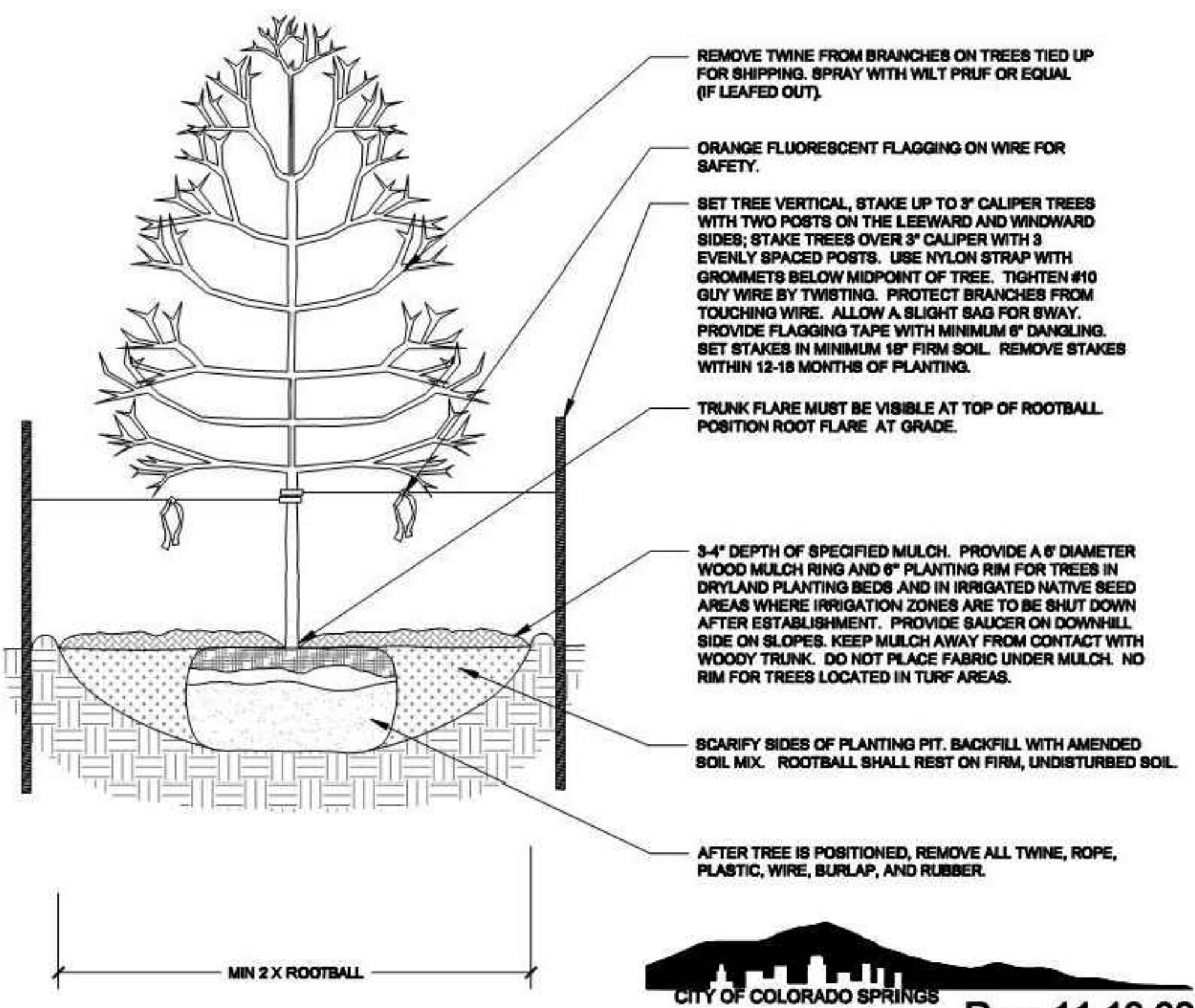
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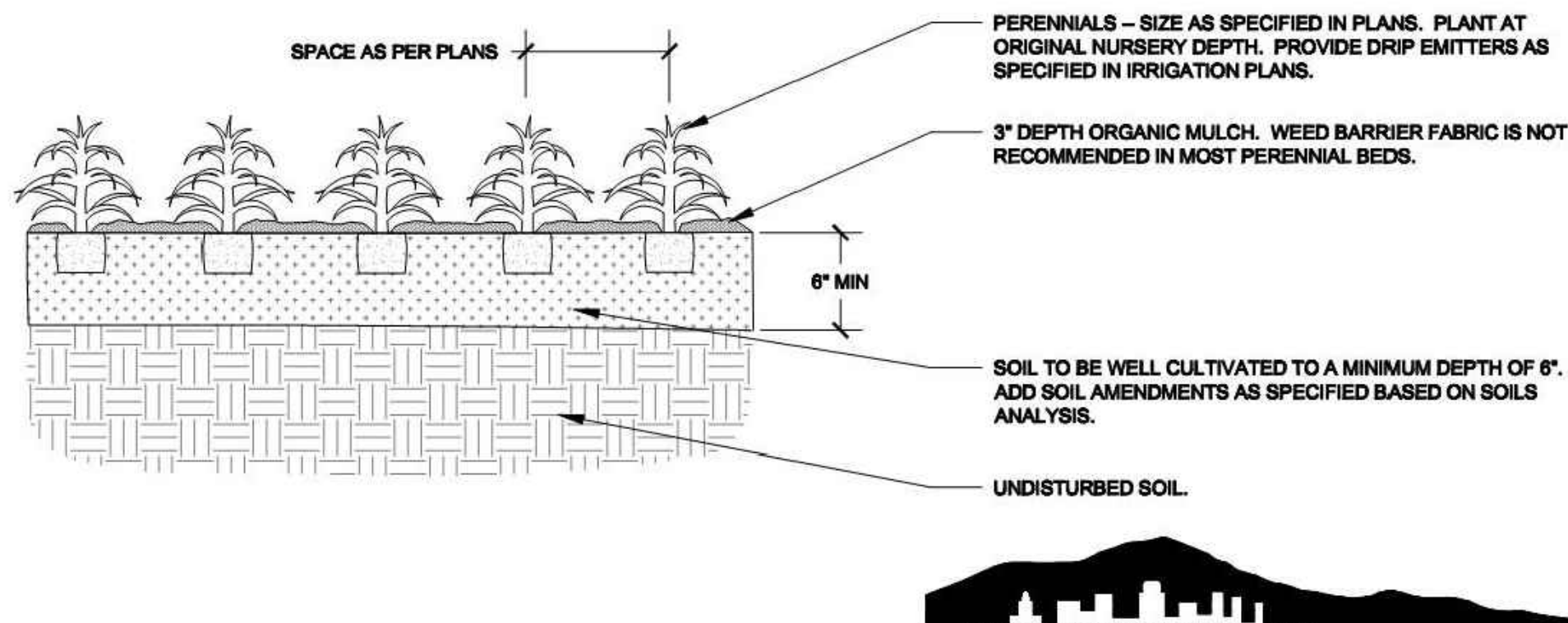
A LANDSCAPE EDGER
SCALE: 3"=1'-0"



B DECIDUOUS TREE PLANTING DETAIL

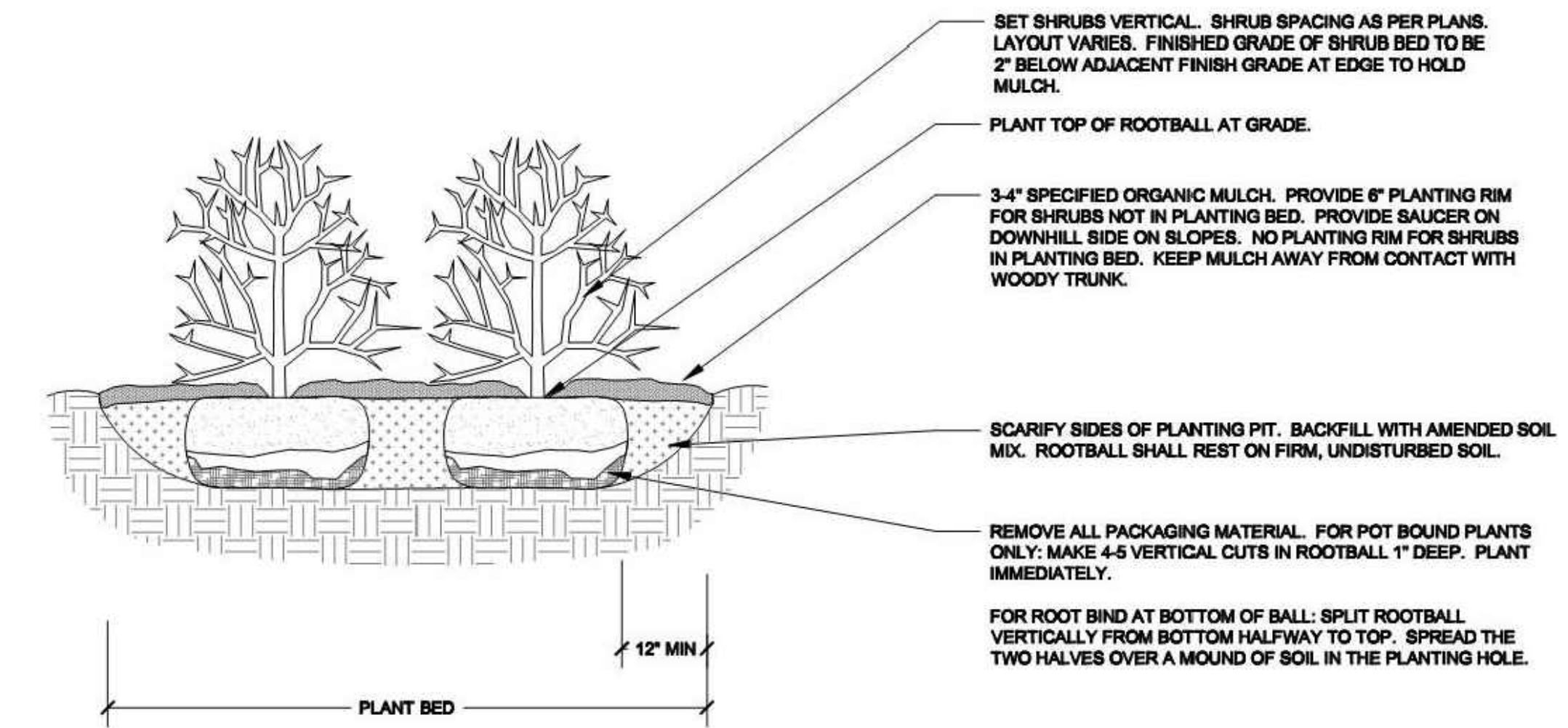
NOTES:

1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
2. PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.

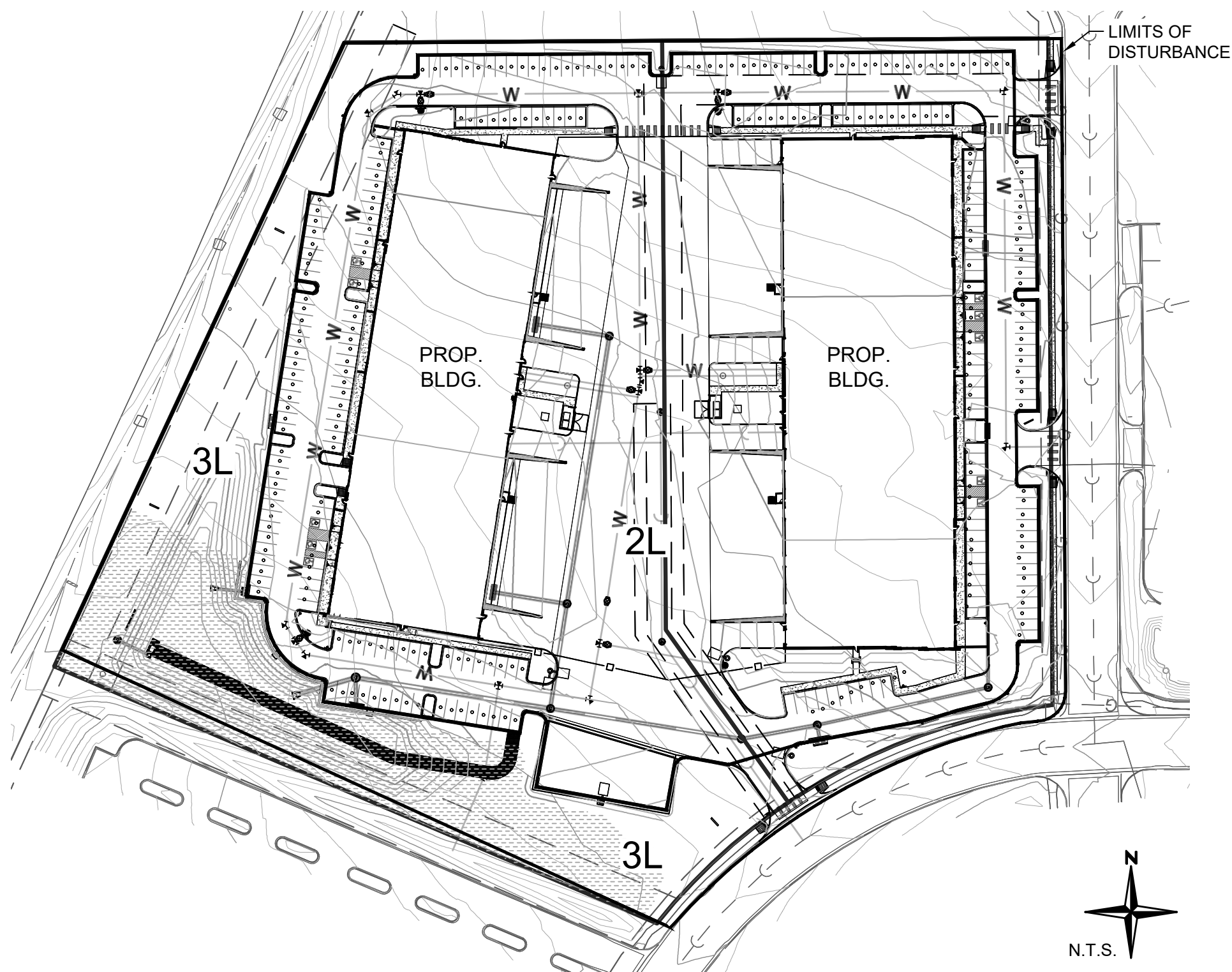


C PERENNIAL/GROUNDCOVER PLANTING DETAIL

- NOTES:**
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



D SHRUB PLANTING DETAIL



E SCHEMATIC LANDSCAPE DIAGRAM

CLIMATE ZONE

PLAINS

PLANT COMMUNITIES

1. SEMIARID SHRUBLAND
2. PINON-JUNIPER WOODLAND
3. PRAIRIE
4. LOWER ELEVATION RIPARIAN
5. FOOTHILL SHRUBLAND
6. PONDEROSA PINE FOREST
7. UPPER ELEVATION RIPARIAN
8. DOUGLAS-FIR FOREST

HYDROZONES

- V. VERY LOW (0 TO 7 INCHES PER YEAR)
L. LOW (7 TO 15 INCHES PER YEAR)
M. MODERATE (15 TO 25 INCHES PER YEAR)
H. HIGH (25+ INCHES PER YEAR)

NOTE: HYDROZONES DELINEATED BASED ON APPENDIX E OF LANDSCAPE POLICY MANUAL.

DRAWN	J/KBB
CHECKED	BB
APPROVED	BB
PROJECT NO.	20014
HORIZ. SCALE	1" = 50'
VERT. SCALE	NA

DATE	NO.	NOTES
08.21.2020	1	FIRST SUBMITTAL TO CITY