



Architectural Guidelines

ERF 1275, WILDERNESS

Revision 1

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LIST OF ANNEXURES:

- Annexure 1 - Site Development Plan(SDP);¹
- Annexure 2 - Environmental Management Plan(EMP);²
- Annexure 3 - Landscaping Plan; ³ and
- Annexure 4 - Visual Impact Mitigation Plan ⁴

¹ Condition 4 of Conditions of Approval (CoA)

² Condition 24 of CoA

³ Condition 5 of CoA

⁴ Condition 20 of CoA

1. INTRODUCTION

Nestled on a charming hilltop in the heart of Wilderness, you will discover **Riverhill Estate**. Featuring breathtaking views of the ocean and Touws River, this sustainable development presents a unique opportunity to create your dream home in this idyllic paradise. Given the distinctive characteristics of this site, these Architectural Guidelines are designed to ensure that the development harmonizes with the surrounding environment through thoughtful design. This will involve the use of neutral tones, natural materials, and darker paint colors that complement the landscape. These principles will be applied to the design of all exterior elevations, walls, retaining structures, screening, utilities, as well as roofing, wall surfaces, and cladding options.

2. PURPOSE OF THESE GUIDELINES

2.1. The purpose of these guidelines is to establish a framework for the proposed building and landscape aesthetics of **Riverhill Estate**. They are aligned with the Municipality's Conditions of Approval (dated 9 June 2023) and the Visual Impact Study. The guidelines aim to encourage individual creativity while promoting unity through the use of materials and finishes, ensuring that the overall development creates a harmonious and balanced lifestyle and environment. The guidelines will be enforced by the Home Owners Association (HOA) Design Review Committee (DRC) to ensure cohesive and thoughtful design and construction throughout the development.

2.2. The Architectural Guidelines manages the relationship of the proposed development to adjacent sites (as well as neighbouring internal sites), in terms of access, overshadowing, and scale. The guidelines ensure that the development provides proper access to and from adjacent properties for both functionality and safety. This includes considering shared driveways, pedestrian pathways, and road networks, as poor access can lead to traffic congestion, inconvenience for residents, and potential legal disputes with neighbouring properties. The massing and height of the development has been considered in relation to adjacent properties to avoid excessive overshadowing which can negatively impact the quality of life for residents by reducing natural light, affecting outdoor spaces, and potentially lowering property values. Properly addressing overshadowing will ensure that the development doesn't adversely affect the well-being of neighbouring occupants. Thirdly, the scale of the proposed development will be compatible with the surrounding buildings and the character of the area as a development that is out of proportion with neighbouring properties can create an imbalance in the streetscape, leading to aesthetic concerns and a loss of harmony in the environment. The scale of **Riverhill Estate** helps maintain the visual integrity of the area and protects the interests and investment of all property owners.

2.3. The design of the dwellings and the entire site should demonstrate a keen sensitivity to the natural features, bio-diversity, vegetation, and topography. The design process must also consider the surrounding structures. **Riverhill Estate** will contribute positively to the aesthetic, environmental, and social quality of the surrounding area. This includes maintaining or improving the visual appeal of the neighbourhood, promoting sustainable design practices, and respecting the natural environment. High-quality designs will elevate the area, and contribute to a positive community atmosphere. The development has been designed with the safety of the residents and public in mind. This includes considering factors such as traffic flow, pedestrian safety, proper lighting, and secure access points. The thoughtful design of the estate promotes visibility, access control, and safety features which will foster a safer environment for the whole community. The proposed development will enhance the amenity of the environment by improving the functionality and livability of its spaces. This includes the preservation and creation of green spaces, providing public amenities (like benches, parks, or recreational areas), and ensuring that the development complements nearby land uses.

2.4. This document also contains the procedures that need to be followed to obtain approval from the HOA DRC before a building plan can be submitted to the Local Authority.

- 2.5. These guidelines are by no means intended to inhibit or hinder innovative and creative design, but are intended;
- To maintain an aesthetically appealing built environment whilst preserving the sense of place;
 - To aid in fostering a caring and responsible community based on the philosophy of participative decision making and good neighborhood; and
 - To create and maintain ecologically rich systems on the property and surroundings by conserving natural areas and planting indigenous trees, shrubs and other plants.
- 2.6. **Riverhill Estate** has been designed to promote a sense of community, facilitate social interaction, and provide access to necessary services and recreational opportunities for all its residents. Each house at **Riverhill Estate** should be unique in character with a coherent architectural language which will be achieved through careful use of matching colours, textures and material features.

3. DESIGN REVIEW COMMITTEE COMPLIANCE

- 3.1. The conditions set out within these guidelines and supporting documentation are binding on all involved parties within the development as well as their guests and/or employees.
- 3.2. This document will be an addendum to the Home Owner's Association (HOA) Constitution.
- 3.3. All owners must comply with these design guidelines if they wish to undertake design or building works of any nature within **Riverhill Estate**. As stipulated in the HOA constitution, owners will be obligated to submit design drawings to the River Hill DRC, for review and approval prior to submission to the Local Authority.
- 3.4. The HOA has the right to vary this document from time to time and shall have absolute discretion in approving or refusing to approve plans and/or specifications that are submitted for review. The DRC and the HOA reserves the right to request alterations to submitted designs.
- 3.5. The HOA will carry out inspections of the construction during the following stages:
 - Trenching and foundations;
 - Ground floor level; and
 - Final completion
- 3.6. The National Building Regulations and standards Act, the George Integrated Zoning Scheme, requirements of the NHBRC and any other requirement stipulated by the DRC or Local Authority are also applicable.

4. THE DESIGN REVIEW COMMITTEE REQUIREMENTS

- 4.1. The DRC is represented by the following parties:
 - Trustees of River Hill; and
 - An architect appointed by the HOA.
- 4.2. All building plans to be submitted to the Local Authority require the DRC's stamp of approval prior to submission. Plans which are to be submitted must include the following information:
 - 4.2.1. 1:200 Site plan showing roof plan, contours, external works, hard and soft landscaping, retaining walls, driveways and fences;
 - 4.2.2. 1:100 Floor plans showing floor space, terraces, decks, verandahs and pergolas, gazebos, swimming pools, water features, yards and refuse areas;
 - 4.2.3. 1:100 Elevations showing levels, heights, materials, finishes and colours;
 - 4.2.4. 1:100 or 1:50 Sections through the site showing site boundaries, retaining walls, fences, bulk earthworks levels, slopes, finished ground levels, base level and building heights. Levels to be related to actual levels taken from Land Surveyor's survey drawings;
 - 4.2.5. 1:200 or 1:100 detailed landscape plan showing contours, building outline, all external structures, hard landscape areas, trees and soft landscaping;⁵ and

⁵ Condition 5 Of CoA

4.2.6. Any other requirement stipulated by the DRC or Local Authorities.

5. RIVER HILL ESTATE CHARACTERISTICS

River Hill Estate spans an impressive 6,1482 Ha and is located at the northern the end of Dumblet on Crescent, just North of the N2highway in Wilderness. The estate features partial fencing along its southern boundary. In contrast, the northern borders will incorporate natural corridors designed to preserve the area's ecological integrity and facilitate the movement of wildlife. This design approach not only enhances the estate's natural beauty but also supports local biodiversity.

6. ACCESS AND ROADS

Access will be limited to residents and private guests with a welcoming entrance gate and a private, darkly paved (non-reflective) road⁶ leading to 17 Plots varying in size between 493m² and 1254m². There will be a speed limit of 40km/h to maintain a pedestrian friendly environment.

7. FAMILY FRIENDLY ENVIRONMENT

The estate is a family friendly environment that encourages sustainable, innovative, design principles with an emphasis on the sensual experience and the connection to nature.

8. THE OUTDOORS - PEDESTRIAN PATHWAYS, BEACHES AND VIEWPOINTS

The internal paths and spaces are thoughtfully designed to encourage pedestrian movement and enhance outdoor activities and experiences. At the heart of the estate lies the

⁶ Condition 15 of CoA

hilltop, which features a 2,059m² private open space offering stunning views over the expansive 44,557m² River Hills Private Nature Conservation area. The HOA is responsible for the upkeep of all common property and natural areas.⁷

Well maintained, carefully mapped gravel walking trails are complemented by formalized viewpoints.



⁷ Condition 7 Of CoA

9. DESIGN PHILOSOPHY AND ARCHITECTURAL STYLE

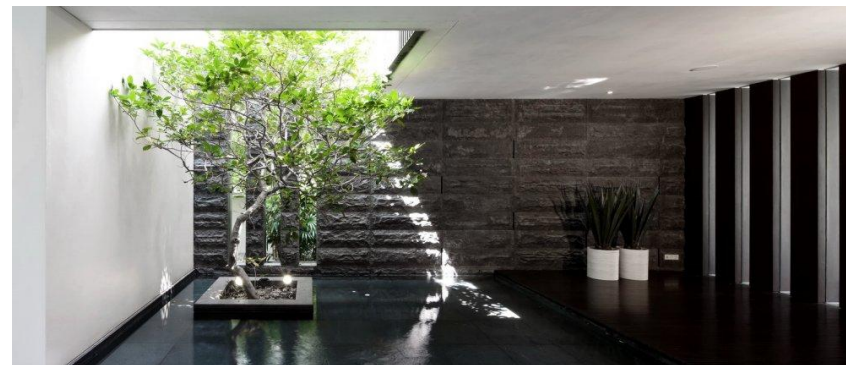
The designs feature a contemporary, modern architectural style focused on texture and creating immersive experiences. Sleek buildings are seamlessly integrated into the landscape, with dark textures and tones, complemented by elegant flat or gently sloped concrete roofs, allowing them to blend effortlessly into the hilltop skyline. Expansive glass panes invite the surrounding views into the home, strengthening the connection to the natural environment.



10. PHENOMENOLOGICAL DESIGN

In architecture and design, phenomenology is the study and exploration of how we physically experience buildings, materials, and their sensory qualities. Phenomenological design focuses on enhancing these sensory experiences, encouraging a deeper connection to the space through the materials, textures, and atmospheres that engage our senses. Examples, include:

- Sight
 - Framing natural and created views;
 - Careful consideration to the use of light and shadows; and
 - Thoughtful ingress, unveiling the views.
- Smell
 - The scent of fynbos and ocean salt constantly lingers in the air.
- Hearing
 - The natural sounds of birds, toads and the echo of wildlife
 - Double glaze dextrusions to be used to mitigate sounds of traffic; and
 - Shrubs and bush also help against unnecessary echoes.
- Touch
 - Rich choice of textures to be incorporated into design; and
 - Thermal considerate design with the use of wind, water and thermal mass to create thermal sensory comfort.



11. ARCHITECTURE

- 11.1. Only one dwelling house may be constructed on the property and no property may be subdivided.⁸
- 11.2. Freestanding garages and outbuildings must be designed in the same architectural vernacular as the main house, creating a visual link and forming part of the overall house aesthetic.

12. FORM

- 12.1. The buildings will feature an elongated form that follows the land's contours, with a strong focus on the northern orientation and to capture expansive views. The design of the structures will complement the natural surroundings, incorporating verandas, decks, and other outdoor living spaces that highlight and embrace the exterior environment, rather than being inward-focused. This approach emphasizes a seamless connection between the interior and the surrounding landscape.
- 12.2. The use of courtyards is encouraged.
- 12.3. Linear and curved designs are permitted.

13. HEIGHT

- 13.1. Due to the sensitive nature of the site, designers are encouraged to incorporate a segmented design approach to what each site dictates in order to not disturb the current skyline and prevent massing.

- 13.2. All dwelling units are limited to a maximum height of 6,5m as measured from natural ground level to the top of the roof.⁹
- 13.3. Double stories within the height limit are permitted but only on certain properties as shown on the Site Development Plan(Annexure 1).
- 13.4. Roof terraces are permitted and encouraged.
- 13.5. The final height must be verified upon completion of construction by a land surveyor's height certificate.

14. STRUCTURE

- 14.1. Structures must be solid in construction, made from clay bricks and/or cast-in-place concrete. Only plastered brick walls are allowed; face brick finishes are not permitted. Timber frame construction is prohibited, although timber cladding and/or features are encouraged.
- 14.2. A Structural Engineer is to design and sign off on all building plans and assume responsibility for all buildings erected on the respective properties. The structural engineer must ensure compliance during the construction and implementation phase.
- 14.3. Structural elements should be taken into consideration and enhanced in character throughout the design process.

⁸ Condition 3 of CoA

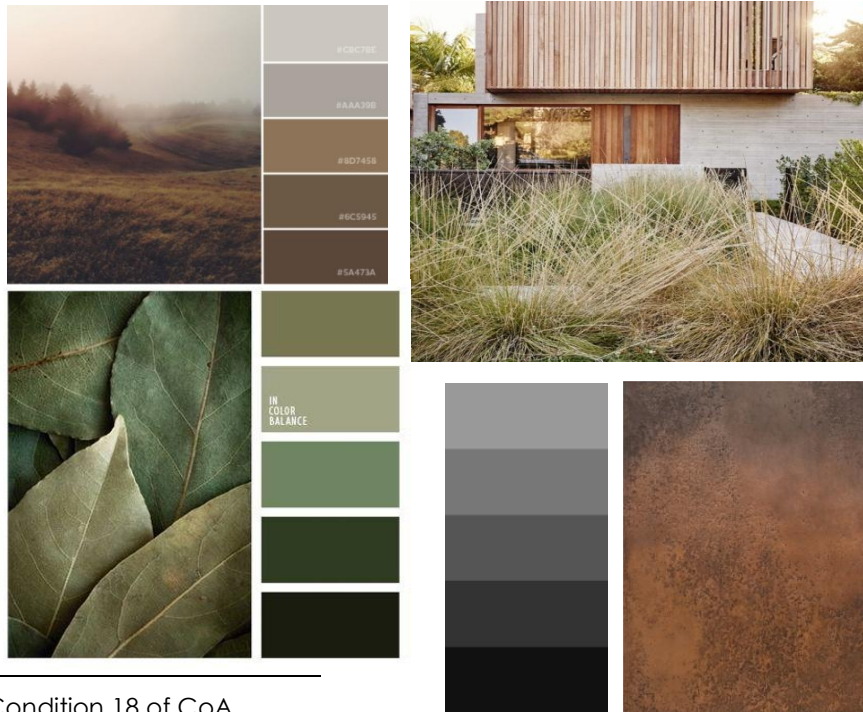
⁹ Condition 17 of CoA

15. FINISHES AND COLOURS

15.1. Colour and finishes play a significant role in shaping the overall aesthetic of a building. The chosen colour palettes must complement and blend seamlessly with the natural landscape, avoiding any distraction from it. The colours and textures must help the buildings blend into the horizon, achieved through the use of dark tones and shades of gray, brown, and possibly green.¹⁰

15.2. The DRC may request pantones or sample colours and finishes.

15.3. Green / garden walls are permitted and encouraged



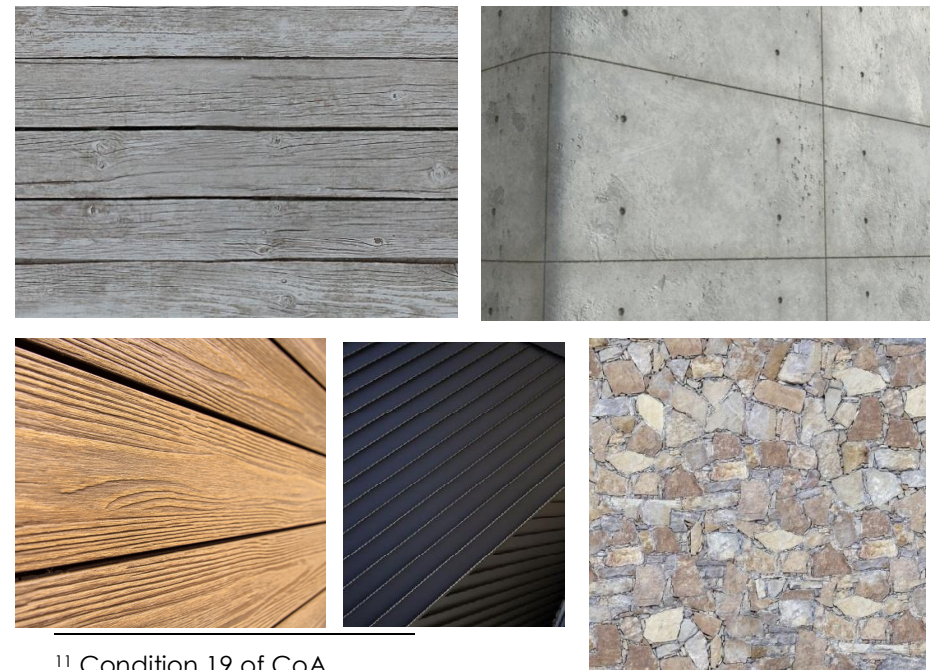
¹⁰ Condition 18 of CoA

16. TEXTURES AND CLADDING

16.1. Dark toned cladding features are strongly recommended and encouraged. Cladding adds texture to the design, highlighting specific elements to create contrast and hierarchy within the elevations, while also softening monotone facades.¹¹

16.2. Stone, timber, weathered steel and Klip-lock/Saflok 700 cladding to be used. Please note that throughout this document reference to timber permits the use of plastic lumber/ wood plastic composite.

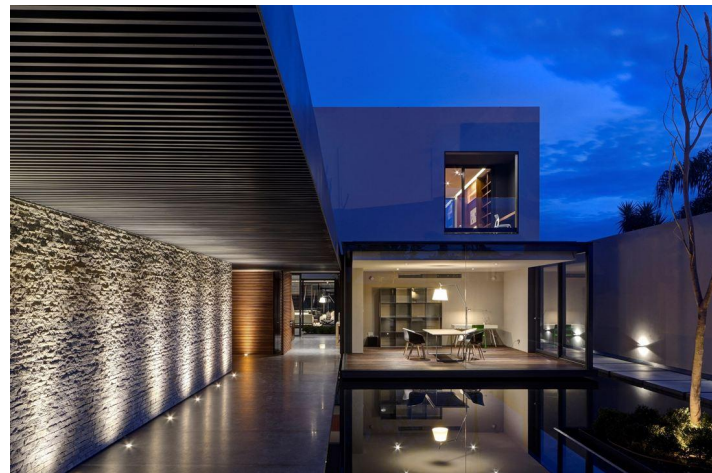
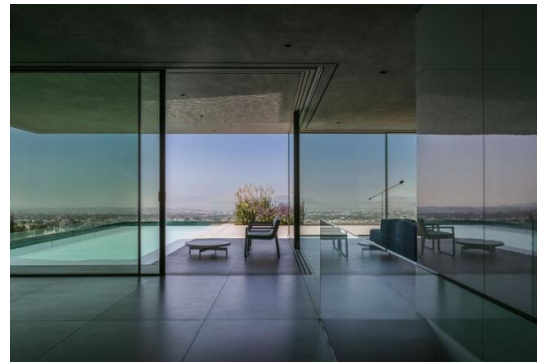
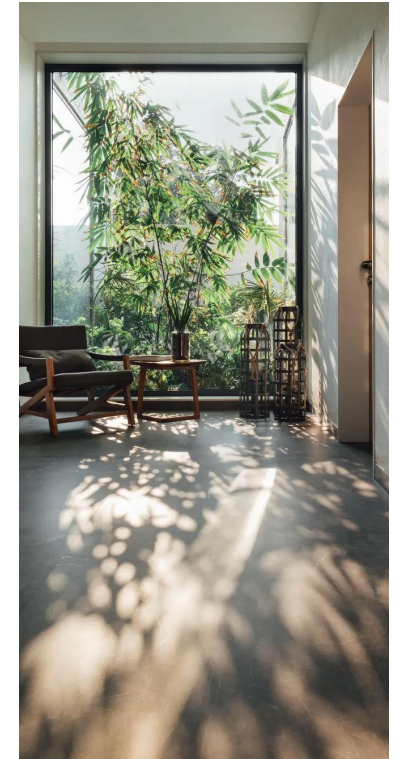
16.3. Sample cladding will be provided by DRC to ensure coherence throughout the estate.



¹¹ Condition 19 of CoA

17. DOORS AND WINDOWS

- 17.1. All extrusions must be black, grey, or charcoal epoxy powder-coated aluminum. Alternative colours that complement the house design may be considered, subject to the approval of the DRC. Frameless extrusions are permitted. White, timber, and PVC extrusions are not allowed.
- 17.2. Folding stack doors and sliding doors are encouraged to fully open the house to the outside, fostering a connection to the natural environment.
- 17.3. Welcoming entrances with unique custom designed front doors are encouraged.
- 17.4. Garage doors to be horizontal sectional overhead type aluminum, in a colour to match the house windows and doors. Alternative type garage doors may be approved at the discretion of the DRC. Garage doors must not dominate the street elevation of the house.
- 17.5. Windows are to be strategically placed, to highlight the views, maximize natural light and for the integration of cross ventilation.
- 17.6. The size and shape of the windows are not restricted.
- 17.7. Corner windows and modern style bay windows are encouraged.
- 17.8. Double glazing, for improved environmental control, is recommended. The use of reflective glass is not permitted.



18. CLIMATE AND MICRO-CLIMATE

The climate of Wilderness is unique and significantly impacts both buildings and lifestyle. As such, it is essential to harness sunlight and wind in the design process to enhance comfort and create a harmonious living environment.

19. ROOFING

- 19.1. To maintain a non-intrusive skyline, only flat and low mono-pitched roofs are permitted. Mono-pitch roofs to a maximum slope of 22 degrees. Pitched roofs will not be considered. Flat concrete roofs are highly recommended and encouraged.
- 19.2. The roof finishes must be a dark non-reflective finish as per the DRC sample specifications which are approved by an engineer and/or waterproofing specialist.¹²
- 19.3. Klip-lock/Saflok 700 roof sheeting must be used for mono-pitch roofs. The roof sheeting should be charcoal in colour, ColorbondAZ200, with a minimum sheet thickness of 0.53mm, as per the DRC sample specification.
- 19.4. Green / garden roofs are permitted and encouraged.
- 19.5. Roof overhangs can vary and shall be determined by sustainable solar design and overall building aesthetic.

- 19.6. Rooftops should be considered a "fifth facade" and be designed to be viewed from above. Rooftops should follow construction material guidelines and colour with minimal impact on aerial view.
- 19.7. Solar panels are mandatory with positioning strategically placed for optimal performance and inconspicuous aesthetic.



¹² Condition 18 of CoA

20. GUTTERS, RAINWATER DOWNPIPES AND WATER TANKS

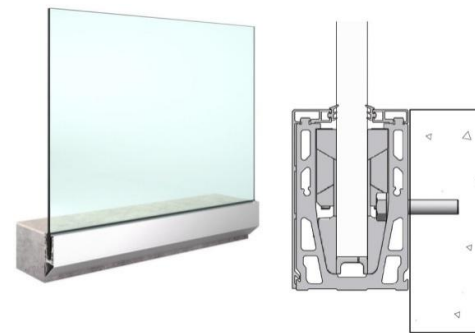
- 20.1. The implementation and maintenance of a well-designed storm water system is of the utmost importance.
- 20.2. Flat concrete roofs need to ensure adequate drainage to prevent standing water. The drainage systems must be concealed and incorporated into the roof design.
- 20.3. Gutters to be pre-painted extruded aluminum with a square profile and charcoal colour to match the roofsheeting. No PVC gutters nor white gutters are permitted. An adequate sized gutter must be used for the specific application.
- 20.4. Downpipes must be strategically placed as to not visually impair the facade and the colour can either be charcoal to match gutters or can match the colour of the wall.
- 20.5. Each house must have a minimum of 10 000-liter water tanks on concrete base(s). The tanks must be incorporated into the design and concealed from the street and neighboring view. Screening material to be approved by DRC. Water is to be used for gardening, and the domestic use of the harvested water is permitted but not mandatory.

21. COLUMNS

- 21.1. Columns must form an integrated part of the architectural design.
- 21.2. Columns must be constructed from either black powder coated galvanized steel, precast concrete, stone, timber posts or plaster and painted brickwork / masonry. Columns may vary in size to best suit both the architectural and structural design.

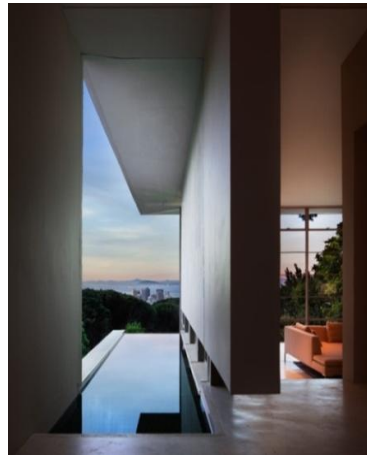
22. BALUSTRADES

- 22.1. Balustrades should be a minimum of 1m high.
- 22.2. Seamless side mounted, glass balustrades are recommended as per the DRC sample specification.
- 22.3. Solid masonry or concrete balustrades are permitted.
- 22.4. Alternative balustrades may be considered at the discretion of DRC.



23. SWIMMING POOLS

- 23.1. Swimming pools are encouraged to serve as a water feature and should be seamlessly integrated into the overall house design.
- 23.2. Natural swimming pools are encouraged.
- 23.3. Pool filtration installations and heat pumps must be screened, for visibility and noise. Solid pool covers are recommended.
- 23.4. Design measures need to be taken to prohibit public access to the swimming pool.
- 23.5. Drainage of backwash water to be indicated on storm water drainage plans. Pool water may not be backwashed onto public areas, including but not limited to roads and the Private Open Areas. The drainage of backwash water shall be pumped into and contained in a vortex settlement tank for filtering and reuse.



24. BOUNDARY WALLS AND FENCES

- 24.1. **River Hill Estate** will be fenced towards the South boundary and partially fenced towards the East and West with a 2,1m high charcoal clearview fencing, to not obfuscate views. The North boundary will also be partially fenced with a natural wildlife corridor that will be maintained, to allow the movement of animals. Boundaries should accommodate both security and environmental concerns.
- 24.2. There should be a visual interaction with the street in order to enhance the quality and character of the development. Internal boundary walls, towards the internal roads and on common boundaries are dis-encouraged.
- 24.3. Partially fenced or walled areas are permitted to provide an enclosure for pets. Boundary walls within the estate will have a maximum height of 1,5m and will form an integral part of the architectural design and should visually be linked to the structure as per the character of the aesthetic guidelines.
- 24.4. Clearview fencing is permitted.



25. BOUNDARY LINES

25.1. Buildings lines on the perimeter of the group housing site;

Street Building Lines = 10m

Street building lines towards the N2 highway, on the South of the estate boundary are 10m as per SANRAL requirements

Side Building Lines = 1,5m

Side building lines on the North, East and West of the estate boundary are 1,5m as per the 2023 George Integrated Zoning Scheme.

25.2. The internal boundary lines within the estate:

Internal street boundary = 0m

Provided that any garage door facing the road must be set back at least 5m from the street kerb.

Side and Rear Boundary lines = 0m

Side and rear boundaries are zero yet there must be a minimum of 1m set back on at least one of the side boundaries for emergency service access (ie. fire-fighting).

Designs must take consideration of neighboring properties and the design of spaces between buildings.

25.3. Any portion of a building which contains an external window or door facing onto a common boundary must be set back at least 1,5m from such boundary.

26. COVERAGE

Coverage means the total area of a land unit that is covered by buildings, expressed as a percentage of the total erf area of the land unit.

26.1. Coverage requirements are regulated by density, boundary lines, open space and other requirements in terms of the development parameters within the George Municipality Integrated Zoning By-law, 2023

27. RETAINING WALLS

27.1. Retaining walls should preferably be constructed from stone. Stone-colored Loffelstein retaining blocks, fully landscaped with indigenous plants, are also permitted. Indigenous plants must be used on and around the retaining walls to help camouflage them within the natural landscape.¹³

27.2. Plumb retaining walls (ie. solid concrete or brick) shall only be permitted if it forms part of the building itself and is prescribed for safety reasons by the Structural Engineer. It shall then be imperative that the concrete wall be softened by DRC approved cladding and/or indigenous plants.



¹³ Condition 16 of CoA

28. ROADS, DRIVEWAYS AND SITE PARKING

28.1. Internal roads must be constructed from environmentally friendly darkly coloured pavers and shall be non-reflective.¹⁴

28.2. Driveways are to match the internal roads and shall be constructed from environmentally friendly penetrable dark pavers or cobble stone and shall be non-reflective.

28.3. Each property shall provide at least 2 visitor parking bays on site. Visitor parking may be situated in driveways. No parking is permitted in Public Open Spaces.

29. LIGHTING

29.1. External lighting has a huge effect on wildlife and neighboring properties. To avoid light pollution and light nuisance, external light must be downward facing with low voltage. Careful consideration must be given to the placement and ambiance created by the lighting.¹⁵

29.2. Internal roads and paths shall have subtle bollard downlights, with a maximum height of 1m from natural ground level.¹⁶

29.3. The main entrance shall be lit with soft down light over the entrance sign.¹⁷

29.4. Externally only down facing, discreet lighting is permitted.

¹⁴ Condition 15 of CoA

¹⁵ Condition 13 of CoA

¹⁶ Condition 12 of CoA

¹⁷ Condition 14 of CoA

- 29.5. No spray or flood lights are permitted.¹⁸
- 29.6. Roof lights or sky lights are permitted, but must adhere to all mitigation requirements.
- 29.7. Lighting of dwelling interiors to be designed so that the dwellings do not create a mass of light which alters the sense of place.

30. SERVICES

- 30.1. All service pipes must be concealed and installed within ducts and may not be surface mounted on the exterior walls. Only sub stacks may be exposed to a height of 500mm above floor level.
- 30.2. Fiber and electrical cables shall be buried as per SABS1200DB and SABS1200LC.
- 30.3. All mechanical plant equipment, including air-conditioners, must be concealed from view. Plant equipment must be concealed in utility rooms, service yards or screened areas. Positions and screening material to be subject to aesthetic approval and must be indicated on all plans.
- 30.4. Gas bottle installations are to be screened and must comply with regulations.
- 30.5. Placement of solar photovoltaic panels are subject to DRC aesthetic approval.

- 30.6. Television aerials, satellite dishes and PABX systems are to be screened and are subject to DRC approval.
- 30.7. On site refuse areas must be screened. There will be a common refuse area at the entrance which will be the municipal refuse collection point.¹⁹
- 30.8. Washing lines and drying yards must be screened.
- 30.9. A conservancy tank system will be used for sewage. Pump lines will be pre-installed to facilitate the cleaning of the system from the site entrance.
- 30.10. Generators are to be screened and noise mitigated. Generators may not be placed opposite neighbours' bedrooms.

31. MAINTENANCE

Regular maintenance of the building exterior, gutters and gardens is mandatory to maintain a consistent standard and to protect the value of the investment in the estate. Failure to uphold the exterior to an acceptable standard may result in penalties including financial fines.

¹⁸ Condition 12Of CoA

¹⁹ Condition 25 of CoA

32. LANDSCAPING

- 32.1. Refer to the Landscaping Plan as attached to these guidelines (Annexure 3).
- 32.2. Landscaped areas are designed to enhance and enrich the natural environment, while also improving the outdoor experience. Indigenous plant species are recommended to support the ecological health of the site.
- 32.3. Indigenous trees and bushes should be planted between the dwellings to break up the massing of the structures.²⁰
- 32.4. A concept garden layout plan for each house is required to be submitted to the DRC for approval prior to final completion. This drawing should indicate the following:²¹
 - 32.4.1. Different levels of the house and garden, as well as the original ground contours;
 - 32.4.2. Lawn and plant beddings as well as a list of plant species to be used;
 - 32.4.3. Paving, swimming pools, ponds, fences, walls and other structural elements;
 - 32.4.4. All formed slopes, retaining walls and structures; and
 - 32.4.5. Detailed storm water runoff or retention plan.

- 32.4. Topsoil must be spared. Where topsoil is stripped during construction, it must be carefully stored for reuse and should not be mixed with sub-soil.

²⁰Condition 11 of CoA

²¹Condition 5 of CoA

33. SITE CLEARING AND ENVIRONMENTAL CONTROLS

- 33.1. Owners or contractors may not disturb natural allocated, protected areas.
- 33.2. No trees or vegetation may be removed without approval from the HOA, Environmental Control Officer and relevant authorities.
- 33.3. Damage to trees or vegetation on exclusive use area, common property or any land unit will be subject to penalties.
- 33.4. Owners and their contractors must comply with the conditions of the Environmental Authorization (EA) approved in terms of NEMA as well as the Operational Phase Environmental Management Plan (OEMP).²²
- 33.5. All parties within the estate are subject to the Landscaping Plan, the Operational Phase Environmental Management Plan and the Visual Impact Mitigation Plan.(Annexures2,3and 4)²³
- 33.6. The Environmental Control Officer must sign off on building plans and oversee compliance with the Environmental Authorization (EA) and other environmental aspects including, but not limited to, the implementation and management of the landscaping and rehabilitation plans.²⁴

²² Condition 7 of CoA

²³ Condition 7 of CoA

²⁴ Condition 21 & 24 Of CoA