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Inspected By: Mike Rothstein



Home Inspection Report

Prepared For:

Chris Lamprecht

Property Address:

409 Ward Street

Bailey, CO 80421

Inspected on Sun, Mar 10 2019 at 1:16 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

General

Property Type:	Single Family
Stories:	Two
Year Built:	1999
Age Based On:	Park County Assessor
Door Faces:	West
Furnished:	No
Occupied:	No
Weather:	Sunny, 24 degrees some snow visible
Temperature:	Cold
Soil Condition:	Damp, Snow
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client, Buyer's Agent
Bedroom/Bathroom :	3 bedroom 2 bath

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading: Sloped Toward Structure
Condition: Marginal



(Site continued)



Vegetation:

Not Growing Against Structure

Condition: Satisfactory

Retaining Walls:

Masonry

Condition: Satisfactory

Driveway:

Gravel

Condition: Satisfactory

Walkways:

Gravel

Condition: Satisfactory

(Site continued)

Patios/Decks:

Wood

Condition: Satisfactory



(Site continued)



Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:

Lap Wood

Condition: Satisfactory



(Exterior continued)



Exterior Trim Material:

Wood

Condition: Satisfactory

(Exterior continued)

Windows:

Vinyl

Condition: Satisfactory



(Exterior continued)



Comment 1:

Windows in this home appeared to be in good condition and operate properly they are vinyl double pane windows. Where indicated in the photograph there is a torn screen which should be replaced.

Entry Doors:

Fiberglass

Condition: Satisfactory



(Exterior continued)



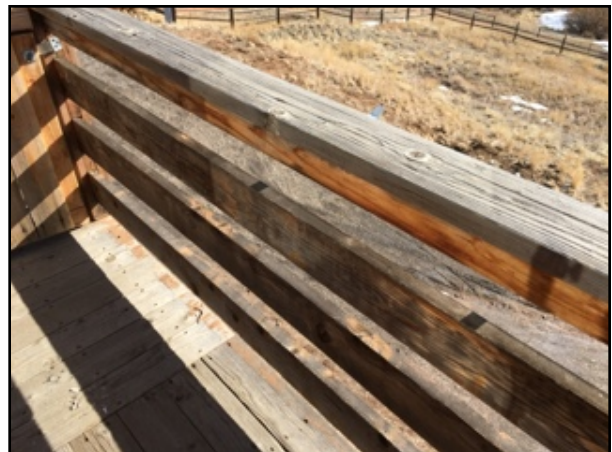
Comment 2:

The main entry to the home is up at stairwell onto the upper level entry. Where indicated in this photograph the screen door is off its hinges and should be replaced otherwise the doors appear to seal properly and close correctly.

Railings:

Wood

Condition: Satisfactory



Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:

Walked Roof/Arms Length



Comment 3:

The roof on this home appears to be in very good condition and is probably 1 to 2 years old. No signs of granular loss were found during this inspection.

Roof Design:

Gable

Roof Covering:

3 Tab Shingle

Condition: Satisfactory

Approximate Roof Age:

estimate between 1-3 years old.

(Roofing continued)

Ventilation Present:

Soffit
Condition: Satisfactory



Vent Stacks:

Metal
Condition: Satisfactory

Chimney :

Metal
Condition: Satisfactory



Flashings:

Metal
Condition: Satisfactory

Soffit and Fascia:

Wood
Condition: Satisfactory

Gutters & Downspouts:

Metal
Condition: Satisfactory

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:

Crawl Space

Foundation Material:

Poured Concrete

Condition: Satisfactory



(Structure continued)



Signs of Water Penetration:

Moisture
Condition: Further Evaluation Required



(Structure continued)



Comment 4:

This home has an active water leak when I initially putting on the electrical for the pump to the well at the pressure tank there was a build up and subsequent major water leak in this home's lower level area. Water was pouring from the sink area upstairs in the kitchen and coming all the way through it is highly recommended that a professional plumber review and correct all plumbing issues in this home.

Prior Waterproofing:

Not Inspected

Floor Structure:

Wood Frame

Condition: Satisfactory

Wall Structure:

Wood Frame

Condition: Satisfactory

Attic

(Attic continued)

Attic Entry:



Hallway



(Attic continued)

**Comment 5:**

The attic entry to this home is located on the upper level main hallway between the two bedrooms. During this inspection there was no cover on the attic access it is highly recommended that a cover be fabricated and put in place as the insulation and all of the heat what little there is would go to the attic area immediately.

Roof Framing Type:	Joist and Rafters Condition: Satisfactory
Roof Deck Material:	Oriented Strand Board Condition: Satisfactory
Vent Risers:	PVC Condition: Satisfactory
Insulation:	Fiberglass Batts Condition: Satisfactory

Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method:	Not Inspected
Ventilation Present:	Yes Condition: Marginal

(Crawlspace continued)



Moisture Condition:

Wet

Condition: Further Evaluation Required



Comment 6:

In this home the crawlspace access was not investigated as all appliances such as water heating unit, well water pump, and water heater are all located on the main level. as this home has an active water leak it is highly recommended that all plumbing work be completed prior to crawlspace investigation.

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:

Overhead

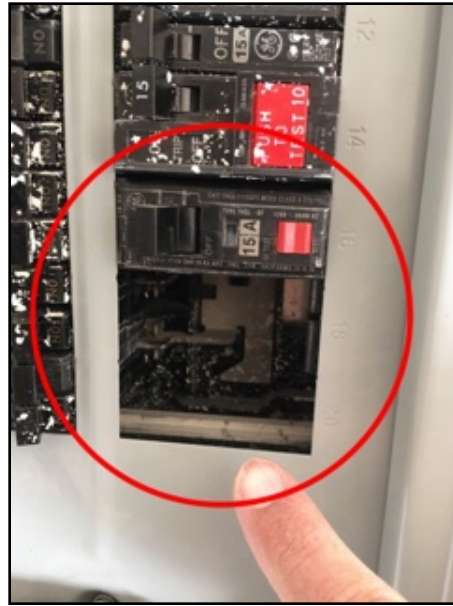
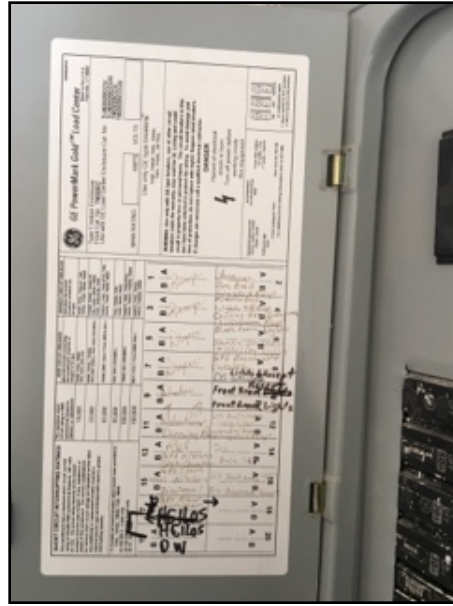
Main Disconnect Location:

Service Panel

(Electrical continued)

Service Panel Location:

Interior



(Electrical continued)



Service Panel Manufacturer:

General Electric

Condition: Satisfactory

Service Line Material:

Aluminum

Condition: Further Evaluation Required

Service Voltage:

240 volts

Service Amperage:

125 amps



Service Panel Ground:

Unknown Not Visible

(Electrical continued)

Branch Circuit Wiring:

Metallic Shielded Copper

Condition: Further Evaluation Required



(Electrical continued)



Comment 7:

Generally speaking the outlets in this home are either AFCI or GFCI ground fault current interrupt as required. The highlighted photographs indicate a missing ground and an exterior non-weatherproof outlet box he should be corrected by a licensed electrician.

Overcurrent Protection:

Breakers

Condition: Satisfactory

GFCI/AFCI Breakers:

Yes

Condition: Satisfactory

Smoke Detectors:

9 volt Battery Type

Condition: Satisfactory

(Electrical continued)



Comment 8:

Electrical service for this home utilizes a 125 amp main circuit. As pictured there are missing cover plates on the service panel we should be replaced as to correct any possibility of a shock.

HVAC

HVAC System Type:

Package Unit



(HVAC continued)

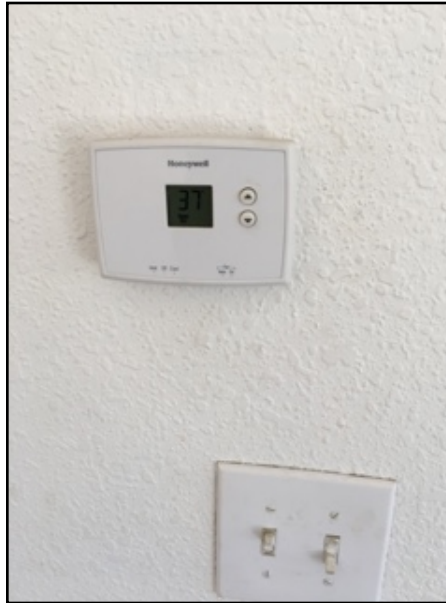


Comment 9:

This home apparently had very little liquid propane gas in the storage tank so it was not possible to test any gas appliances such as the heating unit, water heater, gas stove or any other devices that are run from liquid propane gas.

Thermostat:

Programmable
Condition: Satisfactory



Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:

Basement

Type of Equipment:

Forced Air

Condition: Further Evaluation Required



Comment 10:

LP gas was not available to run appliances.

Manufacturer:

Comfortmaker

(Heating continued)

Heating Fuel:	LP Gas
Output Temperature:	Condition: Further Evaluation Required 32 degrees non operational
Type of Distribution:	Metal Ducting Condition: Further Evaluation Required

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:



Well System



(Plumbing continued)



Comment 11:

Pertaining to the water service the well may be working properly, however the supply line coming into the home is leaking very badly right above the water heater room. When the electrical connection is restored to the pump it severely overflows from the kitchen all the way down into the utility room. It is highly recommended that a professional plumber review and correct all supply line problems in this home as it will cause moisture issues.

(Plumbing continued)

Supply Pipe Material:

Copper

Condition: Further Evaluation Required



Location of Main Water Shutoff:

Basement

Sewer System:

Septic System

Waste Pipe Material:

ABS Plastic

Condition: Further Evaluation Required

(Plumbing continued)

Location of Fuel Shutoff:

Near water heater



Water Heater

Manufacturer:

Rheem



(Water Heater continued)



Fuel:	LP Gas
Capacity:	40 gal
Approximate Age:	2014
Temp & Pressure Relief Valve:	Present With Blow Off Leg
Fuel Disconnect:	Condition: Satisfactory Within Sight of Equipment

(Water Heater continued)



Comment 12:

As there was no water pressure in this home during the inspection it is not possible to check the water heater system as well as not having any LP gas in the tank for this inspection.

Bathrooms

Bathroom #1

Location:

Lower level



Comment 13:

As stated before there is no water pressure in this home nor any gas so it was not possible to test the water pressure or temperature in the bathroom.



Figure 13-1

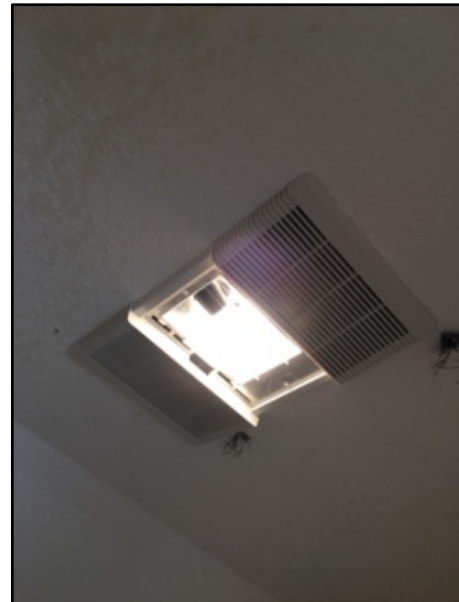


Figure 13-2

(Bathroom #1 continued)



Figure 13-3



Figure 13-4



Figure 13-5



Figure 13-6

(Bathroom #1 continued)



Figure 13-7

Bath Tub:

Recessed
Condition: Further Evaluation Required



(Bathroom #1 continued)

Sink(s):

Single Vanity

Condition: Further Evaluation Required



Toilet:

Not Inspected



Comment 14:
no water pressure .

Shower Walls:

Tile

Condition: Satisfactory

Floor:

Tile

Condition: Repair or Replace

Ventilation Type:

Ventilator

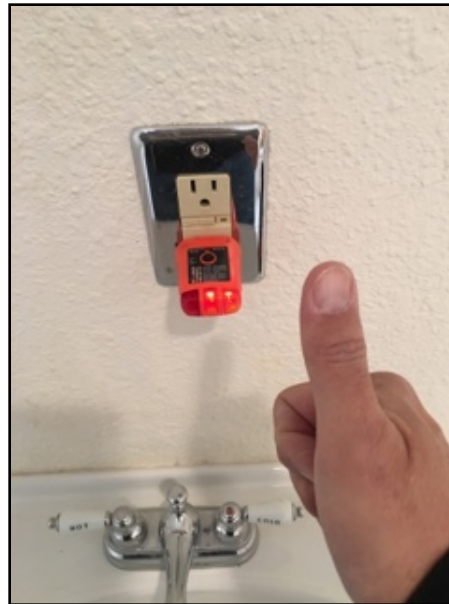
Condition: Satisfactory

(Bathroom #1 continued)

GFCI Protection:

Outlets

Condition: Satisfactory



Comment 15:

Portions of the bathroom #1 were not inspected .

Bathroom #2

Location:	Upper level
Bath Tub:	Recessed Condition: Further Evaluation Required
Shower:	In Tub Condition: Further Evaluation Required
Sink(s):	Single Vanity Condition: Further Evaluation Required
Toilet:	Standard Tank Condition: Further Evaluation Required
Shower Walls:	Tile Condition: Satisfactory
Floor:	Tile Condition: Satisfactory

(Bathroom #2 continued)

Ventilation Type:

Ventilator

Condition: Satisfactory

GFCI Protection:

Outlets

Condition: Satisfactory



Comment 16:

As stated before there is no water pressure in this home nor any gas so it was not possible to test the water pressure or temperature in the bathroom.

(Bathroom #2 continued)



Comment 17:



Figure 17-1



Figure 17-2



Figure 17-3



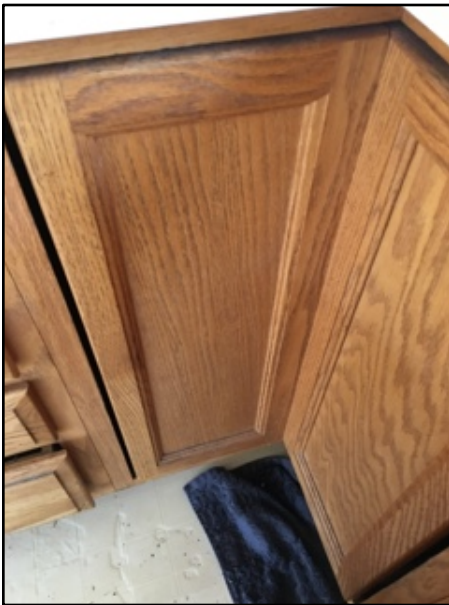
Figure 17-4

Kitchen

Cabinets:

Wood

Condition: Satisfactory



(Kitchen continued)

Countertops:

Laminated
Condition: Satisfactory



Sink:

Double
Condition: Further Evaluation Required



Comment 18:
No water pressure major leak in supply line.

Appliances

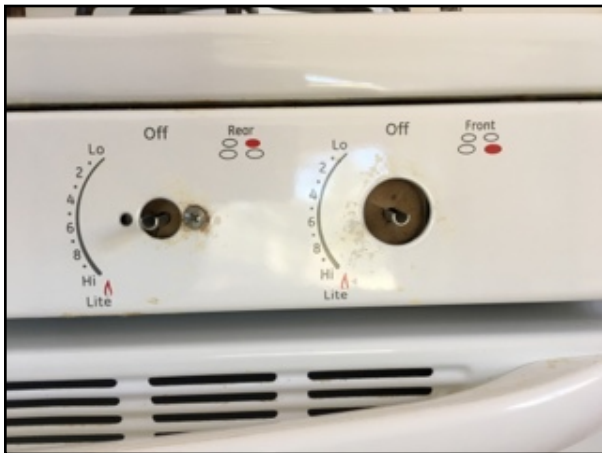
This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

(Appliances continued)

Oven:

General Electric

Condition: Further Evaluation Required



Comment 19:
No gas supply unable to test.

Range Hood:

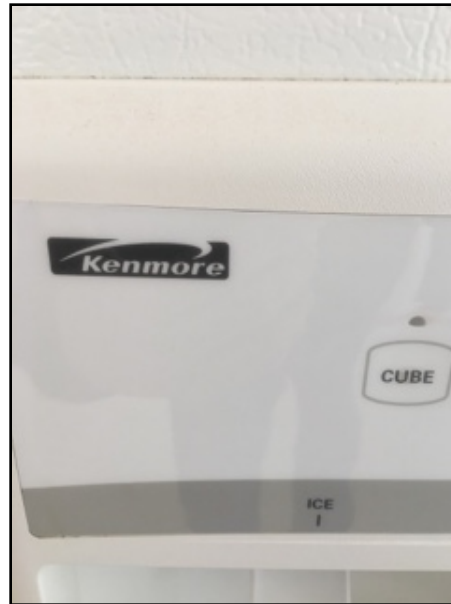
General Electric

Condition: Satisfactory

(Appliances continued)

Refrigerator:

Kenmore
Condition: Further Evaluation Required



(Appliances continued)

Dishwasher:

General Electric

Condition: Further Evaluation Required



Microwave:

General Electric

Condition: Satisfactory

Disposal:

General Electric

Condition: Further Evaluation Required

Laundry

Built In Cabinets:

No

Condition: Further Evaluation Required

Laundry Sink:

Not Present

Dryer Venting:

To Exterior

Condition: Further Evaluation Required

GFCI Protection:

Yes

Condition: Further Evaluation Required

Laundry Hook Ups:

Yes

Condition: Further Evaluation Required

Washer:

Not Present

Dryer:

Not Inspected

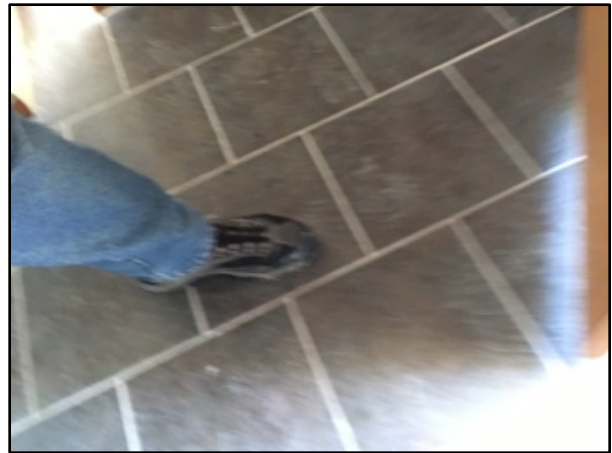
Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:

Tile, Stone, Carpet

Condition: Repair or Replace



(Interior continued)



(Interior continued)



Comment 20:

This home has a mixture of newer carpeting on the upper level and a mixture of stone and tile and linoleum on the lower level. Some of the tiles are cracked and broken as pictured and require removal and replacement.

Walls:	Textured Over Drywall Condition: Marginal
Window Types:	Sliders Condition: Satisfactory
Window Materials:	Vinyl

(Interior continued)

Entry Door Types:

Hinged

Condition: Further Evaluation Required



(Interior continued)



Comment 21:

The entry doors to this home or generally in good condition the screen door should be rehung as it's coming out for changes as pictured.

Entry Door Materials:

Vinyl

Interior Door Materials:

Wood

Fireplace:

Wood Burning

Condition: Further Evaluation Required



(Interior continued)



Comment 22:

As with all wood-burning stove's they should be cleaned and certified by a professional chimney sweep for safety prior to first use.

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Windows

1) Windows in this home appeared to be in good condition and operate properly they are vinyl double pane windows. Where indicated in the photograph there is a torn screen which should be replaced.

Entry Doors

2) The main entry to the home is up at stairwell onto the upper level entry. Where indicated in this photograph the screen door is off its hinges and should be replaced otherwise the doors appear to seal properly and close correctly.

Signs of Water Penetration

3) This home has an active water leak when I initially putting on the electrical for the pump to the well at the pressure tank there was a build up and subsequent major water leak in this home's lower level area. Water was pouring from the sink area upstairs in the kitchen and coming all the way through it is highly recommended that a professional plumber review and correct all plumbing issues in this home.

Attic Entry

4) The attic entry to this home is located on the upper level main hallway between the two bedrooms. During this inspection there was no cover on the attic access it is highly recommended that a cover be fabricated and put in place as the insulation and all of the heat what little there is would go to the attic area immediately.

Branch Circuit Wiring

5) Generally speaking the outlets in this home are either AFCI or GFCI ground fault current interrupt as required. The highlighted photographs indicate a missing ground and an exterior non-weatherproof outlet box he should be corrected by a licensed electrician.

(Report Summary continued)

Electrical

6) Electrical service for this home utilizes a 125 amp main circuit. As pictured there are missing cover plates on the service panel we should be replaced as to correct any possibility of a shock.

HVAC System Type

7) This home apparently had very little liquid propane gas in the storage tank so it was not possible to test any gas appliances such as the heating unit, water heater, gas stove or any other devices that are run from liquid propane gas.

Type of Equipment

8) LP gas was not available to run appliances.

Water Service

9) Pertaining to the water service the well may be working properly, however the supply line coming into the home is leaking very badly right above the water heater room. When the electrical connection is restored to the pump it severely overflows from the kitchen all the way down into the utility room. It is highly recommended that a professional plumber review and correct all supply line problems in this home as it will cause moisture issues.

Plumbing: Water Heater

10) As there was no water pressure in this home during the inspection it is not possible to check the water heater system as well as not having any LP gas in the tank for this inspection.

Location

11) As stated before there is no water pressure in this home nor any gas so it was not possible to test the water pressure or temperature in the bathroom.

(Report Summary continued)



Figure 13-1



Figure 13-2



Figure 13-3



Figure 13-4

(Report Summary continued)



Figure 13-5

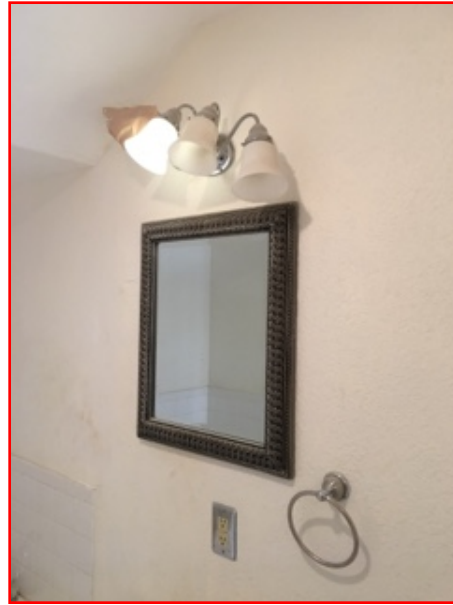


Figure 13-6



Figure 13-7

Toilet

12) no water pressure .

Bathrooms: Bathroom #1

13) Portions of the bathroom #1 were not inspected .

(Report Summary continued)

Bathrooms: Bathroom #2

14) As stated before there is no water pressure in this home nor any gas so it was not possible to test the water pressure or temperature in the bathroom.

15)



Figure 17-1



Figure 17-2



Figure 17-3

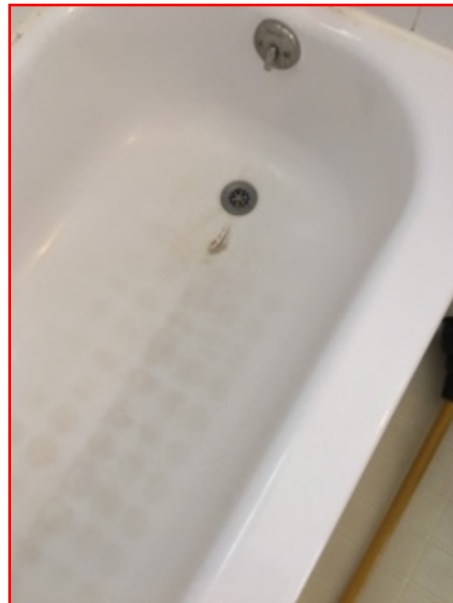


Figure 17-4

(Report Summary continued)

Sink

16) No water pressure major leak in supply line.

Oven

17) No gas supply unable to test.

Floors

18) This home has a mixture of newer carpeting on the upper level and a mixture of stone and tile and linoleum on the lower level. Some of the tiles are cracked and broken as pictured and require removal and replacement.

Entry Door Types

19) The entry doors to this home or generally in good condition the screen door should be rehung as it's coming out for changes as pictured.