

Subject: 14899 88th Pl N, Loxahatchee, FL 33470 - Exciting Opportunity for Rehab Project: Charming Landscape and Barn Transformation

Dear Vendor,

We have an exciting opportunity for vendors who are keen on taking on a unique and rewarding rehab project. The property located at 14899 88th Pl N, Loxahatchee, FL 33470, presents an enchanting landscape with an existing 8-stall, 2,230 sq. ft., CBS horse stable on a 1.15-acre lot.

**Property Overview:**

- Quality CBS Construction with a trussed roof and shingles.
- Tack & feed rooms, wash area with hot & cold water.
- Convenient location in the North end of the Acreage, just off Northlake Blvd.
- Proximity to a public Equestrian Park with multiple riding rinks and trails.
- Possibility to build a residence or grooms quarters on-site (subject to PB County confirmation).
- Individual water service to each stall.
- Outlets and switches prewired above stalls for box fans.

The property has been boundary surveyed, and detailed architectural drawings are available along with a comprehensive Scope of Work. This presents a wonderful opportunity to transform this rustic horse stable into a stunning 4-bedroom, 3-bathroom residence.

**Property Details:**

- Address: 14899 88th Pl N, Loxahatchee, FL 33470
- Lot Size: 1.15 Acres
- Property Type: Single Family Detached
- Zoning: AR (Agricultural Residential)
- Construction: CBS (Concrete Block Structure)
- Year Built: 2004
- Living Area: 2,400 sq. ft.
- Condition: Resale, well-maintained
- Well Water: The property has its own well water source

**Existing Structure - Horse Stable:**

- Stalls: 8
- Square Footage: 2,230 sq. ft.
- Construction: Quality CBS Construction
- Roof: Trussed roof with shingles
- Facilities: Tack & feed rooms, wash area with hot & cold water
- Location: Conveniently situated in the North end of the Acreage, just off Northlake Blvd.
- Proximity to Equestrian Park: Only 1 block away from a public Equestrian Park with multiple riding rinks and trails.

### **Development Potential:**

- Residence or Grooms Quarters: There is a possibility to build a residence or grooms quarters on-site (subject to PB County setback and zoning confirmation).
- Water Service: Individual water service to each stall.
- Pre-wired Outlets: Outlets and switches prewired above stalls for box fans.

### **Property Condition:**

- Year Built Details: Resale, indicating the property has stood the test of time.
- House Style: Rustic, maintaining the charming character of the existing structure.

### **Land Information:**

- Lot Description: 1 to < 2 Acres
- Lot Size: 1.15 Acres
- Square Feet: 50,094 sq. ft.

### **Community and Neighborhood:**

- Community Features: None specified
- Location: Loxahatchee, Subdivision: The Acreage
- Directions: Northlake to Hall, Hall South to 88th. 88th East Barn on the North side of the road.

The vision for this project includes creating a beautiful 4-bedroom, 3-bathroom home while preserving the rustic charm of the existing structure. We believe this endeavor will not only enhance the property's value but also contribute positively to the community.

If you are interested in submitting bids for this exciting rehab project, please review the attached boundary survey, architectural drawings, and Scope of Work. Feel free to reach out if you have any questions or require additional information.

Thank you for considering this opportunity. We look forward to the possibility of collaborating with you on this transformative project.

RoDevia Brigham

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**14899 88th Place, Loxahatchee, Florida - Renovation Project - (SOW)**

**Project Overview**

This Statement of Work (SOW) outlines the scope of the comprehensive renovation project led by Deano Beckford at 14899 88th Place in Loxahatchee, Florida. The project is managed by Professional Architect Jamie A. Margulies AIA and involves various areas of the property, focusing on functional and aesthetic upgrades.

**#####**

**A1 Floor Plan:** The renovation project includes upgrades to the new kitchen, master bedroom, master closet, bedroom #3, and associated bathrooms. Construction details involve soffit infill, non-bearing framed walls, and modifications to existing masonry construction.

**Key Points:**

- Focus Areas: New kitchen, master bedroom, master closet, bedroom #3, and associated bathrooms.
- Construction Details: Soffit infill, non-bearing framed walls, modifications to existing masonry construction.

**#####**

**D1 Demo Plan:** The demolition plan outlines the strategic approach to the removal of specific structural elements, paving the way for a successful rehabilitation process. Emphasis is placed on thorough verification of existing conditions, adherence to safety protocols, and compliance with regulations.

**Demolition Focus:**

- Removal of 8" masonry construction, non-bearing framed walls, plumbing, electrical, gas, and mechanical devices.

**Verification and Compliance:**

- Thorough verification of existing conditions, adherence to safety protocols, compliance with regulations.

**Project Management:**

- Coordination with trades, communication updates, compliance with permits, documentation of progress.

**#####**

**Mechanical Plan (M1):** The Mechanical Plan outlines the installation of air conditioning accessory AHU and AC units.

**Key Points:**

- HVAC Requirements: Compliance with FBC Residential 7th Edition 2020 with 2022 supplement.
- Installation Details: Drain pans, mechanical equipment elevation, condensate drain piping, HVAC controls, programmable thermostats, flex duct installation, insulation standards, air distribution device color, and exhaust fan specifications.

**#####**

**Electrical (E1) Plans:** The Electrical Plan provides detailed specifications for electrical systems, emphasizing compliance with local and national electrical codes.

Key Points:

- Electrical Specifications: Outlets, switches, lighting fixtures, circuit connections, compliance with local and national electrical codes.
- Security Features: Keyed door for electrical panel, tamper-resistant receptacles, carbon monoxide alarms, interconnected smoke detectors.

#####

**Plumbing Plan (P1):** The Plumbing Plan provides details on the water heater, installation information, and routing for cold and hot water services.

Key Points:

- Water Heater: A.O. SMITH 50 U.S. Gallons, 4.5 KW, PROMAX - ECT-52 or Equal.
- Installation Details: Routing for CW and HW service, heat trap placement, pressure/relief valve, and temperature requirements.

#####

**Foundation Plan (S1):** The Foundation Plan provides detailed information on the existing construction, including stem walls, footers, concrete edges, and reinforcing details.

Key Points:

- Construction Details: 8" masonry construction, stem walls, poured concrete sills, 4" thick concrete slab with reinforcing details.
- Verification and Coordination: Field verification for structural elements, coordination with architectural drawings.

#####

**Conclusion:** This SOW provides a comprehensive guide for contractors, ensuring a thorough understanding of the renovation project's intricacies and promoting a successful and compliant rehabilitation process. All work must adhere to local codes and regulations, ensuring the safety, quality, and success of the project.

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A

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*Interior Remodel  
New Residence*

**Jamie A. Margulies AIA**  
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JOB NUMBER	2023-03
DATE	03-15-23
DRAWN BY	L. R. C.
CHECKED BY	AR

**REVISIONS**

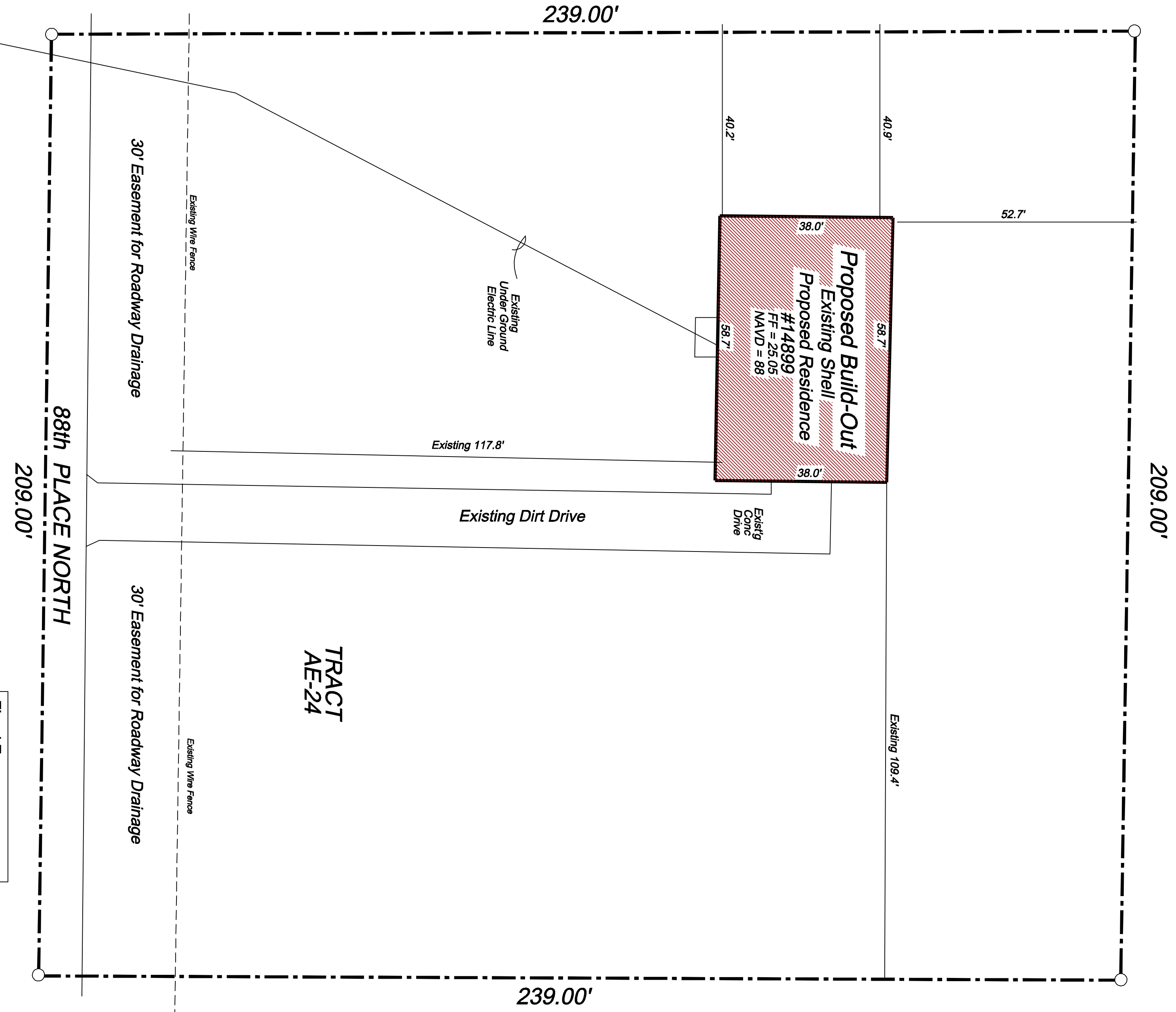

SHEET

**ST-1**

OF

**COVER SHEET**

ENGINEER



Flood Zone:  
Flood Zone: X  
Palm Beach County: 120192  
Panel Number: 12029C 0345 F

Master Site Plan  
1/4" Scale



NORTH

## **A1 Floor Plan - 14899 88th Place Summary**

The document outlines a comprehensive renovation project led by Deano Beckford at 14899 88th Place in Loxahatchee, Florida. Managed by Professional Architect Jamie A. Margulies AIA, the project encompasses various areas of the property with a focus on functional and aesthetic upgrades. Key areas include the new kitchen, master bedroom, master closet, bedroom #3, and associated bathrooms. Construction details involve soffit infill, non-bearing framed walls, and modifications to existing masonry construction. The project is located in Palm Beach County, Florida.

The proposed window schedule provides a comprehensive table detailing specifications for windows in the renovation. While the document lacks explicit information on permits, it advises checking other sections or consulting the Professional Architect. A general overview of electrical work is provided, emphasizing the importance of specific plans for detailed information.

Definitions are given for construction terms like "CBS INFILL" and "NON-BEARING FRAME CONSTRUCTION." The document refers to an existing 8" stem wall and a door schedule, crucial for understanding the current structure. The Air Handling Unit (AHU) is explained as part of the HVAC system, and "Walk-In Closet" (WIC) is defined.

The concept of soffit infill is introduced, encompassing various purposes like insulation, aesthetics, and structural support. The document emphasizes the necessity of field verification for structural elements without providing specific details. Overall, the proposed window schedule and construction details offer valuable insights for potential vendors.

RoDevia Brigham

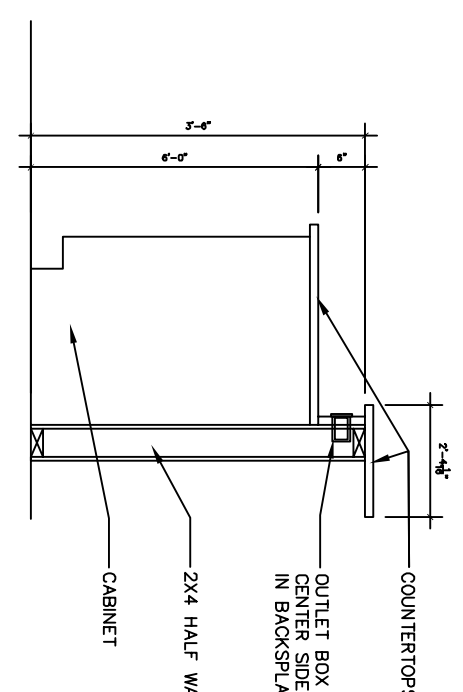
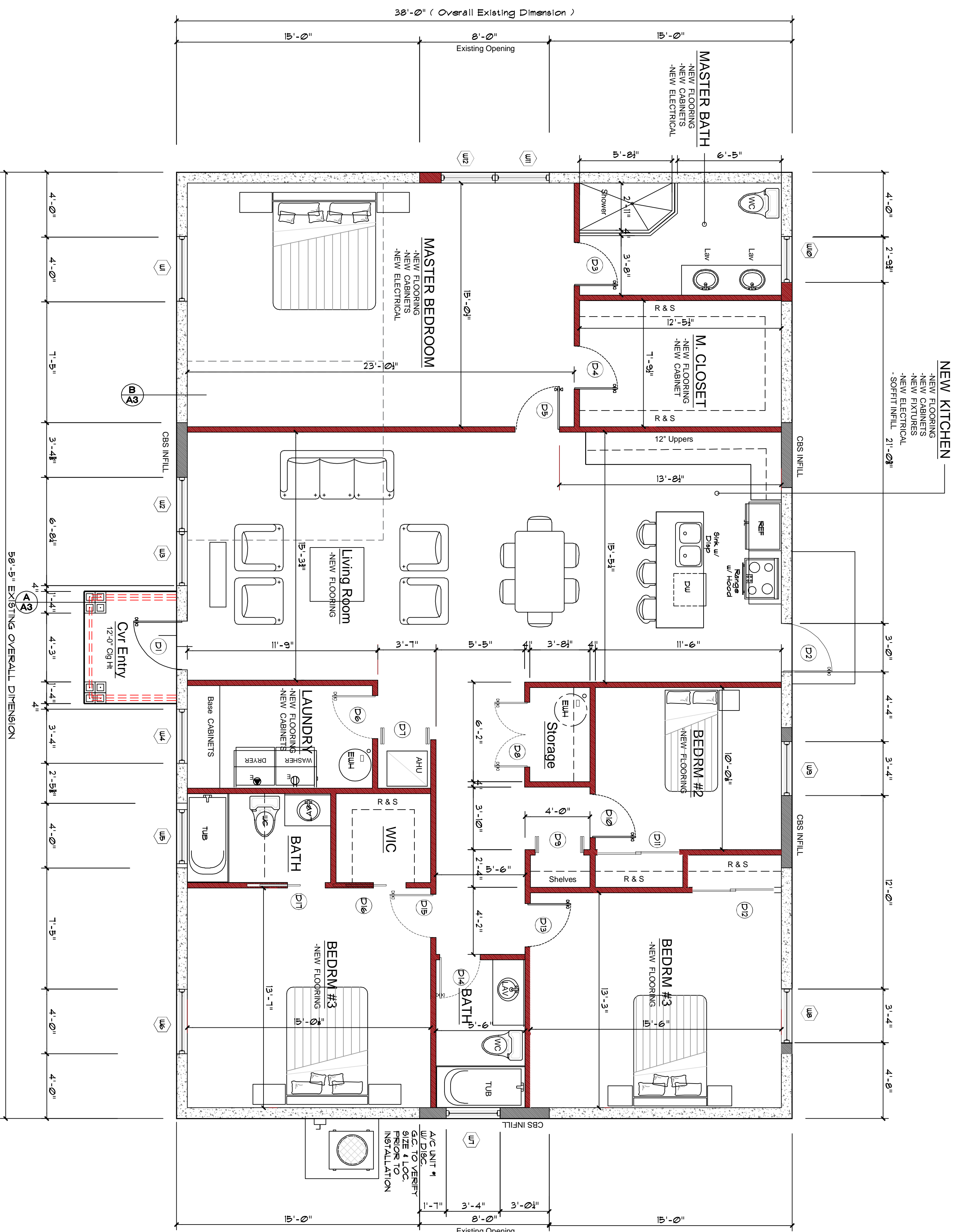
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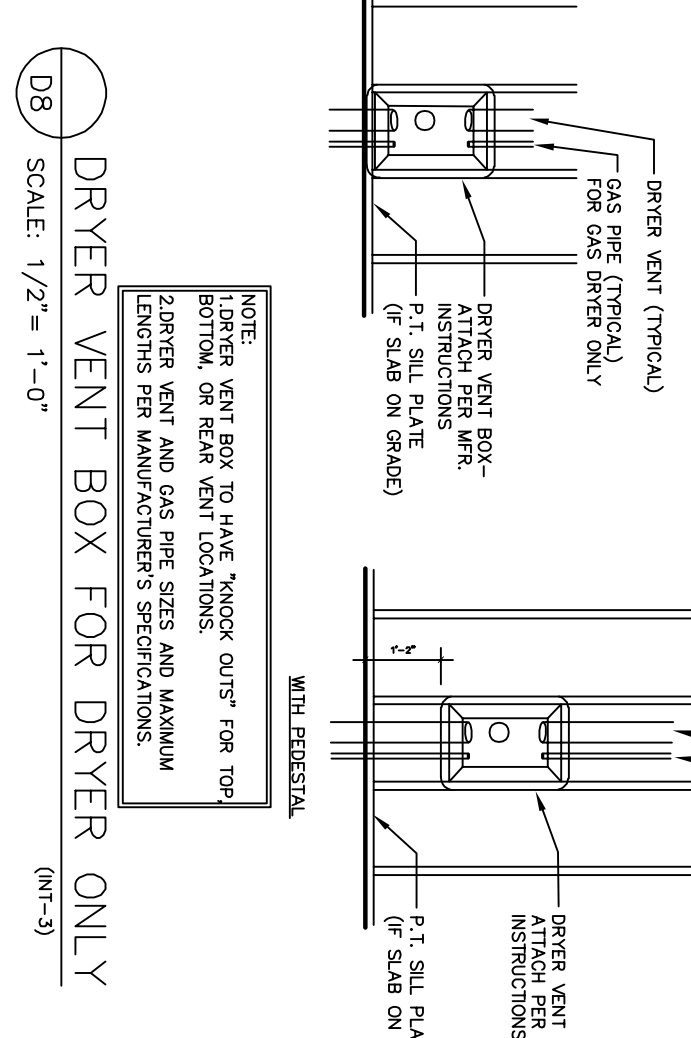
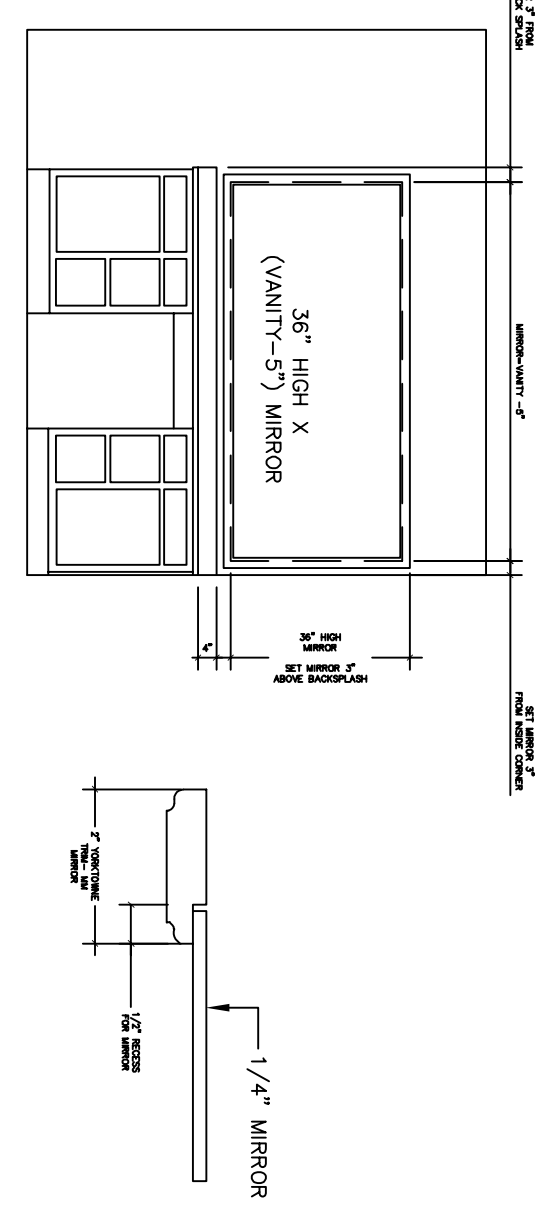


WALL LEGEND	
	NEW NON-BEARING FRAME CONSTRUCTION
	EXISTING 8" MASONRY CONSTRUCTION (Beam Height @ 11'-0" SILL)
	NON-BEARING FRAMED CONSTRUCTION WALL TO BE REMOVED (FIELD VERIFY FOR STRUCTURAL EMBLEM)
	EXISTING 8" STEM WALL (With 24" Av. Grade)

DIMENSIONS INDICATED ON WALL LEGEND ARE FOR GENERAL SIZING PURPOSES. ALL WALL THICKNESS CONSTRUCTION WALL TO BE REMOVED (FIELD VERIFY FOR STRUCTURAL EMBLEM).

Door Schedule	TYPE	NO.A
D1	3'-0" W x 6'-8" H Exterior Door	
D2	3'-0" W x 6'-8" H Exterior Door	
D3	2'-8" W x 6'-8" H New Interior Sliding Door	
D4	2'-8" W x 6'-8" H New Interior Sliding Door	
D5	2'-8" W x 6'-8" H New Interior Sliding Door	
D6	2'-8" W x 6'-8" H New Interior Sliding Door	
D7	3'-0" W x 6'-8" H New Interior Bi Fold Door	
D8	2'-8" W x 6'-8" H New Interior Sliding Door	
D9	2'-8" W x 6'-8" H New Interior Sliding Door	
D10	5'-0" W x 6'-8" H New Interior Bi Pass Door	
D11	5'-0" W x 6'-8" H New Interior Bi Pass Door	
D12	2'-8" W x 6'-8" H New Interior Sliding Door	
D13	2'-8" W x 6'-8" H New Interior Sliding Door	
D14	2'-8" W x 6'-8" H New Interior Sliding Door	
D15	2'-8" W x 6'-8" H New Interior Sliding Door	
D16	2'-8" W x 6'-8" H New Interior Sliding Door	
D17	2'-8" W x 6'-8" H New Interior Sliding Door	

Proposed Window Schedule		
SYM	SIZE (Width/Height)	TYPE
W1	53W x 50H	SINGLE HANG / EGRESS
W2	37W x 63H	SINGLE HANG
W3	37W x 63H	SINGLE HANG
W4	37W x 63H	SINGLE HANG
W5	37W x 63H	SINGLE HANG
W6	37W x 63H	SINGLE HANG
W7	37W x 63H	SINGLE HANG
W8	37W x 63H	SINGLE HANG
W9	37W x 63H	SINGLE HANG
W10	37W x 63H	SINGLE HANG
W11	37W x 63H	SINGLE HANG
W12	37W x 63H	SINGLE HANG



VANITY MIRROR INSTALLATION INSTRUCTIONS:  
1. MIRROR TO BE GLEUED TO WALL AND SET WITH REMOVABLE CLIPS TO HOLD SECURELY IN PLACE.  
2. AT BATHROOMS WITH MIRRORS ON ADJACENT ANGLED WALLS, BUT MIRRORS NOT AT INSIDE CORNER (YORKTOWN TRIM-- M MIRROR WILL NOT BE INSTALLED AT INSIDE CORNERS).  
3. UPON INSTALLATION OF WOOD TRIM, REMOVE REMOVABLE CLIPS (VERIFY MIRROR IS GLEUED BEFORE REMOVING ALL CLIPS) AND INSTALL WOOD TRIM AT PERIMETER. WOOD TRIM SHOULD BE 1/4" +/- FROM TOP OF BACK SPLASH INSIDE WALL CORNERS.

**MASTER BATH MIRROR WOOD TRIM DETAIL**  
SCALE: 1/2" = 1'-0"

BY ACCEPTING THIS CONTRACT, THE CLIENT AGREES TO BE RESPONSIBLE FOR ALL DIMENSIONS AND GENERAL SIZING PURPOSES. ALL WALL THICKNESS CONSTRUCTION WALL TO BE REMOVED (FIELD VERIFY FOR STRUCTURAL EMBLEM). THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY LIABILITY FOR THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS AND SPECIFICATIONS.

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New Residence*

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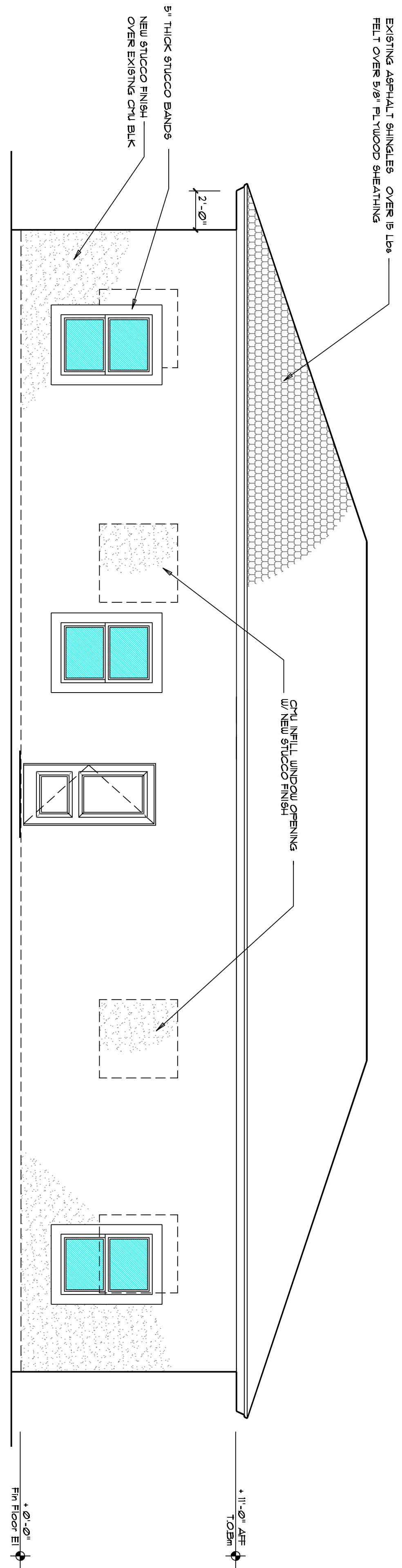
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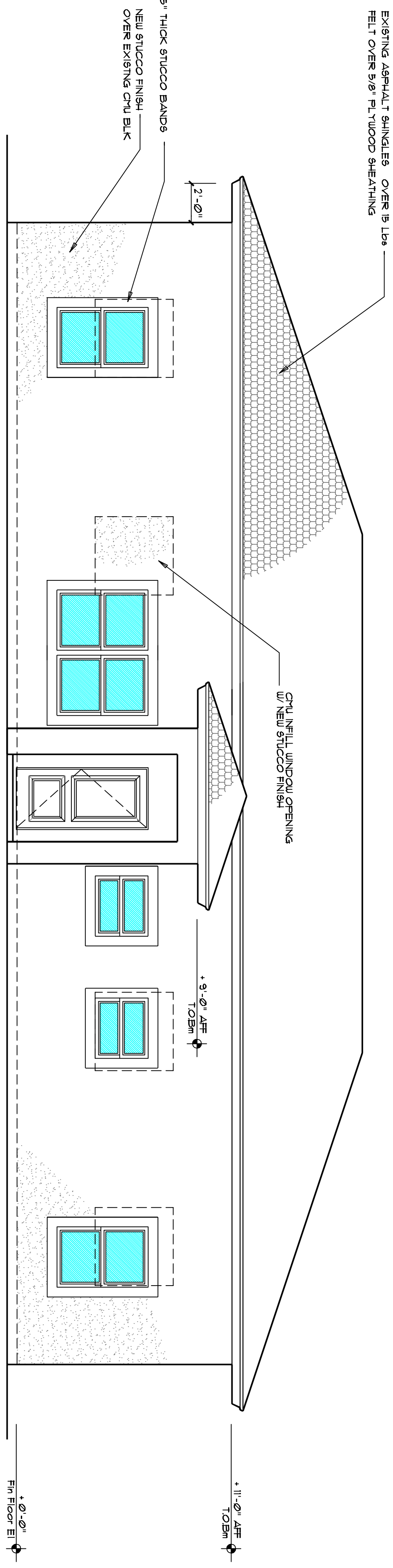
**SHEET**  
**A1**

**Floor Plan**  
ENGINEER

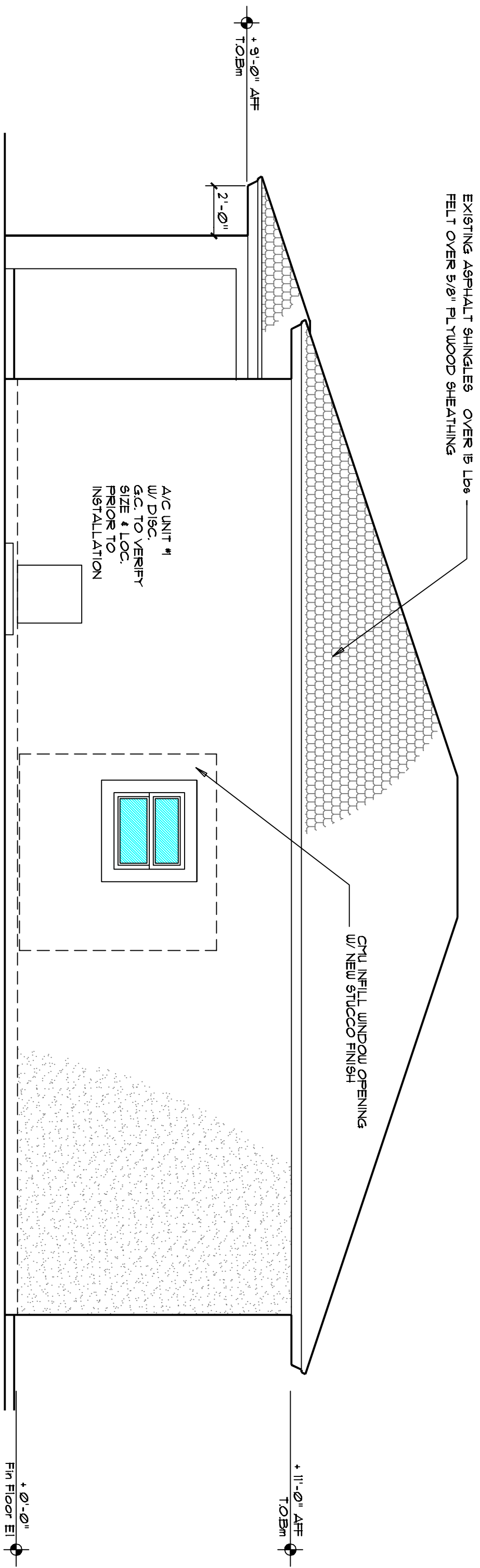
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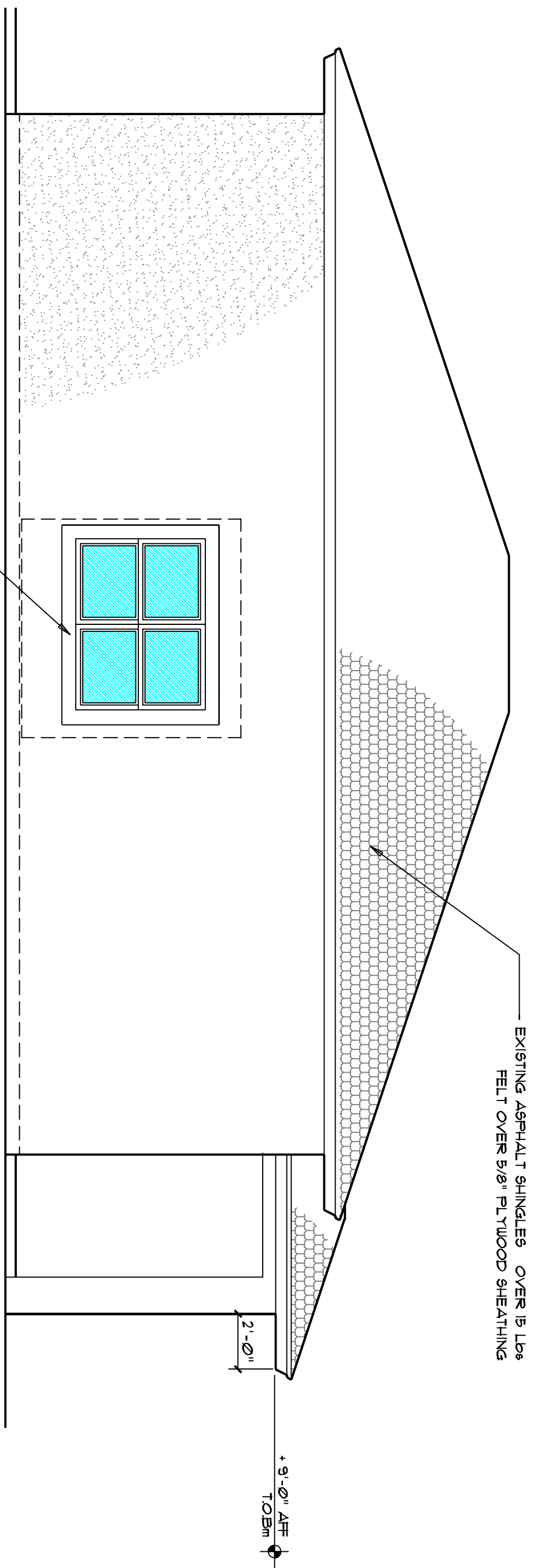
Proposed Rear Elevation  
1/4" Scale



Proposed Front Elevation  
1/4" Scale



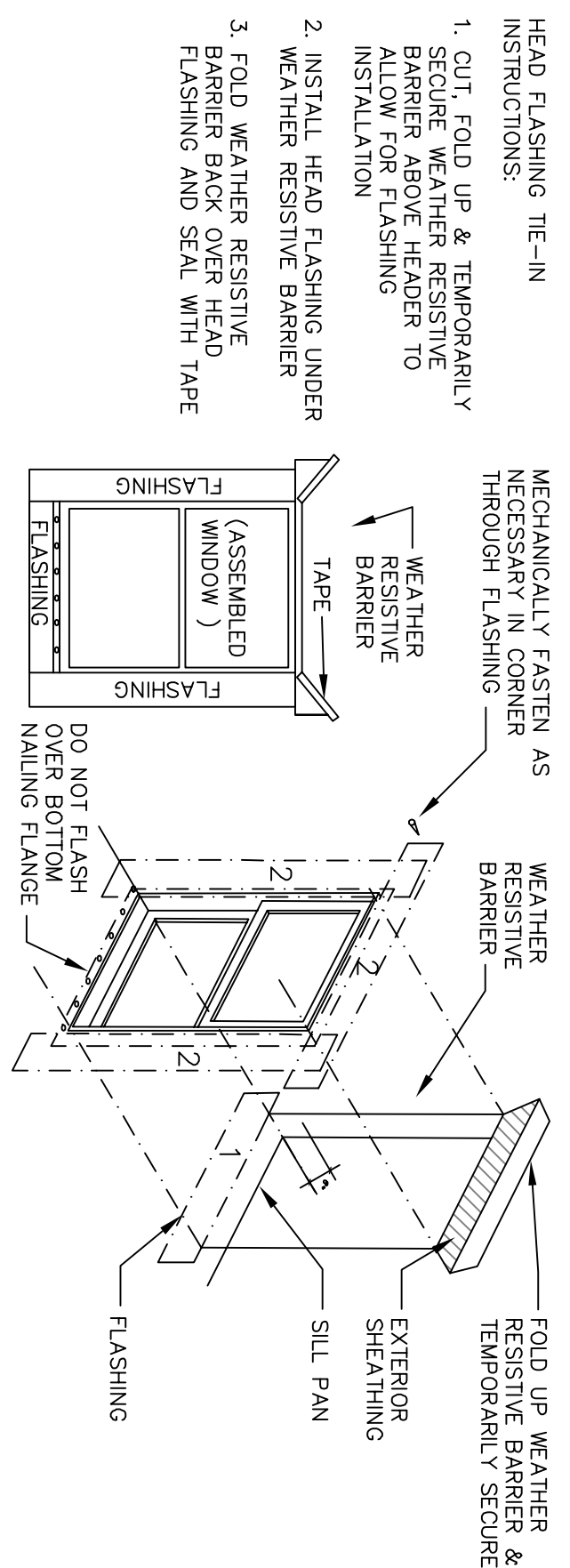
Proposed West Elevation  
1/4" Scale



Proposed East Elevation  
1/4" Scale

- NOTES:
1. FLASHING TO BE FLEXIBLE SELF-ADHESIVE TYPE (MIN. 6" WED). CONFORMING TO AAMA 711-07
  2. REMOVE WEATHER RESISTIVE BARRIER FORM TOP OF WINDOW SILL PLATE.
  3. INSTALL FLASHING IN ORDER AS SHOWN BY NUMBERS.
  4. INSTALL FLASHING AND WEATHER RESISTIVE BARRIER TO FORM WATER SHEDDING LAPPS.

WINDOWS TO BE INSTALLED PER AAMA 100-07



EXT-2  
D3 N.T.S.  
TYPICAL WINDOWS FLASHING DETAIL  
(EXT-2)

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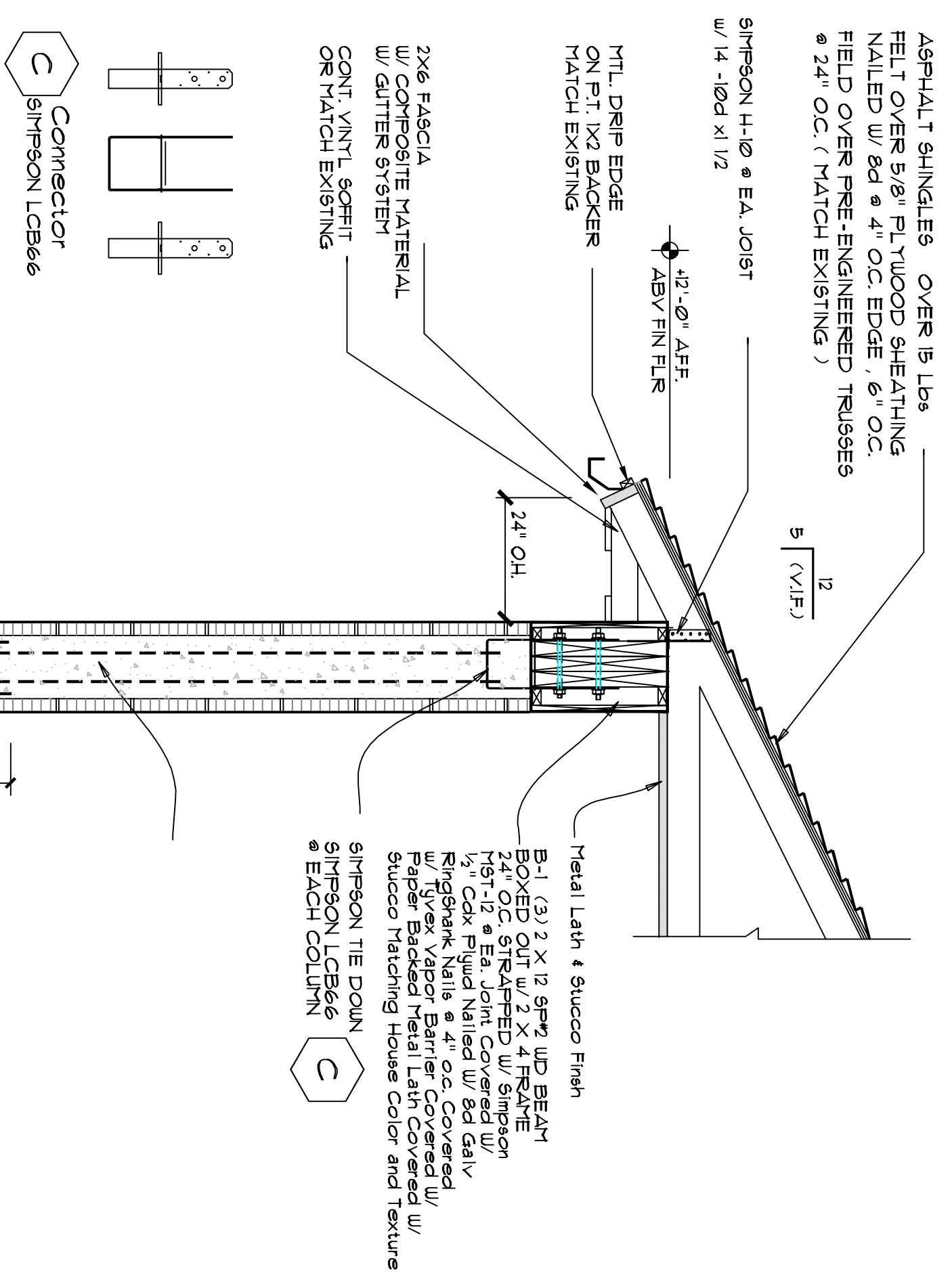
**A2**

OF

ELEVATION

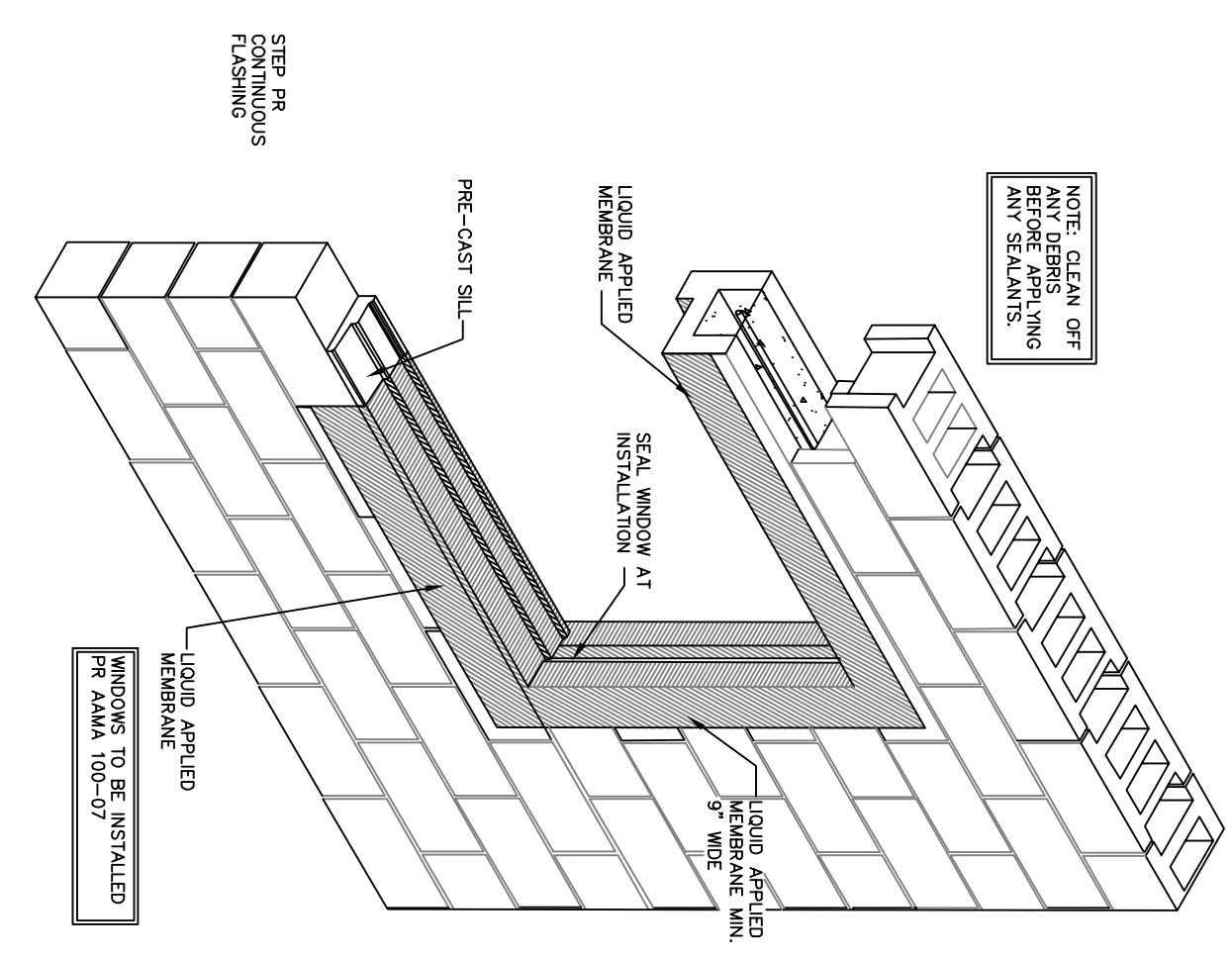
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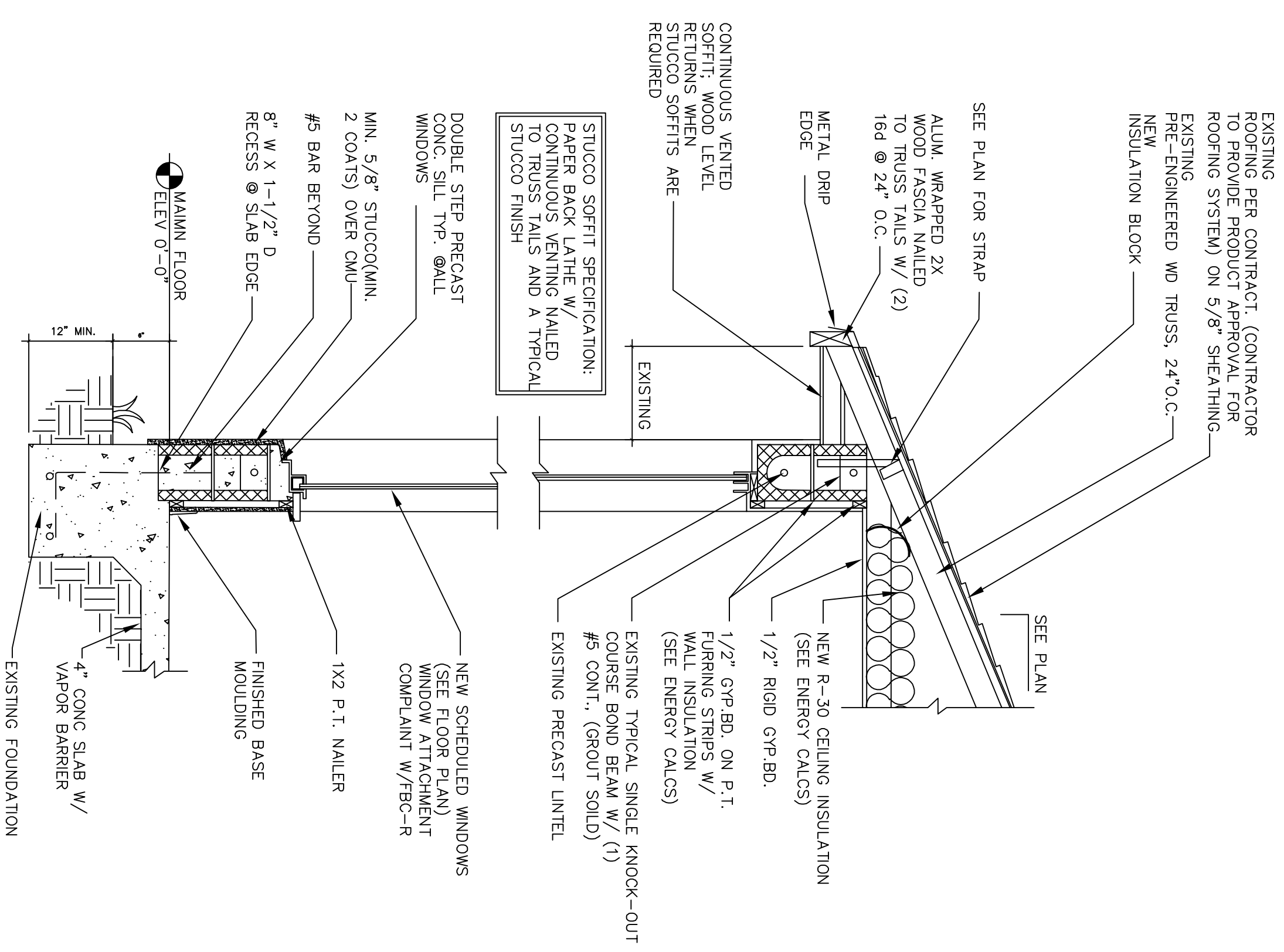


**A** Column Section  
SCALE: 1/2" = 1'-0"

Proposed West Elevation  
1/4" Scale



**EXT-4** TYPICAL CMU WINDOW FLASHING DETAIL  
D3 N.T.S.



**B** Typical Wall Section w/ Windows  
SCALE: 3/4" = 1'-0"

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REVISIONS	
SHEET	<b>A3</b>
DETAILS	
ENGINEER	

## **D1 Demo Plan - 14899 88th Place Summary**

Strategic plan for the rehabilitation project at 14899 88th Place N Lox, situated in Palm Beach County, Florida. The primary focus is on the demolition and removal of specific structural elements to facilitate a successful rehabilitation process.

The project, under the oversight of Professional Architect Jamie A. Margulies AIA, encompasses a detailed scope that includes the removal of 8" masonry construction and non-bearing framed walls. Emphasis is placed on field verification for structural elements, utility disconnection, structural shoring, and salvage tagging. Thorough verification of existing conditions, meticulous documentation, and reporting of any discrepancies to the architect are highlighted. The project also addresses the removal of plumbing, electrical, gas, and mechanical devices, with measures in place for protection, dust mitigation, and strict compliance with codes.

Project management aspects include coordination with trades, adherence to safety protocols, and preparedness for unforeseen issues. Communication updates, compliance with permits, and documentation of progress are integral components. The budget, quality standards, payment schedule, and milestones are clearly outlined. While the document underscores the importance of maintaining the existing building envelope in a watertight condition, specific methodologies are left to industry-standard practices and collaboration with professionals. Coordination with Florida Power & Light (FPL) during the installation process is advised, with detailed requirements expected to be obtained directly from the document.

The salvaging process involves tagging items during walkthroughs for identification, removal, storage, and potential reuse or distribution. Protection of existing materials, removal of components, and mitigation of dust during demolition contribute to a safe and controlled working environment.

Regulations, permits, codes, and ordinances governing the demolition and rehabilitation work are stressed, with compliance being a standard procedure. Disposal of affected building materials requires proper methods, considering environmental impact and adherence to local waste management guidelines.

The project acknowledges the need for a budget aligned with loan acquisition, taking into account average construction costs for the location. While procedures for handling unforeseen issues or changes in scope during rehab work are not explicitly outlined, clear communication and documentation are recommended for effective problem-solving and stakeholder collaboration. Addressing potential issues with neighboring properties, although not explicitly detailed, underscores the importance of proactive communication, preventive measures, coordination with local authorities, monitoring, and an emergency response plan.

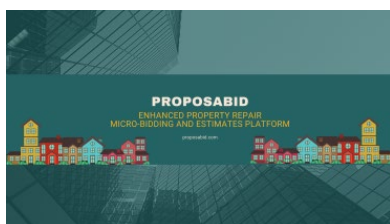
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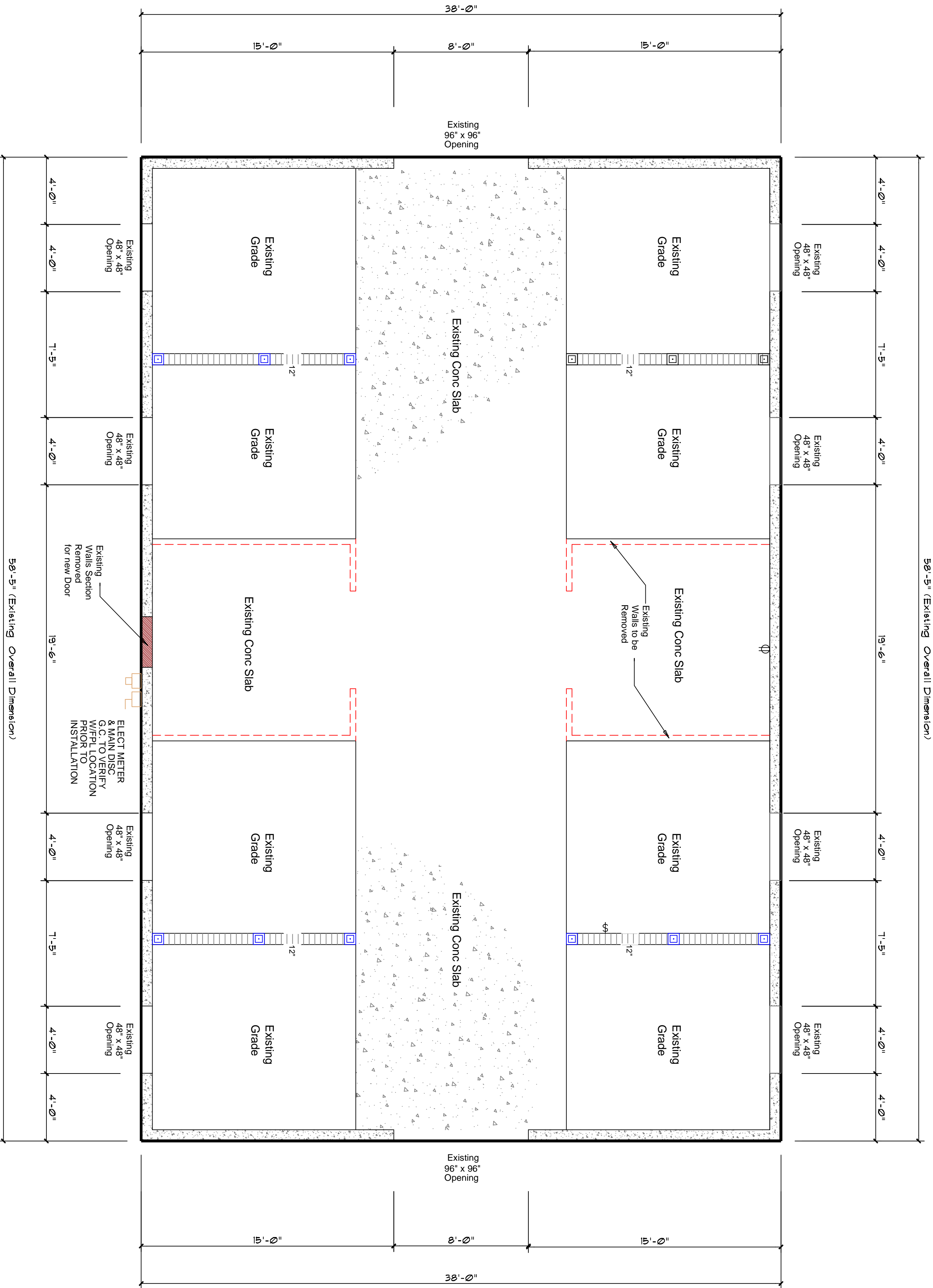
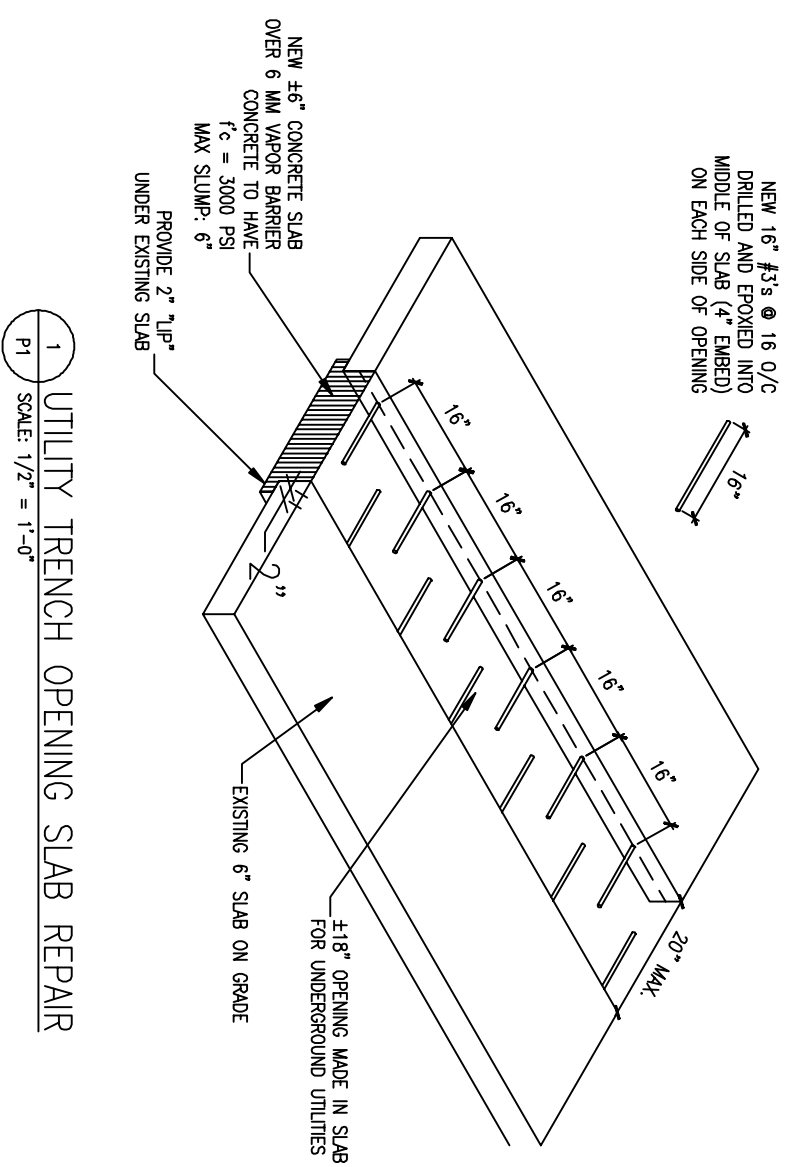


### DEMOLITION NOTES

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF ALL ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY SERVICES PRIOR TO THE COMMENCEMENT OF WORK.
2. GENERAL CONTRACTOR SHALL HAVE ALL STRUCTURAL SHORING IN PLACE AND OPERATIONS IN SUCH A MANNER TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. HE SHALL MITIGATE THE AMOUNT OF DUST RESULTING FROM DEMOLITION AND RESULTING WORK, LEAVING THE JOB SITE DAILY IN A CLEAN AND ACCEPTABLE MANNER.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS THAT ARE TO REMAIN AND REPLACE THESE DAMAGED ITEMS WHEN NECESSARY IF DAMAGED BY HIM OR HIS SUBCONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BECOME RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS AND BE RESPONSIBLE AT THE JOB SITE PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS ARE AS INDICATED. DO NOT SCALE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
5. THE GENERAL CONTRACTOR SHALL REMOVE ALL PLUMBING, ELECTRICAL, GAS, MECHANICAL DEVICES AND RELATED EQUIPMENT.
6. THE GENERAL CONTRACTOR SHALL REQUIRE PROTECTION AND CONDUCT DEMOLITION OPERATIONS IN SUCH A MANNER TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. HE SHALL MITIGATE THE AMOUNT OF DUST RESULTING FROM DEMOLITION AND RESULTING WORK, LEAVING THE JOB SITE DAILY IN A CLEAN AND ACCEPTABLE MANNER.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS THAT ARE TO REMAIN AND REPLACE THESE DAMAGED ITEMS WHEN NECESSARY IF DAMAGED BY HIM OR HIS SUBCONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION AS INDICATED FOR THE REMODELING WORK INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, HARDWARE, CEILING, STAIR, ELECTRICAL, PLUMBING, FLOOR MATERIAL, ETC.
9. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN WATER-TIGHT CONDITION AT ALL TIMES THROUGHOUT ALL PHASES OF CONSTRUCTION.
10. DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AGENCIES, INCLUDING IBC, IFC, AND OSHA.
11. REMOVE AND PROPERLY DISPOSE OF ALL AFFECTED BUILDING AFFECTED MATERIALS AND DEBRIS TO BE REMOVED TO AN APPROVED DISPOSAL FACILITY. ALL DEBRIS SHALL BE PROPERLY MANAGED AND SEPARATED FROM OTHER MATERIALS IN A SEPARATE CONTAINER ON THE PREMISES THAT DAY FOR DISPOSAL.

WALL LEGEND	
	Existing NON-BEARING FRAME CONSTRUCTION
	Existing 8" MASONRY CONSTRUCTION (Beam Height @ 11'-0" a.d.f.)
	NON-BEARING FRAMED CONSTRUCTION WALL TO BE REMOVED (Field Verify for Structural Elements)
	Existing 8" STEM WALL (With 24" Abv. Grade)

DIMENSIONS INDICATED ON WALL LEGEND ARE FOR EXISTING WALLS. ALL DIMENSIONS ARE AS INDICATED ON THE FLOOR PLANS FOR VERIFICATION



Demolition Plan  
1/4" Scale

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DATE	03-15-23
DRAWN BY	L. R. C.
CHECKED BY	AR

JOB NUMBER	2023-03
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**D1**  
Demolition  
ENGINEER

Demolition Plan  
1/4" Scale

## **E1 Electrical Plan - 14899 88th Place Summary**

The E1 Electrical Plan for the residence at 14899 88th Place N, Lox, provides detailed specifications for the electrical systems. The plan covers the placement of outlets, switches, lighting fixtures, and circuit connections to panels. It emphasizes compliance with local and national electrical codes, requiring a licensed electrical contractor to ensure high-quality work.

Key points from the plan include the use of standard-grade silent type switches at 48" A.F.F. (Above Finished Floor), separate responsibility for exhaust fan venting and roof penetrations, owner's selection of lighting fixtures, and guidelines for concurrent loads and service demand calculations. The document mandates the use of copper conductors, provides non-scaled diagrammatic drawings, and emphasizes compliance with both local and national codes.

Specific requirements include tamper-resistant receptacles in dwelling units, carbon monoxide alarms within 10 feet of sleeping areas, and interconnected smoke detectors with electric and battery backup. Ground fault interrupters (GFI) are required for specific areas, and load demand requirements must be verified with equipment nameplates. Responsibilities are clearly outlined, with the licensed electrical contractor tasked with furnishing and installing all components for a complete and acceptable electrical installation. Materials used must be new and bear the Underwriters Label (U.L.).

The plan also details specifications for circuits connected to panels, the connection of the grounding electrode conductor, feeder size, rated voltage, and the neutral bus. Security features include a keyed door for the electrical panel. The legend for the load center provides information on load types, wire types, and amperage. Load and mounting details, estimated demand load calculations, and specifications for HVAC demand load, wire types, and amperage are included. The document covers the underground service to the F.P.&L. transformer, telephone and cable television installations, and various types of switches.

Additionally, the plan includes information on the exhaust fan schedule, bathroom receptacles with GFI protection, smoke detectors/alarms with specific placement requirements, security detectors, and paddle fans with optional lights. Overall, the plan ensures compliance with safety standards, codes, and specific technical requirements for a comprehensive electrical installation.

RoDevia Brigham

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## **M1 Mechanical - 14899 88th Place Summary**

This construction project involves the installation of air conditioning accessory AHU and AC units in accordance with the FBC Residential 7th Edition 2020 with the 2022 supplement. Key requirements include the provision of drain pans with overflow shut-off switches, the elevation of mechanical equipment above elevators per Section 1612.4, and the use of PVC or DWV copper for condensate drain piping. Condensate drain lines must discharge at least one foot away from structure sidewalls.

Specific guidelines are outlined for condenser liquid and suction lines, including sizing per manufacturers' directions and the installation of refrigerant suction lines with R-4 and compliance with ASTM E96.017 and FBCR-M1411.6. HVAC controls, programmable thermostats, and additional controls for whole-home ventilation are required, with flex duct installation conforming to various standards, including SMACNA, ASHRAE, NFPA 90a/90b, FBC M603.4, and ASTM E96.017.

Insulation standards apply to ducts, including flex ducts, conforming to SMACNA, ASHRAE, NFPA 90a/90b, FBC M603.4, and ASTM E96.017. Proper installation of flex ducts without kinks or obstructions is emphasized. Sheet metal Wye is preferred over junction boxes for ducts, and the contractor is responsible for corrections if the HVAC system deviates from the design.

The owner has authority over the color of exposed air distribution devices, and gaskets are required for registers, diffusers, and grills. Return air openings must be at least 10 feet away from open combustion chambers, and return sizes should be 1.5 times the area of the supply duct. Door undercuts should be one inch, and air filters must be installed on all air return equipment. Exhaust fans, constructed of metal, must meet specified capacities and include backdraft dampers, bird screens, and safety switches. Dryer vents must be galvanized sheet metal and comply with FMC 504.6, with termination no less than 3 feet from operable openings. The project is subject to an envelope leakage test per FBC Energy Code R-402.4.1.2.

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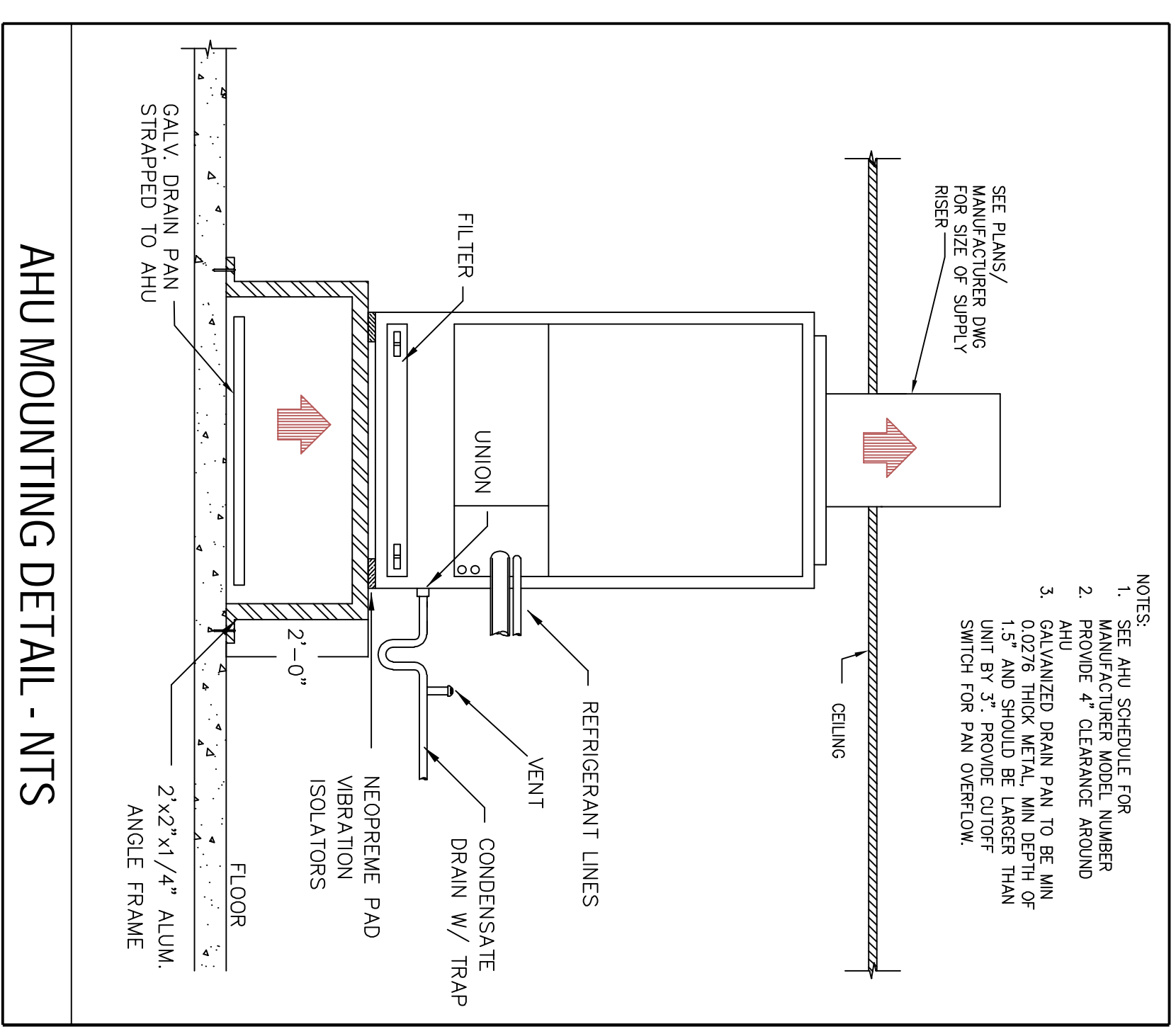
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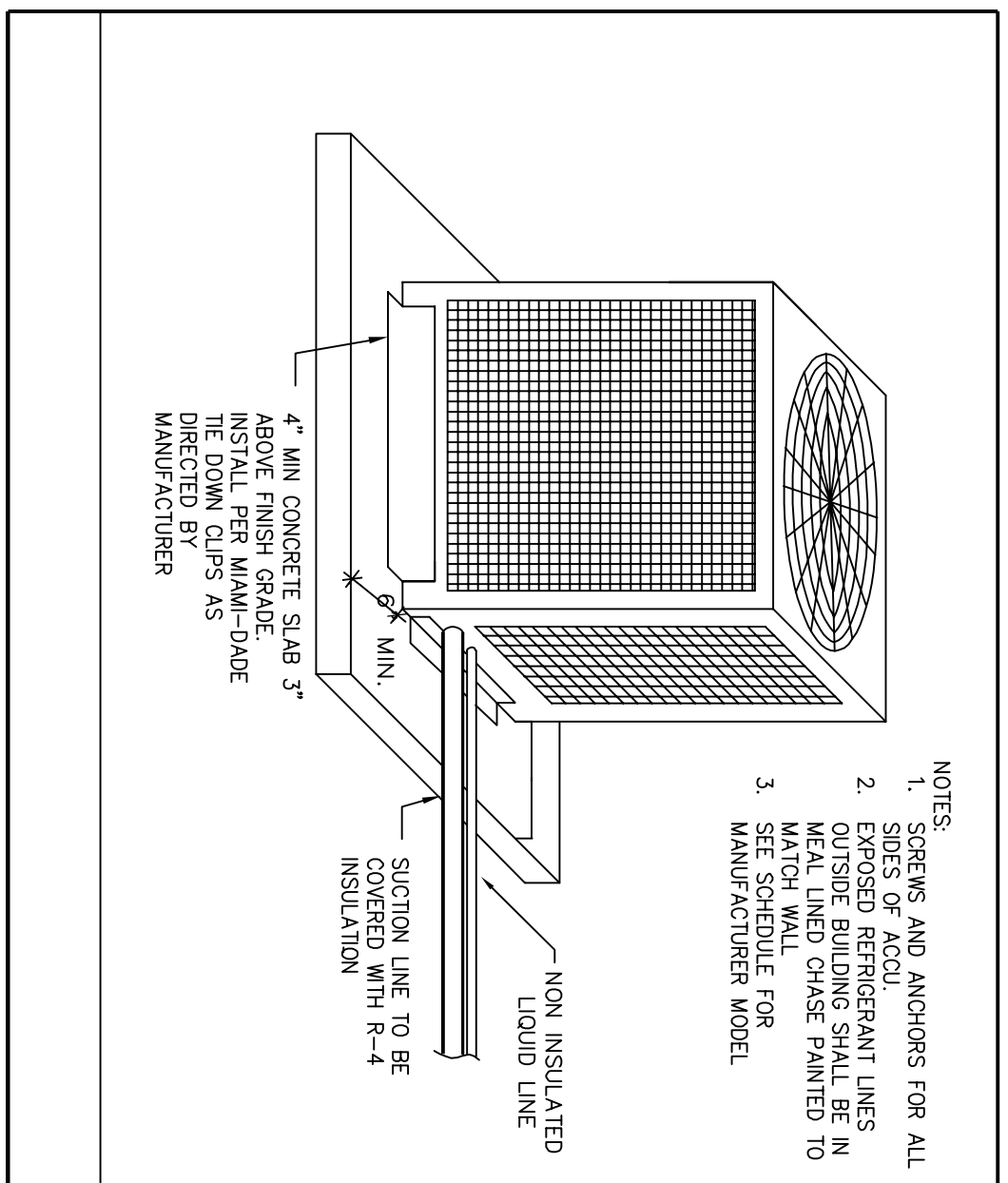




- NOTES:
1. SEE AHU SCHEDULE FOR MANUFACTURER MODEL NUMBER
  2. PROVIDE 4" CLEARANCE AROUND
  3. GALVANIZED DRAIN PAN TO BE MIN 0.0276 THICK METAL, MIN DEPTH OF 1.5" AND SHOULD BE LARGER THAN 1.5" BY 1.5" PROVIDE DRAIN SWITCH FOR PAN OVERFLOW

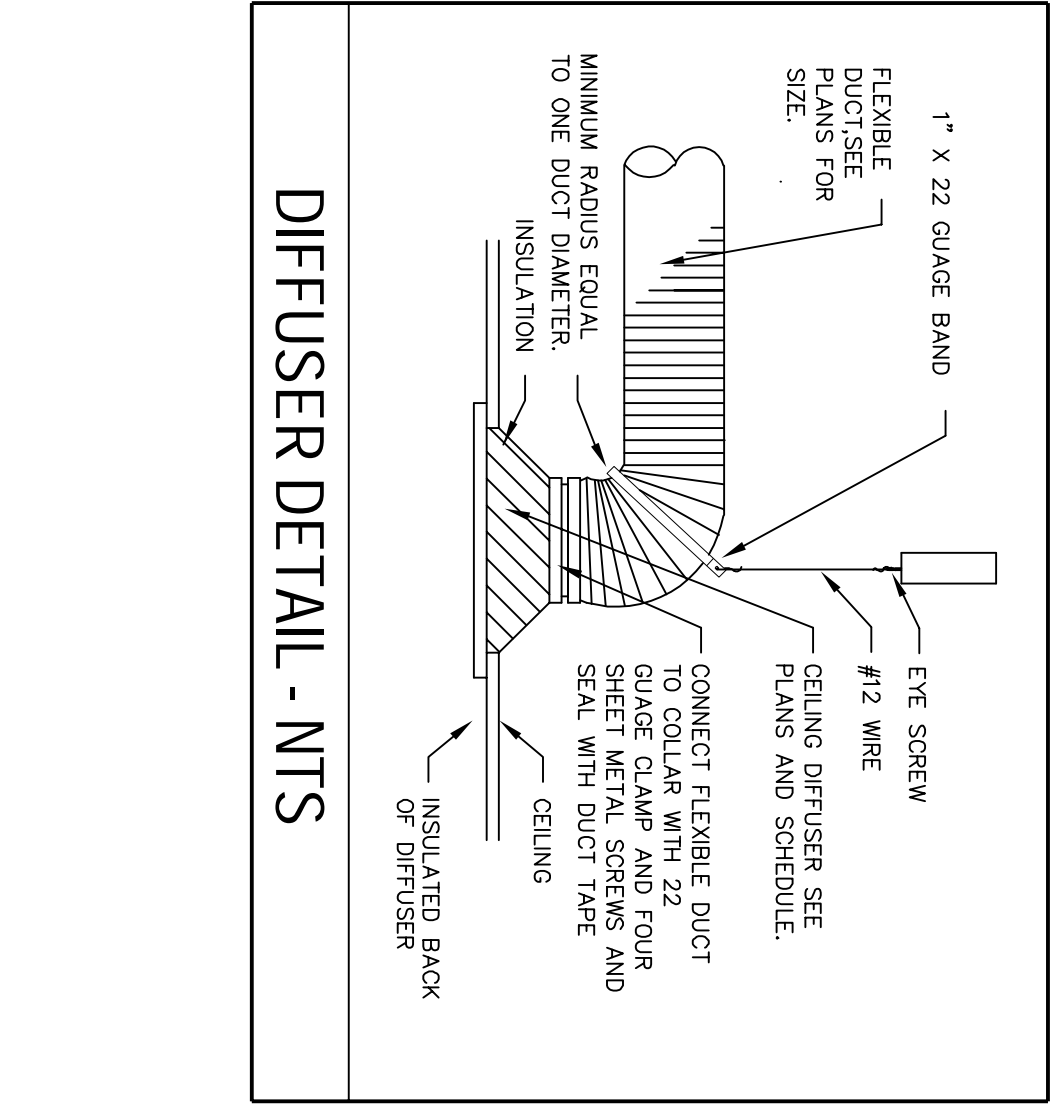


- NOTES:
1. SCREWS AND ANCHORS FOR ALL EXPOSED PERIPHERAL LINES
  2. EXPOSED PERIPHERAL LINES METAL UNED CHASE PAINTED
  3. SEE SCHEDULE FOR MANUFACTURER MODEL



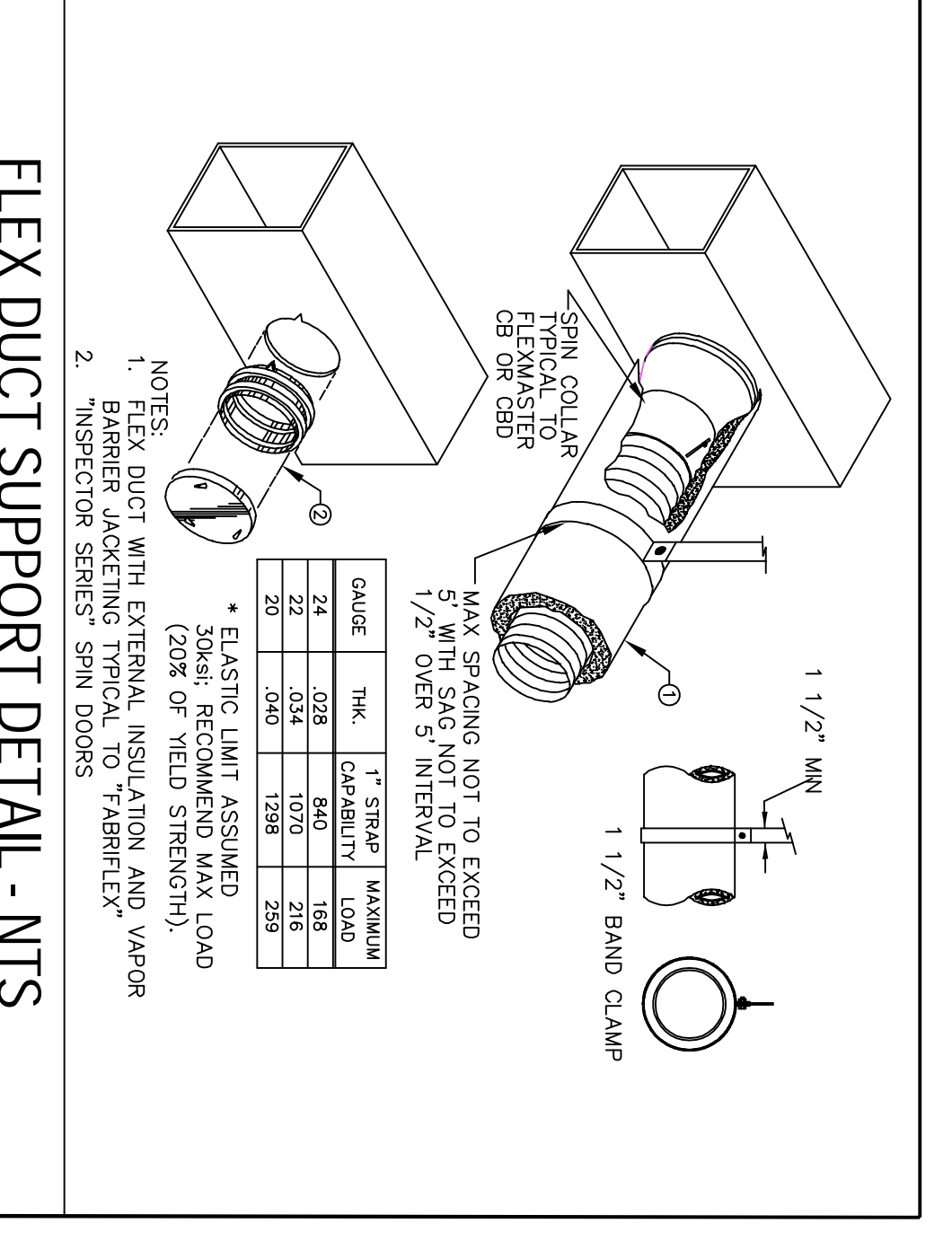
ACCU MOUNTING DETAIL - NTS

- NOTES:
1. SEE SCHEDULE FOR MANUFACTURER MODEL NUMBER
  2. PROVIDE 4" CLEARANCE AROUND
  3. GALVANIZED DRAIN PAN TO BE MIN 0.0276 THICK METAL, MIN DEPTH OF 1.5" AND SHOULD BE LARGER THAN 1.5" BY 1.5" PROVIDE DRAIN SWITCH FOR PAN OVERFLOW



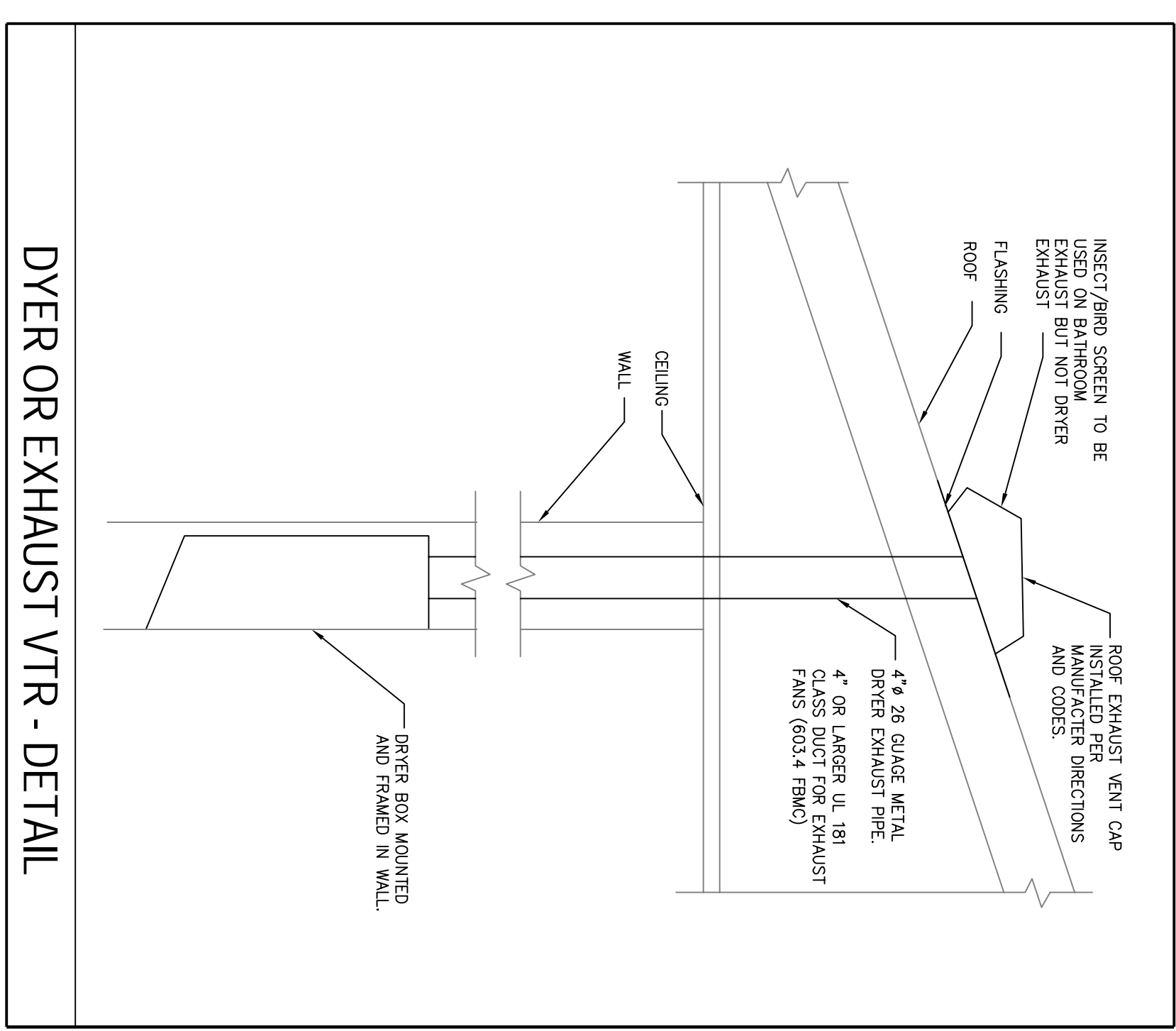
DIFFUSER DETAIL - NTS

GAUGE	THK.	1" STRAP CAPABILITY	MAXIMUM LOAD
24	.028	640	188
22	.035	800	238
20	.040	1288	259



FLEX DUCT SUPPORT DETAIL - NTS

FAN SCHEDULE	
UNIT NUMBER	EF-1
AREA SERVED	BATHROOM
LOCATION	CEILING
FAN TYPE	CEILING EXHAUST
AIR QUANTITY	CFM 50
TOTAL STATIC PRESSURE	H2O 0.250
OPENING REQUIRED	DUCT SIZE 4"
ELECTRICAL CHARACTERISTICS	V/ø/HZ 115/1/60
MANUFACTURER	GREENHECK
MODEL NUMBER	SP-5
WEIGHT	LBS 5
INTERLOCK	EXHAUST FANS TO LIGHT SWITCH



DYER OR EXHAUST VTR - DETAIL

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DATE	03-15-23
DRAWN BY	L. R. C.
CHECKED BY	AR

REVISIONS

**M2**

SHEET

**MECHANICAL**

ENGINEER

JOB NUMBER 2023-03

DATE 03-15-23

DRAWN BY L. R. C.

CHECKED BY AR



## **P1 Plumbing - 14899 88th Place Summary**

### Water Heater Data:

- U.S. Gallons: 50
- Input: 4.5 KW
- Manufacturer: A.O. SMITH
- Model No.: PROMAX - ECT-52 or Equal
- Electrical: 240-1-60
- Efficiency: 0.91
- Energy: E.W.H.

#####

### Installation Information:

- The document includes a floor plan showing the routing for CW (Cold Water) and HW (Hot Water) service.
- Indicates the placement of a 3/4" heat trap and a 1/2" heat trap with a minimum 3" distance, positioned 1" below the top of the tank.
- Mentions the ASME rated pressure/relief valve and specifies the temperature (P & T) requirements.

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## Water Demand Schedule

MAXIMUM CONSUMPTION WILL NOT EXCEED FLOW RATED PER TABLE P 29032

F29032 MAXIMUM FLOW AND WATER CONSUMPTION, THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES AND FIXTURES FITTINGS SHALL BE IN ACCORDANCE WITH TABLE F29032

TABLE F29032  
MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES AND FIXTURE FITTINGS AND APPLIANCES

PLUMBING FIXTURES OR FIXTURE FITTING

LAVATORY FAUCET 1.5 GPM AT 60 PSI

SHOWER HEAD 2.0 GPM AT 80 PSI

SINK FAUCET 2.2 GPM AT 60 PSI

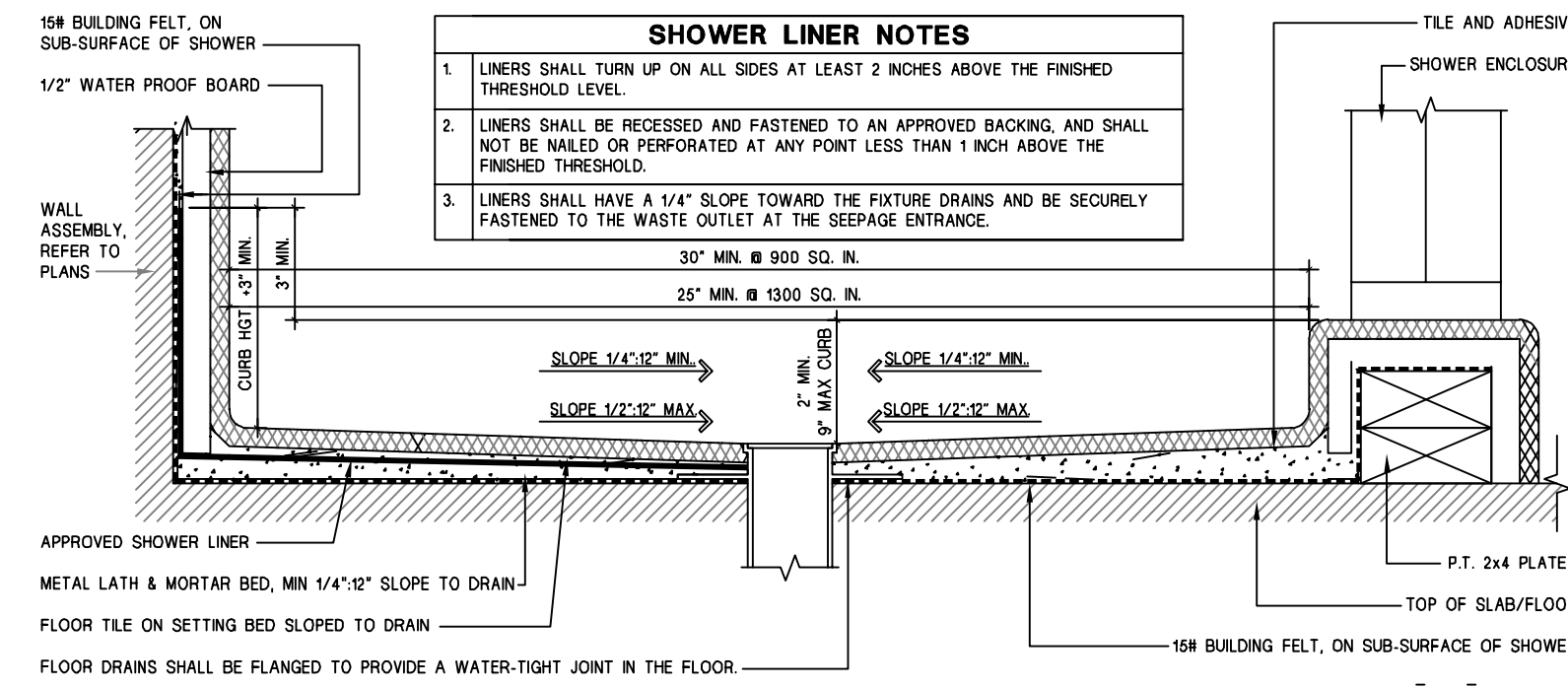
WATER CLOSET 120 Gal. Per Flushing Cycle

DISHWASHER ( Residential ) 6.5 GAL. PER CYCLE OR LESS ( ENERGY STAR/WATER SENSE CERTIFIED )

WASHING MACHINE WATER FACTOR OF 8 OR LOWER ( ENERGY STAR/ WATER SENSE CERTIFIED ) ( C )

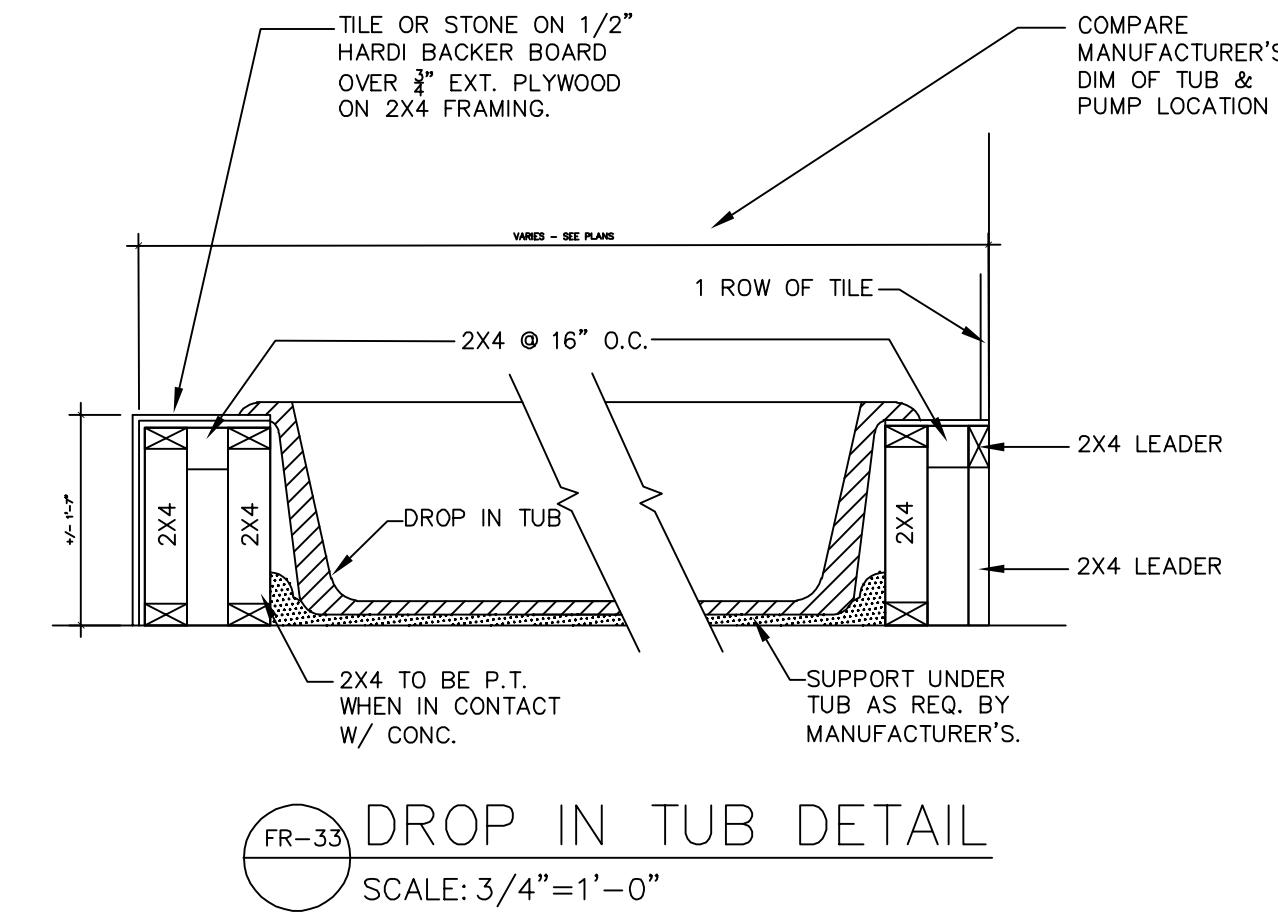
FOR 91: 1 Gallon per minute = 3.785 L/m  
1 Gallon per Square inch = 6.89 kPa

- A handheld shower spray is also a shower head.
- Consumption tolerance shall be determined from reference standard.
- Water factor in gallons per cycle per cubic ft. Exception: All fixtures fittings and Appliances with US Environmental Agency Water Sense ( EPA ) label



## New Shower Detail

SCALE 1/2" = 1'-0"



## PLUMBING NOTES

- ALL CLEANOUTS UP TO GRADE.
- NO VENT STACKS SHALL PASS THROUGH ROOF CRICKETS OR VALLEYS.
- SIZE & LOCATION OF CLEANOUTS BY CONTRACTOR.
- FIXTURE SUPPLY SIZES SHALL CONFORM PLUMBING SECTION OF THE "FLORIDA BUILDING CODE" 2020 ED
- STORM WATER DISPOSAL SHALL BE PITCHED TO GUTTER.
- ALL WATER CLOSETS SHALL BE WASTE PIPED W/ 3" DIAMETER LINES.
- SEE GENERAL NOTES (SHT A-1) FOR FURTHER PLUMBING INFORMATION.
- APPLY ICYNENE INSULATION ON ALL VERTICAL PLUMBING STACKS.

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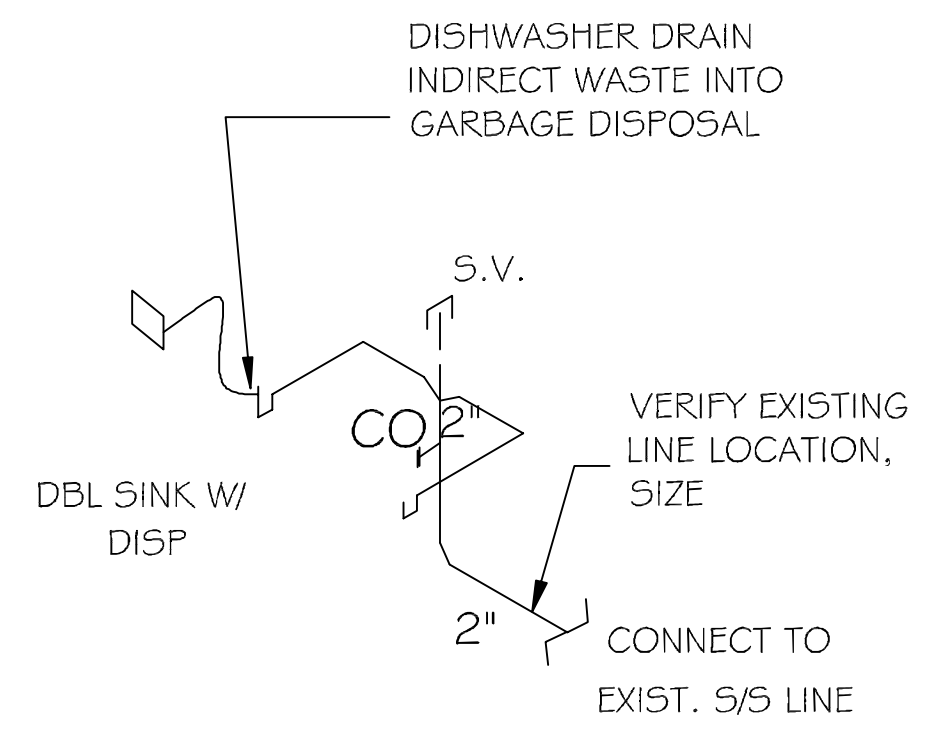
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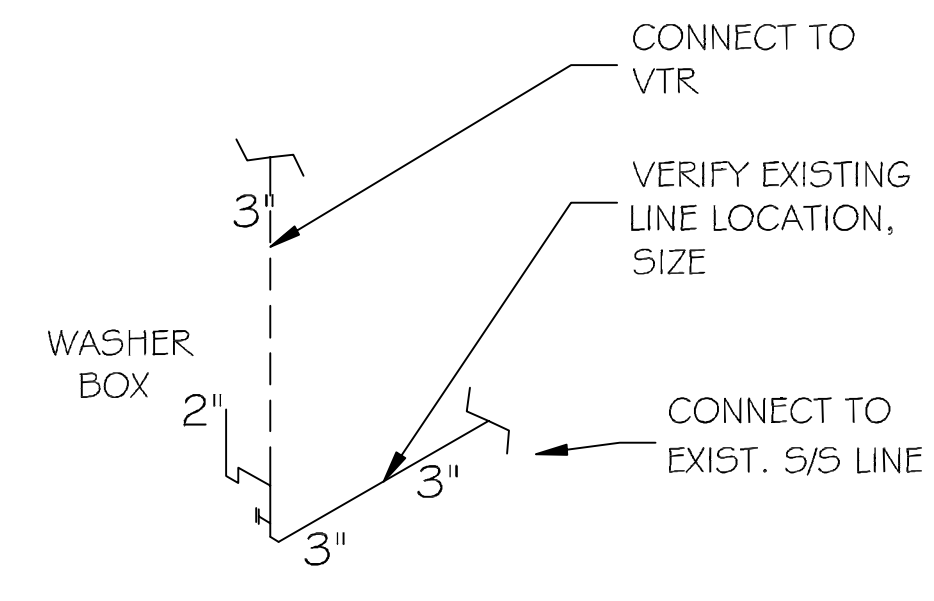
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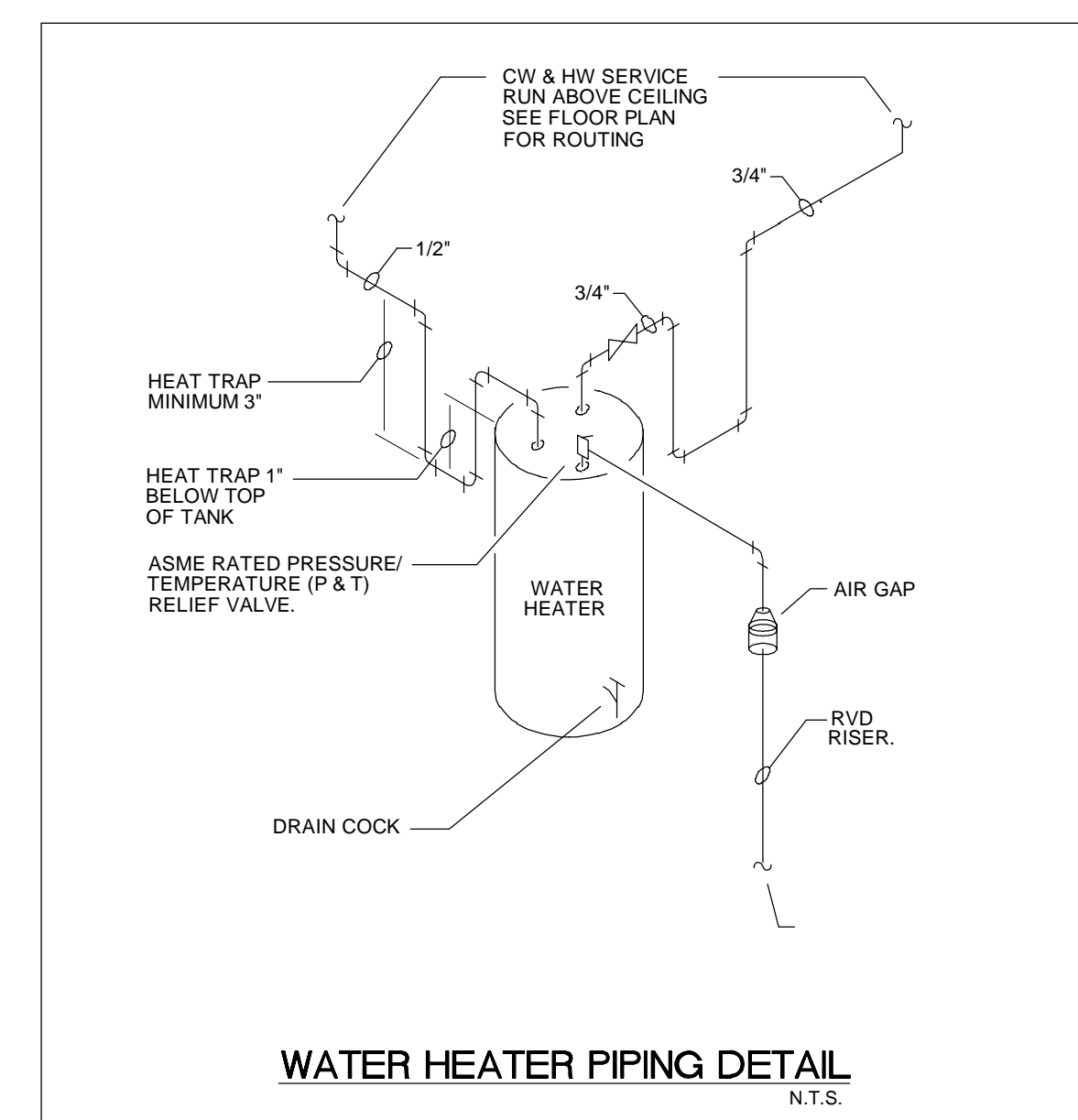
REMODELED KITCHEN  
New Island



REMODELED LAUNDRY

## DRAIN / WASTE LINE SLOPE NOTE

- VERIFY EXISTING PIPE SIZE / SLOPE & CONFORM TO THE FOLLOWING FOR BUILDING DRAINS: FBC-RESIDENTIAL 2020 TABLE P3005.4.2 FOR MAX. NO. OF DFU ALLOWED TO BE CONN. TO THE BLDG. DRAIN, DRAIN BRANCHES, OR THE BUILDING SEWER:  
3" @ 1/8" Per 36 DFU & 42 DFU FOR 1/4" PER FT.  
2" @ 1/8" Per 180 DFU & 216 DFU FOR 1/4" PER FT.



WATER HEATER PIPING DETAIL  
N.T.S.

WATER HEATER DATA					
MARK	Storage in U.S. Gal.	Input	Manufacturer Model No.	Electrical Data	Energy Efficiency
E.W.H.	50	4.5 KW	A.O. SMITH PROMAX - ECT-52 OR Equal	240-1-60	0.91

JOB NUMBER	2023-03
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### REVISIONS

NO.	DESCRIPTION

### SHEET

**P1**

OF

### Plumbing Plan

ENGINEER

## **S1 Foundation Plan - 14899 88th Place Summary**

The document provides detailed information about the S1 Foundation Plan for the property located at 14899 88th Place. The existing construction consists of an 8" masonry construction with specific details on stem walls, footers, and concrete edges. Field verification is emphasized for structural elements, particularly non-bearing framed walls. The construction involves poured concrete sills, a 4" thick, 3,000 P.S.I. concrete slab with reinforcing details, vapor barrier requirements, and coordination with architectural drawings.

Key points include the use of #5 vertical reinforcing bars, specifications for their placement, and a rational analysis for soil bearing capacity. The document outlines precautions for termite prevention, coordination for raised slabs with flooring materials, and specific details for rebar splices. Verification steps for door and window rough openings, dimensions of existing stem walls, and the importance of isolation joints between interior and exterior slabs are highlighted.

Details about the poured concrete sill, reinforcing specifications, and spacing/role of stirrups are provided. Foundation notes specify the type of concrete for the floor, required strength, vapor barrier, and precautions for water-cement ratio in exposed concrete. Column and footing centerlines are related to the finished slab elevation, and elevation references advise consulting the survey plot for NGVD information. The coordination of steps, slopes, and slab elevations with architectural drawings is emphasized.

The document also emphasizes the significance of the #5 vertical reinforcing bar, proper connection of rebar ends to the foundation, and a rational analysis for allowable soil bearing capacity. Continuous reinforcement around corners and the addition of a corner bar are specified. Treatment for subterranean termites and coordination for raised slabs with flooring material are addressed. Minimum requirements for rebar splices in terms of length are outlined to ensure continuous reinforcement.

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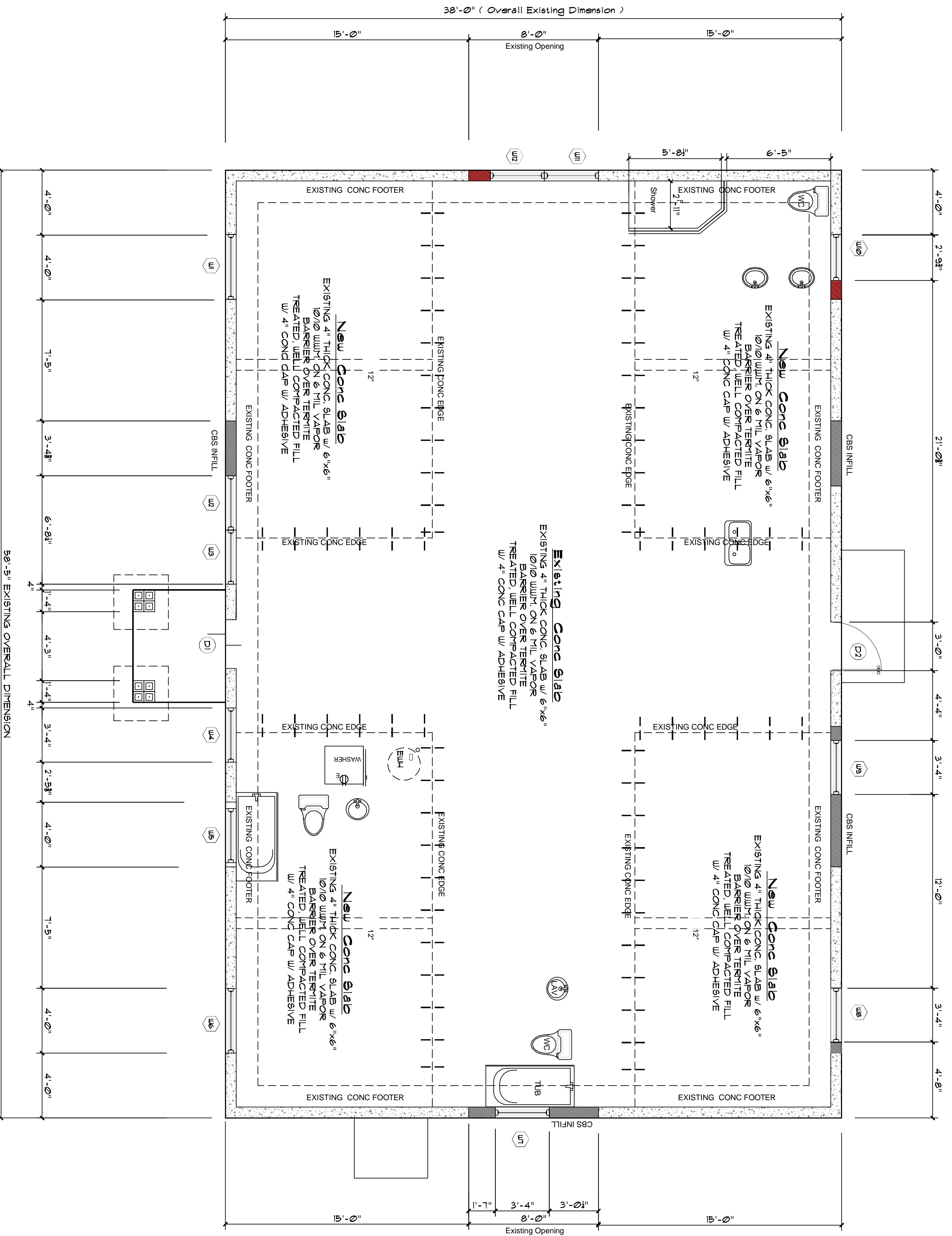
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WALL LEGEND	
	New NON-BEARING FRAME CONSTRUCTION
	EXISTING 8" MASONRY CONSTRUCTION (Barrist Height @ 11'-0" x 11')
	NON-BEARING FRAMED CONSTRUCTION WALL TO BE REMOVED (Field Verify for Structural Elements)
	EXISTING 8" STEM WALL (With 24" Adv. Grade)

DIMENSIONS INDICATED ON WALL LEGEND ARE FOR GENERAL SIZING PURPOSES. ALL WALL THICKNESS CONSTRUCTION SHALL BE VERIFIED ON THE FLOOR PLANS FOR VERIFICATION.



**Foundation Plan**  
1/4" Scale

WINDOW/DOOR ROUGH OPENINGS REQUIRE VERIFICATION BY THE CONTRACTOR PRIOR TO BUILDING. ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND WINDOW /DOOR SUPPLIER DATA.

CONTRACTOR TO VERIFY ALL SETBACKS DIMENSIONS AND LOCATIONS PRIOR TO CONSTRUCTION AND TO VERIFY ALL FLOOR AND GRADE ELEVATIONS.

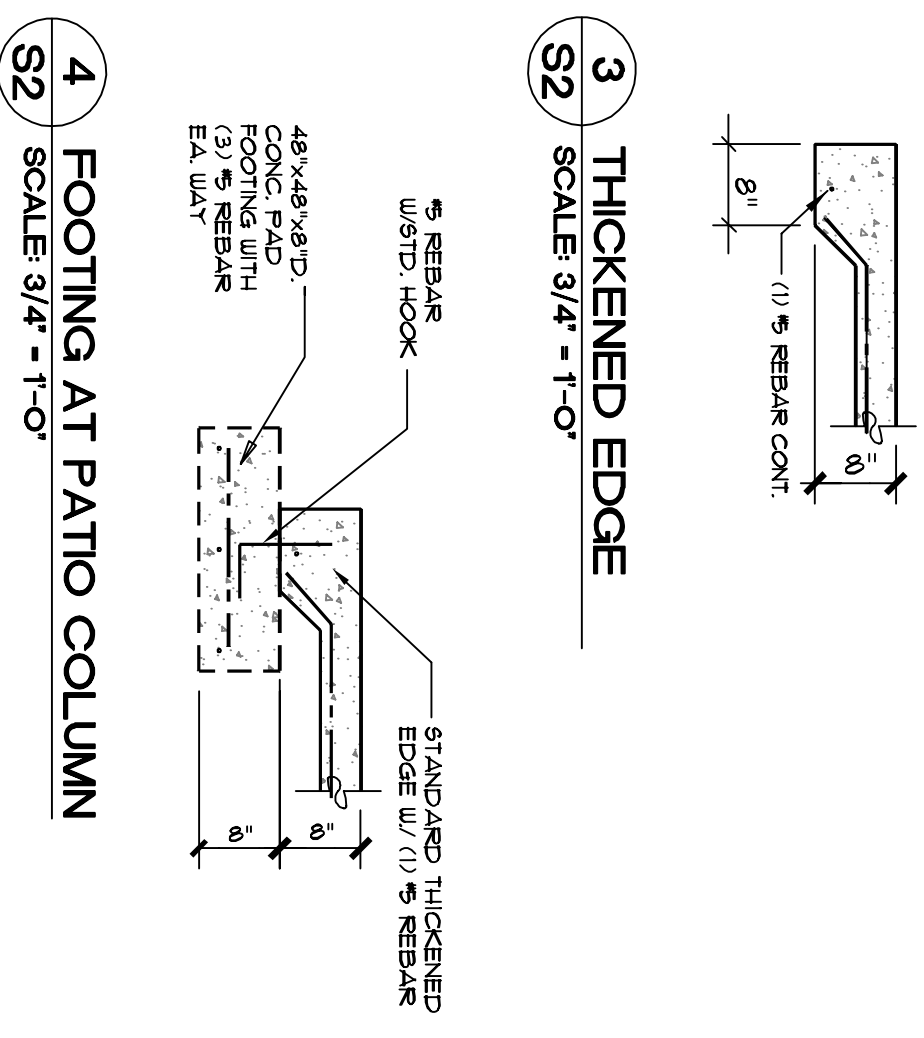
NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, OR OTHERWISE REDUCED IN STRENGTH WITHOUT CONSULTING ENGINEER OF RECORD.

REPORT ANY DISCREPANCIES TO ARCHITECT/ENGINEER IMMEDIATELY

NOTE: REFER TO OTHER ARCHITECTURALS FOR ADDITIONAL DIMENSIONS & INFORMATION.

DOOR AND WINDOW ROUGH OPENINGS REQUIRE VERIFICATION BY THE CONTRACTOR PRIOR TO BUILDING. ARCHITECT/ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND WINDOW / DOOR SUPPLIER DATA

WINDOW SILL SCHEDULE					
MARK	DESCR.	SIZE W X H	REINFORCING TOP MIDDLE BOTTOM	STIRRUPS #3 @ 8" O.C.	NOTES
WS-1	CONC.	8'x12"	(2) #5	(2) #5	POURED CONCRETE SILL
WS-2	PCL	8'x16"	(1) #6	(1) #6	(2) COURSES PCL W/ (1) #6 PER COURSE
WS-3	PCL	8'x8"	(1) #5	-	(1) COURSE PCL W/ (1) #5



**FOUNDATION NOTES**

- FLOOR SHALL BE 4" THICK 3,000 P.S.I. CONCRETE SLAB WITH 6x6 W/1.4M W/1.4 MM OVER 6 MIL VAPOR BARRIER ON COMPACTED TREATED FILL. (MAX WATER CEMENT RATIO OF 0.4 FOR ALL EXPOSED CONC.)
- TOP OF FINISHED SLAB SHALL BE 0'-0"
- COLUMN AND FOOTING CENTERLINES, SHALL COINCIDE UNLESS DIMENSIONED OTHERWISE.
- REFERENCE ELEVATION +0'-0". SEE SURVEY PLOT FOR NGVD.
- PROVIDE ISOLATION JOINTS BETWEEN INTERIOR AND EXTERIOR SLABS ON GRADE: PROVIDE 1/2" FELT PAPER AT THE JOINT.
- COORDINATE SLAB ELEVATIONS, STEPS, AND SLOPES WITH ARCHITECTURAL DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR THE ORIENTATION OF THE BUILDING.
- WINDOWS, DOORS AND ROUGH OPENINGS ARE TO BE COORDINATED WITH THE WINDOW/DOOR TYPES AND LOCATIONS NOTED ON THE ARCHITECTURAL DRAWINGS AND WITH THE MANUFACTURERS SPECIFICATIONS.
- SEE ARCHITECTURAL DRAWINGS FOR WALKWAY SLAB LAYOUT.
- INDICATES #5 VERTICAL REINFORCING BAR, U.N.O. IN CELLS FILLED WITH GROUT ENDS OF REBARS SHALL BE HOOKED INTO FOUNDATION, BOND BEAM OR THE BEAMS WITH AN ACI STANDARD 90 DEG. HOOK.
- REBARS SHALL BE PLACED AS SHOWN IN THE PLANS. SEE COLUMN SCHEDULE FOR MORE INFORMATION.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS (#5 = 30", #7 = 42"), AND REINFORCING SHALL BE CONTINUOUS.
- RATIONAL ANALYSIS WAS PERFORMED TO DETERMINE THE STEEL REINFORCING ALLOWABLE SOIL BEARING CAPACITY OF 2,500 PSF.
- REINFORCING FOR FOUNDATION SHALL BE CONTINUOUS AROUND CORNERS AND CHANGES OF DIRECTION WITH THE ADDITION OF A CORNER BAR 30" PROVIDE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHOULD BE IN ACCORDANCE WITH THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- COORDINATE RAISED SLAB FOR FLOORING MATERIAL WITH ARCH.
- SEE GENERAL MASONRY NOTES ON SHEET SD-1 FOR UNIT MASONRY DESIGN NOTES AND SPECIAL INSPECTOR NOTES.

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CHECKED BY	AR

REVISIONS	

SHEET  
**S1**

FOUNDATION  
ENGINEER























14899

14899 88TH  
PL N

14900 8  
PL N



14899

14899 88TH  
PLN

88th Place North

























