



Design Guidelines

Prepared for:

Castle Hawk Development & Designs



I. Introduction to The Pointe Design Guidelines

The Pointe has been planned with a commitment to preserving and enhancing its pristine environment. The natural beauty of the property provides the context for the development—the design of all roads, homes and improvements are to take their cue from the land. Our foremost task is to ensure that The Pointe's homes and environment provide a complement to the unparalleled splendor offered by its surroundings.

The Pointe Design Guidelines and related documents have been prepared to ensure that the same level of planning and design that has gone into creating these unique homesites at both Eagle Pointe and Elk Pointe goes into the planning and design of each individual home.

The Pointe is unique. The Pointe at Castle Pines represents the finest neighborhood in Castle Pines Village. The Pointe estate home lots are the largest homesite parcels available within Castle Pines Village. Within each of these parcels a building envelope (homesite) has been carefully selected which maximizes the view, protects and ensures privacy and minimizes disturbance to the natural environment. The goal of these simple design guidelines is to supplement, where necessary, the existing Architectural Design Guide for Castle Pines Village. The overall intent is to make certain that the architectural design, site planning and landscape design of each home within the Pointe is of the highest quality and that each completed home blends into their natural setting and surroundings.

II. Purpose of The Pointe Design Guidelines

The Pointe Design Guidelines have been written to implement both Eagle Pointe's and Elk Pointe's design goals and philosophy by providing a guide for the design and development of homes and improvements. These Guidelines include specific site planning, architectural, landscape and construction standards to ensure that an aesthetically and environmentally sensitive approach is taken in the development of individual homes. These Guidelines are intended to supplement, where necessary, the existing Architectural Design Guide for Castle Pines Village. These two documents, together, shall provide the principal tool for maintaining the design continuity of The Pointe's finished environment.

The Guidelines have been written with room for self-expression to allow every owner within The Pointe the latitude to build the home of his/her dreams. Inherent in this concept, however, is the understanding that all homes must be designed within the parameters outlined in these Guidelines in order to maintain design compatibility throughout the project, preserve economic values and enhance the environmental quality of the community.

As The Pointe develops over time, so will these Guidelines. These Guidelines are a dynamic document that will continue to evolve along with the changing conditions and character of the property. This



document contains detailed sections on the design review process and project construction regulations. The actual design guidelines are outlined in three different sections:

- Site Planning Design Guidelines outline standards for the siting and orientation of homes and improvements on a lot.
- Architectural Design Guidelines address the architectural style, materials, form and finish of a home.
- Landscape Architecture Design Guidelines cover all site improvements and the landscaping of a site.

Although addressed separately, the design concepts in these three sections are clearly inter-related and must be considered as a whole when designing a home. A successfully designed home will achieve a balance between the various design standards outlined in each of these three sections.

While this document provides the primary guide to be used in the design and development of homes within The Pointe, over time supplemental information may be prepared by the Pointe Design Review Committee to further assist owners and designers with the design process. Prior to initiating any design work, the Pointe Design Review Committee (PDRC) should be consulted to obtain any additional information relating to the design process.

III. The Design Review and Approval Process

The Design Review and Approval Process for development within the The Pointe is a process that is supplementary to the Castle Pines Village design review and approval process. Each proposed design for a home must go through both the Pointe design review process and the Castle Pines Village design review process. Every attempt will be made to streamline the review process to eliminate time delays, however, each owner is responsible for complying with both sets of design regulations.

There are six steps in the Design Review Process:

<i>Step 1</i>	<i>Pre-Design Conference</i>	<hr/>
<i>Step 2</i>	<i>Conceptual Design</i>	<hr/>
<i>Step 3</i>	<i>Design Development</i>	<hr/>
<i>Step 4</i>	<i>Construction Document Submittal</i>	<hr/>
<i>Step 5</i>	<i>Pre-construction Conference and On-Site Staking Review</i>	<hr/>
<i>Step 6</i>	<i>Compliance Review</i>	<hr/>

Within each step in the process an owner must first complete that step with the Pointe Design Review Committee and then subsequently the Castle Pines Village Design Review Committee. The submittal requirements and procedures for each step shall be as set forth within the Castle Pines Village Design Review Guide. Each owner should review very carefully both sets of Design Guidelines and the steps involved. The Pointe Design Review Committee will be available to answer any questions and assist owners through the process.



Generally the Pointe Design Review Committee meets on the second and fourth Wednesday of the month with a few exceptions. Attached to these guidelines is a list of 2001 meeting dates for the Pointe Design Review Committee.

In order for an application to be heard at a regular scheduled meeting an applicant must submit an application and meeting request at least two weeks prior to the scheduled meeting. For future years' schedules please contact the Pointe Design Review Committee.

IV. The Pointe Site Planning Design Guidelines

The Pointe was planned and designed to blend each homesite and structure into the landscape. Properly siting a home and other improvements on a lot is a critical first step to a successful design process. Effective site planning involves creatively integrating the design of a home with the natural features of the lot. The characteristics of each lot will vary, and in response to these characteristics, site planning design solutions will also vary. A successful site planning process should find the delicate balance of preserving and enhancing the natural features of a site while at the same time accomplishing the design objectives of the owner.

A number of specific steps have been taken to assist owners with the site planning process. The following sections outline these steps and other design and planning considerations to be addressed during the site planning process. These considerations include the siting of the home and improvements, the orientation of the home on the lot, the manner in which the home is accessed, the grading of the site, and the limits of construction.

Building Envelope

The Building Envelope defines the location for all buildings and improvements on a lot. The Building Envelope for each homesite has been clearly defined by a series of points, which have been staked in the field and are reflected upon a survey for each homesite. Each Building Envelope was carefully laid out to provide flexibility in architecture and style while at the same time preserving views and native vegetation. A lot diagram for each homesite has been provided to illustrate each Building Envelope and lot configuration (see appendix for Lot Diagrams).

The location of each Building Envelope was determined based on site-specific considerations for each lot. The first objective for defining the Building Envelopes was to identify that portion of each lot that would allow for the design of a home that would optimize views, privacy, solar orientation and other natural attributes of the lot. Secondly, each Building Envelope was situated to minimize the visual impact of development and maximize the physical separation between homesites. Third, each Building Envelope was designed to encompass that portion of the site that also has the potential for convenient access to and from The Pointe's road system. Finally, each Building Envelope was designed to direct



construction away from environmentally sensitive areas and natural features such as drainage courses, stands of important trees, rock outcroppings and wildlife corridors.

It is the intention of these Guidelines that all structures and site improvements such as patios, pools, accessory dwelling units, caretaker units, homes and landscape features be located within the Building Envelope. It is recognized that an owner's design team may develop suitable design solutions that would permit some construction to occur outside of the Building Envelope. In such cases, the PDRC has the discretion to approve deviations for improvements outside the Building Envelope, or changes to the location of the Envelope. However, on certain lots no-build limit lines have been delineated. Under no circumstances will the building be allowed to extend beyond the no-build limit line. The no-build limit lines are indicated on the Community Map recorded with the Declarations.

Prior to approval of a project that modifies or relocates the Building Envelope, an owner shall demonstrate that the proposed modification does not adversely impact any surrounding lot. For example, the modification shall not affect view corridors from other lots, appreciably increase the visibility of the proposed home, or substantially reduce the distance between adjacent Building Envelopes. In addition, the proposed modifications must be sensitive to the environment and natural features of the lot, provide a sensitive driveway design, and are consistent with the overall design objectives of The Pointe.

Undisturbed Area of a Lot

The Undisturbed Area is the portion of a lot located outside of the Building Envelope or substantially removed from the home. The Undisturbed Area provides a physical buffer between homes, protects sensitive environmental or natural features of a lot and provides a natural unifying landscape element throughout The Pointe. The Undisturbed Area of a lot is to be maintained in a predominantly natural state and defined with a gradual transition line between other more formal landscaped areas of the lot. In most cases, some degree of maintenance of the Undisturbed Area will be required.

Requirements for the use of the Undisturbed Area will vary depending upon the unique characteristics of each lot. Generally, the use and maintenance of the Undisturbed Area may include, subject to the PDRC approval, the limited removal of trees to frame and establish views, the trimming of trees up to six feet from ground level, the clearing and removal of deadfall, the planting of indigenous landscape material, and the removal of noxious weeds. Activities not permitted in the Undisturbed Area include the removal of any existing vegetation and trees (unless specifically approved by the PDRC), the introduction of manicured lawns, and the mowing of native grasses.

Building Site and Access

Homes should be sited and designed to be integrated with the natural characteristics of a lot. Existing terrain, vegetation, rock outcroppings and other natural features should be preserved and when appropriate incorporated into the design of a home. While responding to all of these considerations, a home



should be located and oriented on a lot to take full advantage of the site's attributes. Privacy, short-range and long-range views, sun exposure and orientation should be carefully considered during the site planning process in accordance with the site's lot diagram. Access to a homesite is a critical element in the site planning of a lot. In all cases, access to the Building Envelope shall minimize grading and the modification of existing site contours. The maximum grade of driveways should not exceed 10%. The maximum width of paved driveway surface, excluding parking areas immediately adjacent to garages, should not exceed 14 feet.

Site Contours, Grading and Drainage

The grading and modification of existing site contours should be no more than necessary to accommodate the development of a home. When grading is required, it shall be designed to blend with the natural contours and landscape of the site. This can be accomplished by feathering all cuts and fills into the existing terrain of the site. To the extent possible, all grading should be confined to the Building Envelope. In order to preserve existing vegetation, it is important that grading around trees be minimized and the use of walls be considered for the preservation of large trees.

Proper site planning and design should minimize cuts and fills. However, when necessary, the slope of cut and fill banks should be determined by soil characteristics to avoid erosion and promote revegetation. In most cases, cut and fill banks should be limited to a maximum slope of 2:1 unless otherwise approved by the PDRC subject to specific site considerations. When retaining walls are required, such improvements shall be consistent with design standards and materials outlined in the Landscape Architecture Design Guidelines.

Culverts shall be provided for proper drainage and in all cases culverts shall be faced with appropriate materials to conceal exposed steel.

Limits of Construction

In order to minimize site disturbance, contractors will be required to install a temporary fence to delineate the physical limits of site disturbance prior to beginning construction. Protective measures will also be required to safeguard trees during construction. These and other mitigation measures shall be detailed in a comprehensive Construction Management Plan. This Plan is to be submitted during Preliminary Review and finalized as an element of the final development application. Elements to be included in the Construction Management Plan and other construction-related requirements are described in the Construction Regulations section of these Guidelines.

V. Architectural Design Guidelines

The essence of the Architectural Design Guidelines is that homes within The Pointe be designed to belong in the Colorado Rocky Mountains. The character of structures within The Pointe should draw



inspiration from the traditional design of buildings in the Rocky Mountain region. Period homes and romantic designs with their inherent asymmetry will be characteristic of the design vision and intent of The Pointe. Architecture characterized by an eclectic mix of historic and/or modern decoration will be discouraged. Richness of detail coupled with a strong design concept should be inherent in all designs. Rather than attempt to define this style, these Guidelines outline a number of specific architectural concepts that are to be followed during the design process. This section is to provide guidelines that supplement the Castle Pines Village Design Guidelines to enable the fulfillment of The Pointe's community goals.

Architectural concepts for The Pointe involve the following principles:

- Designing the home to be compatible with the existing characteristics of a lot.
- Incorporating natural materials into the design of a home.
- Designing buildings that express a sense of mass.
- Use of a limited number of unassuming colors and finishes.
- Seamless integration of man-made landscaping with the natural landscape.

As homes are developed over the years, these fundamental design concepts will define The Pointe's architectural style. Strong attention should be given to the following categories, which will outline the specific architectural design guidelines used to evaluate proposed development within The Pointe:

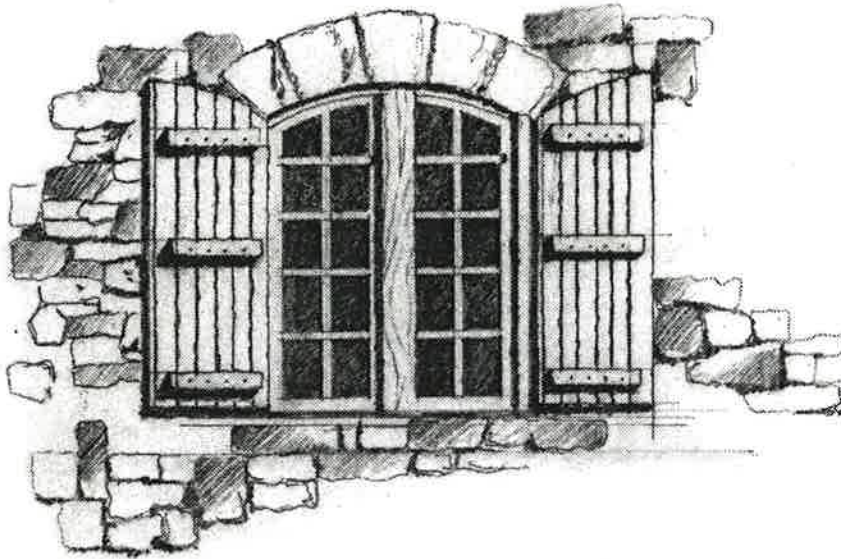


Massing

- The home design shall maintain consistency of form and subtle impact on immediate environment.
- Homes should be developed around more than one axis.
- Entry to the home must be developed to achieve elegance and recognition of its purpose while maintaining a human scale. Dis-proportionate 2-story entry elements will be discouraged.



- Upper levels shall be no larger than 60% of the building footprint.
- Use of multiple eave lines is encouraged and careful consideration should be given to avoiding unbroken, large roof masses.
- All elevations of the home must be given equal attention.
- Use of covered patios and decks should comprise as much as 30% of the building perimeter. Special attention should be given to the areas below deck surfaces to maintain the aesthetic quality of the home.
- Interpretation of detail should be explored in order to maintain the essence of the chosen style.



Windows and Openings

- Careful attention should be given to proportion and detail of window massing.
- Selected window “style” should be consistent with the home’s period theme.
- The use of thickened walls on primary window assemblies will be encouraged to accentuate the appearance of wall depth and building mass.
- Garage doors should be recessed a minimum of 12". Strong attention should be given to the materials and detail of the door design so as to integrate with the home and adjacent materials.
- The use of decoration such as shutters, planter boxes, etc. is encouraged and will be reviewed for “historical correctness.”
- The use of vinyl windows is not allowed.
- The use of glass block in an exterior wall should be addressed so as to not detract from the period style of the home.



Colors

- All finishes and colors should be subdued in nature to allow the home to recede into the landscape and the context of the site.
- Light colors are generally discouraged and shall only be permitted as accents. The use of such color shall be subject to the PDRC approval.
- Any copper details should be acid washed to develop a patina prior to completion of construction.
- Primary colors are not allowed.

Exterior Materials

- All materials and finishes should be harmonious with the Elk Pointe and Eagle Pointe vision, which entails a great deal of masonry.
- Quality materials such as natural and cut stone, detailed brick veneer, precast and cut stone surrounds, and true half timbering with stucco fields are encouraged.
- All masonry walls must return to an inside corner for termination.
- It is encouraged that stucco be used as a secondary or accent material only.
- Concrete foundation walls shall not be exposed, and should be faced with adjacent field materials.
- The use of manufactured or artificial sidings and veneers is strongly discouraged and will require the PDRC approval.
- Veneer and trim materials should be consistently used throughout the home.
- All patio, deck, and hardscape surfaces should be consistent with the exterior materials used on the home.
- A 50 square foot mock-up of masonry surfaces shall be required for approval prior to installation of such material on the structure.
- Retaining walls and privacy walls should be of a natural material consistent with the primary structure.
- Materials for deck and patio supports should be consistent with the chosen materials for the home, and maintain an appropriate mass.
- Special materials that are not addressed in these standards shall be reviewed on an individual basis.

Gutters and Downspouts

- Gutters and downspouts are required and should be treated as an architectural feature. Such details should be consistent with the period style of the home.
- The use of copper for gutters and downspouts is strongly encouraged.

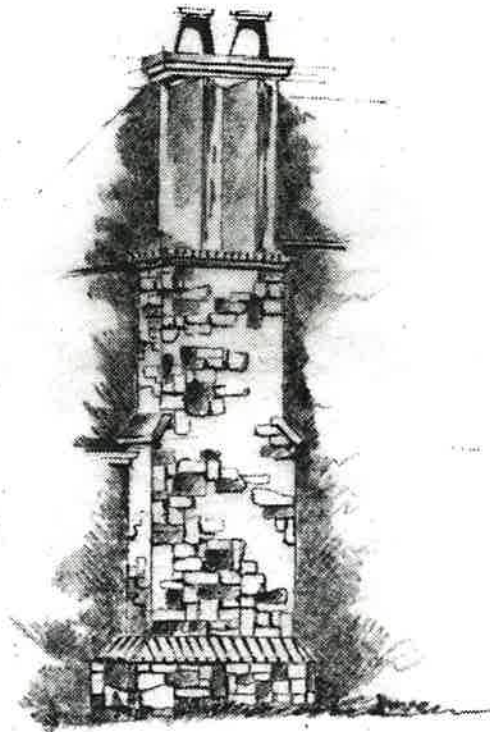


Accessory Structures

- Accessory structures such as gazebos, greenhouses, pools, cabanas, hot tubs, detached garages, etc. shall be consistent in form and material with the primary structure.
- Close attention should be given to site location. Whether blending into the landscape or at an extension of the home, the accessory structure should be in keeping with the overall site development and natural topography.

Building Accessories

- The use of screens, awnings, shades, and other elements that have an impact on the exterior appearance shall require the PDRC approval. Full details and materials samples shall be required for final approval.
- Exterior mechanical equipment is required to be fully screened from view.



Roof and Chimneys

- Chimneys are a dramatic statement of the home. The use of at least two well-articulated chimneys on the home is encouraged.
- The material used for the chimney should be consistent with the masonry used on the home.
- Details for spark arrestors and caps should be designed to complement the major architectural elements of the home.
- The forms and materials used to create the building's roof are significant components to the overall design and will be carefully reviewed by the PDRC.



- The use of gable and hip roofs is strongly encouraged.
- The use of flat roof areas will only be permitted when designed as an architectural extension of the home's "period" vernacular.
- Large roof masses should be addressed to maintain balance and scale of the home.
- Careful attention should be given to blending roof styles so as to maintain the character of the home.
- Roof slopes and pitch changes should be consistent with the character of the home.
- Close attention should be given to the selection of roof material. Tile, slate, and concrete tile are acceptable materials. Shake and wood shingle shall be permitted if deemed architecturally appropriate for the home by the PDRC. Any such products shall require a class "A" fire rating.
- Metal roofs shall be permitted as accents only.
- Flues, plumbing, and roof vents must be located out of view of the front of the home.

VI. Landscape Architecture Design Guidelines

The Pointe lies within a unique and sensitive environment. This ecosystem is populated by rich and diverse native wildlife and plant communities of mature ponderosa pine, gamble oak, meadow grasses and wildflowers.

The challenge of landscape design within The Pointe is to integrate the built environment with this spectacular setting. In this regard, the use of landscape materials immediately adjacent to a home is relatively unrestricted. In other areas removed from the home, however, the introduction of plant materials is limited to species currently found in the local plant community. The integration of the man-made and natural landscape is a key aspect of these Landscape Design Guidelines.

This section is to provide guidelines that supplement the Castle Pines Village Design Guidelines to enable the fulfillment of The Pointe's community goals. Strong attention should be given to the following categories, which will outline the specific landscape design guidelines used to evaluate proposed development within The Pointe:

Plant Material Sizes

The following plant sizes are minimum acceptable sizes within the Pointe and it is encouraged that plant massing be of varying sizes to help blend the newly planted areas with the natural environment:

Deciduous:

<i>Canopy Trees</i>	<i>3" Caliper</i>
<i>Ornamental</i>	<i>2" Caliper</i>
<i>Multi-Stem</i>	<i>10' - 12' Ht.</i>
<i>Ornamental tree</i>	<i>minimum 3 canes</i>



Coniferous

<i>Evergreen Tree</i>	<i>10' – 16' Ht. In varying sizes</i>
	<i>Adjacent to R.O.W.</i>
<i>Evergreen Tree</i>	<i>8' – 10' Ht. In all other locations</i>

Shrubs

<i>5 gallon containers</i>	<i>2/3 total amount 5 gallon containers</i>
	<i>1/3 total amount B&B</i>

Vines

<i>1 gallon containers</i>	<i>1 gallon containers</i>
----------------------------	----------------------------

Groundcover

<i>No minimum size</i>	<i>No minimum size</i>
------------------------	------------------------

Tree Removal

- The removal of any trees is strongly discouraged and will require approval by the PDRC.
- Throughout the design process, trees to be removed (or transplanted) are to be flagged with bright orange tape for the PDRC'S reference.

Landscape /Retaining Walls

- No timber walls will be permitted.
- Natural stone is strongly encouraged for all landscape and retaining walls.
- The wall composition, color and texture shall match or compliment the house materials.

Driveway/Site Entrance

- There shall be a patterned concrete driveway apron that shall extend for 20' into the site.
- The color and texture shall match The Pointe site entrance paving.

Site Monument

- Each homesite shall have a site monument located at its driveway entrance (see appendix for detail).

Culvert/Headwalls

- Culvert headwalls shall be designed to match the site monumentation for each homesite (see appendix for detail).

Driveways

- The driveway shall be of colored concrete and shall be a maximum of 14' wide.
- Accent paving (natural stone, brick or patterned concrete) and or scoring, especially as it relates to the house entrances, patios, and guest parking/turn-around areas is strongly encouraged.



Irrigation

- All new planting areas are to be irrigated with an automatic irrigation system.

Lighting

- Subtle lighting at individual driveway entrances will be required. This element must be an integral part of the entry monument (see appendix for detail) and or adjoining walls.

General Notes

- Larger plant sizes may be required in specific instances to fulfill the overall community mandate of protecting or screening views.
- It is the purpose of The Pointe's Design Review Committee to require not only restoration and enhancement of each site but also to preserve views for each owner; therefore, each site plan may be subject to differing mandates in order to accomplish this end.

VII. Construction Regulations

Careful management and control of construction activity is a critical element in the successful design and development of The Pointe. Architecture and site design are only the first steps in successfully integrating a home onto a site. Equally, if not more important, are the methods used to construct the project.

There are two significant reasons for regulating construction. The first is to protect the site and adjacent sites from potential damage by construction equipment and activity. The second reason is to protect The Pointe property owners. There will always be a certain level of disturbance from construction, but if all owners comply with the same stringent standards, the impact on neighbors can be greatly minimized.

The following regulations and programs to manage construction within The Pointe are as follows, but not limited to those outlined in Castle Pines Village Design Guidelines.

Construction Management Plan

A Construction Management Plan shall be submitted during Preliminary Review and finalized prior to the submittal of final construction plans. The Plan shall consist of narrative and graphic material (plans drawn at the same scale as the project site plan) in sufficient detail to address the following considerations.

Limits of Construction

The physical limits of all construction and all construction related activity shall be indicated on the Construction Management Plan. Prior to initiating construction, grading or any modifications to the site, the limits of construction shall be delineated on site with a temporary snow fence or similar barrier. All construction activity, storage of all construction materials, temporary construction trailer and sanitary facilities, dumpsters and any other construction equipment or facilities shall be located within the Limits of Construction area.



Protection of Existing Vegetation

Methods for protecting existing vegetation, particularly vegetation within the Limits of Construction area, shall be indicated in the Construction Management Plan. All protective measures shall be implemented prior to initiating construction.

Location of Construction Trailers

No more than one temporary construction trailer shall be permitted on a job site. Trailers should be located within the designated limits of construction. However, under certain circumstances the PDRC may grant approval to locate construction trailers on private driveways or The Pointe's roads. Such approval shall be limited to cases where site characteristics make it difficult or impractical to locate a trailer on the lot. Signs are not permitted on construction trailers.

Temporary Sanitary Facilities

Job sites shall be equipped with sanitary facilities. Such facilities shall be screened from view from adjacent properties and roadways.

Project Construction Schedule and Phasing

A construction schedule indicating the estimated start and completion date of all major phases of construction shall be submitted.

Approval of General Contractors

All general contractors shall be approved by the PDRC prior to working within The Pointe. General contractors shall be required to submit a "Contractor's Qualifications Statement" describing their experience and listing all relevant construction projects they have completed. Only those general contractors who can demonstrate previous successful experience will be approved to work within The Pointe. Another purpose of this review is to ensure that every contractor is familiar with the rules and regulations involved in building within The Pointe. The terms and conditions of approval to work within The Pointe will also bind the general contractor to the provisions of the Construction Clean-up/Landscaping Deposit. This is a particularly important consideration because the general contractor will be responsible for the performance of all sub contractors.

Construction Clean-up/Landscaping Construction Bond

A Construction Clean-up/Landscaping Construction Bond of \$50,000 shall be required prior to beginning new construction or site preparation within The Pointe. The deposit shall be paid directly by the general contractor to Castle Hawk Development and Designs, and is in addition to any clean-up deposit required by Douglas County and or The Castle Pines Village HOA. The Landscape Construction Bond shall be made payable to Castle Hawk Development and Designs, and shall be used as security to ensure that contractors comply with the approved Construction Management Plan, approved landscape plans and performance standards. In addition to this deposit, the Declaration of Covenants, Conditions, Restrictions and Easements for The Pointe include other conditions under which liens may be placed on a property to ensure compliance with these regulations during the construction process.



Maintenance of the Job Site

Job sites shall be cleaned up daily to remove construction material and debris. Any debris that cannot be temporarily stored in dumpsters shall be removed from the site daily. Concrete remaining from the clean-up of trucks shall be removed from the site within seven days.

Excavation Material

All excavation material not used for backfill or final grading shall be removed from the construction site and the development within 30 days of excavation.

Hours of Construction

Hours of construction shall be limited to 7:00 a.m. through 6:00 p.m. Monday through Saturday. Sunday construction may be permitted with approval from the PDRC. During the International Golf Tournament, Thursday through Sunday, no construction will be permitted within The Pointe.

PDRC Inspections

Members of the PDRC will conduct inspections of the job site throughout the construction process. The purpose of these inspections is to ensure that all site work and construction are consistent with approved plans. The PDRC has the authority to access a job site at any point during construction. In the event that the project is not in compliance with approved plans, the PDRC will work with the owner, the design team and contractors to resolve any discrepancies. In the case of severe deviations from approved plans, the PDRC may issue a "Stop Work Order," at which time all construction activity on the site is to be suspended. Construction may resume only after all discrepancies have been resolved with the PDRC.

In addition to periodic inspections by the PDRC, owners are responsible for obtaining all required building permits from Douglas County. The County will also conduct inspections during construction. The owner and his/her contractor are responsible for requesting all required inspections from Douglas County.

General Regulations

Access for construction from adjacent lots will not be allowed. The PDRC administrator may allow ingress/egress if adjacent property owner gives his/her permission in writing.



VIII. Appendix

Approved landscape material list (trees, shrubs and ground covers)

Trees:

Native

<i>Pinus edulis</i>	<i>Pinyon</i>
<i>Pinus ponderosa</i>	<i>Ponderosa</i>
<i>Juniperus virginiana</i>	<i>Juniper</i>
<i>Alnus Tenifolia</i>	<i>Alder</i>
<i>Prunus virginiana</i>	<i>Chokecherry</i>
<i>Acer glabrum</i>	<i>Rocky Mountain Maple</i>
<i>Populus deltoides</i>	<i>Cottonwood</i>
<i>P. tremuloides</i>	<i>Aspen</i>
<i>Betulus occidentalis</i>	<i>River Birch</i>
	<i>Spruce</i>

Introduced

<i>Fraxinus penn. Lanceolata</i>	<i>Green Ash</i>
<i>Celtis occidentalis</i>	<i>Hackberry</i>
<i>Cercis occidentalis</i>	<i>Redbud</i>
<i>Morus alba</i>	<i>Mulberry</i>
<i>Acer ginnala</i>	<i>Korean Maple</i>
<i>Crataegus spp.</i>	<i>Hawthorns</i>
<i>Abies concolor</i>	<i>White Fir</i>
<i>Pinus sylvestris</i>	<i>Scotch Pine</i>
<i>Pinus nigra</i>	<i>Austrian Pine</i>
<i>Pinus flexilis</i>	<i>Limber Pine</i>
<i>Lia americana</i>	<i>American Linden</i>



Shrubs/Covers:

Native

<i>Euonymus spp.</i>	<i>Burning Bush</i>
<i>Symphoricarpos albus</i>	<i>Snowberry</i>
<i>Cornus stolonifera</i>	<i>Redtwig Dogwood</i>
<i>Pachystima myrsinites</i>	<i>Mountain Lover</i>
<i>Yucca spp.</i>	<i>Yucca</i>
<i>Rosa woodsii</i>	<i>Rose</i>
<i>Ribes spp.</i>	<i>Currant</i>
<i>Purshia tridentata</i>	<i>Bitterbrush</i>
<i>Potentilla spp.</i>	<i>Cinquefoil</i>
<i>Amelanchier alnifolia</i>	<i>Serviceberry</i>
<i>Quercus gambelii</i>	<i>Oak</i>
<i>Cercocarpus ledifolius</i>	<i>Mountain Mahogany</i>
<i>Artemisia spp.</i>	<i>Sage</i>
<i>Ceanothus spp.</i>	<i>Mountain Lilac</i>
<i>Mahonia repens</i>	<i>Creeping Orange Grape</i>
<i>M. aquifolium</i>	<i>Oregon Grape</i>
<i>Rhus glabra</i>	<i>Smooth Sumac</i>
<i>Rhus trilobata</i>	<i>Oakleaf Sumac</i>
<i>Chamaebatiaria millefolium</i>	<i>Fernbush</i>
<i>Cowania mexicana</i>	<i>cliffrose</i>
<i>Juniperus communis</i>	<i>Mountain Juniper</i>
<i>Arctostaphylos spp.</i>	<i>Manzanita</i>

Introduced

<i>Caragana arborescens</i>	<i>Peashrub</i>
<i>Cotoneaster spp.</i>	<i>Cotoneaster</i>
<i>Parthenocissus quinquefolio</i>	<i>Virginia Creeper</i>
<i>Viburnum spp.</i>	<i>Viburnum</i>
<i>Forsythia spp.</i>	<i>Forsythia</i>
<i>Wygela spp.</i>	<i>Wygela</i>
<i>Lonicera spp.</i>	<i>Honeysuckle</i>
<i>Philadelphus spp.</i>	<i>Mock Orange</i>
<i>Chaenomeles spp.</i>	<i>Quince</i>
<i>Spiraea spp.</i>	<i>Spiraea</i>
<i>Sorbaria sorbifolia</i>	<i>Ash-leaf Spiraea</i>
<i>Vincia Minor</i>	<i>Myrtle</i>

