



Architectural Guidelines

Revision 1

February 2025

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1. INTRODUCTION

Idealistically located on the small hilltop in the heart of Wilderness you shall find **River Hill Estate**. Enchanted by welcoming lush views of both the Ocean and Touws River, this self-sustainable community offers a unique opportunity to build your dream home within this slice of paradise.

2. PURPOSE OF THESE GUIDELINES

2.1. The purpose of these guidelines is to outline the framework of the proposed building and landscape aesthetic for River Hill Estate. These guideline are to encourage individual creativity while fostering a unity through materials and finish to ensure that the overall development harmonizes to create a balanced lifestyle. The guidelines will be implemented to ensure a cohesive constructed development and will be enforced by the HOA Design Review Committee.

2.2. The design of the dwellings and the entire site should show a special sensitivity to the natural features, flora and topography. Surrounding structures should also be taken into consideration in the design process.

2.3. Additionally, herein contain the procedures that need to be followed, to obtain approval from the HOA Design Review Committee before any alterations or new building work can take place.

2.4. These guidelines are by no means intended to inhibit or hinder innovative and creative design, but they should rather act as a tool, used to;

- Maintain an aesthetically appealing built environment whilst preserving the sense of place.
- Aid in fostering a caring and responsible community based on the philosophy of participative decision making and good neighborship.
- To create and maintain ecologically rich systems on the property by conserving natural areas and planting indigenous trees, shrubs and other plants.

2.5. Each house at River Hill should be unique in character with a coherent architectural language which will be achieved through careful use of matching colours, textures & material features.

3. DESIGN REVIEW COMMITTEE COMPLIANCE

- 3.1. The conditions set out within these guidelines and supporting documentation are binding on all residential properties in the development.
- 3.2. This document will be an addendum to the Home Owner's Association (HOA) Constitution.
- 3.3. All Owners must comply with these design guidelines if they wish to do any alterations of any nature within River Hill Estate. Owners will be obligated to submit design drawings to the River Hill Design Review Committee, as stipulated in the HOA constitution, for internal review and approval prior to Municipal Local Authority submission.
- 3.4. The HOA has the right to vary this document from time to time and shall have absolute discretion in approving or refusing to approve plans and/or specifications that are submitted for review. The Design Review Committee and the HOA reserve the right to request alterations to submitted designs.
- 3.5. The HOA will carry out inspections of the construction during the following stages:
- Ground floor level
 - Completion of the roof structure
 - Practical completion
- 3.6. The Natural building Regulations, Municipal by-laws (George integrated Zoning Scheme) and requirements of the NHBC are also applicable.

4. THE DESIGN REVIEW COMMITTEE (DPC)

- 4.1. The DPC is represented by the following parties:
- Trustees of River Hill
 - The architect appointed by the HOA and Developer
- 4.2. Building Plans to be submitted to the Local Authority require the Design Review Committee stamp of approval prior to submission. Plans which are to be submitted shall include the following information:
- 4.2.1. 1:200 Site plan showing roof plan, contours, external works, hard and soft landscaping, retaining walls, driveways and fences,
- 4.2.2. 1:100 Floor plans showing floor space, measured in accordance with Local Authority regulations, terraces, decks, verandahs and pergolas, gazebos, swimming pools, water features, yards and refuse areas,
- 4.2.3. 1:100 Elevations showing levels, heights, materials, finishes and colours,
- 4.2.4. 1:100 or 1:50 Sections through the site showing site boundaries, retaining walls, fences, bulk earthworks levels, slopes, finished ground levels, base level, building heights and construction methodology, Levels to be related to actual levels taken from Land Surveyor's survey drawings,
- 4.2.5. 1:200 or 1:100 detailed landscape plan showing contours, building outline, all external structures, hard landscape areas, trees and soft landscaping,

5. RIVER HILL ESTATE CHARACTERISTICS

River Hill Estate is situated over a 6,1482 Ha area, at the end of Dumbleton Crescent, just North of the N2 in Wilderness. The estate is partially fenced towards the south, yet the boundaries remain open towards the North to support and maintain the natural characteristic of the area and to allow for free roaming wildlife.

6. ACCESS & ROADS

Access will be limited to residence and private guests with a welcoming entrance gate and a private, darkly paved (non-reflective) road leading to 17 Plots varying in size between 493m² and 1254m².

7. FAMILY FRIENDLY ENVIRONMENT

The estate is a family friendly environment that encourages self- sustainable, innovative, design principles with an emphasis on the sensual experience and the connection to nature.

8. THE OUTDOORS - PEDESTRIAN PATHWAYS, BENCHES & VIEWPOINTS

Internal paths and spaces are carefully designed to accommodate pedestrian orientated movement that promote outdoor activities and experiences. At the focal point of the estate is the peak of the hill, where there is a 2 059m² private open space, overlooking a further 44 557m² of River Hills Private Nature Conservation area.

The well maintained, carefully mapped natural gravel walking trails along with their timber and/or concrete beach viewpoints beautifully frame the essence of these breathtaking views.



9. DESIGN PHILOSOPHY & ARCHITECTURAL STYLE

The designs are encompassed by a contemporary, modern building style with an emphasis on texture and experiential driven design. Sleek buildings that sit comfortably within the landscape. With the use of dark textures and tones along with elegant flat concrete or low sloped roofs, the buildings shall blend into the skyline on hilltop. Large glass panes lure the views into the home, reinforcing the natural connection to the outdoors.

10. PHENOMENOLOGICAL DESIGN

In terms of architecture and design, phenomenology is the study and exploration of the physical experience of buildings, building material, and their sensory properties.

Phenomenological design is encouraged by highlighting sensory experiences

Sight - Framing natural & created views

- Careful consideration to the use of light & shadows
- Thoughtful ingress, unveiling the views

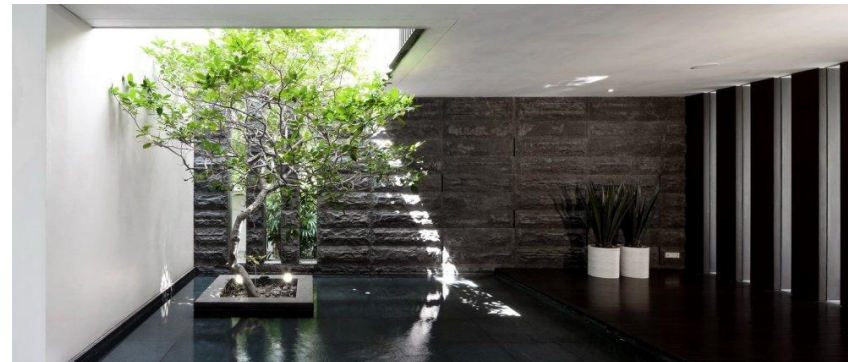
Smell - The scent of fynbos& oceanic salt constantly lingers in the air

Hearing - The natural sounds of birds, toads& the echo of wildlife

- Double glazed extrusions to be used to mitigate sounds of traffic
- Shrubs and bush also help against unnecessary echoes

Touch - Rich choice of textures to be incorporated into design.

- Thermal considerate design with the use of wind, water & thermal mass to create thermal sensory comfort



11. ARCHITECTURE

- 11.1. Only one dwelling house may be constructed on the property & no property may be subdivided.
- 11.2. Freestanding garages and outbuildings are permitted yet need to be designed in the same architectural style as the main house, in a way that creates a visual link, forming part of the overall house aesthetic.

12. FORM

- 12.1. Building to have an elongated form following the contours of the land with an emphasis towards the North & capturing views. Building forms to accompany the natural surroundings, with verandas, decks and other living spaces designed to reveal and to emphasize the exterior environment, as opposed to interior orientated design.
- 12.2. The use of courtyards is encouraged.
- 12.3. Linear and curved designs are permitted.

13. HEIGHT

- 13.1. Due to the sensitive nature of the site, designers are encouraged to incorporate a segmented design approach to what each site dictates to not disturb the current skyline.
- 13.2. There is a 6,5m height restriction, from natural ground level to ridge height. No structure may exceed this height with the exemption of chimneys which may extend up to 1m above ridge height.
- 13.3. Double stories within this height limit are permitted.
- 13.4. Roof terraces are permitted and encouraged.
- 13.5. The correct height must be verified on completion of construction by a land surveyor's height certificate.

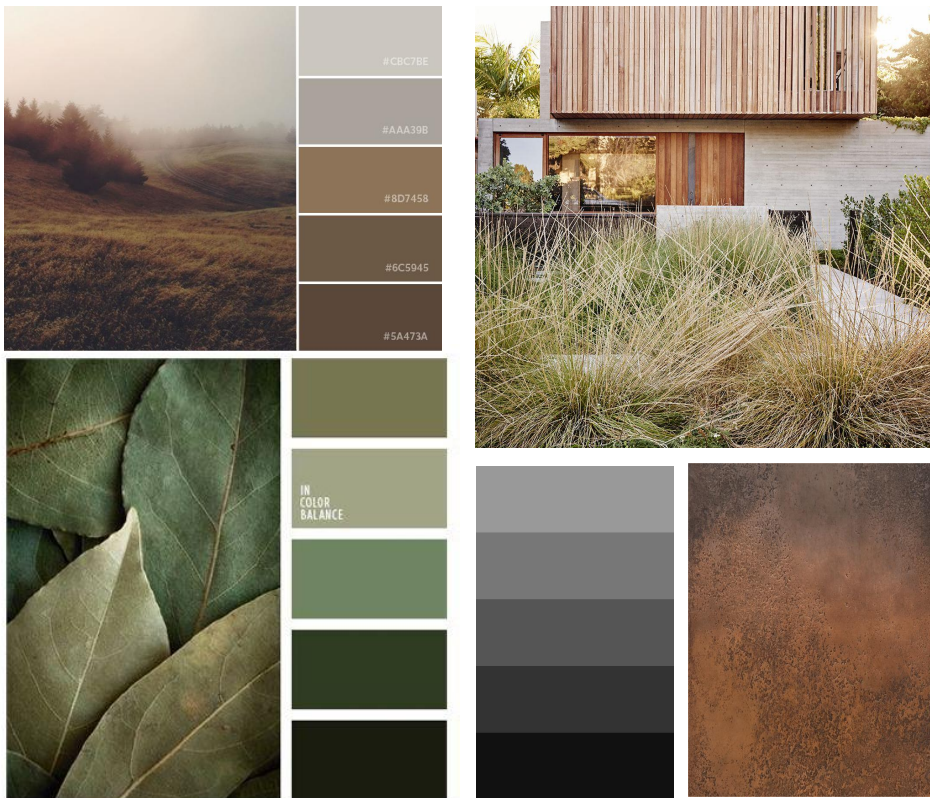
14. STRUCTURE

- 14.1. Structures to be solid in nature, built from either clay bricks and/or cast in place concrete. Only plastered brick walls are permitted. No face brick finishes are permitted. Timber frame construction is not permitted. Yet timber cladding and/or features are encouraged.
- 14.2. A Structural engineer is to design and sign off on all structural elements.
- 14.3. Structural elements should be taken into consideration and enhanced in character throughout the design process.

15. FINISHES & COLOURS

15.1. Colour & finishes have a huge influence on the overall esthetic of a building. The colour palettes should enhance and blend into the natural landscape instead of distracting from it. The colour schemes and textures should help camouflage the buildings on the horizon. This shall be achieved through the use of dark colours and hues of grays, browns and possibly greens.

15.2. Sample colors to be provided by HOA Design Review Committee.

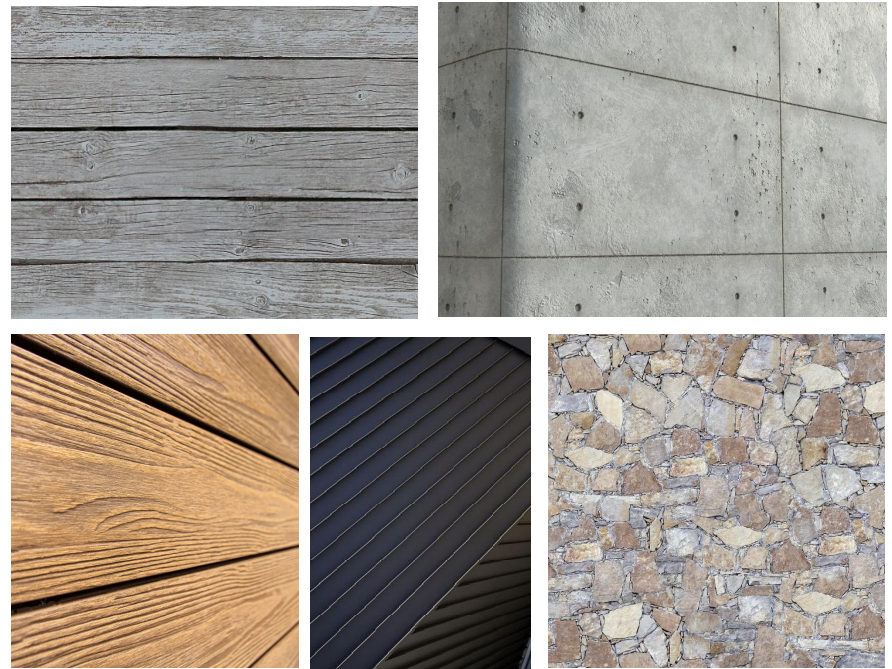


16. TEXTURES & CLADDING

16.1. Cladding features are highly recommended and encouraged. Cladding can aid in bringing textures into a design; by highlighting certain elements one creates a contrast and hierarchy within the elevations and can help soften monotone facades.

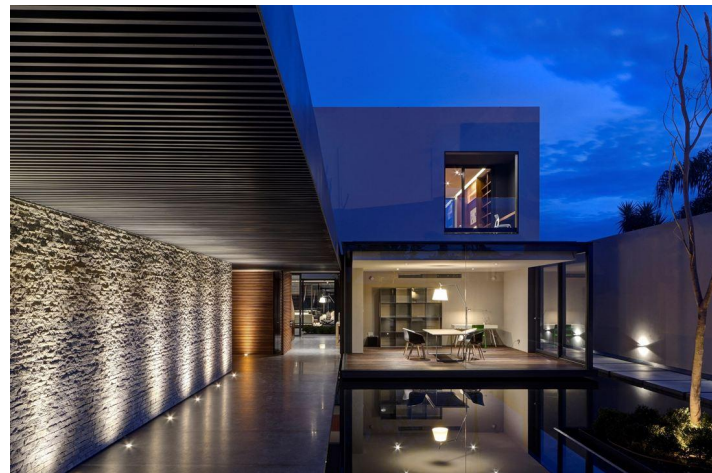
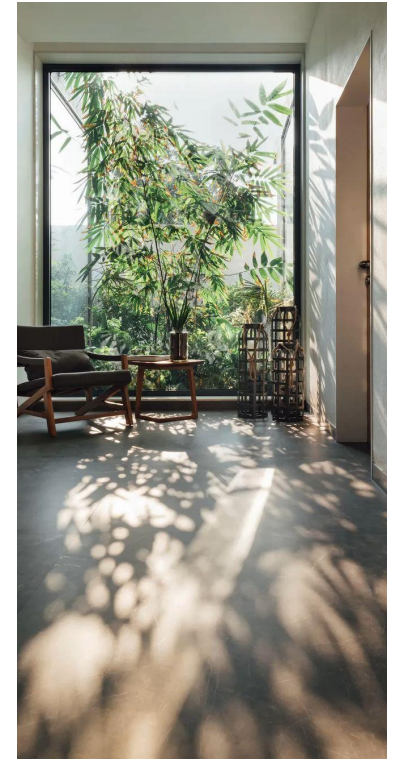
16.2. Stone, timber, weathered steel and Klip-lock/Saflok 700 cladding to be used. Please note that throughout this document reference to timber permits the use of Plastic Lumber/ Wood plastic composite.

16.3. Sample cladding to be provided by HOA Design Review Committee to ensure coherence within the estate.



17. DOORS & WINDOWS

- 17.1. All extrusions are to be black, grey or charcoal epoxy powder coated aluminum. Alternative colours that match the house design may be considered to the discussion of the HOA Design Review Committee. Frameless extrusions are permitted. No white is permitted. No timber or PVC extrusions are permitted.
- 17.2. Folding stack doors and sliding doors are encouraged to open the house completely to the outside in aid of forming a natural connection to the environment.
- 17.3. Welcoming entrances with unique custom designed front doors are encouraged.
- 17.4. Garage doors to be horizontal sectional overhead type aluminum in a colour to match the house windows and doors. Alternative type garage doors may be approved at the discretion of the Design Review Committee. Garage doors must not dominate the street elevation of the house.
- 17.5. Windows to be strategically placed, where applicable, to highlight the views, maximize natural light and for the integration of cross ventilation.
- 17.6. The size and shape of the windows are not restricted.
- 17.7. Corner windows and modern style bay windows are encouraged.
- 17.8. Double glazing, for improved environmental control, is recommended. The use of reflective glass is not permitted.



18. CLIMATE AND MICRO-CLIMATE

The climate of Wilderness is specific and has an influence on buildings and lifestyle. Therefore it is important to harness sunshine and wind in the creation of comfort.

19. ROOFS

- 19.1. In order to ensure a non-intrusive skyline; only flat and low mono-pitched roofs are permitted. No pitched roofs will be considered.
- 19.2. Flat concrete roofs are highly recommended and encouraged.
- 19.3. The roof finish to be non-reflective and finished as per the HOA Design Review Committee sample specifications which are approved by an engineer and/or waterproofing specialist.
- 19.4. Mono-pitch roofs are permitted with a maximum slope of 22 degrees.
- 19.5. Klip-lock/ Saflok 700 roof sheeting to be used for mono-pitch roofs. Roof sheeting to be a charcoal colour, Colorbond AZ200, with a minimum sheet thickness of 0,53mm. As per HOA Design Review Committee sample specification.
- 19.6. Green / garden roofs are permitted.
Roof lights / sky lights are also permitted.
- 19.7. Roof overhangs can vary and shall be determined by sustainable solar design and overall building aesthetic.



20. GUTTERS, RAINWATER DOWNPIPES& WATER TANKS

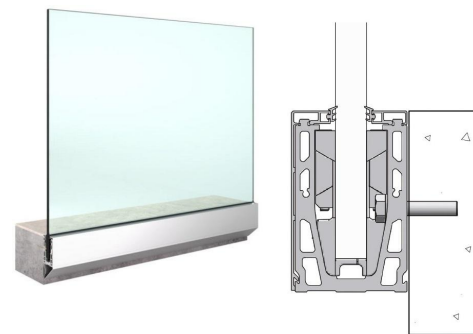
- 20.1. The implementation and maintenance of a well-designed storm water system is of the utmost importance.
- 20.2. Flat concrete roofs need to ensure adequate drainage to prevent standing water. A variety of concrete and concealed drainage systems may be implemented, which should be incorporated into the roof design with the only condition imposed here being that it is functional.
- 20.3. Gutters to be pre-painted extruded aluminum with a square profile and charcoal colour to match the roof sheeting.
- 20.4. No PVC gutters nor white gutters are permitted.
- 20.5. An adequate size of gutter must be used for the specific application.
- 20.6. Downpipes to be strategically placed as to not visually impair the facade and the colour can either be charcoal that matches gutters or can match the colour of the wall.
- 20.7. Each house needs a minimum of 10 000 liter water tanks on concrete base(s) and tanks need to be incorporated into the design and concealed from the street and neighboring view. Screening material to be approved by DRP.

21. COLUMNS

- 21.1. Columns should form an integrated part of the architectural design.
- 21.2. Columns should be constructed from either black powder coated galvanized steel, precast concrete, stone, timber posts or plaster & painted brickwork / masonry. Columns may vary in size to best suit both the architectural and structural design.

22. BALUSTRADES

- 22.1. Balustrades should be a minimum of 1m high as per the National Building Regulations.
- 22.2. Seamless side mounted, glass balustrades are recommended as per the HOA Design Review Committee sample specification.
- 22.3. Solid masonry or concrete balustrades are permitted.
- 22.4. Alternative balustrades may be considered at the discretion of the HOA Design Review Committee.



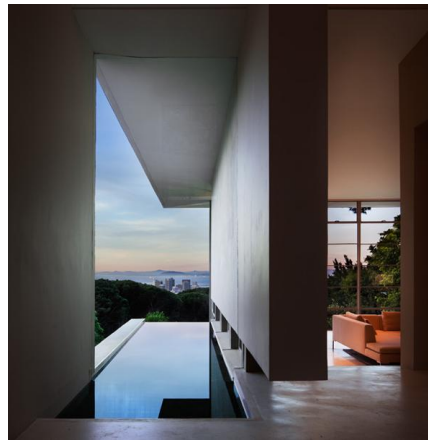
23. SWIMMING POOLS

- 23.1. Swimming pools are recommended to act as a form of water feature and be incorporated into the house design.
- 23.2. Pool filtration installations and heat pumps must be screened, for visibility and noise.
- 23.3. Design measures need to be taken to prohibit public access to the swimming pool as per the National Building Regulations.
- 23.4. Drainage of backwash water to be indicated on storm water drainage plans.



24. BOUNDARY WALLS AND FENCES

- 24.1. River Hill Estate will be fenced towards the South boundary and partially fenced towards the East and West with a 2,1m high charcoal clear-view fencing, to not obfuscate views. The North boundary should remain open to maintain the natural wildlife corridor and not restrict the movement of animals.
- 24.2. Private properties should not be bordered and should remain mainly open.
- 24.3. Partially fenced or walled areas are permitted to provide an enclosure for pets. Boundary walls within the estate should have a maximum height of 1,5m and should form an integral part of the architectural design and should visually be linked to the structure as per the character of the aesthetic guidelines.
- 24.4. Clear view fencing is also permitted.



25. BOUNDARY LINES

25.1. Buildings lines to the perimeter of the group housing site;
Street Building Lines = 10m
Street building lines towards the N2 high way, on the South of the estate boundary are 10m as per SANRAL requirements

Side Building Lines = 1,5m
Side building lines on the North, East and West of the estate boundary are 1,5m as per the 2023 George integrated zoning scheme.

25.2. The internal boundary lines within the estate:
Internal street boundary = 0m
Provided that any garage door facing the road must be set back at least 5m from the street kerb.

Side & Rear Boundary lines = 0m
Side & rear boundaries are zero yet there must be a minimum of 1m set back on at least one of the side boundaries for emergency service access (ie. fire-fighting)
Yet house designs should take consideration to neighboring properties and the design of spaces between buildings.

25.3. Any portion of a building which contains an external window or door facing onto a common boundary must be set back at least 1,5m from such boundary.

26. COVERAGE

Coverage means the total area of a land unit that is covered by buildings, expressed as a percentage of the total erf area of the land unit.

26.1. Coverage for properties;

- 500m² and 1000m² = 325m² or 50% whichever is greater.
- Greater than 1000m² = 500m² or 40% whichever is greater

26.2. The following is included in the coverage calculations:

- a) Walls and buildings;
- b) Solid roofs;
- c) Stairs, steps, landings, except entrance landings and steps, galleries, passages and similar features, whether internal or external;
- d) Canopies, verandas, porches, balconies, terraces and similar features provided that the following portions of buildings must be disregarded in the calculation of coverage, namely;
 - i. Stoops less than 1.5m above natural ground level, entrance steps and landings;
 - ii. Cornices, chimney breasts, pergolas, flower boxes, water pipes, drain pipes and minor decorative features not projecting more than 500 mm from the wall of the building;
 - iii. Eaves not projecting more than 1.0 m from the wall of the building; and
 - iv. A basement, provided that the basement ceiling does not project above the ground level;

27. RETAINING WALLS

27.1. Retaining walls shall be constructed from Löffelstein Retaining blocks with indigenous plants. The plant life will camouflage the retaining walls with the natural landscape.

27.2. Stone retaining walls may also be considered.

27.3. Plumb retaining walls (ie. Solid concrete or brick) shall not be permitted, unless the wall is forming part of the building itself.



28. DRIVEWAYS AND SITE PARKING

28.1. Driveways to match the internal road and shall be constructed from environmentally friendly non-penetrable dark pavers or cobble stone and shall be non-reflective.

28.2. Each property shall provide at least 2 visitor parking bays on site. Visitor parking may be situated in driveways.

29. LIGHTING

29.1. External lighting has a huge effect on wildlife and neighboring properties. To avoid light pollution and light nuisance, external light should be low voltage with careful consideration to the placement and ambiance created by the lighting.

29.2. Internal roads and paths shall have subtle bollard lights, with a maximum height of 1m.

29.3. The main entrance shall be lit with soft down light over the entrance sign.

29.4. Externally only down facing, discreet lighting is permitted.

29.5. No spray or flood lights are permitted.

30. SERVICES

- 30.1. All service pipes; sewerage and waste pipes must be concealed and installed within ducts and may not be surface mounted on the exterior walls. Only sub stacks may be exposed to a height of 500mm above floor level.
- 30.2. Fiber and electrical cables shall be buried as per SABS1200DB and SABS1200LC.
- 30.3. All mechanical plant equipment, including air-conditioners, must be concealed from view. Plant equipment can be concealed in utility rooms, service yards or screened areas. Positions and screening material to be subject to aesthetic approval.
- 30.4. Gas bottle installations are to be screened and must comply with regulations.
- 30.5. Placement of solar photovoltaic panels are subject to HOA Design Review Committee aesthetic approval.
- 30.6. Television aerials, satellite dishes and PABX systems are to be positioned as discretely as possible and are subject to HOA Design Review Committee approval.
- 30.7. On site refuse areas must be screened. There will be a common refuse area at the entrance which will be the municipal refuse collection point.
- 30.8. Washing lines and drying yards must be screened.

- 30.9. For sewerage, a conservancy tank system will be used. Pump lines will be preinstalled to allow the system to be pumped clean from the site entrance.

31. MAINTENANCE

Regular maintenance of the building exterior, gutters and gardens are mandatory to ensure a consistent standard to uphold the value of the investment made in the estate. Failure to maintain the exterior to an acceptable standard could be subject to penalties being instituted, which can include financial penalties.

32. LANDSCAPING

- 32.1. Landscaped areas aim to enhance and improve the natural environment, while enhancing the outdoor experience. Indigenous plant species are recommended to contribute to the ecological health of the site.
- 32.2. A concept garden layout plan for each house is required to be submitted to the HOA Design Review Committee for approval prior to final completion.
This drawing should indicate the following:
 - 32.2.1. Different levels of the house and garden, as well as the original ground contours.
 - 32.2.2. Lawn and plant beddings as well as a list of plant species to be used.
 - 32.2.3. Paving, swimming pools, ponds, fences, walls and other structural elements.
 - 32.2.4. All formed slopes, retaining walls and structures.
 - 32.2.5. Detailed storm water runoff or retention plan.
 - 32.2.6. Topsoil must be spared. Where topsoil is stripped during construction, it must be carefully stored for reuse and should not be mixed with sub-soil.

33. SITE CLEARING& ENVIRONMENTAL CONTROLS

- 33.1. No trees or vegetation may be removed without approval from the HOA, ECO (Environmental Control Officer) and relative authorities.
- 33.2. Damage to trees or vegetation on exclusive use area, common property or any land unit will be subject to penalties.
- 33.3. Owners and their contractors must comply with the conditions of the Environmental Authorization (EA) approved in terms of NEMA as well as the Operational Phase Environmental Management Plan (OEMP).