

LOCAL DECISIONS
 LOT 88, DP 18944, CT N727/778
 SITE AREA 1150M²

SITE COVERAGE CALCULATION
 BUILDING 526.73M²
 COVERAGE 45.45% 50% MAX
 DECK XXXM²

IMPERMEABLE AREA CALCULATION
 ROOF 618.57M²
 NON ROOF 213.70M²
 TOTAL 832.27M²
 COVERAGE 71.99% 70% MAX

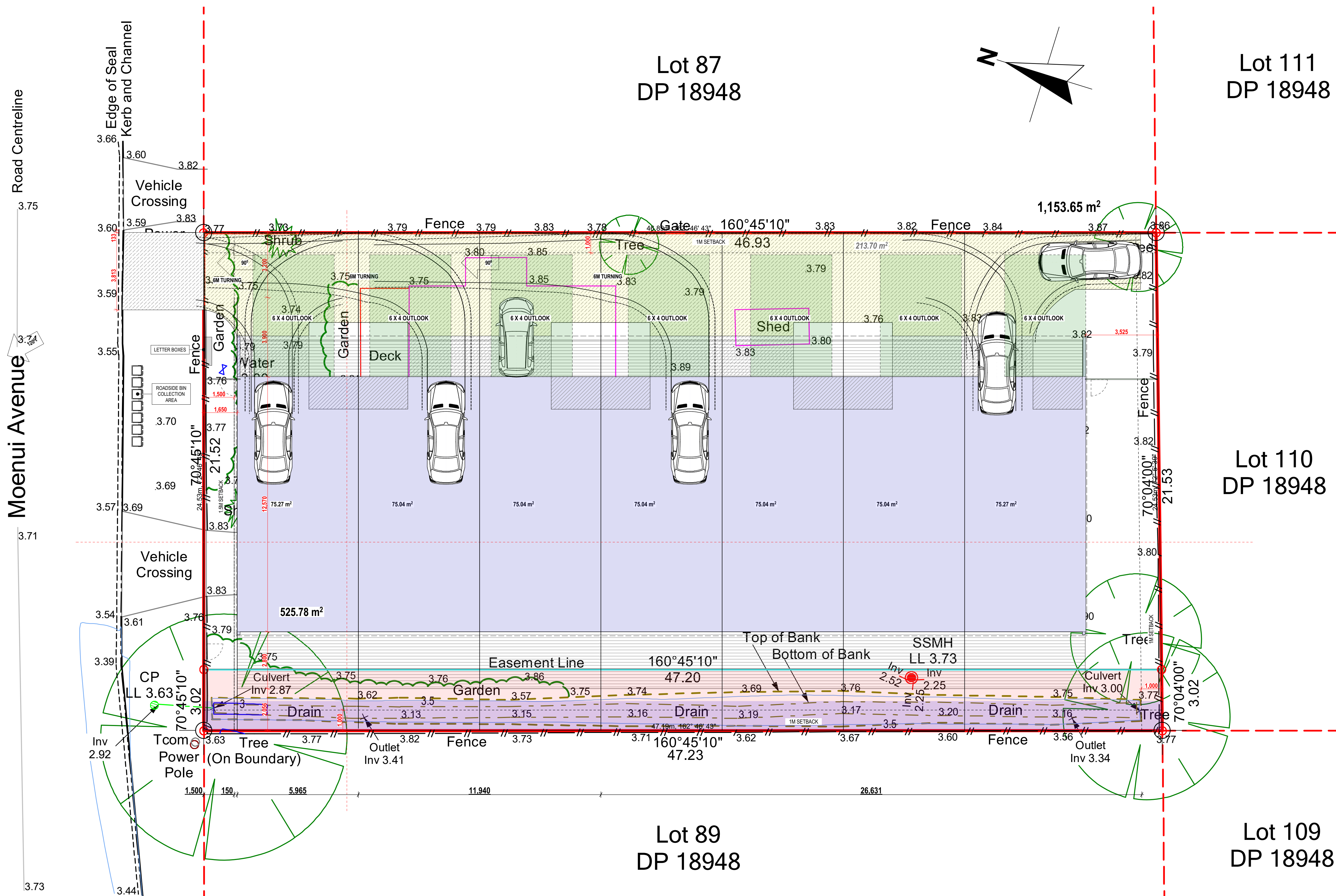
CUT / FILL VOLUME CALCULATION
 XXXM³ CUT
 XXXM³ FILL

FINISHED FLOOR LEVEL (F.F.L.)
CONCRETE - TOP OF FINISHED SLAB
TIMBER FLOOR - TOP OF FLOORING

FINISHED GROUND LEVEL (F.G.L.)
MEANS THE LEVEL AFTER ALL BACKFILLING,
LANDSCAPING AND SURFACE PAVING HAS BEEN
COMPLETED

CLEARED GROUND LEVEL (C.G.L.)
MEANS THE LEVEL AFTER THE SITE EXCAVATION
HAS BEEN COMPLETED BUT BEFORE BUILDING
FOUNDATIONS HAVE BEEN EXCAVATED AND THE
AREA OF THE SITE TO BE COVERED BY THE
BUILDING IS FREE OF ALL DELETERIOUS MATERIAL

SITE SETOUT IS RECOMMENDED BY A SURVEYOR TO ENSURE THE POSITION OF BUILDING, CONFIRM SITE DATUM, FLOOR LEVELS, GROUND CONTOURS AND FENCES ARE SHOWN CORRECTLY. WHERE A SURVEY PLAN HAS NOT BEEN PROVIDED OR UNDERTAKEN PRIOR TO CONSTRUCTION, THEN IT BECOMES THE CLIENT'S RESPONSIBILITY AND MAY INCUR FURTHER COSTS. DISCREPANCIES MAY AFFECT TOWN PLANNING RULES AND REQUIRE RESOURCE CONSENT.





CUT & FILL EXCAVATION NOTES
OUR MEASUREMENTS AND VOLUMES ARE NOT TO BE USED IN ANY WAY FOR QUANTITY SURVEY, OR COSTING PURPOSES. AS THE ACCURACY OF THE SURVEY & TOPOGRAPHICAL INFORMATION CONTAIN A MARGIN OF ERROR THAT INFLUENCES SUCH MEASUREMENTS & VOLUMES. EARTHWORKS VOLUMES ARE AFFECTED BY:

CUT VOLUMES

- 'BULKING' DUE TO EXCAVATED MATERIAL TAKING UP MORE SPACE ON A TRUCK
- WHETHER ALLOWANCE HAS BEEN MADE FOR EXCAVATION OF SERVICE TRENCHES, REMOVAL OF VEGETATION, FOOTINGS, PADS AND PILE HOLS, OBSTRUCTIONS AND FOOTPATHS
- ACTUAL DEPTHS OF TOPSOIL & STAINED CLAY THAT MAY GET REMOVED.
- REMOVAL OF MATERIAL FOUND TO BE 'UNUSABLE' FOR FILL.

FILL VOLUMES REQUIRED
THESE CAN BE AFFECTED BY:
THE AMOUNT OF UNDERCUT MADE DURING EXCAVATION.
- THE SLOPE OF THE BATTER AS RECOMMENDED IN THE GEOTECH REPORT
- THE SLOPE OF THE CUT MATERIAL FOR COMPACTION PURPOSES.

SCHEME

		<p>PROPOSED TOWNHOUSES</p> <p>AT</p> <p>8 MOENU AVE</p> <p>OREWA</p> <p>For</p> <p>WESTMORELAND HOMES</p>	<p>Drawing Title</p> <p>SITE PLAN</p> <p>THIS DOCUMENT REMAINS THE PROPERTY OF MAKING PLANS LTD / ALL DIMENSIONS TO BE VERIFIED ON SITE</p>	<p>SCALE @ A3.</p> <p>1:100</p>	<p>WIND ZONE HIGH</p> <p>EXPOSURE ZONE D</p> <p>EQ ZONE 1</p>
				<p>SHEET NUMBER</p> <p>102</p>	<p>ZONE TERRACE</p> <p>Checked MAKING PLANS</p> <p>Drawn DRAWN BY NAME</p> <p>31 Plot Area 14/09/2022</p>

Lot 87
DP 18948

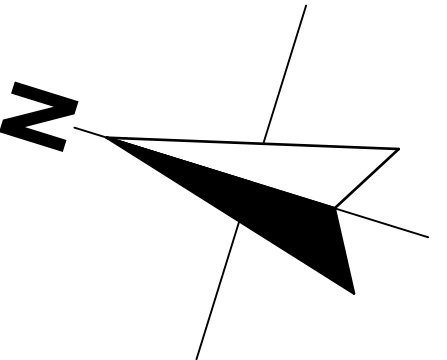
Lot 111
DP 18948

Lot 110
DP 18948

Lot 109
DP 18948

Road Centreline

Moenui Avenue



PROVIDE SILT RUN OFF PROTECTION
TAKE APPROPRIATE MEASURES TO PREVENT OR MINIMISE SEDIMENT GENERATION AND SILT RUN OFF. COMPLY WITH TERRITORIAL AND OTHER AUTHORITIES REQUIREMENTS RELATING TO CARRYING OUT EARTHWORKS. PUMP WATER FROM TRENCHES AND OTHER AREAS OF SITE USING METHODS TO PREVENT SEDIMENT ENTERING ANY DRAIN OR WATERCOURSE. FILTER DIRTY WATER BEFORE DISCHARGING INTO ANY DRAINAGE SYSTEM.

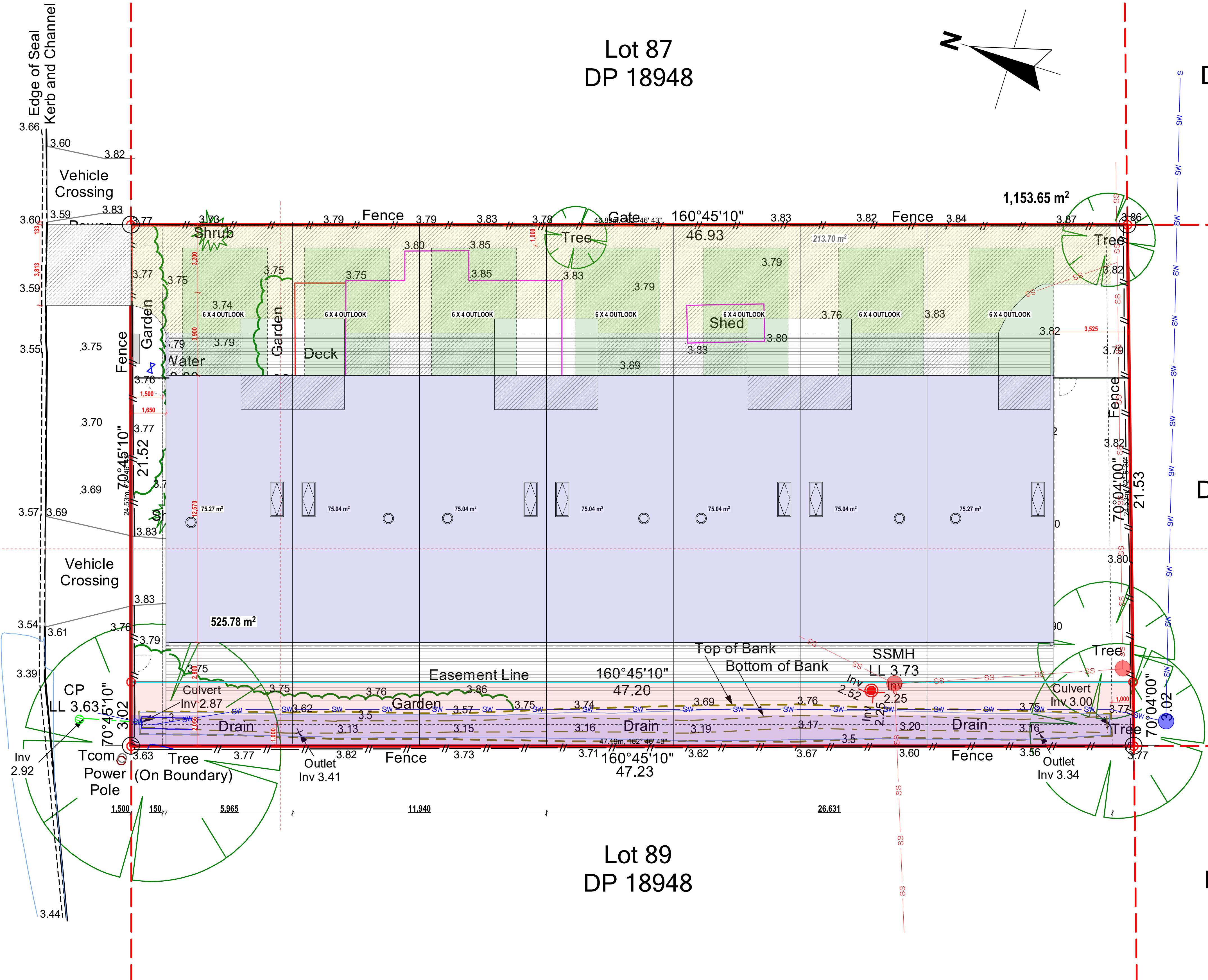
PLUMBING AND DRAINAGE:
1. ALL SANITARY PLUMBING AND DRAINAGE WORK MUST COMPLY WITH NZ BUILDING CODE ACCEPTABLE SOLUTION AS/NZS 3500 PART 2.2
2. ALL STORMWATER DRAINAGE WORK MUST COMPLY WITH NZ BUILDING CODE ACCEPTABLE SOLUTION E1/AS1
3. SANITARY PLUMBING MUST BE RUN IN PVC, AND WATER RETICULATION IN POLYBUTYLENE.
4. COLD WATER SUPPLY PIPE TO HAVE A NON-RETURN VALVE FITTED BEFORE THE FIRST OUTLET.
5. ALL EXISTING SERVICES MUST BE LOCATED AND PEGGED BEFORE COMMENCING WORK.

MINIMUM GRADIENT RATIO OF SANITARY DISCHARGE PIPES AND DRAINS:
1. AS/NZS 3500 PART 2 DISCHARGE PIPES AND DRAINS.
DRAIN GRADIENTS TABLE 3.2
DISCHARGE PIPES TABLE 6.1
DISCHARGE GRADIENTS TABLE 7.1
TABLES ARE PROVIDED AT BACK OF DRAWINGS

DN65 - 2.50% DN80 - 1.65% DN100 - 1.65%
DN125 - 1.25% DN150 - 1.65% DN225 - 0.65%

MINIMUM GRADIENT RATIO OF STORMWATER DRAINS:
NZBC E1/AS1
DN100, MAX MODIFIED CATCHMENT AREA: 200M² - 1:120
DN150, MAX. MODIFIED CATCHMENT AREA: 400M² - 1:200

PLUMBING LEGEND	
SS	SS DRAIN
SW	SW DRAIN
AJ	ACCESS JUNCTION
IP	INSPECTION POINT
FWG	FLOOR WASTE GULLY
GT	GULLY TRAP
TV	TERMINAL VENT
AAV	AIR ADMITTANCE VALVE
CP	CESSPIT
DP	DRAIN PIPE
ORG	OVERFLOW RELIEF GULLY
BA	BATH
DW	DISHWASHER
SH	SHOWER
SK	SINK
TU	LAUNDRY TUB
PAN	TOILET
HB	HAND BASIN
HWC	HOT WATER CYLINDER
ST	STACK



SCHEME

47 Forge Road, Silverdale
PO Box 88 Waiwera

Telephone: 09 426 7835
email: admin@makingplans.co.nz

Job Title: PROPOSED TOWNHOUSES
8 MOENUI AVE
OREWA

WESTMORELAND HOMES

Job Title: DRAINAGE PLAN

SHEET NUMBER: 104

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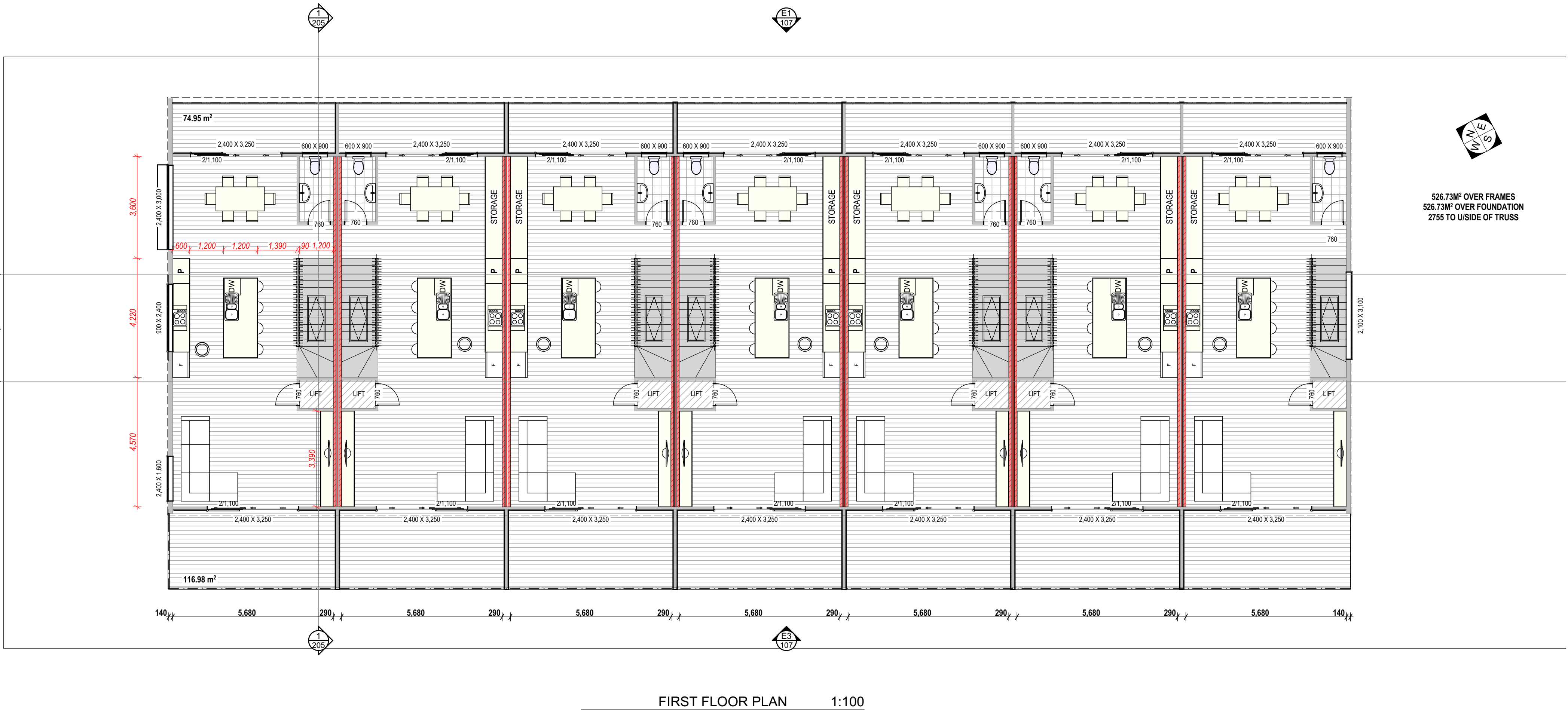
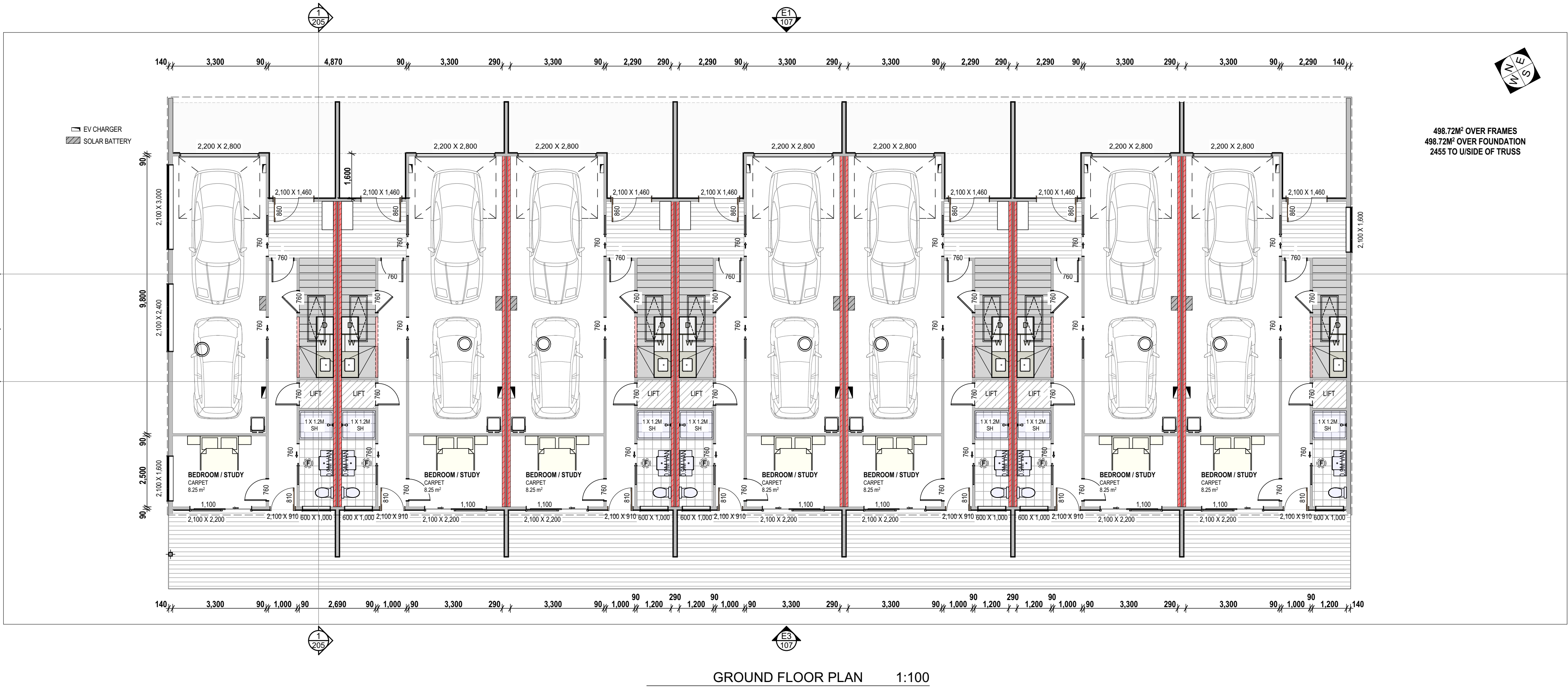
SCALE @ A3: 1:100

WIND ZONE: HIGH
EXPOSURE ZONE: D
EQ ZONE: 1

ZONE: TERRACE

Checked: Drawn: DRAWN BY NAME

OF: 31 Plot Date: 14/09/2022



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DOMESTIC SMOKE ALARMS
SMOKE ALARMS SHALL COMPLY WITH APPROVED DOCUMENT F7 WARNING SYSTEMS. SMOKE ALARMS MAY BE BATTERY POWERED, HAVE A HUSH FACILITY HAVING A MIN. 60 SECOND DURATION, HAVE A TEST FACILITY AND BE APPROVED BY A RECOGNIZED AUTHORITY

EXTRACTOR FAN
ICON 30 AIR FLOW EXTRACTOR FAN - REFER LITERATURE FOR MORE DETAILED INFORMATION

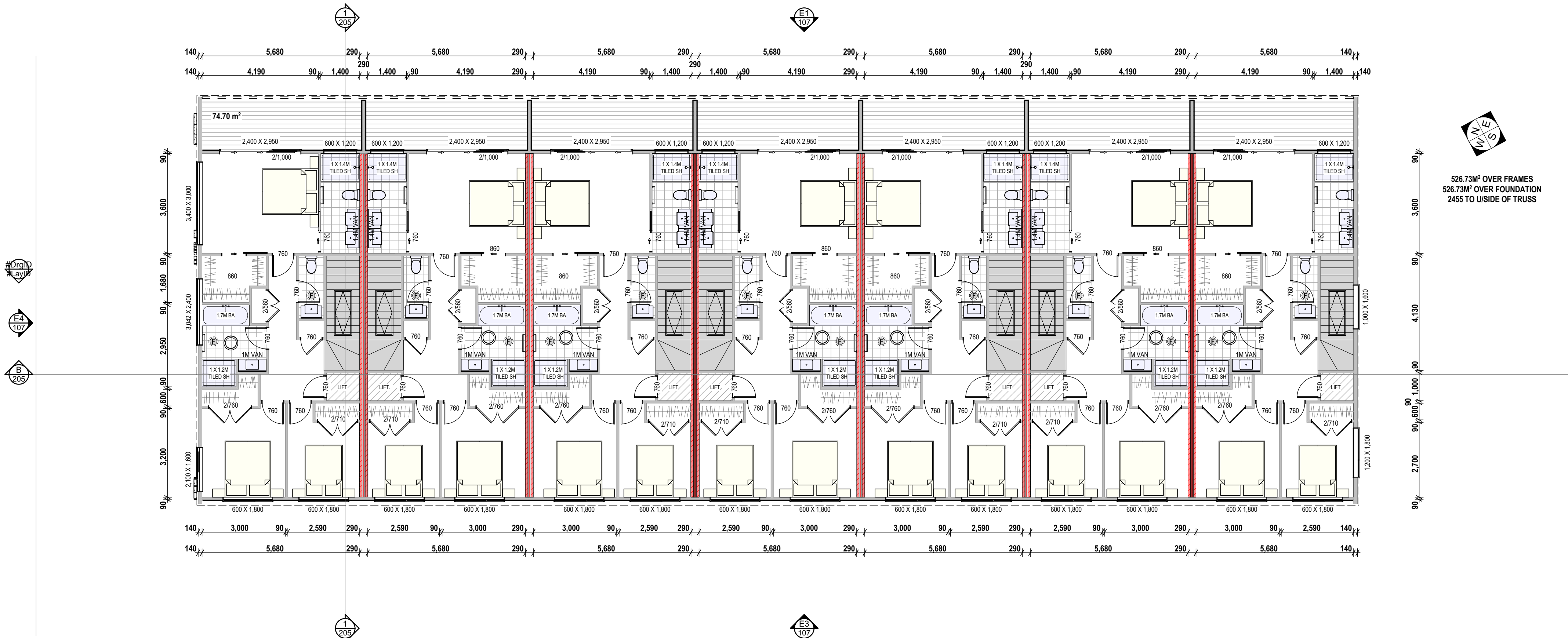
GLAZING SCREENS
ALL GLASS SCREENS ARE TO BE CODE COMPLIANT TO ALL RELEVANT SAFETY GLASS STANDARDS AND ARE TO BE INSTALLED TO COMPLY WITH NZBC E3

WET AREAS WATERPROOFING SYSTEM OPTIONS
PROVIDE AN IMPERVIOUS AND EASILY CLEANABLE SURFACE TO ALL WALL AREAS LIKELY TO BE SPLASHED AND TO ALL BATHROOM, TOILET, LAUNDRY, KITCHEN AND MAIN ENTRANCE FLOORS.
USE GIB AQUALINE ON BATHROOM, TOILET, LAUNDRY AND KITCHEN WALLS AND BATHROOM AND LAUNDRY CEILINGS.

TILING / WET AREAS SPECIFICATIONS
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NZBC E3/AS1 - INTERNAL MOISTURE SPECIFICATION SECTIONS 6221A
GIB AQUALINE WET AREA SYSTEMS AND DETAILS
ARDEX SUPERFLEX LITERATURE
JAMES HARDIE FLOORING INSTALLATION MANUAL
AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS
AS4992.2 CERAMIC TILE GROUTS AND ADHESIVES
AS3958.1 CERAMIC TILES - GUIDE TO THE INSTALLATION OF CERAMIC TILES

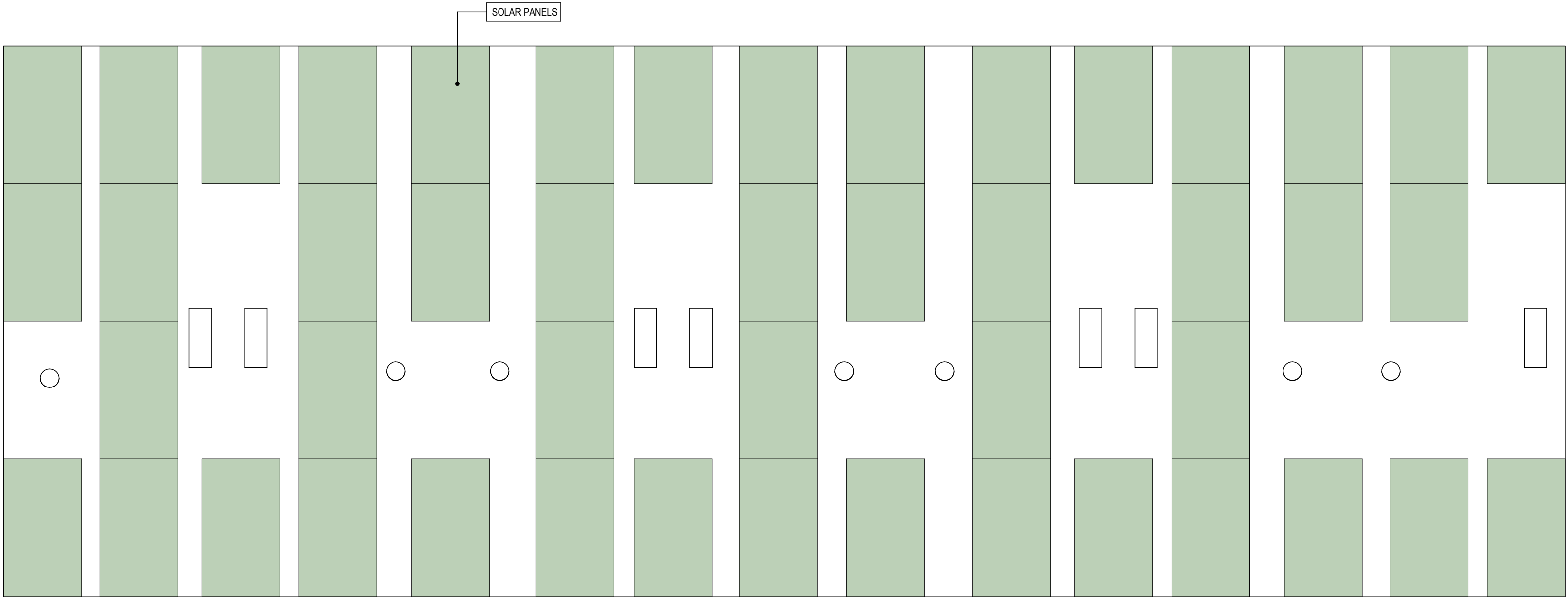
WALLS
• FIX TILES WITH APPROVED AND COMPATIBLE TILE ADHESIVE OVER ARDEX SUPERFLEX WPM OVER GIB AQUALINE SHEETS. FOR APPLICATIONS OF TILES 6MM OR LESS - STUDS @ 600CRS & NOGS @ 600CRS. 6MM OR MORE - STUDS @ 400CRS & NOGS @ 600CRS
• APPROVED PAINT SYSTEM, E.G. 1 COAT ALKYD SEALER AND 2 COATS WATER BASED EMANEL

FLOORING
• TILING OVER TIMBER FLOOR
FIX TILES WITH APPROVED AND COMPATIBLE TILE ADHESIVE OVER ARDEX SUPERFLEX
WATERPROOFING SYSTEM OVER JAMES HARDIE TILE AND SLATE UNDERLAY OVER 18MM H3.20CA STRUCTURAL PLYWOOD OVER FLOOR JOISTS @ 400CRS MAX.
DO NOT USE LOSP TREATED PLYWOOD
• TILING OVER CONCRETE FLOOR
FIX TILES WITH APPROVED AND COMPATIBLE TILE ADHESIVE OVER ARDEX SUPERFLEX WATERPROOFING SYSTEM. ENSURE CONCRETE HAS HAD ADEQUATE CURING TIME



SECOND FLOOR 1:100

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ROOF - SOLAR PANEL LAYOUT 1:100

STYLELINE ROOFING
AREA: 618.57
9° PITCH

47 Forge Road, Silverdale
PO Box 88 Waiverua

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email: admin@makingplans.co.nz

8 MOENUI AVE
OREWA

WESTMORELAND HOMES

PROPOSED TOWNHOUSES

FLOOR PLANS

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SCALE @ A3.

1:100

106

WIND ZONE

EXPOSURE ZONE

EQ ZONE

ZONE

Checkd

Drawn

OF: 31 Plot Date

HIGH

D

1

TERRACE

MAKING PLANS

DRAWN BY NAME

14/09/2022

Job Title

8 MOENUI AVE OREWA

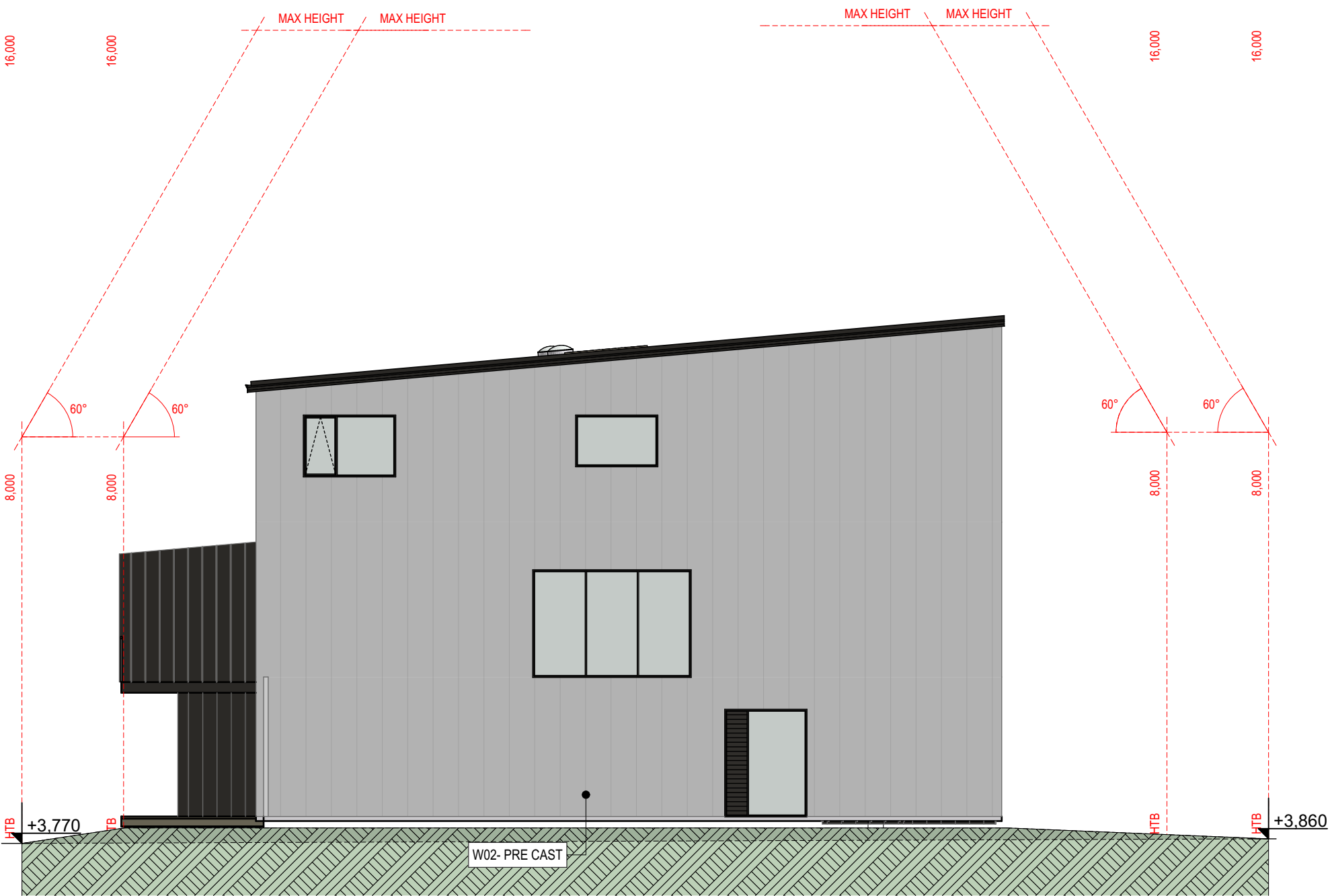
31 Plot Date

SCHEME

EXTERIOR COLOUR SCHEME
WALL CLADDING W01 - VERTICAL AXON - CASTLECLIFF
WALL CLADDING W02 - VERTICAL AXON - FLAXPOD
ROOF CLADDING R01 - COLORSTEEL STYLELINE ROOFING - FLAXPOD
JOINERY - MD ALUMINIUM RESIDENTIAL - FLAXPOD



E1
105 NORTH ELEVATION
1:100



E2
105 EAST ELEVATION
1:100



E4
105 WEST ELEVATION
1:100



E3
105 SOUTH ELEVATION
1:100

Westmoreland
HOMES



PROPOSED TOWNHOUSES
8 MOENUI AVE
OREWA
WESTMORELAND HOMES

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PO Box 88 Waiwera
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email: admin@makingplans.co.nz

Drawing Title

ELEVATIONS

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SCHEME

SCALE @ A3.	1:100	WIND ZONE	EXPOSURE ZONE	HIGH
		EQ ZONE	1	D
SHEET NUMBER	107	ZONE	TERRACE	
		Checked	MAKING PLANS	
		Drawn	DRAWN BY NAME	
OF:	31 Plot Date	14/09/2022		

ALUMINIUM JOINERY NOTES:
JOINERY MANUFACTURER TO CHECK AND VERIFY THE FOLLOWING PRIOR TO COMMENCING MANUFACTURE OF JOINERY UNITS.
ALL DIMENSIONS SHOWN ARE ROUGH OPENINGS. ANY STRUCTURAL SUPPORTS WHERE REQUIRED, REFER TO ENGINEERS DESIGNS WHERE REQUIRED.
1. ALL JOINERY FAIRVIEW RESIDENTIAL / EVOLUTION SUITE GENERALLY AS REQUIRED FOR OPENING SIZES - UNLESS REQUESTED OTHER BY OWNER
2. ALL FRAMES DOUBLE GLAZED.
3. CONFIRM PANELS / GLAZING FOR FRONT DOOR WITH OWNER.
4. CONFIRM OPAQUE GLAZING WITH OWNER.
5. ALL SAFETY GLAZING SHALL BE SUPPLIED & INSTALLED TO THE REQUIREMENTS OF NZBC B1/AS1 & NZS 4223.3.

GLAZING TO COMPLY WITH THE FOLLOWING STANDARDS

NZS 3504: SPECIFICATION FOR ALUMINIUM WINDOWS
NZS 4223: CODE OF PRACTISE FOR GLAZING IN BUILDINGS
NZS 4211: SPECIFICATION FOR THE PERFORMANCE OF WINDOWS

CLEAR FLOAT GLASS, TOUGHENED AS REQUIRED FOR PANE SIZE.
OPAQUE GLASS - ACID TECH OR LAMINATED WITH OBSCURE INTER LAYER.
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
INSTALL WITH THERMAKRAFT WINDOW WORM AND ALUBAND FLASHING TAPE SYSTEM TO WRAP MANUFACTURERS SPECIFICATIONS AND DETAILS.
FINISHES TO ALL SILL TRAYS AND FLASHINGS TO MATCH JOINERY FRAMES.
ALL HINGES FOR EXTERIOR JOINERY TO BE MARINE GRADE 316 STAINLESS STEEL.
ALL HARDWARE TO OWNERS SPECIFICATION

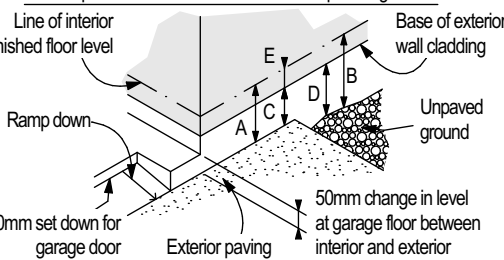
REFER FLOOR PLANS / ELEVATIONS FOR HANGING ORIENTATIONS.
ALL INTERIOR DOORS TO BE SEMI GLOSS PAINT FINISH.
ALL INTERIOR DOOR HEIGHTS AS SHOWN AND HOLLOW CORE UNLESS SPECIFIED OTHER.
SOLID SLASH ALL EDGES.

BUILDING ENVELOPE RISK MATRIX			
ALL WALLS			
Risk Factor	Risk Severity	Risk Score	
Wind zone (per NZS 3604)	High risk	1	
Number of storeys	Low risk	0	
Roof/wall intersection design	Low risk	0	
Eaves width	Medium risk	1	
Envelope complexity	Medium risk	1	
Deck design	Low risk	0	
Total Risk Score:		3	

LEVELS AND CLADDING CLEARANCES
TO COMPLY WITH E2/AS1 fig.65 / table 18

Min. clearance	Masonry Veneer	Other claddings	NOTE: refer to NZS3604 for Req.
CONCRETE SLAB	100 150	150 225 100 175 50	
TIMBER FLOOR	refer note	100 175 50	

Brick veneer requires additional clearance under slab rebate of 25mm to paved surfaces or 100mm to unpaved ground.





SCHEME

DOOR LIST											
ID											
Quantity	3	3	3	3	4	4	4	4	7	7	7
W x H Size	910x2,100	1,460x2,100	2,200x2,100	2,950x2,400	910x2,100	1,460x2,100	2,200x2,100	2,950x2,400	2,800x2,200	3,250x2,400	3,250x2,400
Orientation	R	R	L	L	L	L	R	R	L	L	R
Door sill height	0	0	0	0	0	0	0	0	0	0	0
Door head height	2,100	2,100	2,100	2,400	2,100	2,100	2,100	2,400	2,200	2,400	2,400
2D Symbol											
3D Front View											

Door List 1:1

WINDOW LIST																
ID																
Quantity	1	1	1	1	1	1	1	1	1	1	1	2	7	7	7	14
W x H Size	1,600x1,000	1,600x2,100	1,600x2,400	1,800x1,200	2,400x900	2,400x2,100	2,400x3,042	3,000x2,100	3,000x2,400	3,000x3,400	3,100x2,100	1,600x2,100	900x600	1,000x600	1,200x600	1,800x600
Orientation	R	L	L	R	L	R	L	R	L	L	R	R	R	R	R	L
Window sill height	1,100	0	0	900	900	0	0	0	0	0	0	0	1,800	1,800	1,800	1,500
Window head height	2,100	2,100	2,400	2,100	1,800	2,100	3,042	2,100	2,400	3,400	2,100	2,100	2,400	2,400	2,400	2,100
2D Symbol																
3D Front View																

Window List 1:1

SCHEME