



# 285 Home Inspection Services LLC

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Inspected By: Mike Rothstein



## Home Inspection Report

Prepared For:

**Dore Huss**

Property Address:

**27295 Spruce Lane**

**Evergreen, CO 80439**

Inspected on Fri, May 3 2019 at 4:24 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

#### DEFINITION OF CONDITION TERMS

**Satisfactory:** At the time of inspection the component is functional without observed signs of a substantial defect.

**Marginal:** At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

**Repair or Replace:** At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

**Further Evaluation:** The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

## General

Property Type:	Single Family
Stories:	One
Approximate Age:	1927
Age Based On:	Sellers Disclosure
Bedrooms/Baths:	2 Bedroom/2 Bathroom
Door Faces:	South
Furnished:	No
Occupied:	Yes
Weather:	Sunny
Temperature:	Warm
Soil Condition:	Dry
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client, Buyer's Agent

## Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading: Sloped Toward Structure  
Condition: Satisfactory





(Site continued)

Vegetation:

Growing Against Structure  
Condition: Marginal



Comment 1:

Generally the pine trees surrounding the property are in good condition and limbed up properly, however there are some locations were indicated in the photographs where the large spruce tree should continue to be trimmed in order to address future fire mitigation concerns.

Driveway:

Gravel

Condition: Satisfactory

Walkways:

Gravel, Stepping Stones

Condition: Satisfactory

(Site continued)

Patios/Decks:

Wood

Condition: Marginal



Comment 2:

The handrails for the deck leading up to the property on the north side are a bit loose and could use some reinforcement. Nothing major was found with regard to the deck.



# Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:

Stucco, Wood Tongue and Groove

Condition: Satisfactory



Exterior Trim Material:

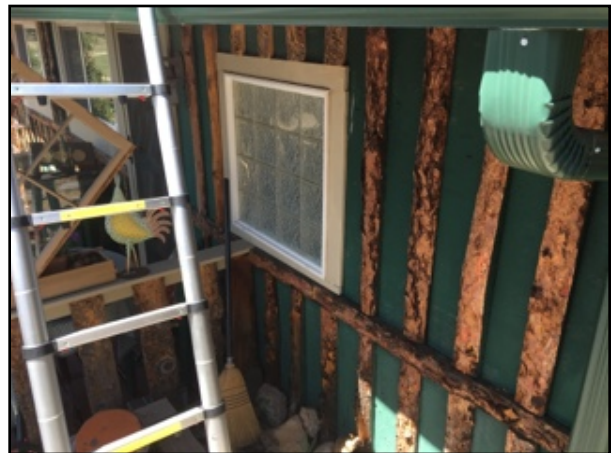
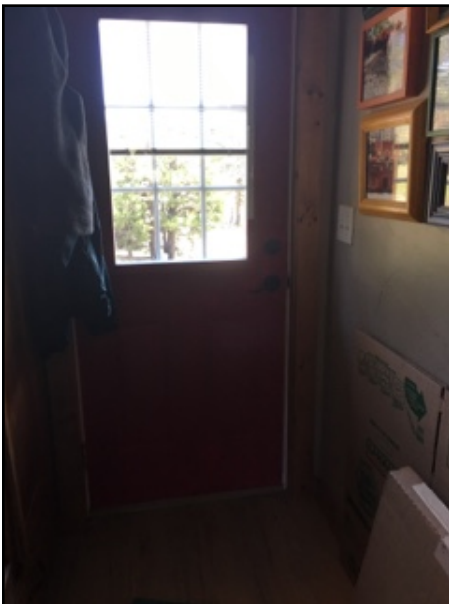
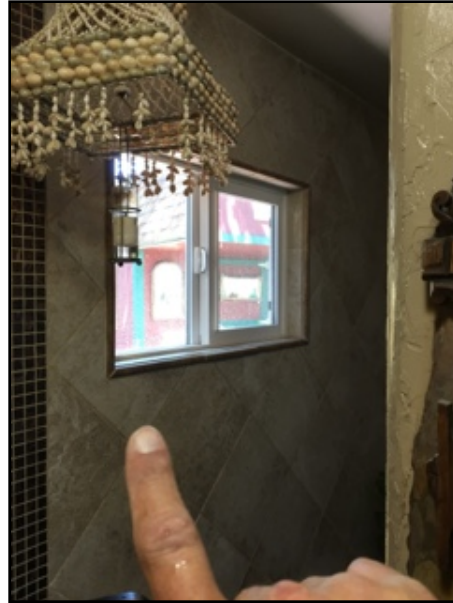
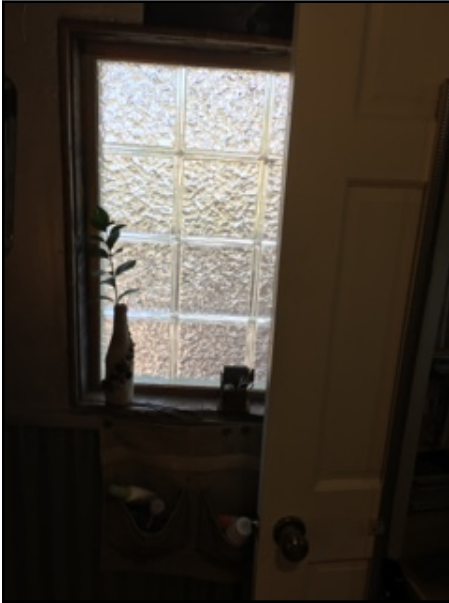
Wood

Condition: Satisfactory

(Exterior continued)

Windows:

Wood, Vinyl  
Condition: Satisfactory





(Exterior continued)



Entry Doors:

Wood, Fiberglass

Condition: Satisfactory

Railings:

Wood

Condition: Marginal

## Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:

Walked Roof/Arms Length

(Roofing continued)





(Roofing continued)



**Comment 3:**

The roof at this property is a combination of three tab asphalt shingle and modified bitumen flat roofing. The roof appears to be reaching the end of its effective life and should be further evaluated by a competent roofing company.

Roof Design:

Gable

Roof Covering:

3 Tab Shingle, Roll Roofing

Condition: Marginal

Approximate Roof Age:

7-10 years old



(Roofing continued)

Ventilation Present:

Ridge Vents  
Condition: Satisfactory



Vent Stacks:

Metal  
Condition: Satisfactory

(Roofing continued)

Chimney :

Masonry  
Condition: Satisfactory



Sky Lights:

Yes  
Condition: Satisfactory



(Roofing continued)



Flashings:

Metal

Condition: Marginal

Soffit and Fascia:

Wood

Condition: Satisfactory

Gutters & Downspouts:

Metal

Condition: Marginal





(Roofing continued)



Comment 4:

As water is not helpful to a foundation it is always recommended that downspouts be extended away from the property a minimum of 5 to 7 feet this is easily accomplished by adding an extension. This property does need extension tubes added to the downspouts.

## Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:

Crawl Space



Foundation Material:

Poured Concrete

Condition: Satisfactory

Signs of Water Penetration:

Moisture

Condition: Satisfactory

(Structure continued)

Floor Structure:

Wood Frame  
Condition: Satisfactory



Subflooring:

Plywood  
Condition: Satisfactory

Wall Structure:

Wood Frame  
Condition: Satisfactory

(Structure continued)

# Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method:

Inside





(Crawlspace continued)



Vapor Retarder:

Installed

Ventilation Present:

Condition: Satisfactory

Yes

Moisture Condition:

Condition: Satisfactory

Dry

Condition: Satisfactory

## Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

(Electrical continued)

Type of Service:

Overhead



Comment 5:

Although not an immediate problem the height between the power connection to the mast and the top of the roof is less than 3 feet which could be a problem when there is a high snow amount.

Main Disconnect Location:

Service Panel

(Electrical continued)

Service Panel Location:

Interior



Service Panel Manufacturer:

General Electric

Condition: Satisfactory



(Electrical continued)

Service Line Material:

Not Inspected



Service Voltage:

240 volts

Service Amperage:

125 amps

Service Panel Ground:

Unknown Not Visible

Branch Circuit Wiring:

Not Inspected

Overcurrent Protection:

Breakers

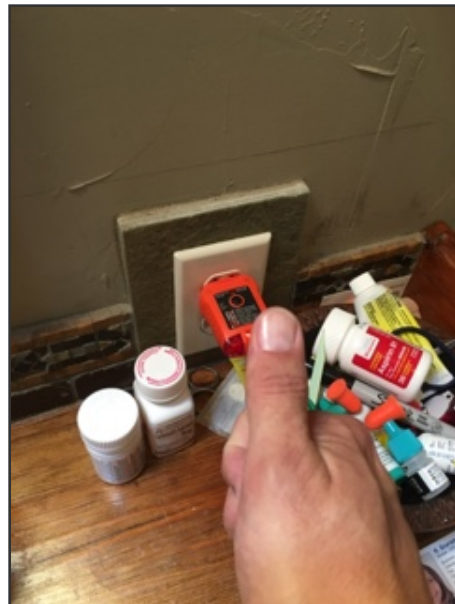
Condition: Satisfactory

GFCI/AFCI Breakers:

Yes

Condition: Marginal

(Electrical continued)



(Electrical continued)



Comment 6:

The three locations in the house where GFCI should be in place are the bathroom near any water sources and in the kitchen. As indicated in the photograph both bathrooms have GFCI outlets that work properly. The kitchen to the left of the main sink location does not have GFCI connection and should be further evaluated by a licensed electrician.

Smoke Detectors:

9 volt Battery Type

Condition: Satisfactory



Comment 7:

Portions of the electrical were not inspected due to panel access was blocked by bookcases.





(HVAC continued)

Thermostat:

Programmable  
Condition: Marginal



Comment 9:

In addition to the heater not functioning properly during the inspection it is noted that there is a ventilation pipe running directly through the closet on the main floor this should be addressed by a licensed HVAC professional to determine if this pipe should be enclosed or insulated.



Figure 9-1



Figure 9-2

(HVAC continued)



Figure 9-3



Figure 9-4

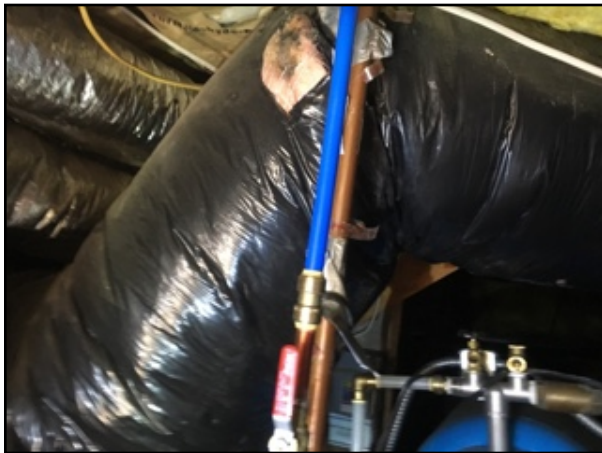


Figure 9-5



(HVAC continued)

## Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Crawlspace
Type of Equipment:	Forced Air
	Condition: Further Evaluation Required
Manufacturer:	Ruud
Heating Fuel:	Gas
	Condition: Further Evaluation Required
Approximate Age:	1997 per label
Filter Type:	Disposable
	Condition: Marginal
Type of Distribution:	Metal Ducting
	Condition: Satisfactory

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

## Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

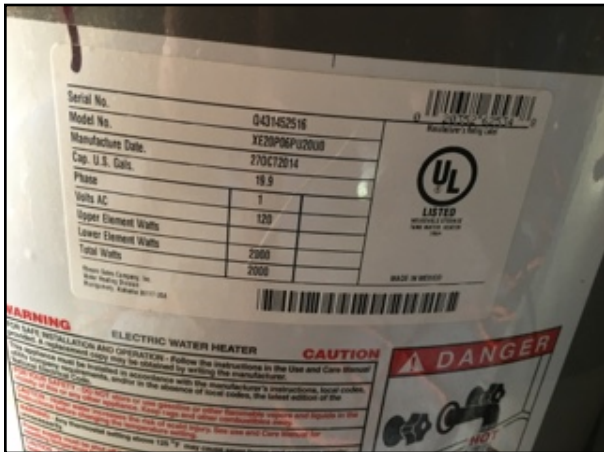
Water Service: Well System

(Plumbing continued)

Supply Pipe Material:

Copper

Condition: Satisfactory



Location of Main Water Shutoff:

Crawlspace

(Plumbing continued)

Sewer System:

Septic System



Waste Pipe Material:

PVC

Condition: Satisfactory

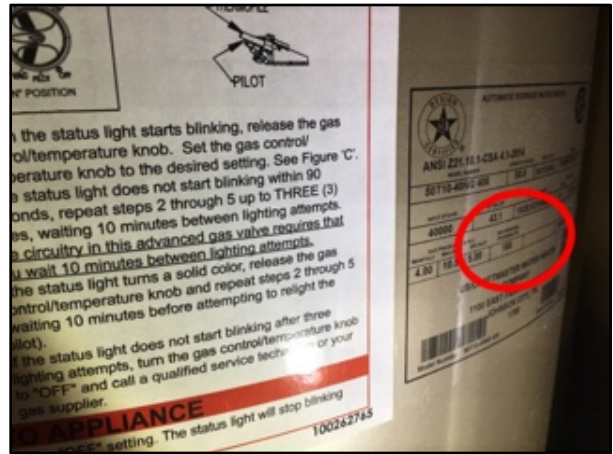
Location of Fuel Shutoff:

At Meter

## Water Heater

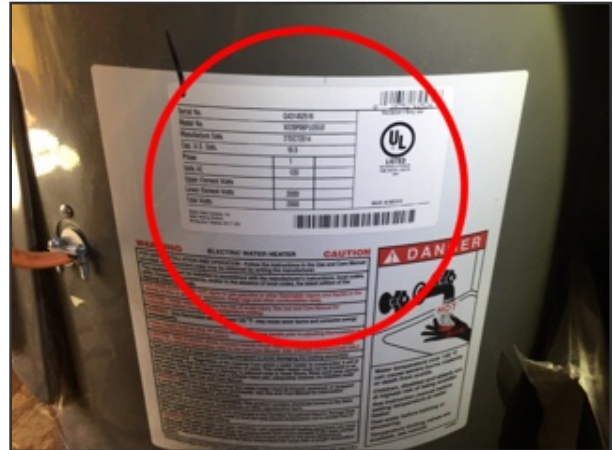
Manufacturer:

Whirlpool





(Water Heater continued)



Comment 10:

At this property there are two water heaters one is in the crawl space which is approximately 20 gallons and the other is located near the gas stove in the kitchen which is a 50 gallon water heater. Both appeared to be in functional condition and worked well during inspection.

Fuel:	Natural Gas
Capacity:	50 gal
Approximate Age:	2013
Temp & Pressure Relief Valve:	Present With Blow Off Leg
	Condition: Satisfactory
Fuel Disconnect:	Within Sight of Equipment

## Bathrooms

### Bathroom #1

Location:	Main Bedroom area
Shower:	Stall
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory

(Bathroom #1 continued)

Toilet:	Standard Tank Condition: Satisfactory
Shower Walls:	Tile Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
GFCI Protection:	Outlets Condition: Satisfactory



Comment 11:

Master bathroom is located by the master bedroom and all items functioned properly in this bathroom, the toilet, the sink, the shower, recirculating fan, GFCI outlet all functioned properly.



Figure 11-1

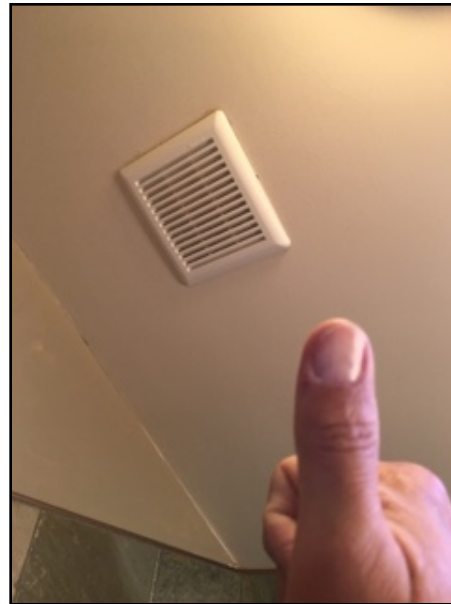


Figure 11-2

(Bathroom #1 continued)



Figure 11-3



Figure 11-4

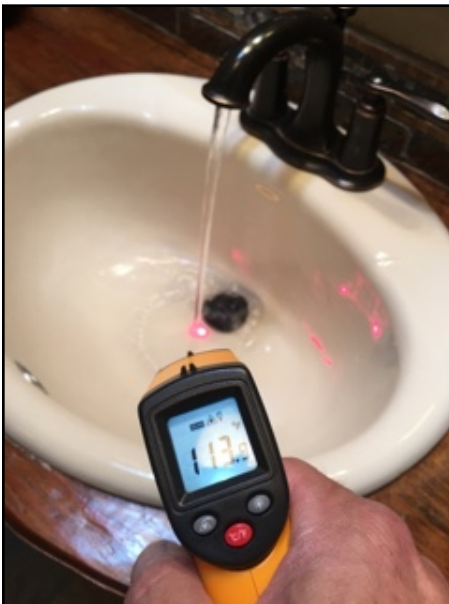


Figure 11-5



Figure 11-6



(Bathroom #1 continued)



Figure 11-7

## Bathroom #2

Location:	Main level near kitchen
Shower:	Stall
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Tile
	Condition: Satisfactory
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Window
	Condition: Satisfactory
GFCI Protection:	Outlets
	Condition: Satisfactory

(Bathroom #2 continued)



Comment 12:

Second bathroom is located by the kitchen area. All items functioned properly in this bathroom, the toilet, the sink, the shower, and GFCI outlet all functioned properly.



Figure 12-1



Figure 12-2



Figure 12-3

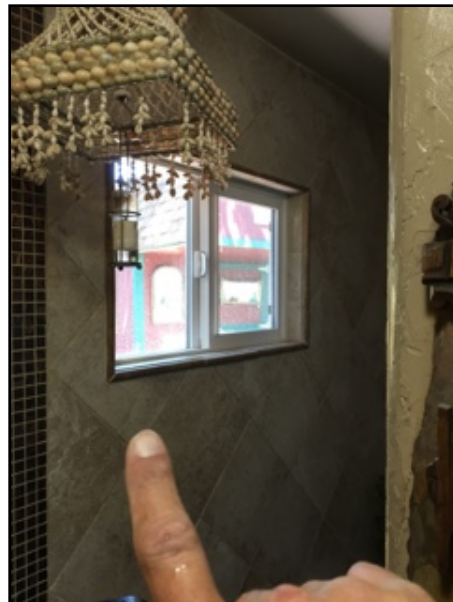


Figure 12-4

(Bathroom #2 continued)



Figure 12-5

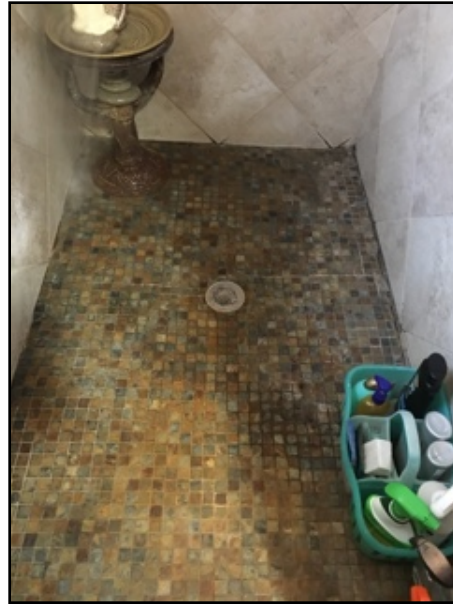


Figure 12-6



Figure 12-7



Figure 12-8



# Kitchen

Cabinets:

Wood

Condition: Satisfactory



Countertops:

Laminated

Condition: Satisfactory



Sink:

Double

Condition: Satisfactory

(Kitchen continued)

## Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:

General Electric  
Condition: Satisfactory



Cooktop:

Dixie  
Condition: Marginal

(Appliances continued)

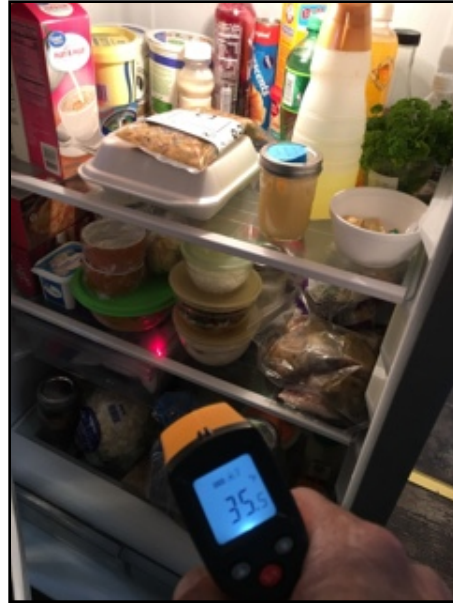




(Appliances continued)

Refrigerator:

General Electric  
Condition: Satisfactory



(Appliances continued)

Dishwasher:



Samsung  
Condition: Satisfactory



Microwave:

Panasonic  
Condition: Satisfactory

Washer:

LG  
Condition: Satisfactory



(Appliances continued)

Dryer:



LG

Condition: Satisfactory



## Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

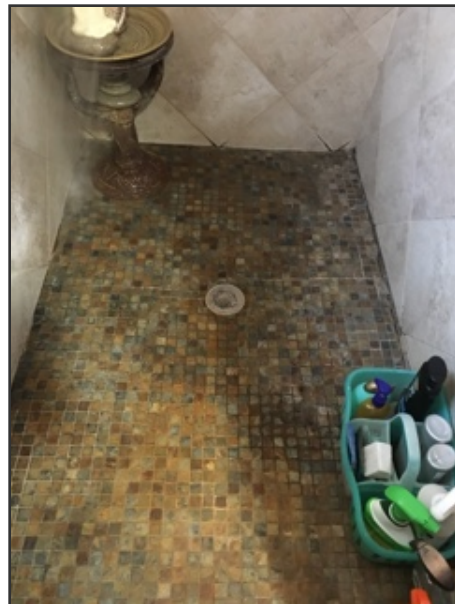
Floors:

Tile, Wood

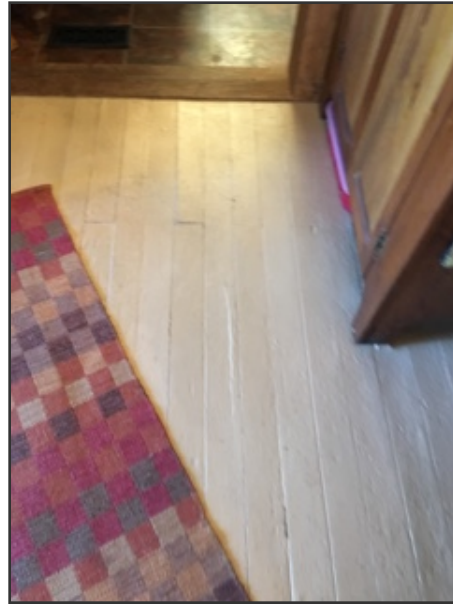
Condition: Satisfactory



(Interior continued)



(Interior continued)



Walls:

Textured Over Drywall

Window Types:

Condition: Satisfactory

Single Hung, Sliders

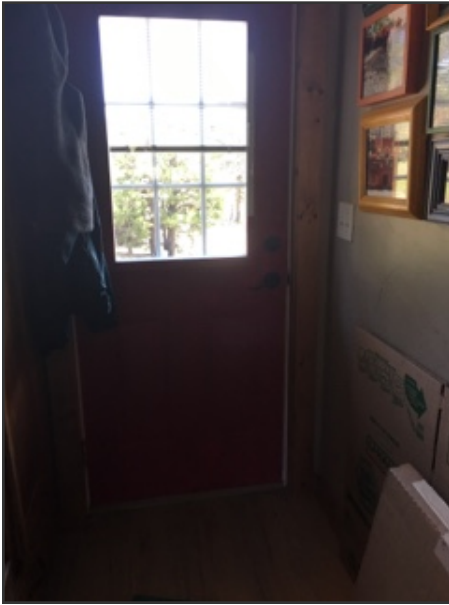
Window Materials:

Condition: Satisfactory

Wood, Vinyl



(Interior continued)



Entry Door Types:

Hinged

Condition: Satisfactory

Entry Door Materials:

Wood, Vinyl

Interior Door Materials:

Wood



(Interior continued)

Fireplace:

Masonry  
Condition: Satisfactory





(Interior continued)



# Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

## Vegetation

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1) Generally the pine trees surrounding the property are in good condition and limbed up properly, however there are some locations were indicated in the photographs where the large spruce tree should continue to be trimmed in order to address future fire mitigation concerns.

## Patios/Decks

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2) The handrails for the deck leading up to the property on the north side are a bit loose and could use some reinforcement. Nothing major was found with regard to the deck.

## Inspection Method

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3) The roof at this property is a combination of three tab asphalt shingle and modified bitumen flat roofing. The roof appears to be reaching the end of its effective life and should be further evaluated by a competent roofing company.

## Gutters & Downspouts

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4) As water is not helpful to a foundation it is always recommended that downspouts be extended away from the property a minimum of 5 to 7 feet this is easily accomplished by adding an extension. This property does need extension tubes added to the downspouts.

## GFCI/AFCI Breakers

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5) The three locations in the house where GFCI should be in place are the bathroom near any water sources and in the kitchen. As indicated in the photograph both bathrooms have GFCI outlets that work properly. The kitchen to the left of the main sink location does not have GFCI connection and should be further evaluated by a licensed electrician.

(Report Summary continued)

## Electrical

6) Portions of the electrical were not inspected due to panel access was blocked by bookcases.

## HVAC System Type

7) During this inspection the furnace did not work properly it would not respond to thermostat control. Upon arrival unit was inspected and after removing the furnace cover in the crawlspace the unit continually ran the fan without a pilot light. It is highly recommended that in addition to cleaning and servicing and certifying that this unit be inspected by a qualified HVAC technician.

## HVAC

8) In addition to the heater not functioning properly during the inspection it is noted that there is a ventilation pipe running directly through the closet on the main floor this should be addressed by a licensed HVAC professional to determine if this pipe should be enclosed or insulated.



Figure 9-1



Figure 9-2

(Report Summary continued)



Figure 9-3



Figure 9-4

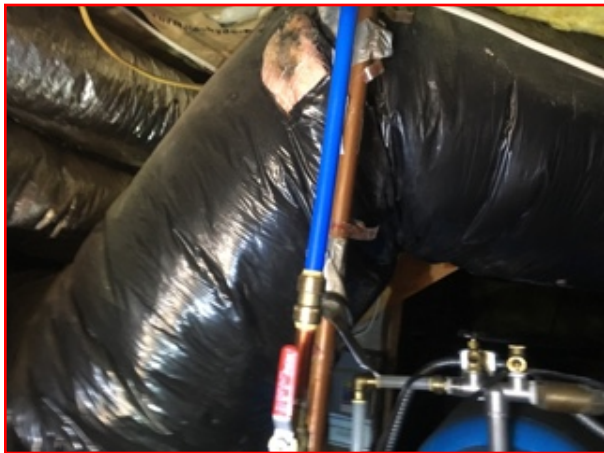


Figure 9-5