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Inspected By: Mike Rothstein



Home Inspection Report

Prepared For:

Jeri Conely-Tunell

Property Address:

471 Bell Road

Shawnee, CO

Inspected on Sat, Apr 27 2019 at 8:38 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

General

Property Type:	Single Family
Stories:	Two
Approximate Age:	18 years
Age Based On:	Sellers Disclosure
Bedrooms/Baths:	3 Bedroom/2.5 Baths
Door Faces:	North
Occupied:	Yes
Weather:	Overcast
Temperature:	Warm
Soil Condition:	Dry
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Sloped Away From Structure, Sloped Toward Structure Condition: Satisfactory
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(Site continued)



Vegetation:

Generally Maintained
Condition: Marginal



(Site continued)



Comment 1:

Generally this home landscaping is very good there is one tree as indicated in the photograph that should be trimmed back.

Retaining Walls:

Masonry

Condition: Satisfactory



Driveway:

Concrete

Condition: Satisfactory

Walkways:

Concrete

Condition: Satisfactory

Patios/Decks:

Concrete

Condition: Satisfactory

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:

Lap Wood

Condition: Satisfactory



Exterior Trim Material:

Wood

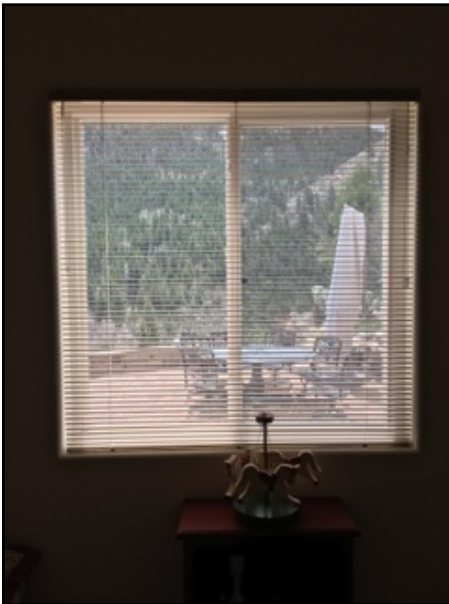
Condition: Satisfactory

(Exterior continued)

Windows:

Vinyl

Condition: Satisfactory



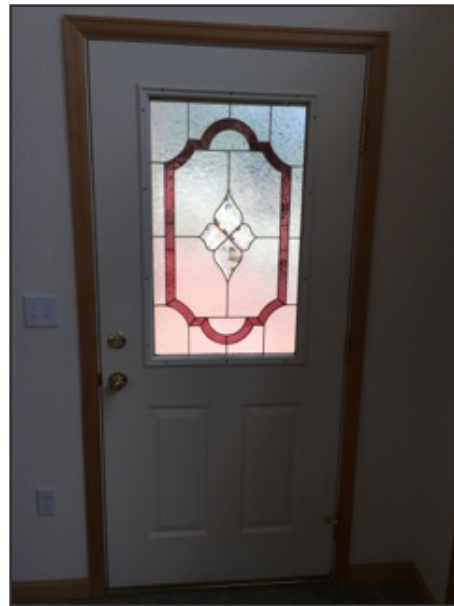
(Exterior continued)



Entry Doors:

Fiberglass

Condition: Satisfactory



(Exterior continued)

Railings:

Wood

Condition: Satisfactory



(Exterior continued)



Garage

Garage Type:

Attached

Condition: Satisfactory

Garage Size:

2 Car

Door Opener:

Chain Drive

Condition: Satisfactory



(Garage continued)

Opener Safety Feature:

Light Beam

Condition: Satisfactory



Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:

Camera Pole

Roof Design:

Gable, High degree of slope



(Roofing continued)



Roof Covering:

3 Tab Shingle

Approximate Roof Age:

Condition: Repair or Replace

Appears to be 10 to 15 years old should further evaluated by a professional roofing contractor.

(Roofing continued)



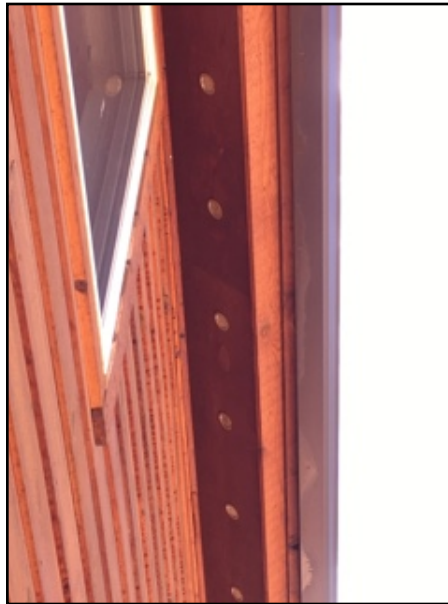
Comment 2:

The roof on this home appears to be showing it's age and should be further evaluated by a roofing contractor.

Ventilation Present:

Soffit

Condition: Satisfactory



Vent Stacks:

Metal

Condition: Satisfactory

Chimney :

Metal

Condition: Satisfactory



Flashings:

Metal

Condition: Satisfactory

(Roofing continued)

Soffit and Fascia:

Wood

Condition: Satisfactory

Gutters & Downspouts:

Metal

Condition: Satisfactory



Comment 3:

On the front right of the home the one downspout should be extended from the home 5 to 7 feet although there is a drain it could ice up.

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

(Structure continued)

Foundation Types:

Basement



Foundation Material:

Poured Concrete

Condition: Satisfactory

Signs of Water Penetration:

Moisture

Condition: Satisfactory

Floor Structure:

Wood Frame

Condition: Satisfactory

Wall Structure:

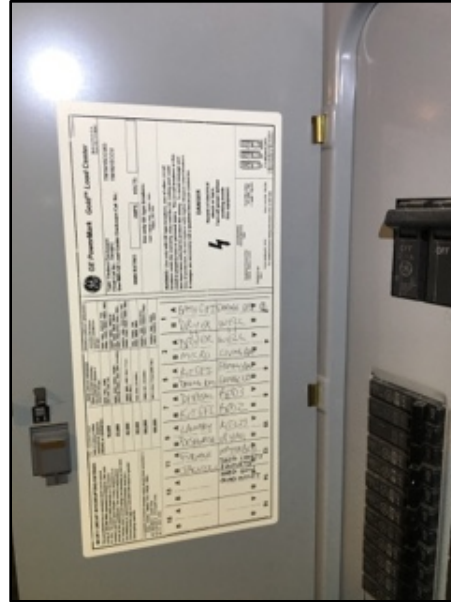
Wood Frame

Condition: Satisfactory

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service: Overhead
Main Disconnect Location: Service Panel
Service Panel Location: Garage



(Electrical continued)

Service Panel Manufacturer:	General Electric
	Condition: Satisfactory
Service Line Material:	Not Inspected



Comment 4:

Service panel access was blocked by a desk as illustrated in the photograph the dead front panel cover was not removed.

Service Voltage:	240 volts
Service Amperage:	150 amps
Service Panel Ground:	Unknown Not Visable
Branch Circuit Wiring:	Not Inspected
Overcurrent Protection:	Breakers
	Condition: Satisfactory

(Electrical continued)

GFCI/AFCI Breakers:

Yes

Condition: Further Evaluation Required



Comment 5:

in this home GFCI breakers are in use and bathrooms and kitchen. The outlet to the left of the sink in the kitchen is faulty and should be repaired by a licensed electrician.

Smoke Detectors:

Hard Wired

Condition: Satisfactory

(Electrical continued)



(Electrical continued)



Comment 6:

During the inspection it is noted that there were no carbon monoxide sensors located in the interior of the home. It is highly recommended that CO detectors be added.

HVAC

(HVAC continued)

HVAC System Type:

Package Unit



Thermostat:

Smart
Condition: Satisfactory



(HVAC continued)

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Basement
Type of Equipment:	Forced Air
	Condition: Satisfactory
Manufacturer:	Bryant
Heating Fuel:	LP Gas
	Condition: Satisfactory
Approximate Age:	2017



Comment 7:
2017.



Figure 7-1

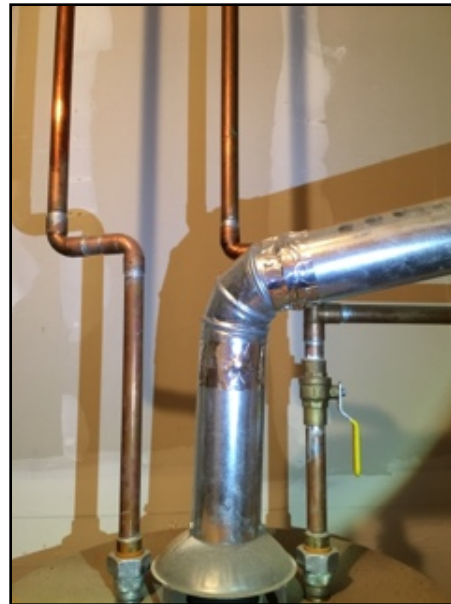
Filter Type:	Disposable
	Condition: Satisfactory

(Heating continued)

Type of Distribution:

Metal Ducting

Condition: Satisfactory



Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:

Well System

Supply Pipe Material:

Copper

Condition: Satisfactory

Location of Main Water Shutoff:

Basement

Sewer System:

Septic System

Waste Pipe Material:

ABS Plastic

Condition: Satisfactory

Location of Fuel Shutoff:

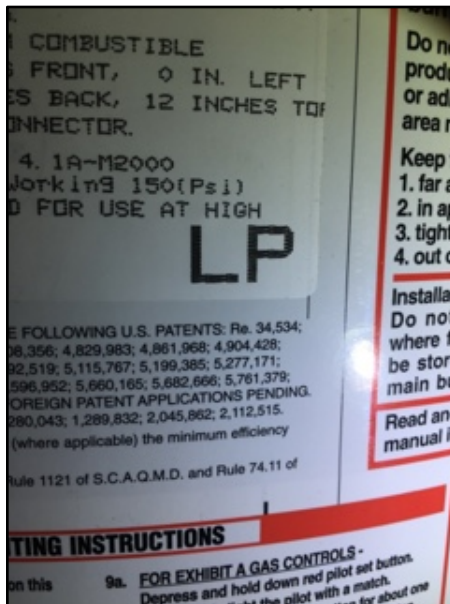
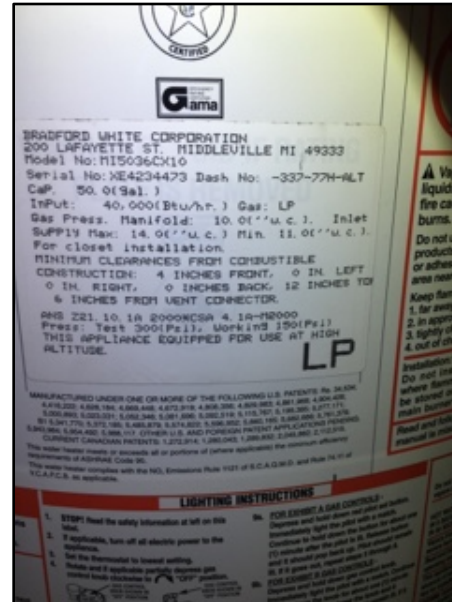
Not Located

(Plumbing continued)

Water Heater

Manufacturer:

Bradford White



Fuel:
Capacity:

LP Gas
50 gal

(Water Heater continued)

Temp & Pressure Relief Valve:

Present With Blow Off Leg
Condition: Satisfactory



(Water Heater continued)

Fuel Disconnect:



In Same Room



Bathrooms

(Bathrooms continued)

Bathroom #1

Location:

Master Bathroom Upper Level



Comment 8:
Master Bathroom Upper Level.



Figure 8-1

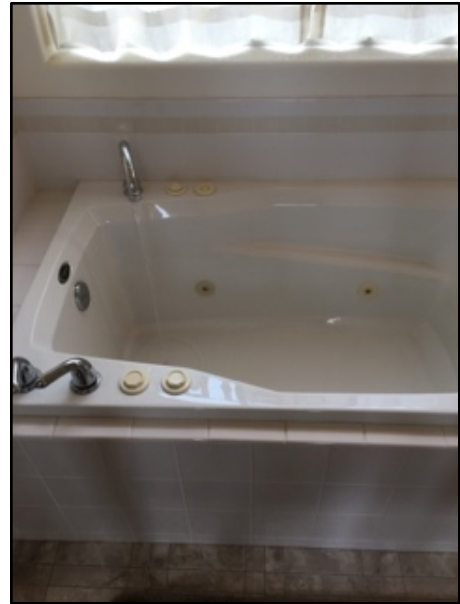


Figure 8-2



Figure 8-3



Figure 8-4

(Bathroom #1 continued)



Figure 8-5



Figure 8-6

Bath Tub:

Recirculating
Condition: Satisfactory



Sink(s):

Double Vanity
Condition: Satisfactory

Toilet:

Standard Tank
Condition: Satisfactory

(Bathroom #1 continued)

Shower Walls:	Tile
	Condition: Satisfactory
Tub Surround:	Tile
	Condition: Satisfactory
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Ventilator
	Condition: Satisfactory
GFCI Protection:	Outlets
	Condition: Satisfactory
Shower:	Stall Shower



Comment 9:
Stall shower.



Figure 9-1

Bathroom #2

Location: Main floor

(Bathroom #2 continued)



Comment 10:
Main floor half bath.



Comment 11:



Figure 11-1



Figure 11-2



Figure 11-3

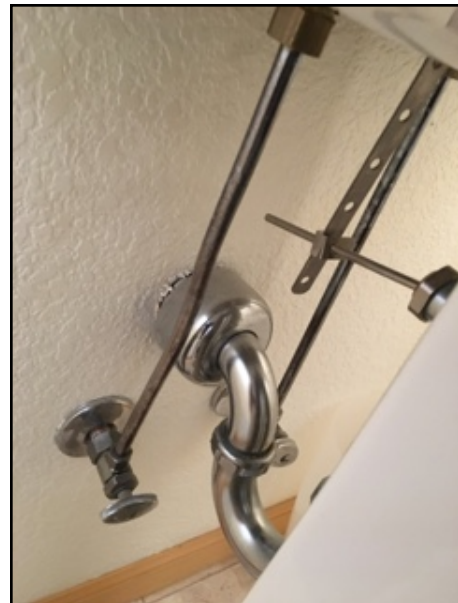


Figure 11-4

(Bathroom #2 continued)



Figure 11-5

Bath Tub:	Not Present
Shower:	Not Present
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Not Present
Tub Surround:	Not Present
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Window
	Condition: Satisfactory
GFCI Protection:	Outlets
	Condition: Satisfactory

(Bathrooms continued)

Bathroom #3

Location:	Lower Level full bath
Bath Tub:	Recessed
	Condition: Satisfactory
Shower:	In Tub
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Fiberglass
	Condition: Satisfactory
Tub Surround:	Fiberglass
	Condition: Satisfactory
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Ventilator
	Condition: Satisfactory
GFCI Protection:	Outlets
	Condition: Satisfactory

(Bathroom #3 continued)



Comment 12:
Lower Level full bath.



Figure 12-1



Figure 12-2

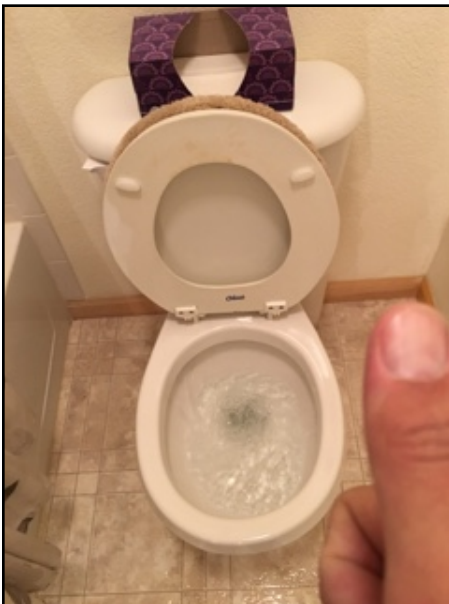


Figure 12-3

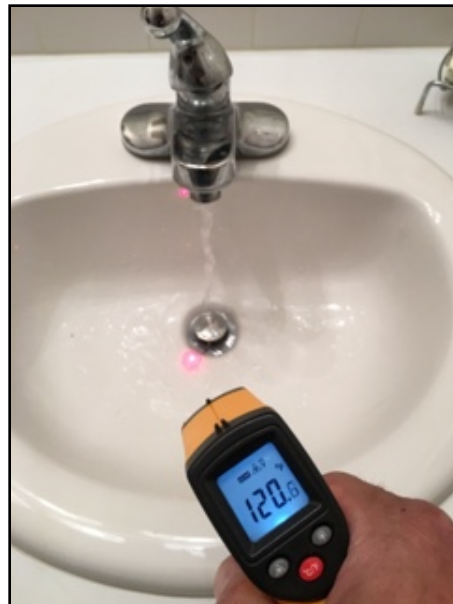


Figure 12-4

(Bathroom #3 continued)



Figure 12-5



Figure 12-6



Figure 12-7

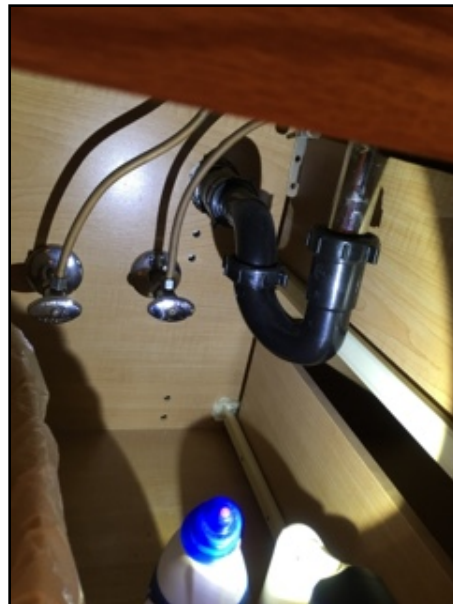


Figure 12-8

Kitchen

Cabinets:

Wood

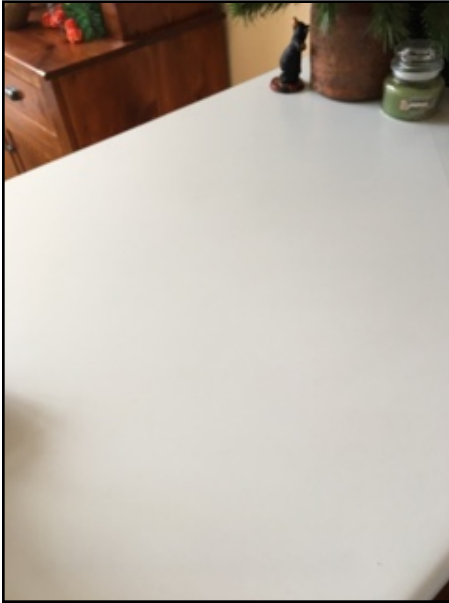
Condition: Satisfactory



(Kitchen continued)

Countertops:

Laminated
Condition: Satisfactory



Sink:

Double
Condition: Satisfactory



(Kitchen continued)

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:

General Electric
Condition: Satisfactory



Refrigerator:

Whirlpool
Condition: Satisfactory

(Appliances continued)



(Appliances continued)

Dishwasher:

General Electric
Condition: Satisfactory



Microwave:

General Electric
Condition: Satisfactory

Disposal:

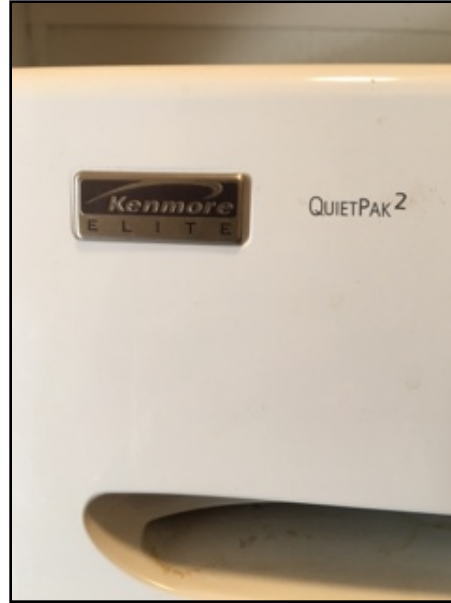
Insinkerator
Condition: Satisfactory



(Appliances continued)

Washer:

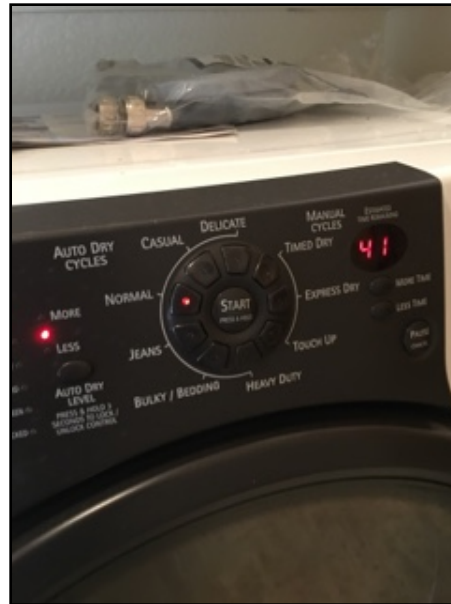
Kenmore
Condition: Satisfactory



(Appliances continued)

Dryer:

Kenmore
Condition: Satisfactory



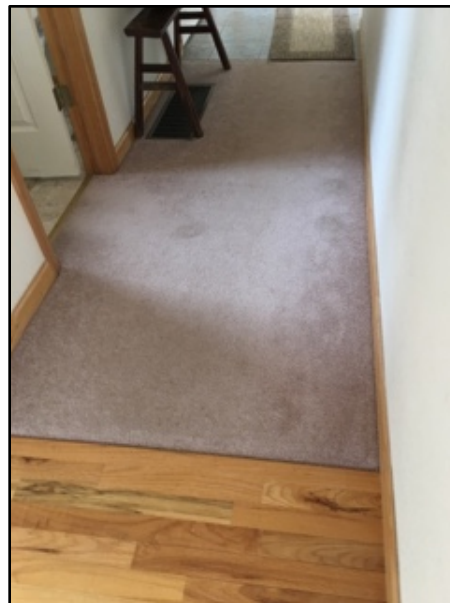
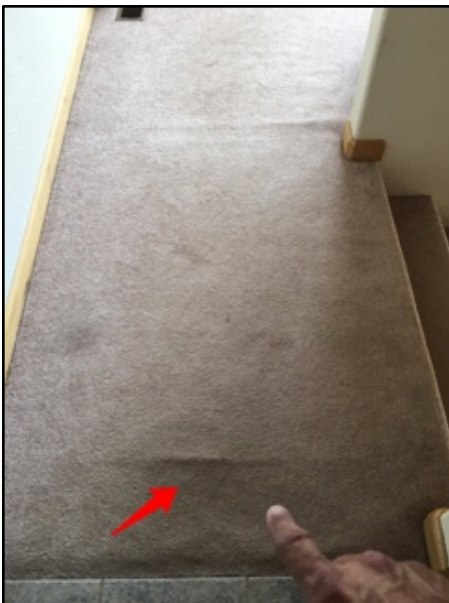
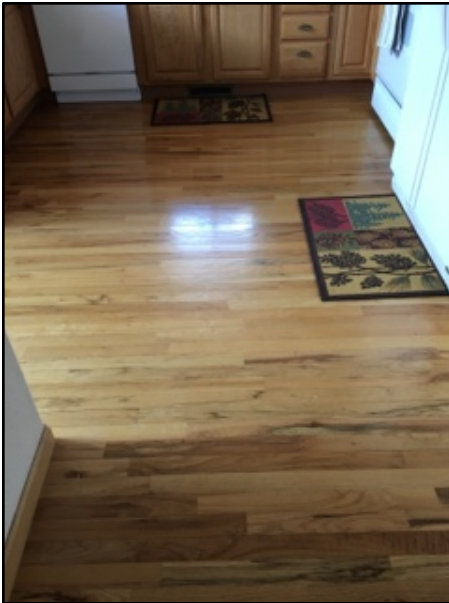
Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:

Tile, Carpet, Wood, Linoleum

Condition: Marginal



(Interior continued)



Comment 13:

As noted in the photographs the carpeting on the upper level needs to be re-stretched were fastened properly as it is gathering up near the stairway, and may be a tripping hazard.

(Interior continued)

Walls:

Textured Over Drywall
Condition: Marginal



Comment 14:

In the master bedroom as well as the main living room support beam areas as pictured there are surface cracks that appear to be from winds and roof loading. As the roof itself should be replaced in the near future it is highly recommended that the drywall be patched and repainted.

Window Types:

Sliders

Condition: Satisfactory

Window Materials:

Aluminum

Entry Door Types:

Hinged

Condition: Satisfactory

Entry Door Materials:

Fiberglass

Interior Door Materials:

Wood

(Interior continued)

Fireplace:

Gas Burning
Condition: Satisfactory



Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Vegetation

1) Generally this home landscaping is very good there is one tree as indicated in the photograph that should be trimmed back.

Approximate Roof Age

2) The roof on this home appears to be showing it's age and should be further evaluated by a roofing contractor.

GFCI/AFCI Breakers

3) in this home GFCI breakers are in use and bathrooms and kitchen. The outlet to the left of the sink in the kitchen is faulty and should be repaired by a licensed electrician.

Smoke Detectors

4) During the inspection it is noted that there were no carbon monoxide sensors located in the interior of the home. It is highly recommended that CO detectors be added.

Floors

5) As noted in the photographs the carpeting on the upper level needs to be re-stretched were fastened properly as it is gathering up near the stairway, and may be a tripping hazard.

Walls

6) In the master bedroom as well as the main living room support beam areas as pictured there are surface cracks that appear to be from winds and roof loading. As the roof itself should be replaced in the near future it is highly recommended that the drywall be patched and repainted.