

GENERAL NOTES:

DISCLAIMER
INSTRUCTIONS. THEREFORE, IF YOU ARE PLANNING TO BUILD THIS PROJECT WITHOUT THE SERVICES OF A PROFESSIONAL BUILDER, WE SUGGEST YOU BECOME THOROUGHLY FAMILIAR WITH READING CONSTRUCTION DOCUMENTS OR CONSIDER HIRING A CONSTRUCTION CONSULTANT. IF YOU SHOULD HAVE ANY QUESTIONS REGARDING THE CONSTRUCTION PLANS, PLEASE CONTACT US BEFORE BEGINNING CONSTRUCTION.

DESIGNER'S INK PROVIDES NO ENGINEERING OR ON-SITE CONSTRUCTION SUPERVISION SERVICES. SINCE DESIGNER'S INK HAS NO CONTROL OVER THE ACTUAL CONSTRUCTION, MATERIAL SELECTION, CONTRACTOR SELECTION, BUILDING SITE, OR WEATHER / SOIL CONDITIONS, DESIGNER'S INK ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCLUDING BUT NOT LIMITED TO ANY DEROGATIONS, OMISSIONS, OR ERRORS AND / OR OMISSIONS IN THE DIMENSIONS OR DRAWINGS CONTAINED IN THESE CONSTRUCTION DOCUMENTS. ANY ERRORS SHALL BE BROUGHT TO THE ATTENTION OF DESIGNER'S INK PRIOR TO CONSTRUCTION COMMENCING. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THESE CONSTRUCTION DOCUMENTS "AS-IS" AND ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS BECOME THE SOLE RESPONSIBILITY OF THE CLIENT.

PRIOR TO CONSTRUCTION, DESIGNER'S INK RECOMMENDS THESE PLANS BE REVIEWED BY A LICENSED STRUCTURAL ENGINEER AS WELL AS YOUR LOCAL BUILDING OFFICIALS TO COMPLY WITH SEISMIC, WIND, AND OTHER SITE SPECIFIC CONDITIONS REQUIRED BY YOUR LOCAL BUILDING CODES. ADDITIONAL ENGINEERING MAY BE REQUIRED.

DESIGNER'S INK IS A DESIGN AND DRAFTING SERVICE. WE ARE NOT REGISTERED ARCHITECTS OR LICENSED ENGINEERS IN ANY FIELD - CIVIL, ELECTRICAL, OR MECHANICAL. WE DO NOT NOR CAN WE STAMP OR SEAL ANY OF THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR HOMEOWNER TO MONITOR AND REVIEW PLANS BEFORE AND DURING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS AND BRING THEM TO OUR ATTENTION FOR SOLUTIONS.

CODES
RE EXCEED APPLICABLE CODES BEFORE CONSTRUCTION BEGINS. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL REVIEW ALL PLANS AND MAKE ANY REQUESTS FOR CHANGES TO THE PLANS BEFORE MATERIALS ARE ORDERED OR CONSTRUCTION BEGINS.

INSTALLATION - IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR 3RD PARTY STRUCTURAL ENGINEER TO ENSURE THE PROPER MATERIALS AND CONSTRUCTION TECHNIQUES ARE SELECTED TO CONSTRUCT THIS PROJECT TO ENSURE IT MEETS OR EXCEEDS APPLICABLE SAFETY STANDARDS AND LOAD REQUIREMENTS.

SAFETY - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SAFETY PRECAUTIONS OR SAFETY PROGRAMS ARE USED TO PROVIDE A SAFE WORK SITE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER STRUCTURAL SHORING AND BRACING ARE IN PLACE DURING CONSTRUCTION.

INSULATION - ALL WALLS AND CEILINGS ARE TO BE PROPERLY INSULATED TO MEET OR EXCEED THE RECOMMENDATIONS OF THE US DEPARTMENT OF ENERGY FOR THE ZONE WHERE THE BUILDING WILL BE CONSTRUCTED.

ALTERATIONS
TAMPS REQUIRED BY THEIR LOCAL PERMITTING AGENCY.

SITE PREPARATION - OWNER / CONTRACTOR IS TO CONDUCT SOIL TESTS & DIG TEST HOLES TO DETERMINE SOIL TYPE & DRAINAGE PROPERTIES OF SITE. A SURFACE DRAINAGE PATTERN SHOULD BE ESTABLISHED WHICH WILL DRAIN THE ENTIRE AREA AND DIRECT WATER AWAY FROM THE HOUSE AND NOT HAVE A NEGATIVE IMPACT ON SURROUNDING PROPERTY. DRIVEWAYS & WALKWAYS SHOULD BE SET LOW ENOUGH TO AVOID INTERFERENCE WITH THE DRAINAGE PATTERN. THE FINISHED GRADE WILL BE SLOPED AWAY FROM THE FOUNDATION WALL OF HOUSE WHERE THE DRAINAGE SLOPE AROUND THE HOUSE MEETS A REVERSE SLOPE. A GENTLY SLOPING DITCH WILL BE USED TO CARRY SURFACE WATER AWAY. IF A WELL IS USED TO SUPPLY WATER FOR THE HOUSE, ALL SURFACE DRAINAGE MUST BE DIRECTED AWAY FROM WELL TO AVOID CONTAMINATION OF WATER SUPPLY.

THE CONTRACTOR SHALL VERIFY LOCATIONS OF SITE UTILITIES, REQUIREMENTS AND CONNECTIONS FEES. THE GENERAL CONTRACTOR WILL VERIFY ALL PROPERTY LINES AND SETBACK REQUIREMENTS BEFORE CONSTRUCTION BEGINS.

WALLS - EXTERIOR WALLS ARE SHOWN AS 2"x4" WOOD STUDS @ 16" O.C. INTERIOR WALLS ARE 2"x4" WOOD STUDS @ 16" O.C. UNLESS OTHERWISE INDICATED OR REQUIRED FOR STRUCTURAL INTEGRITY OR PLUMBING.

BRICK VENEER - EXTERIOR JOINTS SHALL BE USED AS RECOMMENDED BY THE BRICK MANUFACTURER. STEEL LATELS TO BE INSTALLED OVER ALL DOORS, WINDOWS, AND OPENINGS WITH BRICK ABOVE.

FIRE RESISTIVE MATERIALS - PROVIDE FIRE RESISTIVE MATERIALS WHERE REQUIRED BY CODE, INCLUDING BUT NOT LIMITED TO FIRESTOPPING AT PENETRATIONS. USE PROPERLY SEALED 5/8" DRYWALL ON WALLS AND CEILINGS TO SEPARATE THE GARAGE FROM THE DWELLING. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND ROOF SPACE.

THERMAL & MOISTURE CONTROL - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THERMAL & MOISTURE CONTROL STRATEGIES INCLUDING PROPER VENTING OF THE ROOF AND ATTIC SPACE.

ELECTRICAL, PLUMBING, AND HVAC - ALL ELECTRICAL, PLUMBING, AND HVAC SYSTEMS ARE TO BE DESIGNED AND INSTALLED BY A LICENSED CONTRACTOR. WHEN THESE SYSTEMS ARE NOTED IN THE PLANS, THEY ARE SIMPLY SUGGESTED LOCATIONS TO ASSIST THE LICENSED CONTRACTOR IN DETERMINING THE REQUIREMENTS OF THE CLIENT.

MEASUREMENTS - THE GENERAL CONTRACTOR WILL VERIFY ALL ON-SITE MEASUREMENTS, AND THOSE MEASUREMENTS WILL OVERRULE THE MEASUREMENTS LISTED ON THE DRAWINGS. WHEN MEASUREMENTS ARE PROVIDED BY THE CLIENT, DESIGNER'S INK IS NOT RESPONSIBLE FOR THEIR ACCURACY.

DRAINAGE - THE GENERAL CONTRACTOR WILL ENSURE THAT THE FINISHED GRADE SLOPES AWAY FROM THE STRUCTURE SUFFICIENTLY TO PREVENT WATER STANDING OR FLOWING INTO THE STRUCTURE OR ADJACENT PROPERTY. DRAINAGE SHALL BE PROPERLY TRANSFERRED INTO THE EXISTING LOT SURFACE WATER DRAINING SYSTEM. ANY AREA DIRECTLY IMPACTED BY THE PROJECT SHALL BE MODIFIED TO RESTORE EXISTING SURFACE WATER DRAINAGE.

COVENANTS / LOCAL CODES - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SUBDIVISION COVENANT RULES AND REGULATIONS ARE FOLLOWED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR APPLYING, OBTAINING AND PAYING FOR REQUIRED PERMITS AND FEES BEFORE CONSTRUCTION BEGINS (AS REQUIRED BY LAW).

DIMENSIONS
USE FINISHING OF THE ADJACENT WALL OR CENTERED BETWEEN WALLS.

PRESSURE TREATED WOOD - ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE. FASTENERS FOR PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICONE BRONZE OR COPPER.

PERMITS / INSPECTIONS - THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AS REQUIRED AS WELL AS ENSURING ALL REQUIRED INSPECTIONS ARE COMPLETED AND PASSED DURING CONSTRUCTION. THE OWNER / CONTRACTOR IS TO ENSURE ALL CONSTRUCTION IS DONE IN ACCORDANCE WITH THE FINAL MUNICIPALITY APPROVED & PERMITTED DRAWINGS AND JOB SITE WORKING DRAWINGS ARE TO BE STAMPED AS APPROVED BY THE MUNICIPALITY (WHERE REQUIRED).

ADDRESS MARKING - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING A HOUSE NUMBER IS DISPLAYED IN A PROMINENT MANNER SO IT IS READILY VISIBLE TO ENABLE EMERGENCY VEHICLES TO LOCATE THE RESIDENCE PER THE OWNER'S SPECIFICATIONS.

DOORS AND WINDOWS - DOOR AND WINDOW CONTRACTOR TO VERIFY SIZES, LOCATIONS AND STYLES AS SPECIFIED AND GRAPHICALLY REPRESENTED ON PLANS & ELEVATIONS. IT IS THE RESPONSIBILITY OF THE WINDOW CONTRACTOR TO ENSURE THAT ALL DOORS AND WINDOWS MEET APPLICABLE CODES AND REQUIREMENTS (INCLUDING TEMPERED GLASS REQUIREMENTS) AND COORDINATE WITH ALL SUBCONTRACTORS FOR ROUGH OPENING REQUIREMENTS. OWNER TO HAVE THE FINAL SELECTION APPROVAL ON STYLES, TYPES AND MATERIALS OF ALL WINDOWS AND DOORS.

ALL BEDROOM ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

TEMPERED GLASS IS REQUIRED IN ALL HAZARDOUS AREAS (R308.4) AND WITH ALL GLASS WITHIN 18 INCHES OF THE FINISHED FLOOR PER R308.4.3 AND IN ANY GLASS SILING, SLIDING AND BI-FOLD DOORS (R308.4.1)

ELECTRICAL NOTES:

CONTRACTOR - THE LICENSED ELECTRICAL CONTRACTOR IS TO PROVIDE ALL LABOR, TRANSPORTATION, MATERIALS, ETC. FOR INSTALLATION OF COMPLETE ELECTRICAL SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING, BUT NOT LIMITED TO: FIXTURES, WIRING, SWITCHES, OUTLETS, TELEVISION PHONE, AND NETWORKING JACKS, SERVICES, GROUNDS, TEMPORARY POWER, JUNCTION BOXES, CONDUIT, SUB-PANELS, AND METERS. ALL WORK IS TO BE CONDUCTED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL CODES. ALL ELECTRICAL WORK IS TO BE BIDDER DESIGNED.

CIRCUITS - SEPARATE CIRCUITS ARE TO BE PROVIDED FOR ALL MAJOR APPLIANCES INCLUDING THE DISHWASHER, GARBAGE DISPOSAL, REFRIGERATOR, WASHER, DRYER, WATER HEATER, AND MICROWAVE OVEN.

EXHAUST - ALL BATHROOMS AND THE KITCHEN WILL HAVE LOCAL EXHAUST FANS INSTALLED TO MEET THE REQUIREMENTS OF THE MOST CURRENT ASHRAE STANDARD. EXHAUST AIR TO THE OUTDOORS WITH DUCTS DESIGNED AND INSTALLED TO THE MOST CURRENT ASHRAE STANDARD. EXHAUST FANS SHALL BE ACTIVATED WITH THE SHOWER LIGHT AND AUTOMATICALLY SHUT OFF WITHIN 30 MINUTES OF THE SHOWER LIGHT BE TURNED OFF USING A TIMER.

CODE - ALL FIXTURES, OUTLETS, RECEPTACLES, ETC., PENETRATING FIRE ASSEMBLIES SHALL BE RATED AND INSTALLED TO MEET THE REQUIREMENTS OF THE BUILDING CODE.

WEATHERPROOFING - ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF.

GROUNDING - THE COMPLETE ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH THE MOST CURRENT ADOPTED EDITION OF THE N.E.C. PROPER GROUND REQUIRED #4 COPPER WIRE, 20' LONG EMBEDED INTO CONCRETE AND PROVIDE BOND TO GAS OR WATER LINE.

QUALIFICATIONS - USE ONLY QUALIFIED AND COMPETENT SKILLED PERSONNEL AND PERFORM ALL WORK INCLUDING AESTHETICS AS WELL AS ELECTRICAL AND MECHANICAL ASPECTS TO STANDARDS CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.

ALTERATIONS - NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT APPROVAL FROM THE GENERAL CONTRACTOR OR STRUCTURAL ENGINEER.

LAYOUT - LOCATIONS OF OUTLETS, SWITCHES, AND FIXTURES ARE A REPRESENTATION OF THE REQUIREMENTS OF THE CLIENT / HOMEOWNER. THE LICENSED ELECTRICAL CONTRACTOR WILL USE THESE LOCATIONS FOR REFERENCE PURPOSES WHEN DESIGNING THE ACTUAL ELECTRICAL SYSTEM FOR THE STRUCTURE. THE OWNER WILL COORDINATE WITH THE ELECTRICAL CONTRACTOR IN THE FIELD, THE EXACT LOCATIONS OF OUTLETS AND FIXTURES ON THE SITE BEFORE INSTALLATION.

HVAC - HVAC SYSTEM TO BE DESIGNED AND INSTALLED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL CODES.

RECEPTACLES - RECEPTACLE OUTLETS SHALL BE PROVIDED NO MORE THAN 6 FEET FROM ANY POINT ALONG THE FLOOR LINE, INCLUDING WALL SPACE 2 FEET OR MORE IN WIDTH. KITCHEN AND DINING COUNTERTOPS WIDER THAN 12 INCHES SHALL BE PROVIDE WITH A RECEPTACLE OUTLET.

CEILING JUNCTION BOXES - CENTER ALL CEILING JUNCTION BOXES / LIGHTS IN ROOMS UNLESS NOTED OTHERWISE. OUTLET BOXES SHALL NOT BE USED AS SOLE SUPPORT FOR CEILING FANS, EXCEPT BOXES LISTED FOR THE APPLICATION SHALL BE PERMITTED AS THE SOLE MEANS OF SUPPORT UNDER 15 LBS.

OUTLETS - PROVIDE A MINIMUM OF 120 VOLT, 15 AMPERE-RATED BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, BREAKFAST, AND DINING AREAS. A SEPARATE 20-AMPERE-RATED BRANCH CIRCUIT FOR BATHROOM RECEPTACLE(S). ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE-PHASE, 150 AND 20-AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-Fault CIRCUIT INTERRUPTER(S). COUNTERTOP OUTLETS ARE REQUIRED EVERY 2 FEET, NOT TO EXCEED 4 FEET BETWEEN OUTLETS.

SWITCHES - ELECTRICAL SWITCHES ARE REQUIRED WITHIN 3 FEET OF ROOM OR HALLWAY ENTRANCES.

SMOKE DETECTORS - ALL SMOKE / CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INTERCONNECTED.

CARBON MONOXIDE DETECTORS - CARBON MONOXIDE DETECTORS ARE REQUIRED WHEN INSTALLING GAS APPLIANCES IN LIVABLE PORTIONS OF THE RESIDENCE OR AS REQUIRED BY CURRENT CODE.

FIXTURES - FIXTURES ARE LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATIONS PER I.R.C.

BATHROOM OUTLETS - PROVIDE 1 20 AMP CIRCUIT FOR BATHROOM G.F.I.'S WITH NO OTHER OUTLETS.

G.F.I. OUTLETS - ALL ELECTRICAL OUTLETS WITHIN 6 FEET OF SINKS, IN BATHROOMS, GARAGES AND WITHIN 6'-6" OF DIRECT GRADE LEVEL ACCESS SHALL BE G.F.I. PROTECTED.

EROSION CONTROL NOTES:

INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.

ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.

HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 3,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURER'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.

DISPERION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

STAIR NOTES:

HEADROOM - 6'-8" MIN. AND WIDTH 3'-0" MIN PER IRC R311.11 & R311.12.

RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 7-3/4". OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING BETWEEN TREADS IS LESS THAN 4".

TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 10" PER IRC R311.15 WITH A ONE INCH OVERHANG. ANY CHANGES TO THE STAIR TREAD DEPTHS WILL REQUIRE MORE ROOM FOR THE STAIRWAY, AND THE DESIGNER SHOULD BE CONTACTED FIRST.

HANDRAILS - SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OR TREADS OR FLIGHT WITH 4 OR MORE RISERS.

HANDRAIL HEIGHT - SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM THE TOP TO THE BOTTOM RISER. HANDRAILS SHALL RETURN PER IRC R311.5.6.2. HANDRAILS ADJACENT TO A WALL SHALL BE A SPACE OF NOT LESS THAN 1-1/2" FROM THE WALL TO THE HANDRAIL PER IRC R311.18.

FIRE BLOCKING - INSTALL FIRE BLOCKING AT TOP AND BOTTOM OF STRINGER SPAN AND WALL ALONG STRINGER PER IRC R302.11. COVER USABLE SPACE UNDER STAIR WITH 1/2" GUB PER IRC R311.22.

RAILS - OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A SPHERE OF 4" OR MORE IN DIAMETER CANNOT PASS THROUGH PER IRC R312.13.

EXTERIOR LANDINGS - DOORS TO THE EXTERIOR SHALL HAVE A MAXIMUM 1-3/4" STEP TO A MINIMUM 36" DEEP LANDING, BUT THE DOOR MAY NOT BUNG OVER THE LANDING PER IRC R313.

PORCH RAILING - PORCHES, BALCONIES OR RAISED FLOOR SURFACES MORE THAN 30" ABOVE THE FLOOR OR GRADE SHALL HAVE GUARD RAILS NOT LESS THAN 36" IN HEIGHT PER IRC R312.11 & R311.12.

Know what's below.
Call 811 before you dig.

RENDERINGS MAY DELECT OF ARCHITECTURAL PLANS OR ITEMS WHICH HAVE BEEN CHANGED. THE CONSTRUCTION DOCUMENTS ALWAYS SUPERCEDE THE RENDERINGS.

MECHANICAL NOTES:

DUCTS - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM R-8. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM R-6 OR CURRENT CODE.

REGISTERS - REGISTERS, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.

DRYER EXHAUST - THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4 INCH DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 25 FEET, UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM THE PROPERTY LINE OR FRONT OPENINGS INTO A BUILDING.

EXHAUSTS - EXHAUST AIR FROM KITCHENS, BATHROOMS AND TOILET ROOMS SHALL NOT BE RE-CIRCULATED WITHIN THE RESIDENCE OR TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. THEY SHALL NOT DISCHARGE INTO AN ATTIC, CRAWLSPACE OR OTHER AREAS INSIDE THE BUILDING.

CONDENSATE DRAINS - RUN A/C CONDENSATE DRAINS (FULL SIZE) TO THE NEAREST PLANTER AREA, FLOOR SINK, OR LAVATORY TAILPIECE. USE FLEX CONNECTION AT A/C CONDENSATE DRAIN CONNECTION. ALL CONDENSATION DRAIN LINES IN CEILING SPACE SHALL BE INSULATED.

AIR DISTRIBUTION SYSTEM - AIR DISTRIBUTION SYSTEM (SUPPLY & RETURN) SHALL BE BALANCED TO PROVIDE OPTIMUM AIR CIRCULATION THROUGHOUT ENTIRE CONDITIONED SPACE. A WRITTEN TEST AND BALANCE REPORT IS REQUIRED FROM THE FIRM SPECIFICALLY ENGAGED IN THE BUSINESS OF BALANCING A/C SYSTEMS. A/C CONTRACTOR SHALL PAY FOR THIS SERVICE AND PROVIDE THIS REPORT TO THE OWNER.

DUCT PENETRATIONS - ALL DUCT PENETRATIONS THROUGH THE ROOF SHALL BE LOCATED BETWEEN JOISTS.

ELECTRICAL SUPPLY - THE MECHANICAL CONTRACTOR SHALL WORK WITH THE ELECTRICIAN TO COORDINATE AND SUPPLY ANY AMP LOADS, HEATER KW LOADS, VOLTAGES REQUIRED AND OTHER PERTINENT ELECTRICAL INFORMATION TO ENSURE PROPER ELECTRICAL SUPPLY TO MECHANICAL SYSTEMS.

PRE-BID VISIT - THE MECHANICAL CONTRACTOR SHALL VISIT AND EXAMINE THE PREMISES AND / OR JOB SITE SO AS TO ASCERTAIN THE EXISTING CONDITIONS BEFORE BIDDING. NO EXTRAS WILL BE ALLOWED BECAUSE OF FAILURE TO DETERMINE ACTUAL JOB CONDITIONS. DESIGNER'S INK SHALL BE NOTIFIED OF ANY CHANGES REQUIRED TO FACILITATE THE INSTALLATION OF ANY MECHANICAL SYSTEMS BEFORE CONSTRUCTION.

FIRE DAMPERS - FIRE DAMPERS TO BE PROVIDED AT LOCATIONS AS REQUIRED BY GOVERNING CODES. FIRE DAMPERS TO BE PROVIDED WHEREVER DUCT PENETRATES FIRE RATED CEILINGS OR WALLS.

PIPE SIZES - ROUTING & SIZING OF ALL PIPING AND CONDENSATION DRAIN PIPING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

FIREPLACE - CONTRACTOR SHALL PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND COPY OF APPLICABLE I.C.B.O. RESEARCH REPORT WILL BE MADE AVAILABLE TO INSPECTOR ON 0" CLEARANCE FIREPLACE INSTALLATION PER I.R.C. ALL GAS FIREPLACES WILL BE PROPERLY VENTED.

STRUCTURE - THE BUILDING OR STRUCTURE SHALL NOT BE WEAKENED BY THE INSTALLATION OF MECHANICAL SYSTEMS. WHERE FLOORS, WALLS, CEILINGS OR ANY OTHER PORTION OF THE BUILDING OR STRUCTURE ARE REQUIRED TO BE ALTERED OR REPLACED IN THE PROCESS OF INSTALLING OR REPAIRING ANY SYSTEM, THE BUILDING OR STRUCTURE SHALL BE LEFT IN A SAFE STRUCTURAL CONDITION IN ACCORDANCE WITH THE IRC.

RESPONSIBILITIES - ALL MECHANICAL WORK IS TO BE BIDDER DESIGNED BY A LICENSED MECHANICAL CONTRACTOR. VERIFY WITH MECHANICAL CONTRACTOR EXACT SYSTEM AND CAPABILITIES OF THAT SYSTEM PRIOR TO INSTALLATION. MECHANICAL CONTRACTOR TO ENSURE PROPER SIZING, BALANCE AND EFFICIENCY OF SYSTEM BASED ON THE FINAL EQUIPMENT SUPPLIED. MECHANICAL CONTRACTOR TO RETURN PRIOR TO CERTIFICATE OF OCCUPANCY TO CLEAN DUCTWORK OF CONSTRUCTION DEBRIS AND RE-BALANCE SYSTEM TO MANUFACTURER'S SPECIFICATIONS.

PLUMBING NOTES:

SHOWERS - SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.

SHOWER
HOWER OR TUB COMPARTMENT. CEMENT, FIBER-CEMENT OR RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.

PLUMBING FIXTURES - PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: WATER CLOSETS - TANK TYPE 1.6 GALLONS PER FLUSH, SHOWER HEADS - 2.5 GALLONS PER MINUTE, FAUCETS - 2.2 GALLONS PER MINUTE AND PROVIDE AERATOR.

WATER TREATMENT SYSTEMS - WATER TREATMENTS SYSTEMS SHALL BE EQUIPPED WITH AN AUTOMATIC SHUTOFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE.

DISHWASHER - DISHWASHERS SHALL BE CONNECTED TO A DISPOSER AND SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE.

HOT WATER RECIRCULATION - A HOT WATER RECIRCULATION PUMP SHOULD BE PROVIDED FOR WATER HEATERS LOCATED MORE THAN 20 FEET FROM THE FURTHEST FIXTURE SERVED. A MANUAL CONTROL OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TEMPERATURE SENSOR SHUT-OFF.

PIPE INSULATION - ALL PIPING SHALL BE UNWRAPPED OR INSULATED AS PER MANUFACTURER AND I.E.C.C. ALL HOT WATER AND COLD WATER PIPING ABOVE CEILINGS SHALL BE INSULATED WITH Owens CORNING FIBERGLASS PIPE INSULATION OR OTHER CODE APPROVED EQUAL.

CLEAN OUTS - ALL CLEANOUTS SHALL BE PROVIDED IN ACCORDANCE WITH I.P.C., I.R.C. AND OTHER LOCAL CODES THAT APPLY.

CONTRACTOR VISIT - ALL PLUMBING WORK TO BE BIDDER DESIGNED BY A LICENSED PLUMBER. THE PLUMBING CONTRACTOR SHALL VISIT AND EXAMINE THE PREMISES AND / OR JOB SITE SO AS TO ASCERTAIN THE EXISTING CONDITIONS BEFORE BIDDING. NO EXTRAS WILL BE ALLOWED BECAUSE OF THE CONTRACTOR'S FAILURE TO DETERMINE ACTUAL JOB SITE CONDITIONS.

CUT-OFFS - PROVIDE 1/4 TURN HANDLE ANGLE STOP VALVES AT ALL HOT AND COLD WATER SUPPLIES TO FIXTURES.

WATER HEATER CONNECTIONS - DI-ELECTRIC UNIONS SHALL BE PROVIDED AT ALL CONNECTIONS TO WATER HEATERS. PROVIDE A.S.M.E. CODED P & T RELIEF VALVE FOR WATER HEATERS FULL SIZE FROM WATER HEATER TO 6" ABOVE FINISHED GRADE.

WASTE LINES - ALL WASTE LINES UNDER SLAB SHALL BE CAST IRON OR CODE APPROVED P.V.C.

WATER HEATER - IF WATER HEATER IS LOCATED IN THE GARAGE AREA, IT MUST BE INSTALLED WITH SOURCE OF IGNITION 18 INCHES ABOVE THE FLOOR WITH A BARRIER TO PREVENT A VEHICLE FROM STRIKING IT. A PAN WITH DRAIN SHALL BE PLACED UNDER ALL WATER HEATERS TO PREVENT DAMAGE FROM A TANK FAILURE.

ROOF NOTES:

MATERIALS - THE OWNER WILL SELECT THE ROOFING MATERIALS USED INCLUDING STYLE AND COLOR.

GUTTER / DOWNSPOUTS - GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. THE STYLE AND COLOR WILL BE CHOSEN BY THE OWNER. THE DOWNSPOUTS LOCATIONS WILL BE DETERMINED ON SITE BY THE GENERAL CONTRACTOR TO WORK WITHIN THE OVERALL SITE DRAINAGE SYSTEM DEVELOPED FOR THE SITE.

WEATHING - ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY FLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R402.3(1).

VENTILATION - ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQUARE FOOT PER 150 SQUARE FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENING SHALL BE LOCATED TO PROVIDE CROSS VENTILATION IF SPRAY FOAM IS USED IN THE ATTIC SPACE, VENTILATION AND ANTI-CONDENSATIONS MEASURES WILL BE TAKEN PER THE MANUFACTURER'S SPECIFICATIONS.

ICE BARRIER - ROOFING REQUIRES AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING IF RECOMMENDED BY THE ROOFING MANUFACTURER OR ON ALL ROOF SLOPES 4:12 OR LESS.

METAL ROOFING - METAL ROOFING SHALL BE APPLIED TO SOUD SHEATHING. METAL ROOFING OVER STRUCTURAL DECKING SHALL COMPLY WITH TABLE IRC R305.10.3. THE MINIMUM SLOPE FOR STANDING SEAM METAL ROOFING SYSTEMS IS PER IRC R305.10.2. INSTALL IN ACCORDANCE WITH IRC R305.

SLOPE - THE ROOFING CONTRACTOR WILL INSTALL ROOFING MATERIAL PER MANUFACTURER'S SPECIFICATIONS AND USE ONLY MATERIALS ALLOWED FOR THE SPECIFIED SLOPE.

FLASHING - CORROSION-RESISTANT METAL OR .019 INCH NOMINAL THICKNESS OR MINERAL SURFACE ROLL ROOFING WEIGHING A MINIMUM OF 11 LBS. OVER 100 SQ. FT. SHALL BE USED AS REQUIRED. VALLEY LINING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING ROOFING MATERIAL FOLLOWING IRC R305.2.8.2.

ENGINEERING - ROOF STRUCTURES SHALL BE SPECIFIED AND ENGINEERED BY THE TRUSS MANUFACTURER.

NAILING NOTES:

JOIST TO BILL OR GIRDER BRIDGING TO JOIST
SOLE PLATE TO JOIST OR BULK'S
STUD TO SOLE PLATE
TOP PLATE TO STUD

DOUBLE STUDS
DOUBLE TOP PLATES
CONTINUOUS HEADER, TWO PIECES
BUILT-UP HEADER, TWO PIECES
1/2" SPACER
TOP PLATES, LAPs AND INTERSECTIONS

CEILING JOISTS TO PLATE
CONTINUOUS HEADER TO STUD
CEILING JOISTS, LAPs OVER PARTITIONS
CEILING JOISTS TO PARALLEL RATTERS
RATTER TO PLATE
1" BRACE TO EACH STUD AND PLATE
BUILT-UP CORNER STUDS
2" FLANKS

1/2" FLYWOOD ROOF AND WALL SHEATHING
3/4" FLYWOOD SUBFLOOR

2X MULTIPLE JOISTS - STAGGER @ 15" OC
W/3" @ EA END OR SPICE
3" OR FEWER
(4) OR MORE

16D NAILS
1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

TOE NAIL (3)-8D
TOE NAIL (4)-8D
FACE NAIL (6) @ 16" OC
TOE NAIL (4)-8D, END NAIL (2) 16D
END NAIL (2)-16D

FACE NAIL (6) @ 24" OC
FACE NAIL (6) @ 16" OC
16D @ 16" OC ALONG EA. EDGE

FACE NAIL (3)-8D
TOE NAIL (4)-8D
FACE NAIL (3)-10D
FACE NAIL (3)-10D
TOE NAIL (3)-8D
FACE NAIL (3)-8D
10D @ 24" OC
16D @ 16" EA BRG.

EDGES 8D @ 6" OC
INTERMEDIATE 8D @ 12" OC

EDGES 8D @ 6" OC
INTERMEDIATE 8D @ 12" OC

INDEX

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5	PLANS - ROOF & ELECTRICAL
6	EXTERIOR ELEVATIONS (OPTION 'A')
7	EXTERIOR ELEVATIONS (OPTION 'B')
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9	GENERAL CONSTRUCTION NOTES
10	EROSION CONTROL PLAN
11	EROSION CONTROL PLAN / NOTES
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16	FOUNDATION PLAN
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18	FIRE PROTECTION PLAN
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21	DETAILS (CONT.)

BRACING NOTES:

B.P. BRACED WALL PANEL
3'-4" MIN LENGTH W/ 7/16" OSB OR 1/2" FLYWOOD AND 8D COMMONS 6" O/C AT ALL PANEL EDGES, 12" O/C FIELD.

I.B.P. INTERIOR BRACED WALL PANEL
1/2" GYP BD PER R 602.10.303.1/2 GUB, EACH SIDE W/ #6 X 1 1/4 TYPE 3 OR W SCREWS PER ASTM C1002 @ 7" O/C @ ALL SUPPORTS.

A.B.P. ALTERNATE BRACED WALL PANEL
2'-0" MIN WIDTH W/ 7/16" OSB OR 1/2" FLYWOOD AND 8D COMMONS 6" O/C AT ALL PANEL EDGES, 12" O/C FIELD & (2) A.B. PER PANEL LOCATED AT 1/4 PONTS & 1800# MIN HOLD DOWN EACH END *HFAND22 OR STD10).

SINGLE HEATED SQUARE FOOTAGE (TO FRAME)		
DESCRIPTION	AREA, STANDARD (SQ FT)	FLOOR
SQUARE FOOTAGE TO FRAME	621.81	1
TOTALS:	621.81	

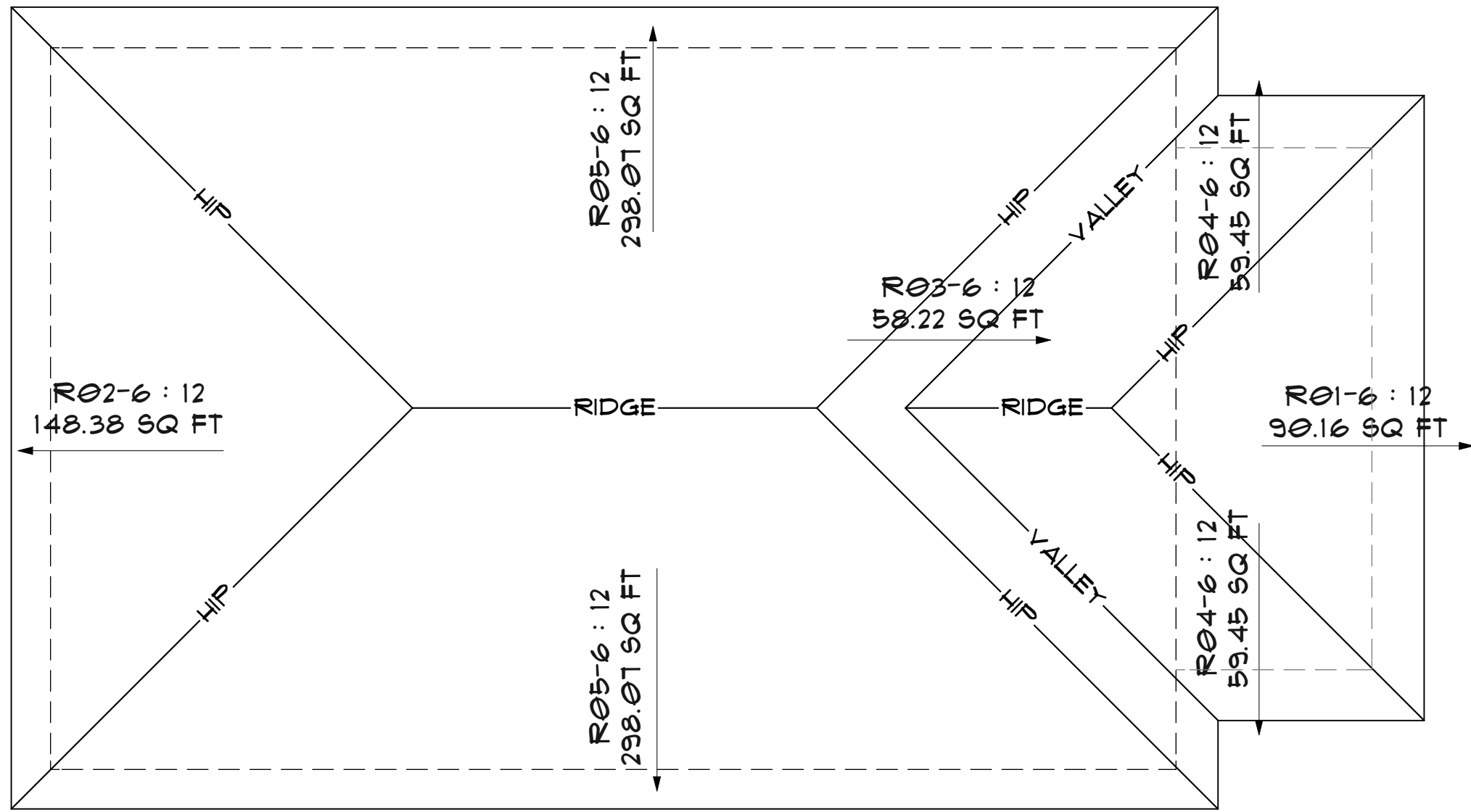
HEATED SQUARE FOOTAGE (TO VENEER)		
DESCRIPTION	AREA, STANDARD (SQ FT)	FLOOR
SQUARE FOOTAGE TO VENEER	659.34	1
TOTALS:	659.34	

UNHEATED SQUARE FOOTAGE (TO VENEER)		
DESCRIPTION	AREA, STANDARD (SQ FT)	FLOOR
FRONT PORCH SQUARE FOOTAGE (UNHEATED)	90	1
MECHANICAL SQUARE FOOTAGE (UNHEATED)	10.99	1
TOTALS:	100.99	

DUPLPLEXES (X3) HEATED SQUARE FOOTAGE (TO FRAME)		
DESCRIPTION	AREA, STANDARD (SQ FT)	FLOOR
SQUARE FOOTAGE TO FRAME	1243.17	1
TOTALS:	1243.17	

HEATED SQUARE FOOTAGE (TO VENEER)		
DESCRIPTION	AREA, STANDARD (SQ FT)	FLOOR
SQUARE FOOTAGE TO VENEER	1294.55	1
TOTALS:	1294.55	

UNHEATED SQUARE FOOTAGE (TO VENEER)		
DESCRIPTION	AREA, STANDARD (SQ FT)	FLOOR
FRONT PORCH SQUARE FOOTAGE (UNHEATED)	180	1
MECHANICAL SQUARE FOOTAGE (UNHEATED)	21.98	1
TOTALS:	201.98	



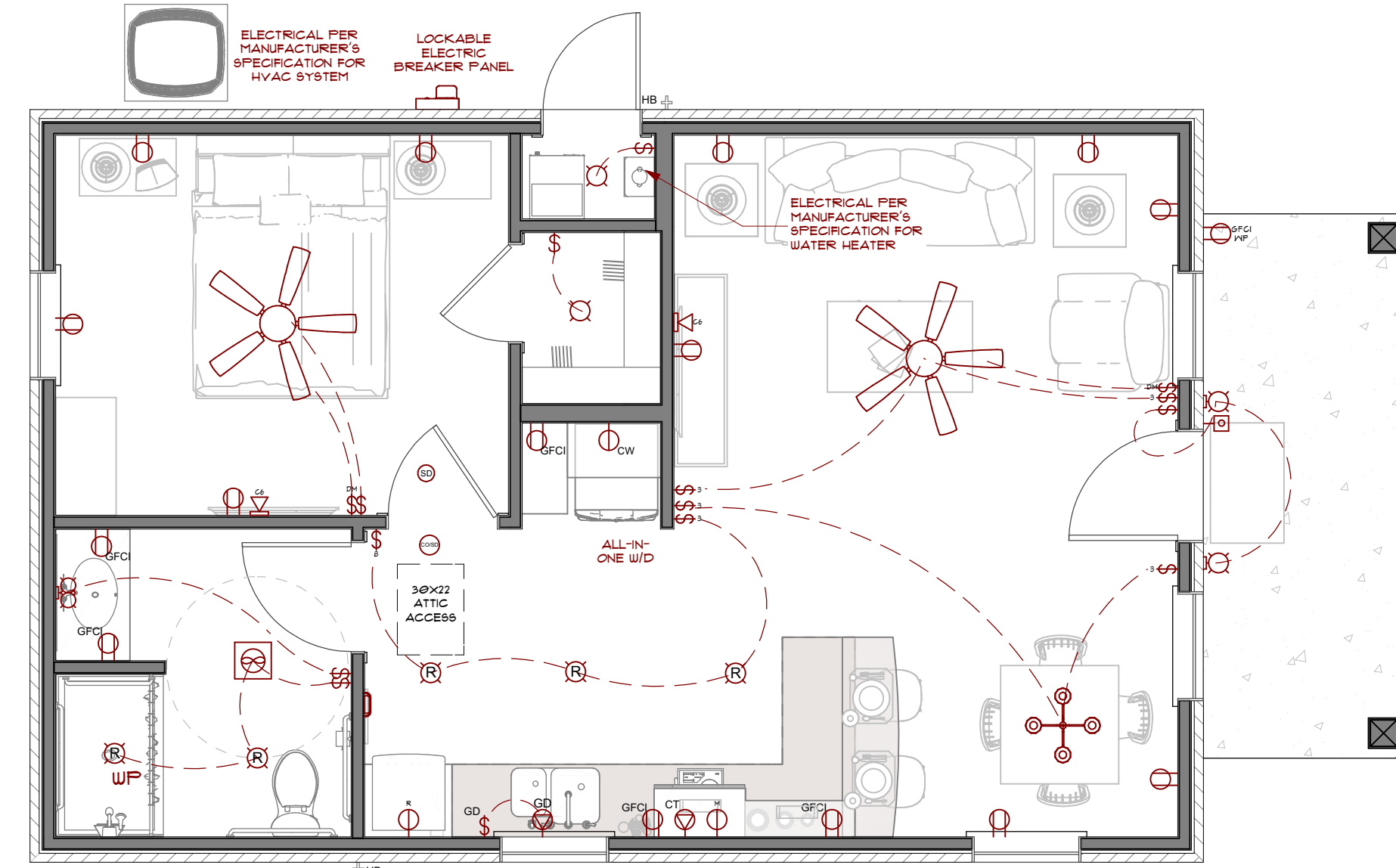
ROOF LAYOUT PLAN (SINGLE)
SCALE: 1/4" = 1'-0"

ROOF DATA:

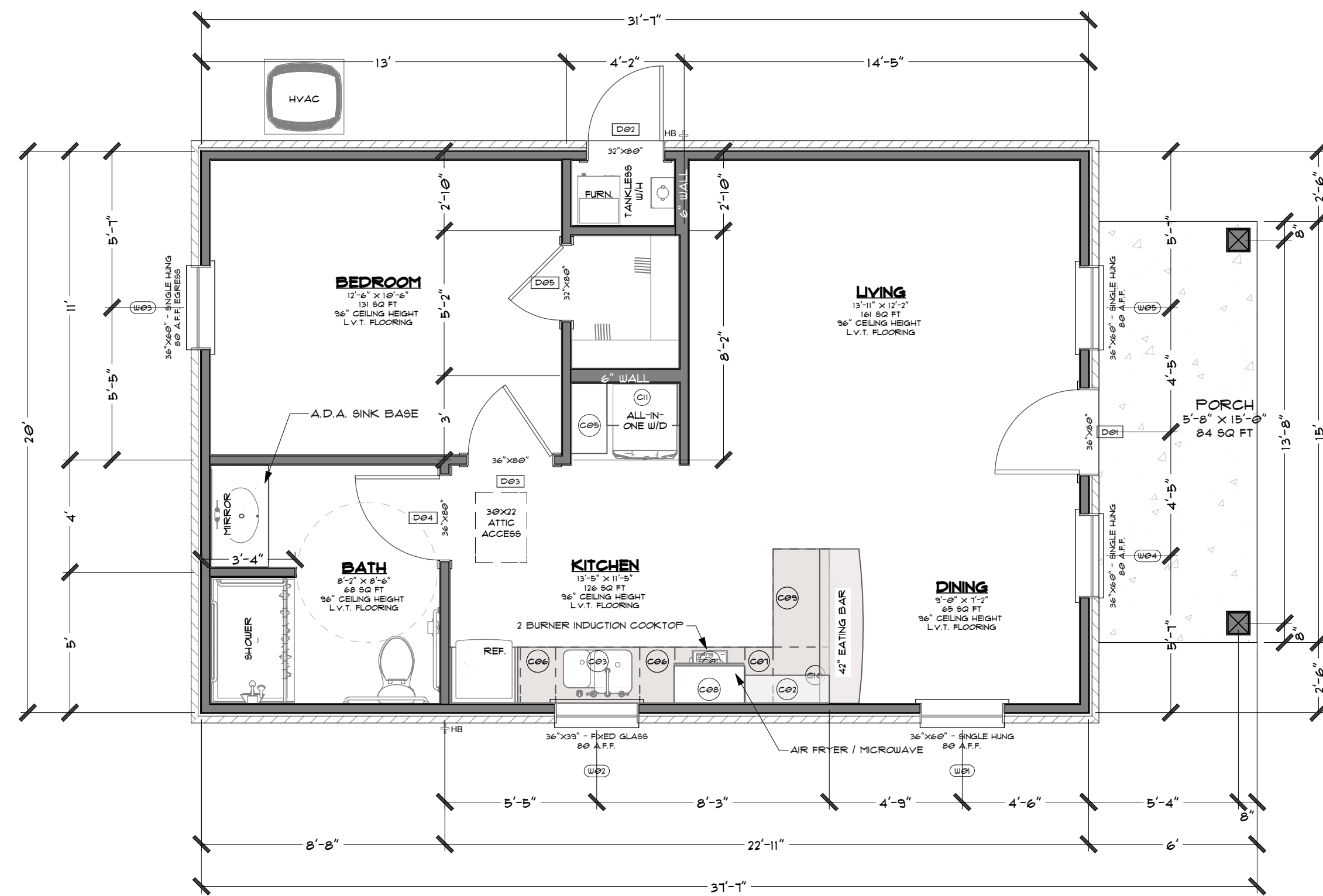
ROOF AREAS - SINGLE			
NUMBER	QTY	DESCRIPTION	AREA, SURFACE
R01	1	ROOF PLANE	90.16
R02	1	ROOF PLANE	148.38
R03	1	ROOF PLANE	58.22
R04	2	ROOF PLANE	59.45
R05	2	ROOF PLANE	298.01
TOTALS:			1011.8

ROOF OVERHANG - 1'-6"

RIDGE VENTS WHERE APPLICABLE. POWERED ATTIC VENTS PER OWNER'S SPECS. GUTTER AND DOWNSPOUTS AS REQUIRED (TYP.)

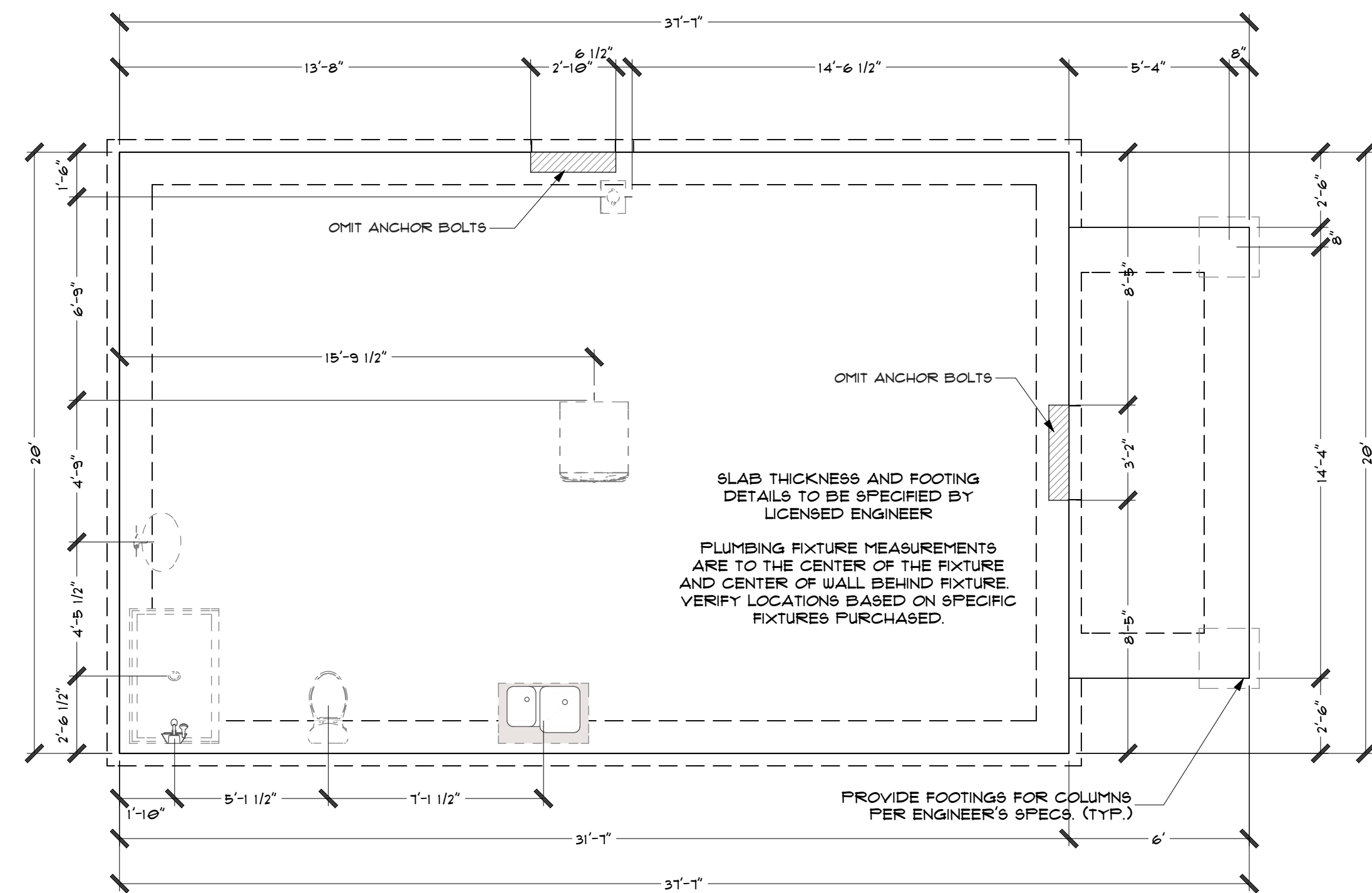


1ST FLOOR ELECTRICAL PLAN (SINGLE)
SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN (SINGLE)
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE									
NUMBER	QTY	ROOM NAME	SIZE	WIDTH	HEIGHT	BOTTOM	EGRESS		
W01	1	DINING	3050	36"	60"	20"			
W02	1	KITCHEN	3033	36"	39"	41"			
W03	1	BEDROOM	3050	36"	60"	20"	YES		
W04	1	DINING/PORCH	3050	36"	60"	20"			
W05	1	LIVING/PORCH	3050	36"	60"	20"			
DOOR SCHEDULE									
NUMBER	QTY	ROOM NAME	TYPE	SIZE	WIDTH	HEIGHT	SWING	SIDE	
D01	1	LIVING/PORCH	HINGED	3068	36"	80"	IN		
D02	1	CLOSET	HINGED	2000	32"	80"	OUT		
D03	1	BEDROOM/KITCHEN	HINGED	3068	36"	80"	IN		
D04	1	KITCHEN/BATH	HINGED	3068	36"	80"	OUT		
D05	1	UTILITY/BEDROOM	HINGED	2068	32"	80"	OUT		
CABINET SCHEDULE									
NUMBER	ROOM NAME	QTY	WIDTH	DEPTH	HEIGHT	DESCRIPTION			
C01	KITCHEN	1	30"	24"	36"	BASE CABINET			
C02	KITCHEN	1	36"	12"	42"	WALL CABINET			
C03	KITCHEN	1	36"	24"	36"	BASE CABINET			
C04	KITCHEN	1	21"	24"	96"	UTILITY CABINET			
C05	KITCHEN	1	15"	30"	96"	UTILITY CABINET			
C06	KITCHEN	2	15"	24"	36"	BASE CABINET			
C07	KITCHEN	1	12"	24"	36"	BASE CABINET			
C08	KITCHEN	1	30"	16"	24"	WALL CABINET			
C09	KITCHEN	1	42"	24"	36"	BASE CABINET			
C10	KITCHEN	1	24"	24"	36"	BASE CABINET			
C11	KITCHEN	1	30"	18"	18"	WALL CABINET			
C12	BATH	1	42"	22"	34"	A.D.A. BASE CABINET			



FOUNDATION LAYOUT PLAN (SINGLE)
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

DIMENSIONS - DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. THEY ARE INTENDED TO PROVIDE THE PLUMBER WITH DIMENSIONS TO THE CENTER OF THE FIXTURES AND CENTER OF THE WALL ADJACENT TO THE FIXTURE TO ASSIST IN LOCATING THE WATER AND GAS SUPPLY LINES. DRAIN LOCATIONS ARE HEAVILY DEPENDENT ON THE MANUFACTURER AND MODEL OF FIXTURE YOU SELECT, SO DRAIN LOCATIONS ARE NOT SHOWN. PLEASE CONSULT WITH YOUR MANUFACTURER'S SPECIFICATIONS FOR THE FIXTURES YOU SELECT SO THAT THE PLUMBER CAN ROUGH IN THE DRAINS IN THE PROPER LOCATIONS. ALL DIMENSIONS ARE FROM EDGE OF SLAB OR FRAMING DEPENDING ON THE TYPE OF FOUNDATION.

ADDITION FOUNDATION - IN CASES WHERE A NEW FOUNDATION WILL BE TIED INTO THE EXISTING FOUNDATION, ALL NEW FOUNDATIONS WILL BE TIED INTO THE EXISTING FOUNDATION PER AN ENGINEER'S SPECIFICATIONS.

LOCATION - THE CONTRACTOR SHALL VERIFY WITH THE OWNER THE EXACT POSITION & LOCATION OF THE HOME PRIOR TO ANY CONSTRUCTION AND STAKING TO ENSURE PROPER SETBACKS AS WELL AS NO INTERFERENCE WITH EXISTING LOT EASEMENTS.

EXCAVATION - ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL AND BELOW THE LOCAL FROST LINE. THE FOUNDATION ELEVATION LEVEL TO BE ABOVE THE FLOOD PLAN AS REQUIRED BY CODE. NO FOOTINGS SHALL BE POURED ON LOOSE OR UNSUITABLE SOIL, IN WATER, OR ON FROZEN GROUND. ALL FOOTINGS MUST CONFORM TO APPLICABLE CODES REGARDING FROST PROTECTION.

BACKFILL - ALL BACKFILL UNDER AND WITHIN 5 FEET OF THE BUILDING SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY BACKFILL DIRECTLY UNDER FOOTINGS AND WITHIN 2 FEET OF EACH SIDE SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY.

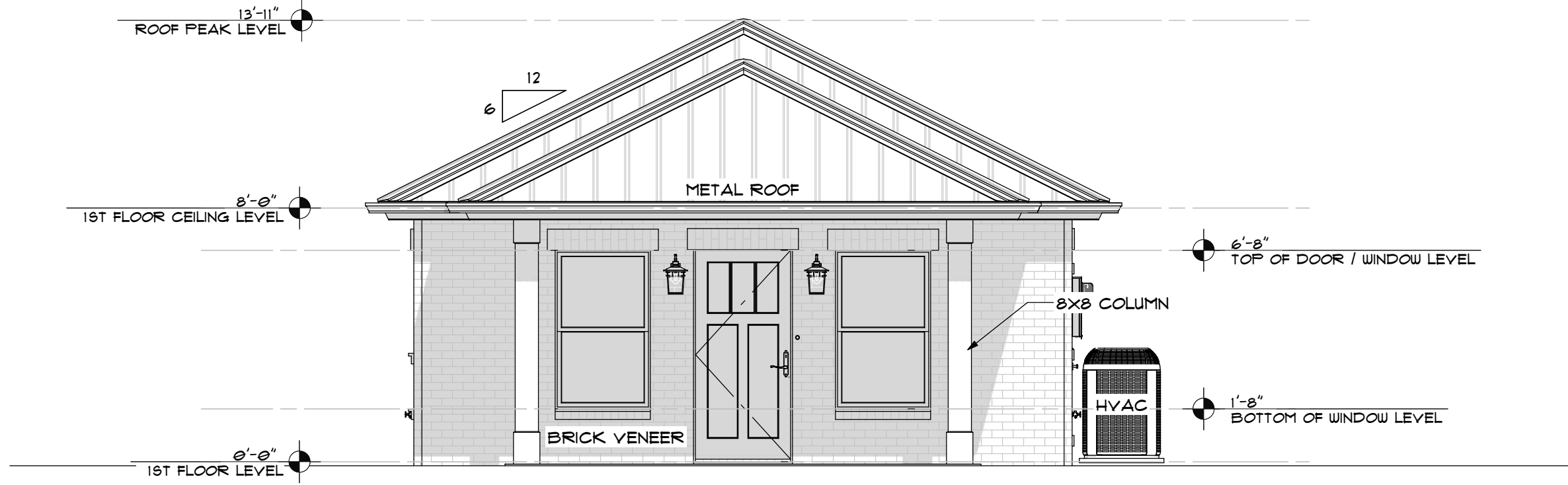
DRAINAGE - THE GENERAL CONTRACTOR WILL ENSURE THAT THE FINISHED GRADE SLOPES AWAY FROM THE STRUCTURE SUFFICIENTLY TO PREVENT WATER STANDING OR FLOWING INTO THE STRUCTURE OR ADJACENT PROPERTY. DRAINAGE SHALL BE PROPERLY TRANSFERRED INTO THE EXISTING LOT SURFACE WATER DRAINAGE SYSTEM. ANY AREA DIRECTLY IMPACTED BY THE ADDITION SHALL BE MODIFIED TO RESTORE EXISTING SURFACE WATER DRAINAGE.

CONCRETE - ALL CONCRETE WILL BE OF A CONSISTENT MIX TO THE RECOMMENDATION OF THE MANUFACTURER FOR THE SOIL TYPE AND SITE CONDITIONS. REINFORCED STEEL WILL BE USED AS REQUIRED BY CODE AND STANDARD BUILDING PRACTICES.

ANCHOR BOLTS - ANCHOR BOLTS SHALL BE PLACED IN THE FOUNDATION SLAB DURING THE POUR AT LEAST 1" DEEP SPACED NO LESS THAN 6 FEET APART OR 1 FOOT FROM ANY CORNER.

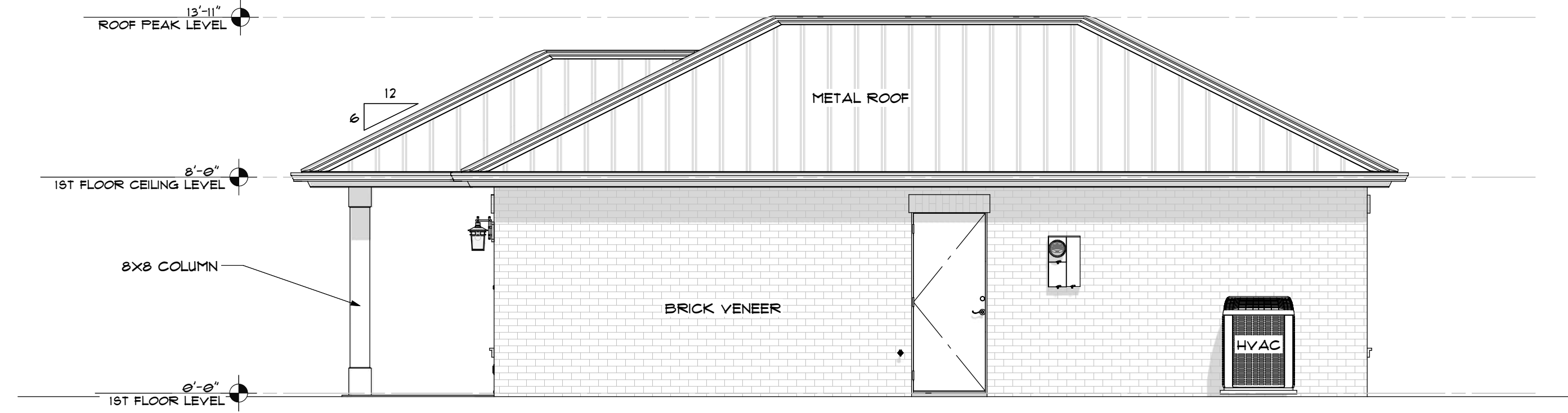
SOIL TESTING - NO SOIL TESTING HAS BEEN CONDUCTED ON THE SITE, AND FAILURE TO CONDUCT SUCH TESTS BEFORE CONSTRUCTION WILL BE AT THE SOLE RISK OF THE HOMEOWNER. IF ANY UNSTABLE OR COLLAPSIBLE OR OTHERWISE POOR SOIL CONDITIONS ARE DISCOVERED DURING EXCAVATION, A SOILS ENGINEER SHOULD BE NOTIFIED IMMEDIATELY FOR A SOILS STUDY AT THE OWNER'S EXPENSE.

ENGINEERING - THIS FOUNDATION PLAN WAS NOT PREPARED BY A LICENSED ENGINEER. DESIGNER'S INK HOURLY RECOMMENDS AN ENGINEER BE CONSULTED PRIOR TO CONSTRUCTION WHO WILL TAKE INTO ACCOUNT THE RESULTS OF SOIL TESTING AND ANY LOAD CONSIDERATIONS. A QUALIFIED PROFESSIONAL ENGINEER SHALL SPECIFY ALL FOUNDATION WALLS, SLABS, FOOTINGS, SUPPORT BEAMS, AND WEB TRUSSES AND SUPERCEDES ALL NOTES LISTED ON THE PLAN. THE FOUNDATION PLAN SHOWN IS A LAYOUT ONLY.



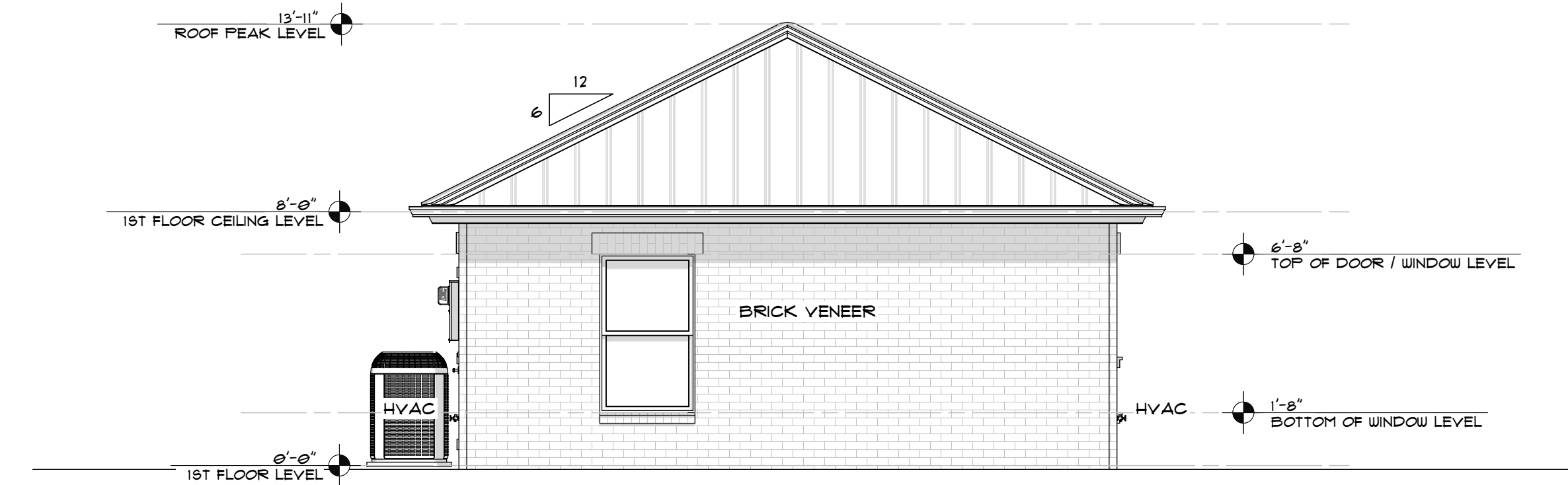
FRONT ELEVATION (SINGLE)

SCALE: 1/4" = 1'-0"



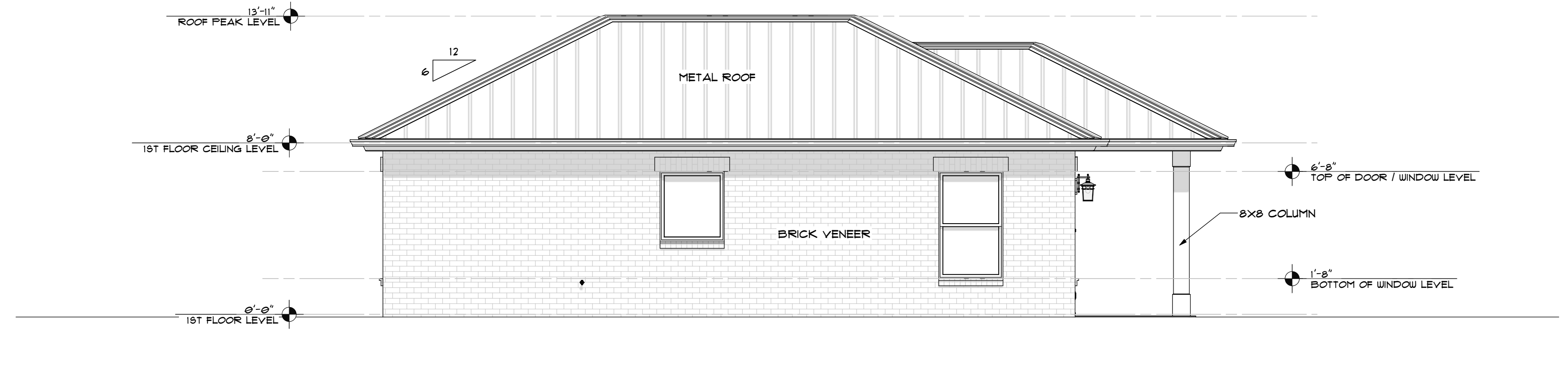
SIDE ELEVATION (SINGLE)

SCALE: 1/4" = 1'-0"



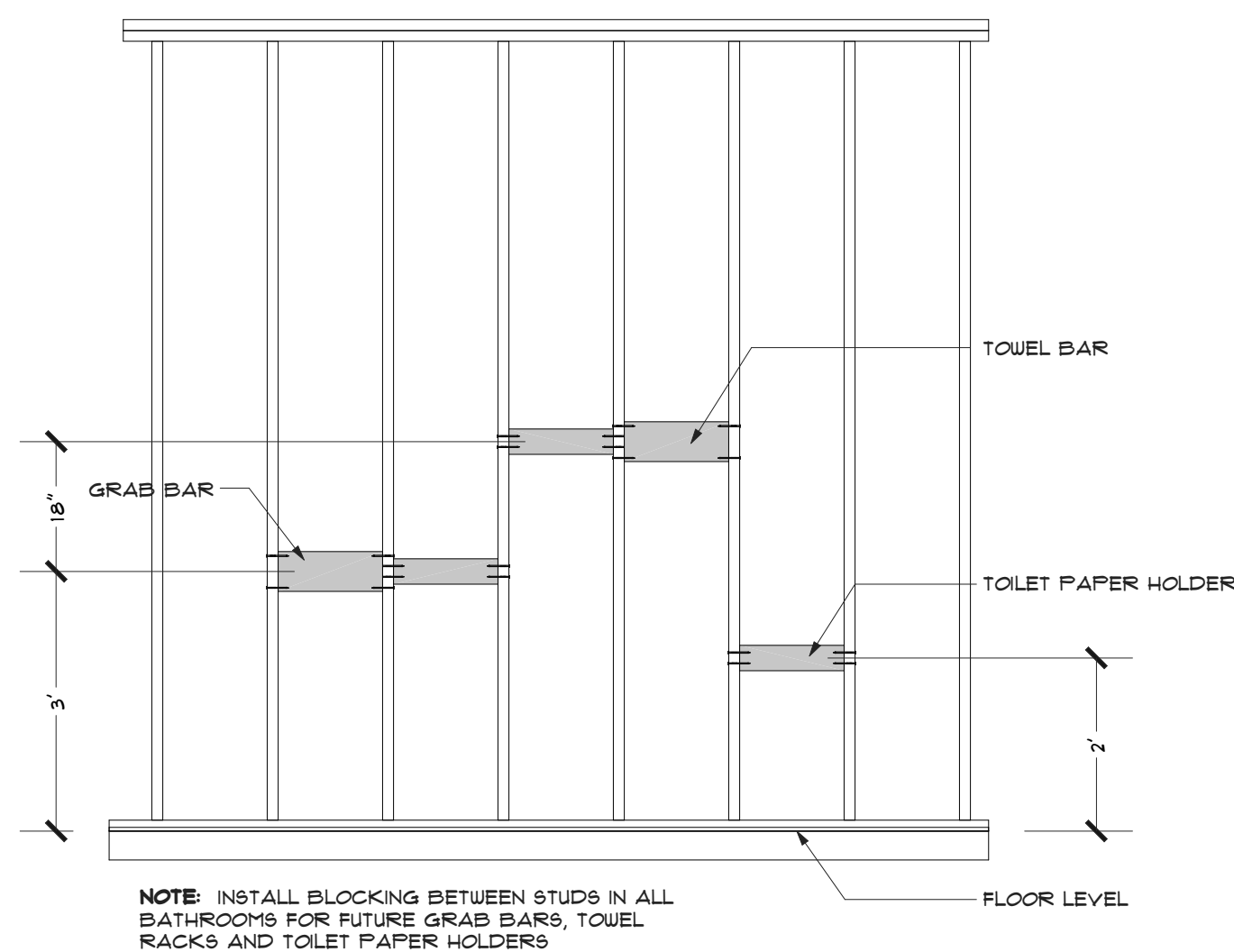
REAR ELEVATION (SINGLE)

SCALE: 1/4" = 1'-0"



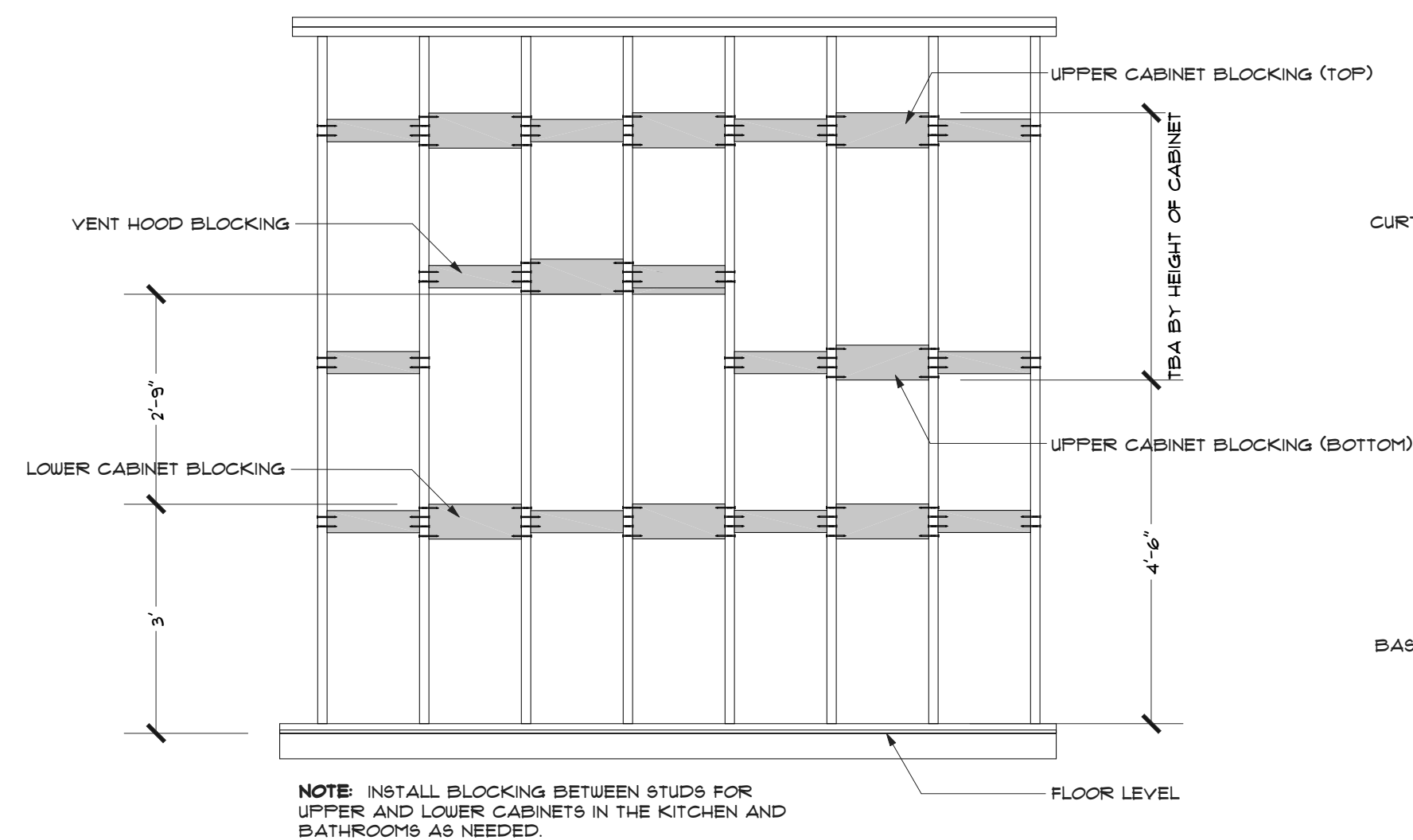
SIDE ELEVATION (SINGLE)

SCALE: 1/4" = 1'-0"



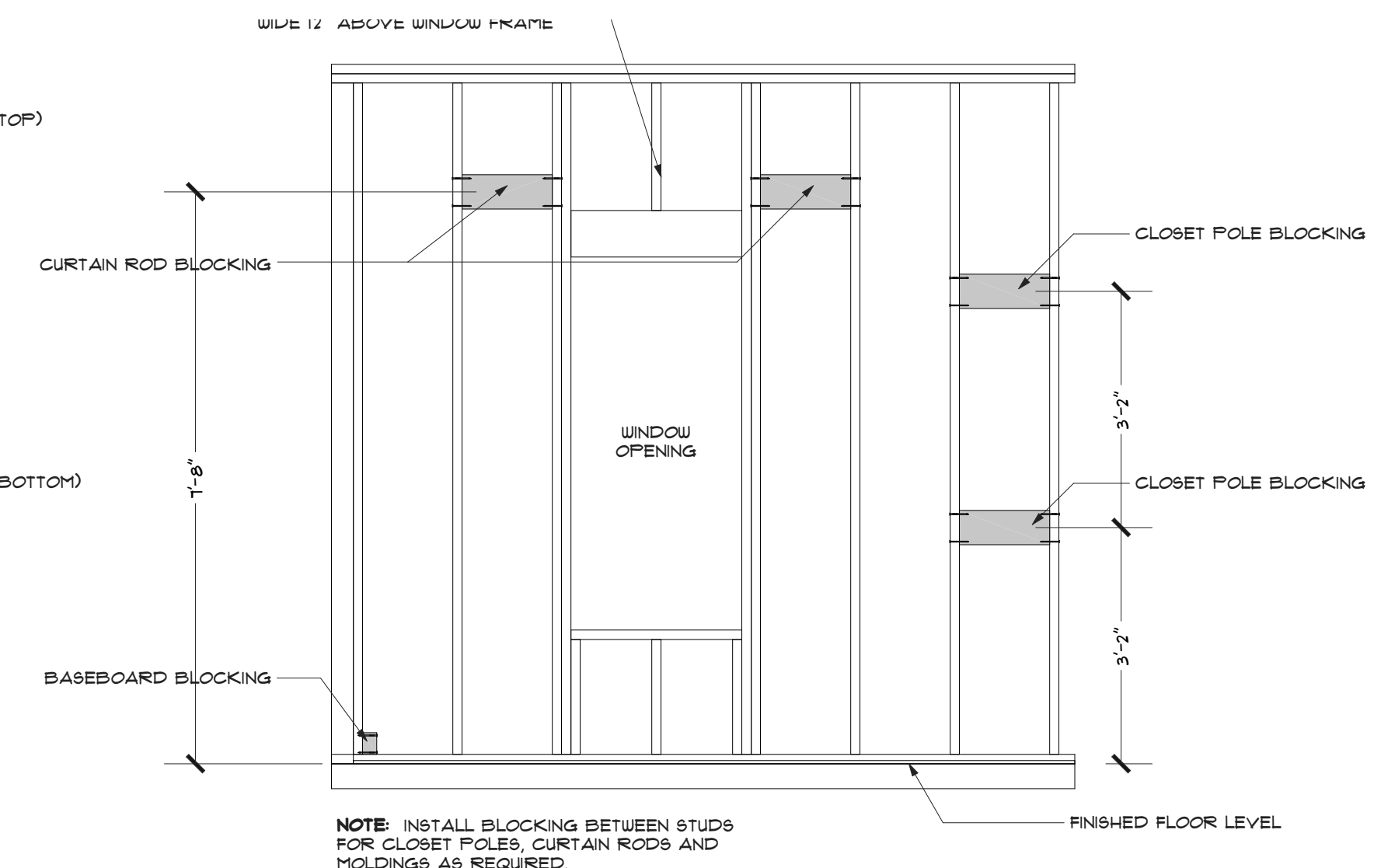
BATHROOM BLOCKING DETAIL

SCALE: 1/2" = 1'-0"



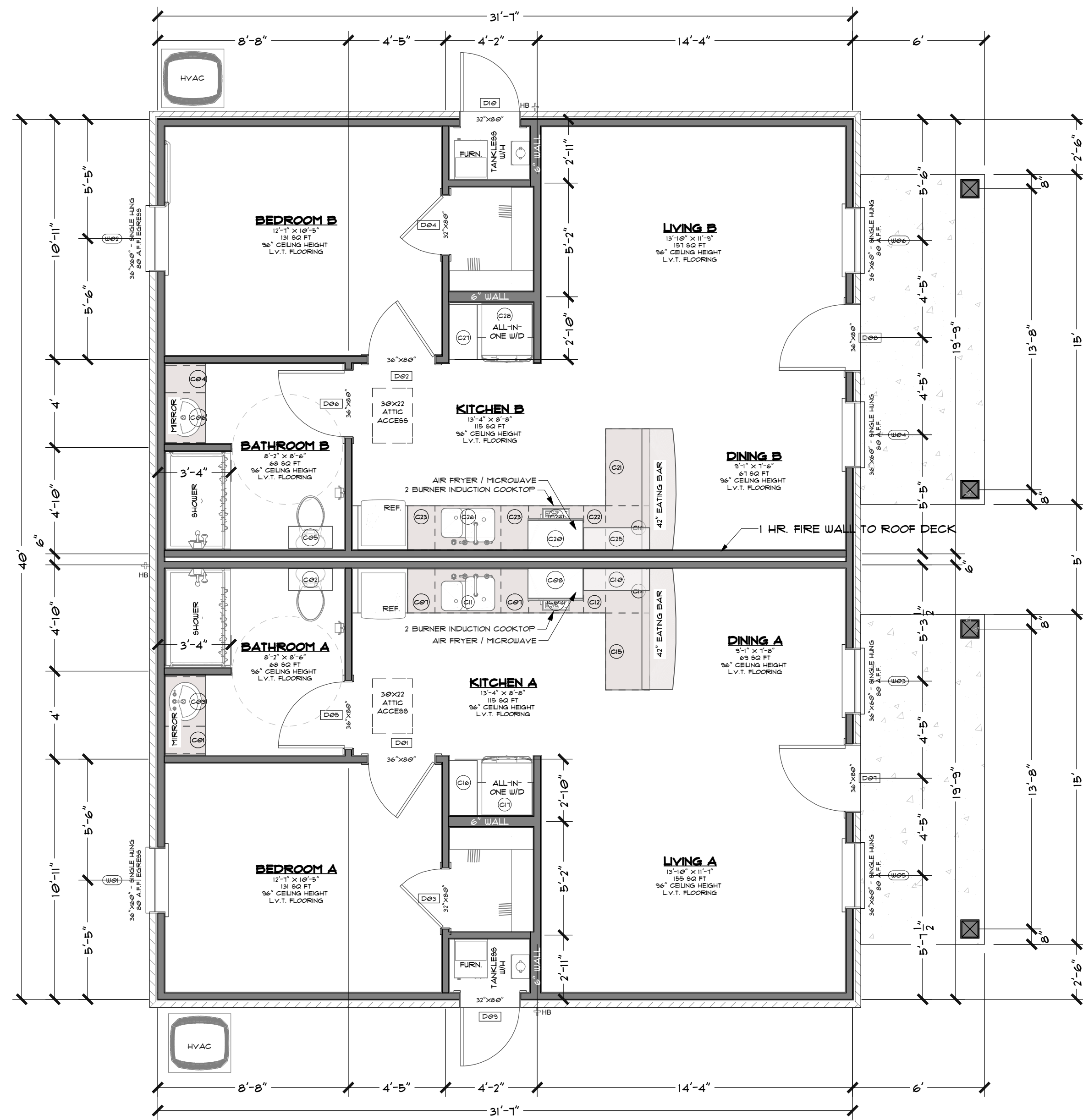
CABINET BLOCKING DETAIL

SCALE: 1/2" = 1'-0"



MISC. BLOCKING DETAIL

SCALE: 1/2" = 1'-0"



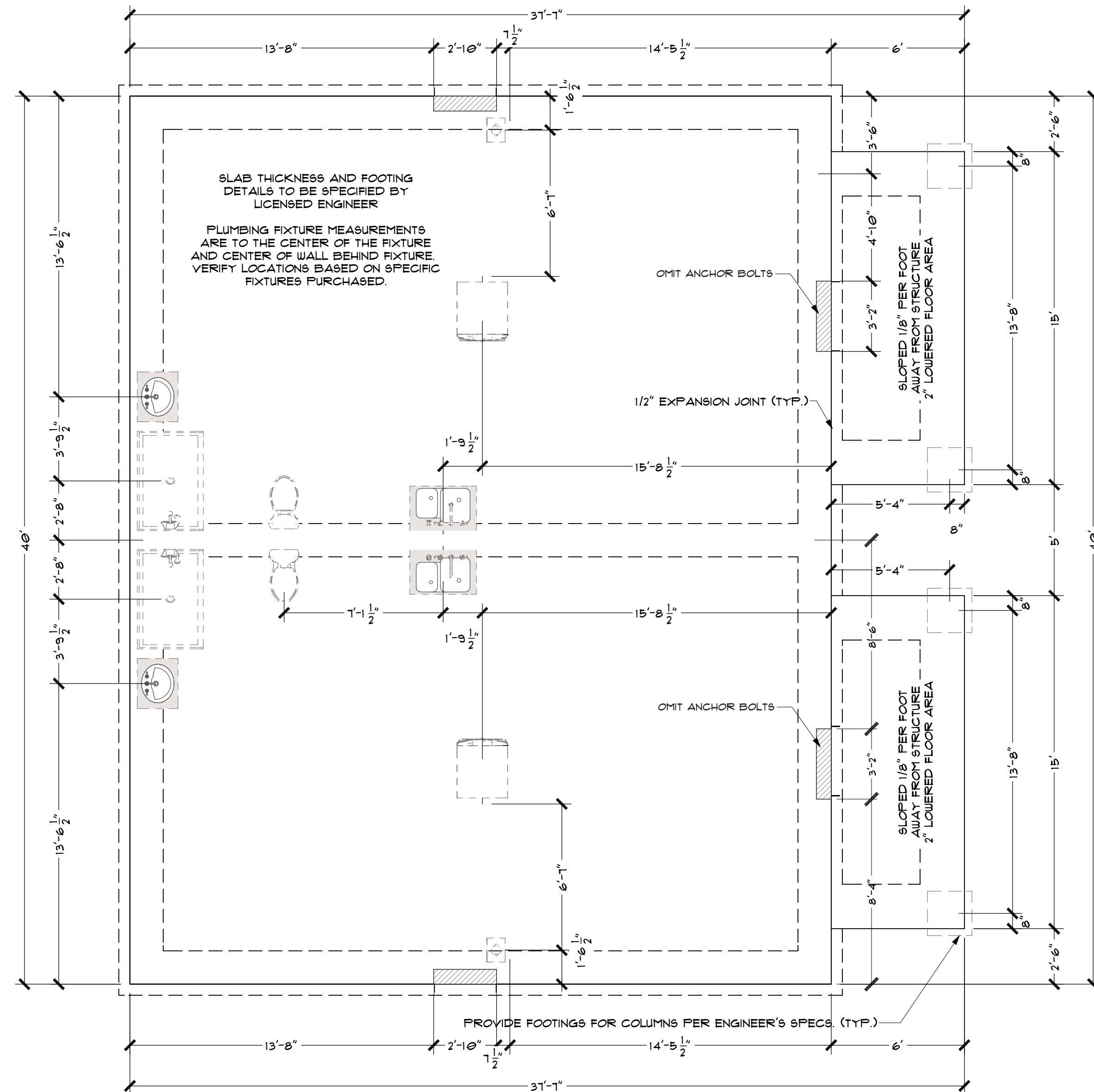
1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

CABINET SCHEDULE					
NUMBER	ROOM NAME	QTY	WIDTH	DEPTH	HEIGHT
C01	BATHROOM A	1	15"	22"	36"
C02	BATHROOM A	1	24"	12"	42"
C03	BATHROOM A	1	21"	22"	36"
C04	BATHROOM B	1	15"	22"	36"
C05	BATHROOM B	1	24"	12"	42"
C06	BATHROOM B	1	21"	22"	36"
C07	KITCHEN A	2	15"	24"	36"
C08	KITCHEN A	1	30"	16"	24"
C09	KITCHEN A	1	30"	24"	36"
C10	KITCHEN A	1	36"	12"	42"
C11	KITCHEN A	1	36"	24"	36"
C12	KITCHEN A	1	12"	24"	36"
C13	KITCHEN A	1	21"	24"	96"
C14	KITCHEN A	1	24"	24"	36"
C15	KITCHEN A	1	42"	24"	36"
C16	KITCHEN A	1	15"	30"	96"
C17	KITCHEN A	1	30"	18"	18"
C18	KITCHEN B	1	24"	36"	36"
C19	KITCHEN B	1	21"	24"	96"
C20	KITCHEN B	1	30"	16"	24"
C21	KITCHEN B	1	42"	24"	36"
C22	KITCHEN B	1	12"	24"	36"
C23	KITCHEN B	2	15"	24"	36"
C24	KITCHEN B	1	30"	24"	36"
C25	KITCHEN B	1	36"	12"	42"
C26	KITCHEN B	1	36"	24"	36"
C27	KITCHEN B	1	15"	30"	96"
C28	KITCHEN B	1	30"	18"	18"

DOOR SCHEDULE					
NUMBER	QTY	ROOM NAME	TYPE	SIZE	WIDTH
D01	1	BEDROOM A/KITCHEN A	HINGED	3068	36"
D02	1	BEDROOM B/KITCHEN B	HINGED	3068	36"
D03	1	CLOSET A/BEDROOM A	HINGED	2868	32"
D04	1	CLOSET B/BEDROOM B	HINGED	2868	32"
D05	1	KITCHEN A/BATHROOM A	HINGED	3068	36"
D06	1	KITCHEN B/BATHROOM B	HINGED	3068	36"
D07	1	LIVING A/PORCH A	HINGED	3068	36"
D08	1	LIVING B/PORCH B	HINGED	3068	36"
D09	1	MECHANICAL A	HINGED	2868	32"
D10	1	MECHANICAL B	HINGED	2868	32"

WINDOW SCHEDULE					
NUMBER	QTY	ROOM NAME	SIZE	WIDTH	HEIGHT
W01	1	BEDROOM A	3050	36"	60"
W02	1	BEDROOM B	3050	36"	60"
W03	1	DINING A/PORCH A	3050	36"	60"
W04	1	DINING B/PORCH B	3050	36"	60"
W05	1	LIVING A/PORCH A	3050	36"	60"
W06	1	LIVING B/PORCH B	3050	36"	60"



FOUNDATION LAYOUT PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

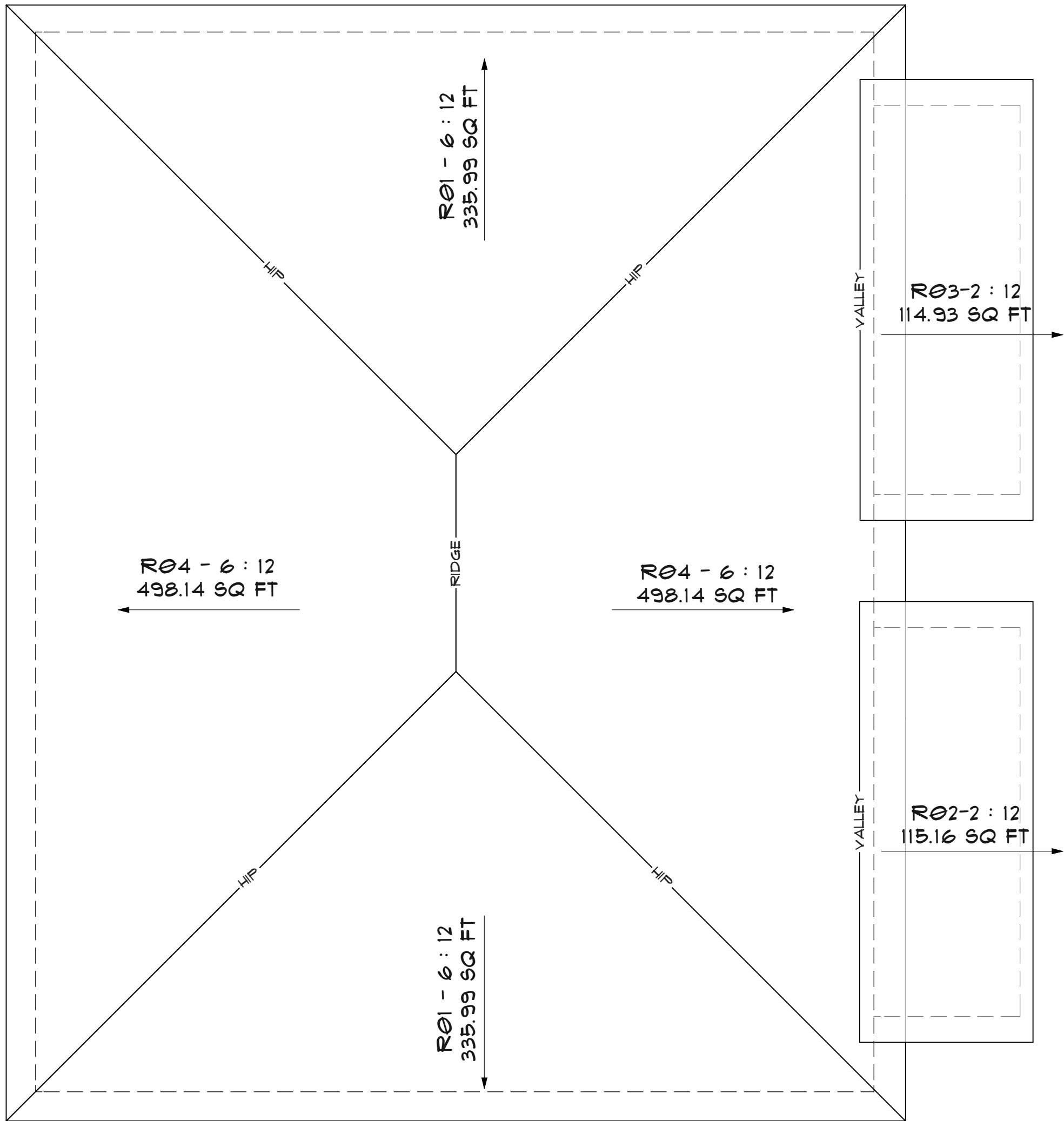
- DIMENSIONS** - DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. THEY ARE INTENDED TO PROVIDE THE PLUMBER WITH DIMENSIONS TO THE CENTER OF THE FIXTURES AND CENTER OF THE WALL ADJACENT TO THE FIXTURE TO ASSIST IN LOCATING THE WATER AND GAS SUPPLY LINES. DRAIN LOCATIONS ARE HEAVILY DEPENDENT ON THE MANUFACTURER AND MODEL OF FIXTURE YOU SELECT, SO DRAIN LOCATIONS ARE NOT SHOWN. PLEASE CONSULT WITH YOUR MANUFACTURER'S SPECIFICATIONS FOR THE FIXTURES YOU SELECT SO THAT THE PLUMBER CAN ROUGH IN THE DRAINS IN THE PROPER LOCATIONS. ALL DIMENSIONS ARE FROM EDGE OF SLAB OR FRAMING DEPENDING ON THE TYPE OF FOUNDATION.
- ADDITION FOUNDATION** - IN CASES WHERE A NEW FOUNDATION WILL BE TIED INTO AN EXISTING FOUNDATION, ALL NEW FOUNDATIONS WILL BE TIED INTO THE EXISTING FOUNDATION PER AN ENGINEER'S SPECIFICATIONS.
- LOCATION** - THE CONTRACTOR SHALL VERIFY WITH THE OWNER THE EXACT POSITION & LOCATION OF THE HOME PRIOR TO ANY CONSTRUCTION AND STAKING TO ENSURE PROPER SETBACKS AS WELL AS NO INTERFERENCE WITH EXISTING LOT EASEMENTS.
- EXCAVATION** - ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL AND BELOW THE LOCAL FROST LINE. THE FOUNDATION ELEVATION LEVEL TO BE ABOVE THE FLOOD PLAIN AS REQUIRED BY CODE. NO FOOTINGS SHALL BE POURED ON LOOSE OR UNSATURATED SOIL, IN WATER, OR ON FROZEN GROUND. ALL FOOTINGS MUST CONFORM TO APPLICABLE CODES REGARDING FROST PROTECTION.
- BACKFILL** - ALL BACKFILL UNDER AND WITHIN 5 FEET OF ALL BUILDINGS SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY BACKFILL DIRECTLY UNDER FOOTINGS AND WITHIN 2 FEET OF EACH SIDE SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY.
- DRAINAGE** - THE GENERAL CONTRACTOR WILL ENSURE THAT THE FINISHED GRADE SLOPES AWAY FROM THE STRUCTURE SUFFICIENTLY TO PREVENT WATER STANDING OR FLOWING INTO THE STRUCTURE OR ADJACENT PROPERTY. DRAINAGE SHALL BE PROPERLY TRANSFERRED INTO THE EXISTING LOT SURFACE WATER DRAINAGE SYSTEM. ANY AREA DIRECTLY IMPACTED BY THE ADDITION SHALL BE MODIFIED TO RESTORE EXISTING SURFACE WATER DRAINAGE.
- CONCRETE** - ALL CONCRETE WILL BE OF A CONSISTENT MIX TO THE RECOMMENDATION OF THE MANUFACTURER FOR THE SOIL TYPE AND SITE CONDITIONS. REINFORCED STEEL WILL BE USED AS REQUIRED BY CODE AND STANDARD BUILDING PRACTICES.
- ANCHOR BOLTS** - ANCHOR BOLTS SHALL BE PLACED IN THE FOUNDATION SLAB DURING THE POUR AT LEAST 1" DEEP SPACED NO LESS THAN 6 FEET APART OR 1 FOOT FROM ANY CORNER.
- SOIL TESTING** - NO SOIL TESTING HAS BEEN CONDUCTED ON THE SITE, AND FAILURE TO CONDUCT SUCH TESTS BEFORE CONSTRUCTION WILL BE AT THE SOLE RISK OF THE HOMEOWNER. IF ANY UNSTABLE OR COLLAPSIBLE OR OTHERWISE POOR SOIL CONDITIONS ARE DISCOVERED DURING EXCAVATION, A SOIL ENGINEER SHOULD BE NOTIFIED IMMEDIATELY FOR A SOIL STUDY AT THE OWNER'S EXPENSE.
- ENGINEERING** - THIS FOUNDATION PLAN WAS NOT PREPARED BY A LICENSED ENGINEER. DESIGNER'S INK HIGHLY RECOMMENDS AN ENGINEER BE CONSULTED PRIOR TO CONSTRUCTION WHO WILL TAKE INTO ACCOUNT THE RESULTS OF SOIL TESTING AND ANY LOAD CONSIDERATIONS. A QUALIFIED PROFESSIONAL ENGINEER SHALL SPECIFY ALL FOUNDATION WALLS, SLABS, FOOTINGS, SUPPORT BEAMS, AND WEB TRUSSES AND SUPERCEDES ALL NOTES LISTED ON THE PLAN. THE FOUNDATION PLAN SHOWN IS A LAYOUT ONLY.

ROOF DATA:

ROOF AREAS - DUPLEX 'A'			
NUMBER	QTY	DESCRIPTION	AREA, SURFACE
R01	2	STANDING SEAM METAL	335.99
R02	1	STANDING SEAM METAL	115.16
R03	1	STANDING SEAM METAL	114.93
R04	2	STANDING SEAM METAL	498.14
TOTALS			1074.22

ROOF OVERHANG - 1'-6"

RIDGE VENTS WHERE APPLICABLE. POWERED
ATTIC VENTS PER OWNER'S SPECS. GUTTER AND
DOWNSPOUTS AS REQUIRED (TYP.)



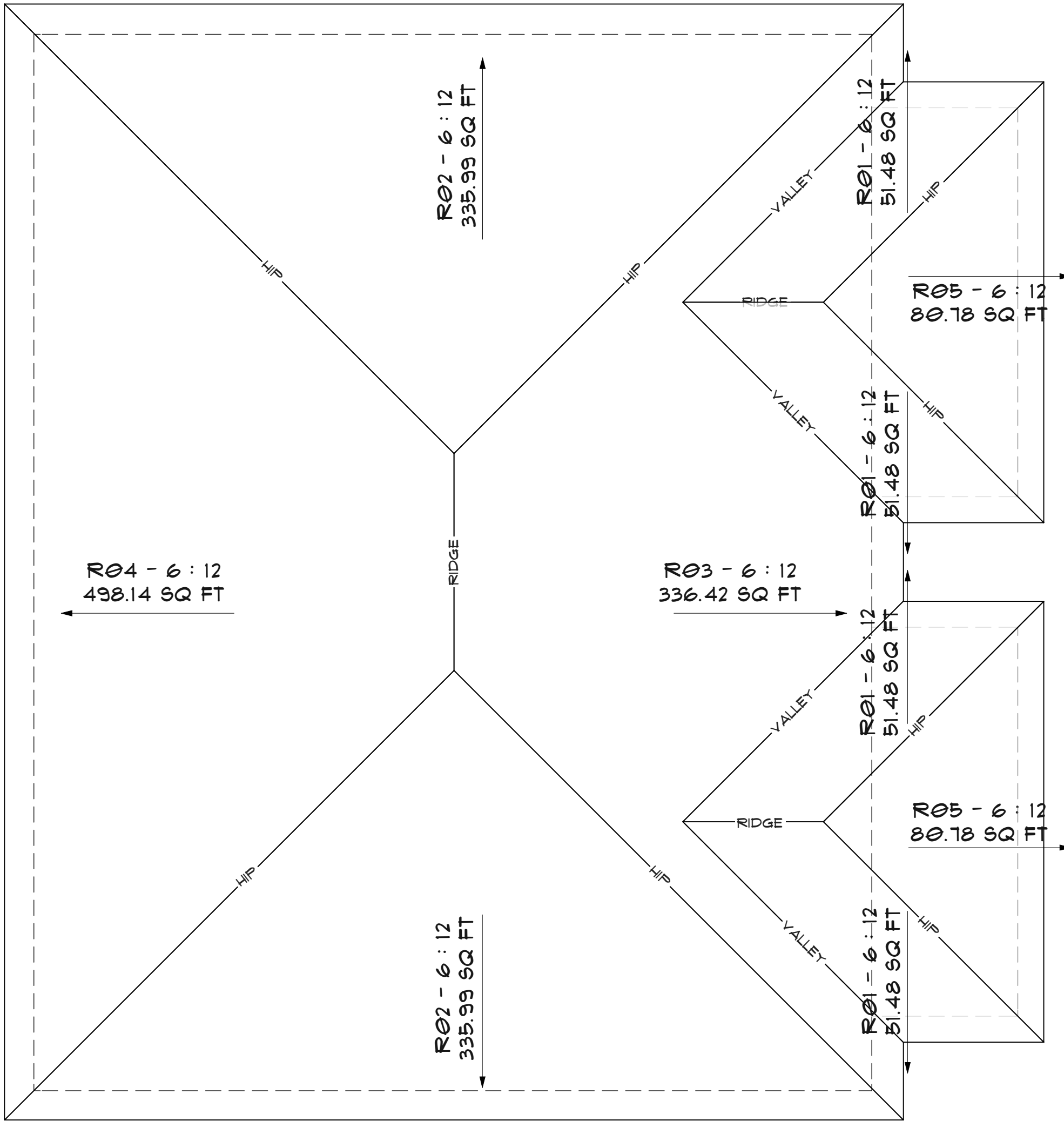
ROOF LAYOUT PLAN (OPTION 'A')
SCALE: 1/4" = 1'-0"

ROOF DATA:

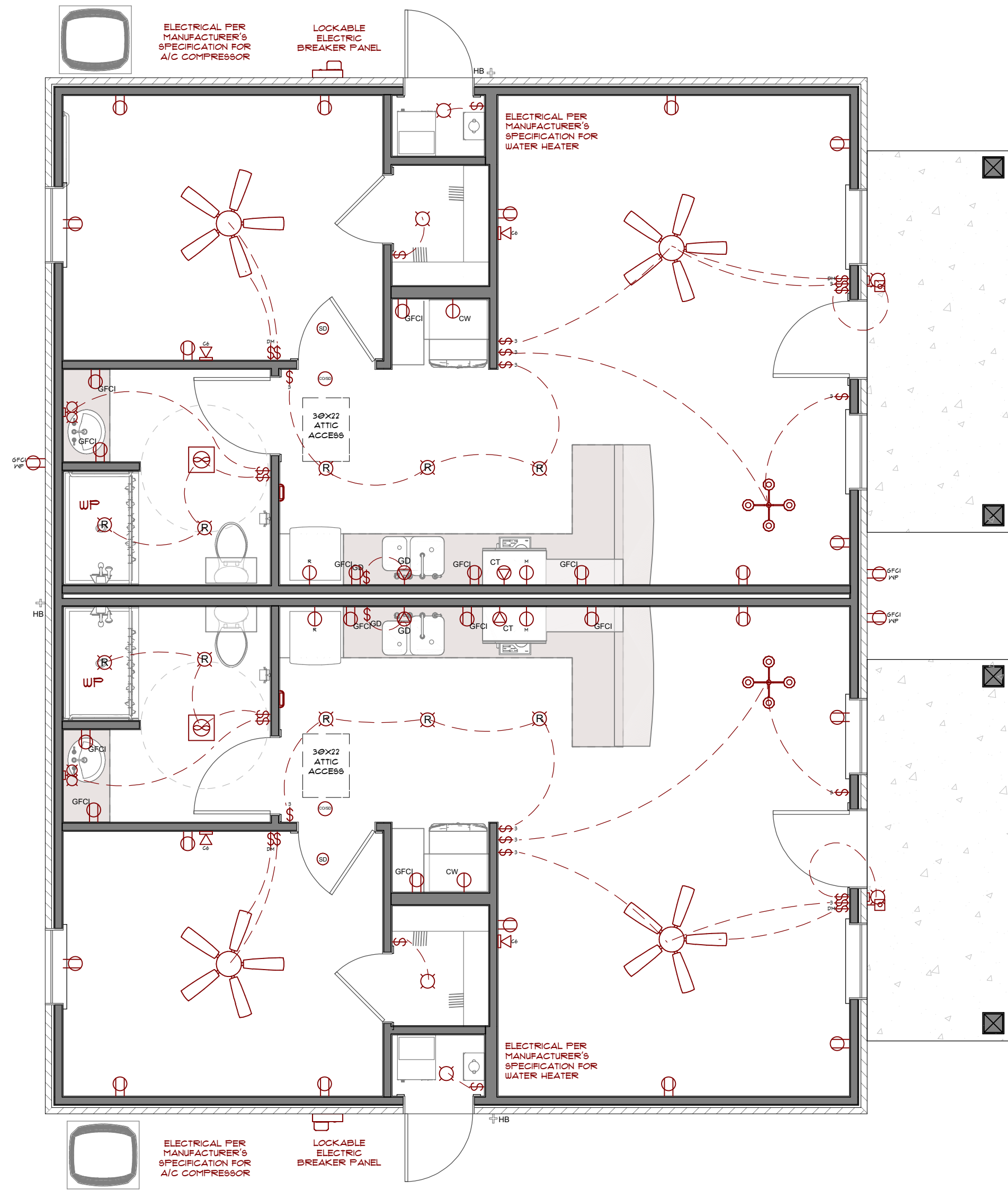
ROOF AREAS - DUPLEX 'B'			
NUMBER	QTY	DESCRIPTION	AREA, SURFACE
R01	4	STANDING SEAM METAL	51.48
R02	2	STANDING SEAM METAL	335.99
R03	1	STANDING SEAM METAL	336.42
R04	1	STANDING SEAM METAL	498.14
R05	2	STANDING SEAM METAL	80.78
TOTALS			1203.81

ROOF OVERHANG - 1'-6"

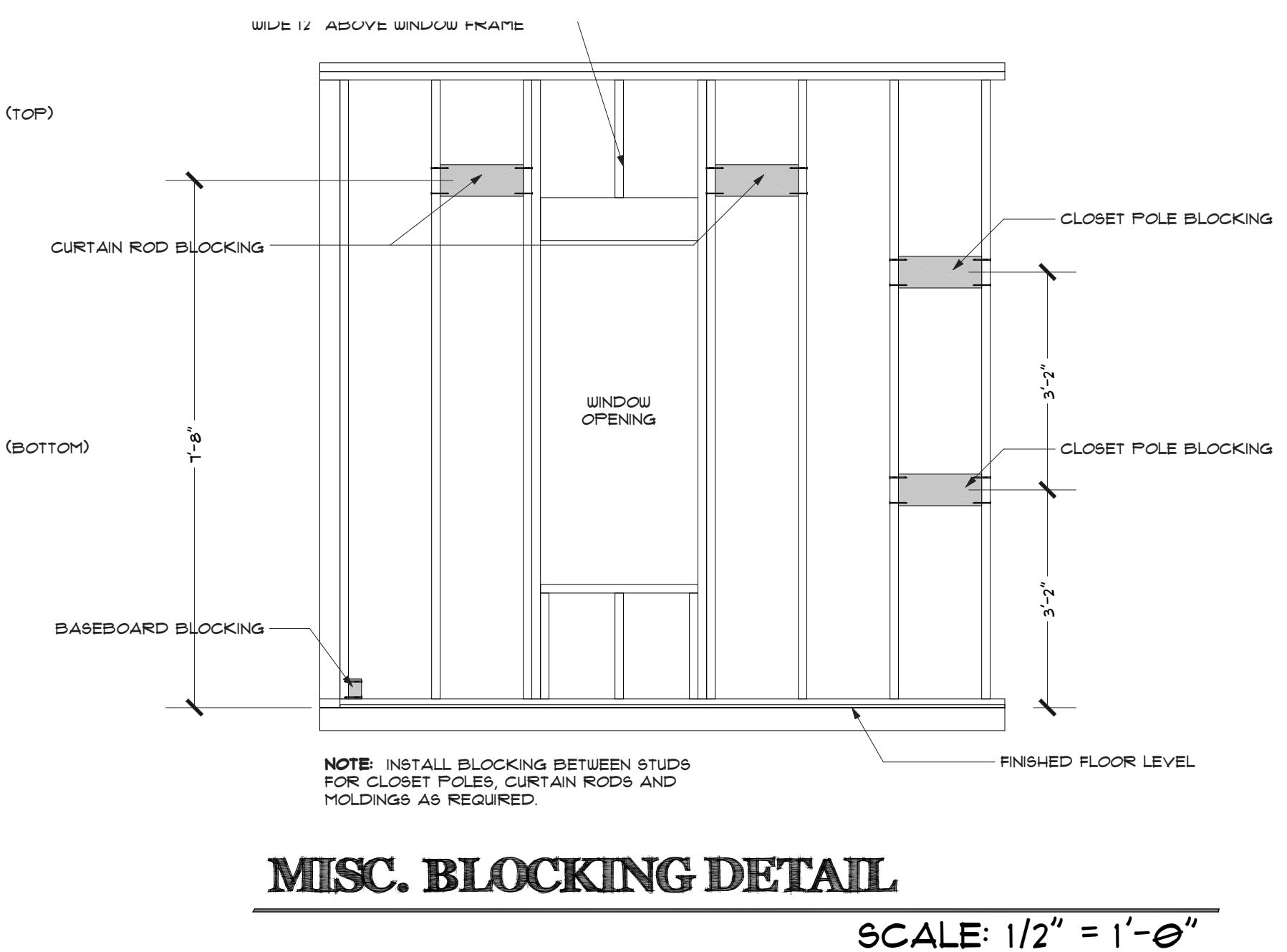
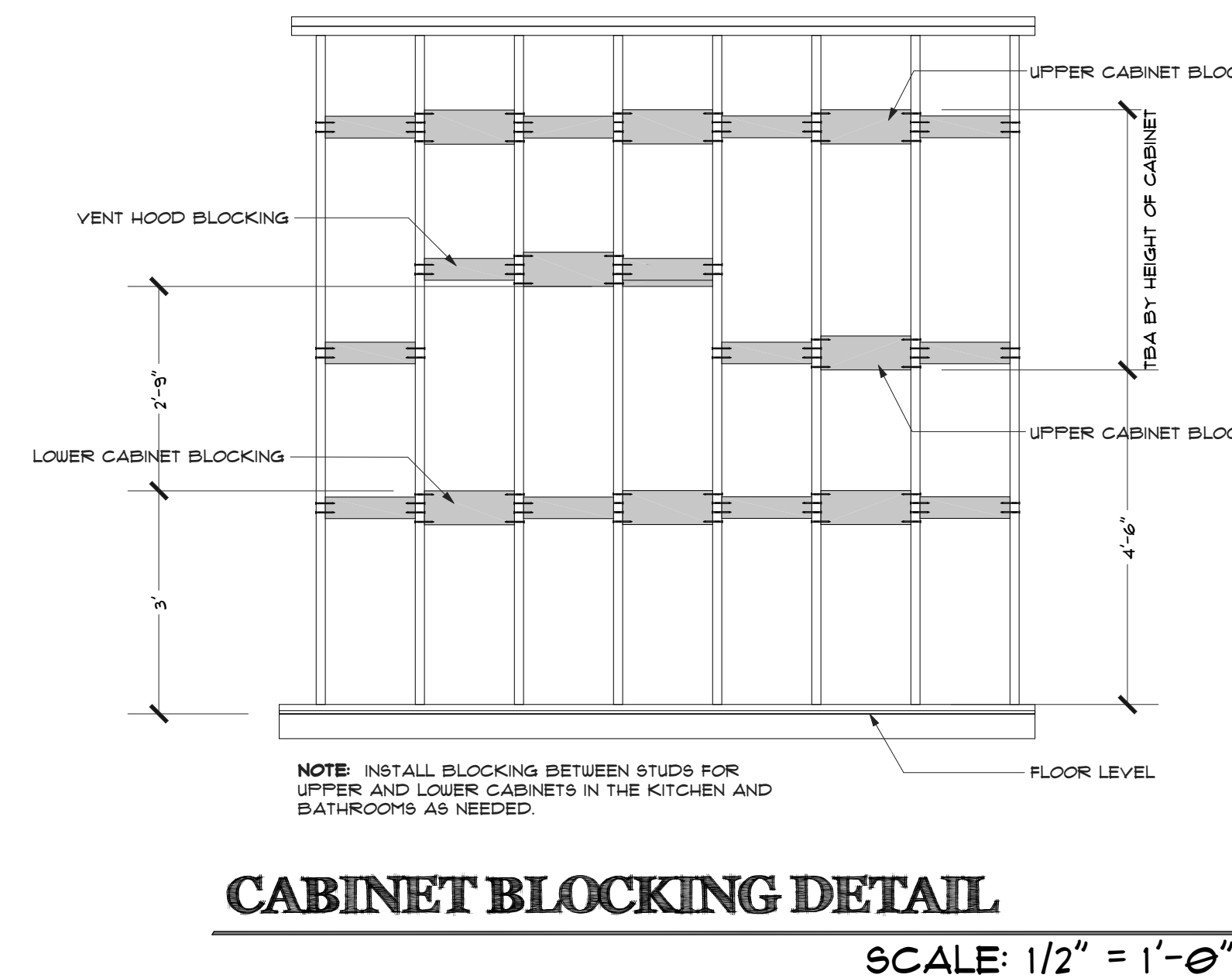
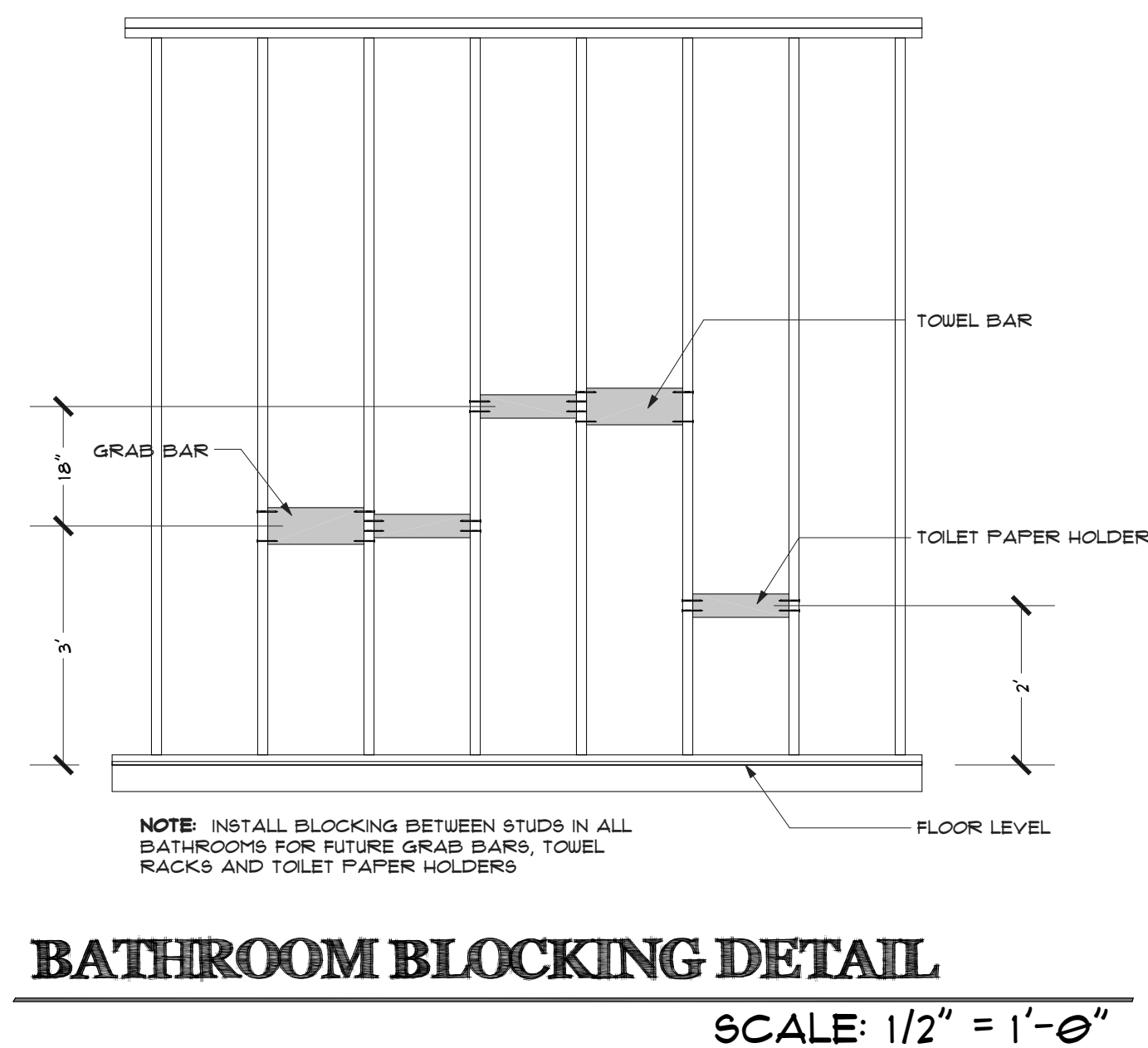
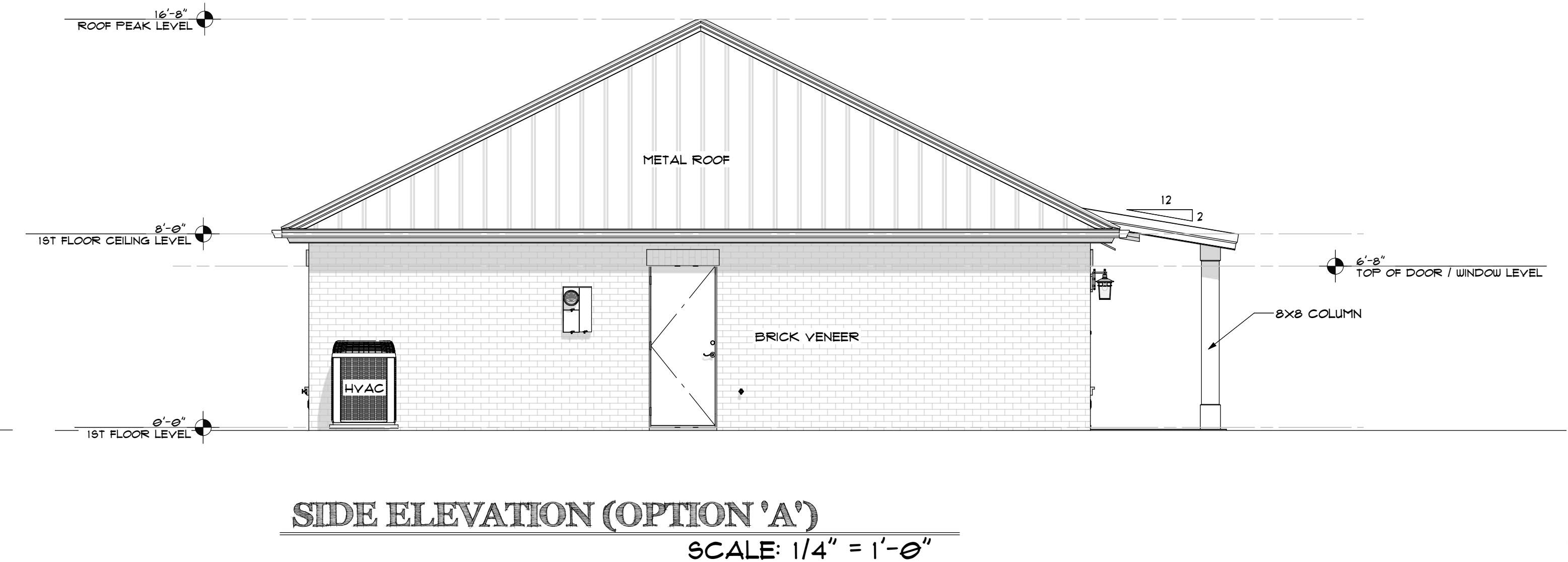
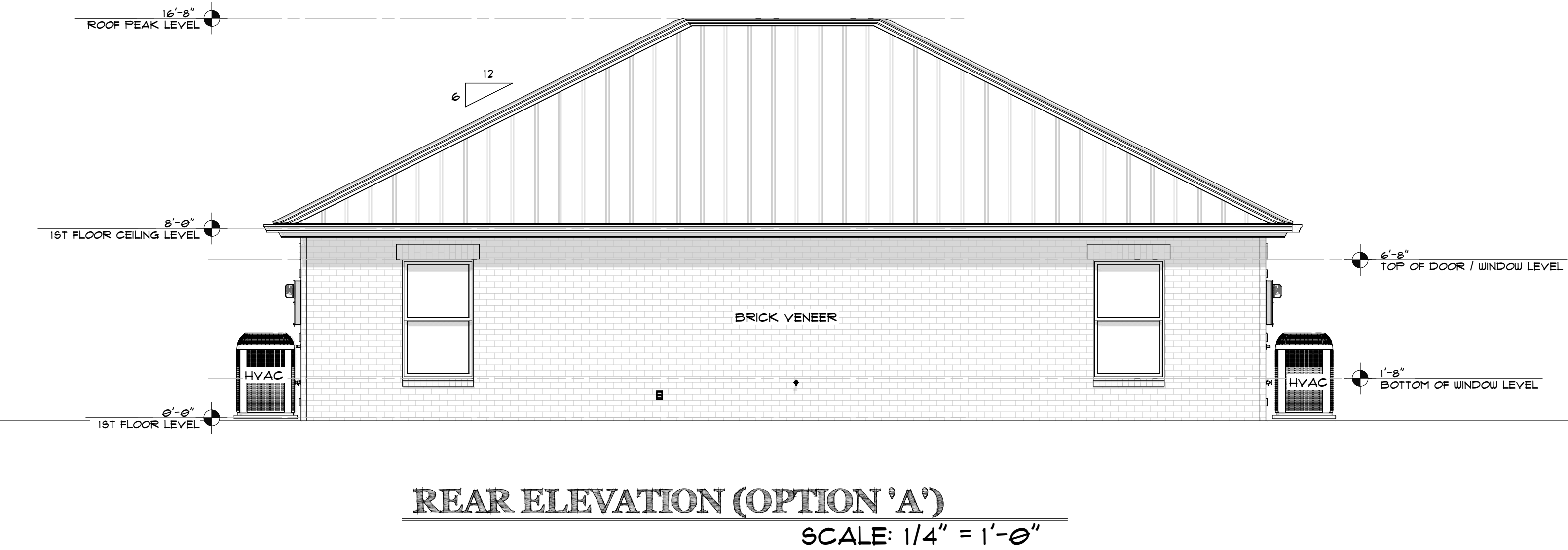
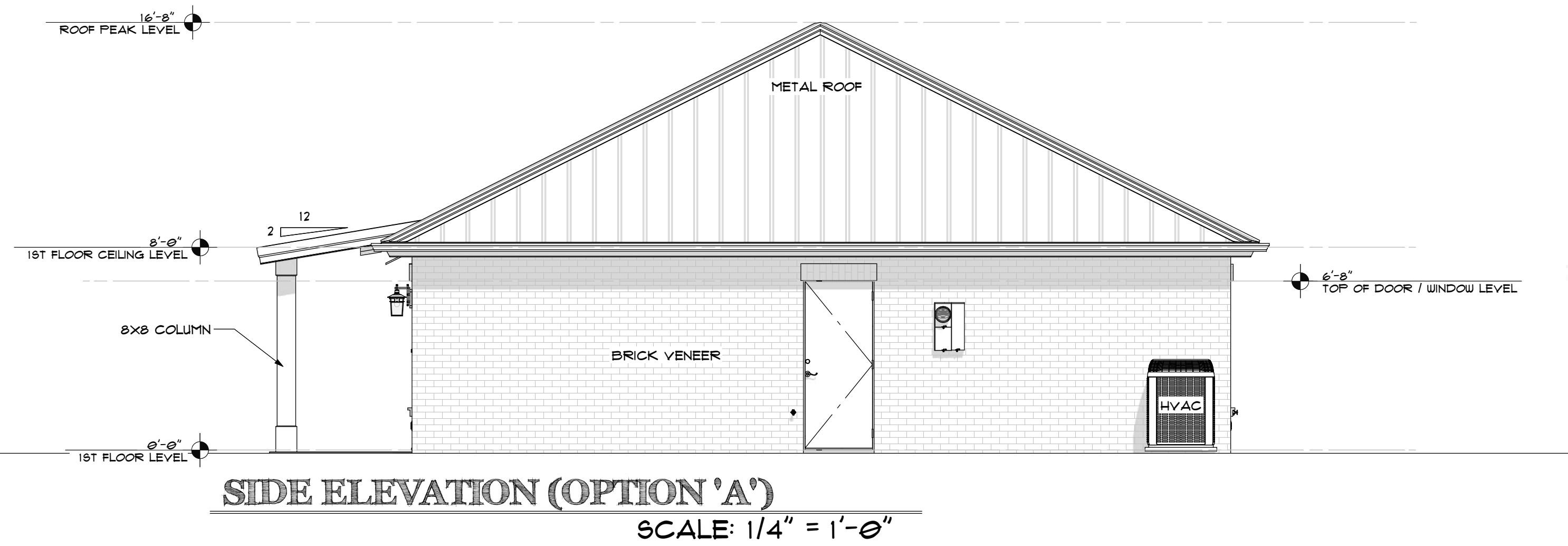
RIDGE VENTS WHERE APPLICABLE. POWERED
ATTIC VENTS PER OWNER'S SPECS. GUTTER AND
DOWNSPOUTS AS REQUIRED (TYP.)



ROOF LAYOUT PLAN (OPTION 'B')
SCALE: 1/4" = 1'-0"

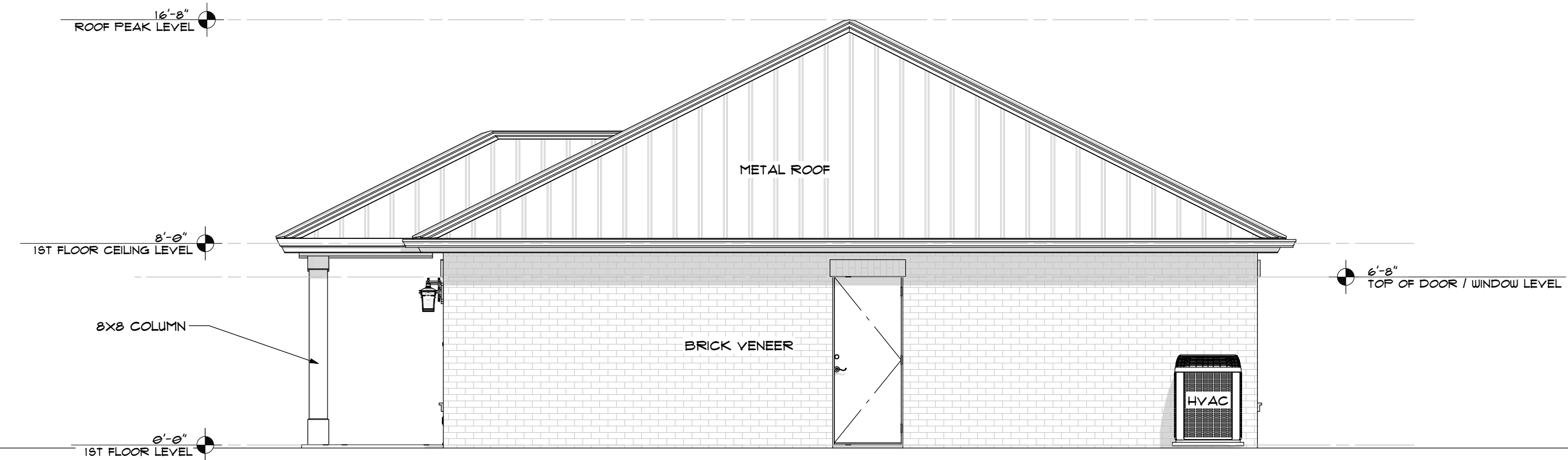


1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

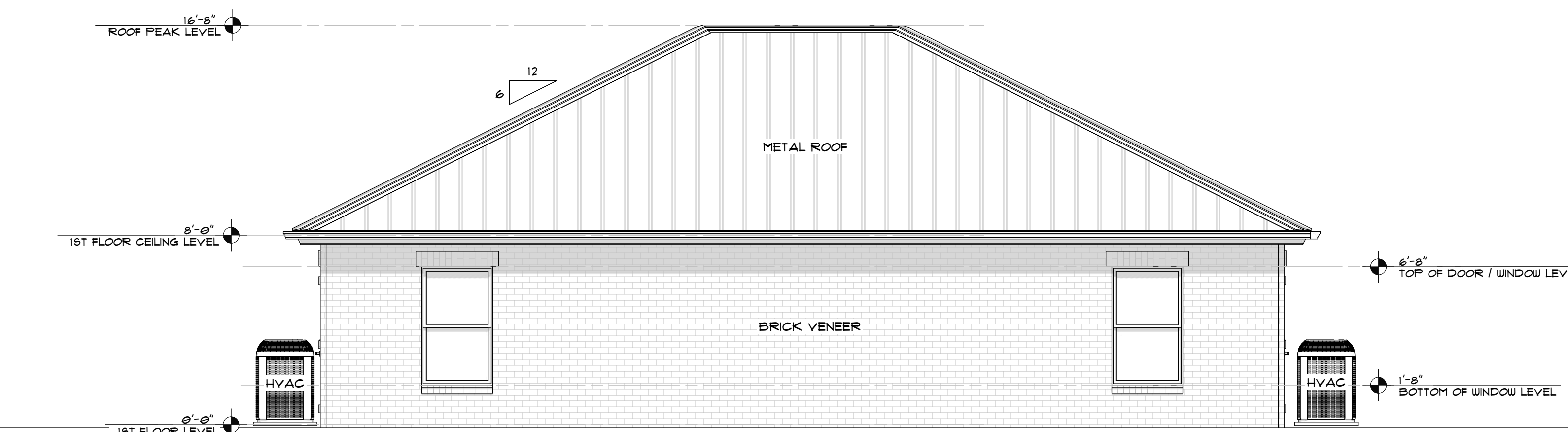




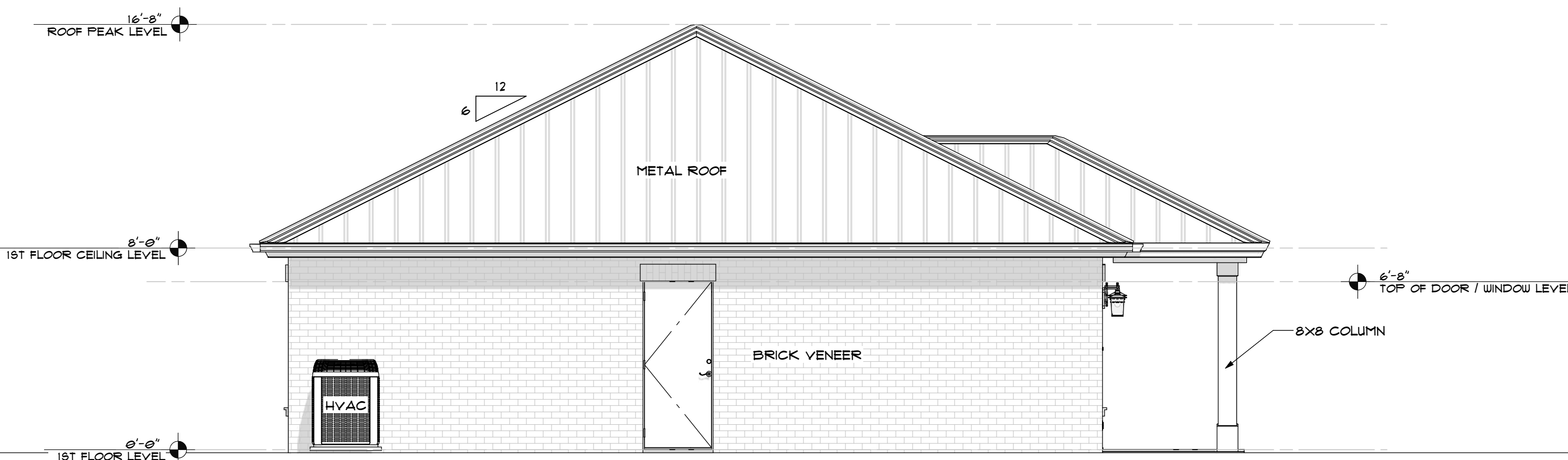
FRONT ELEVATION (OPTION 'B')
SCALE: 1/4" = 1'-0"



SIDE ELEVATION (OPTION 'B')
SCALE: 1/4" = 1'-0"

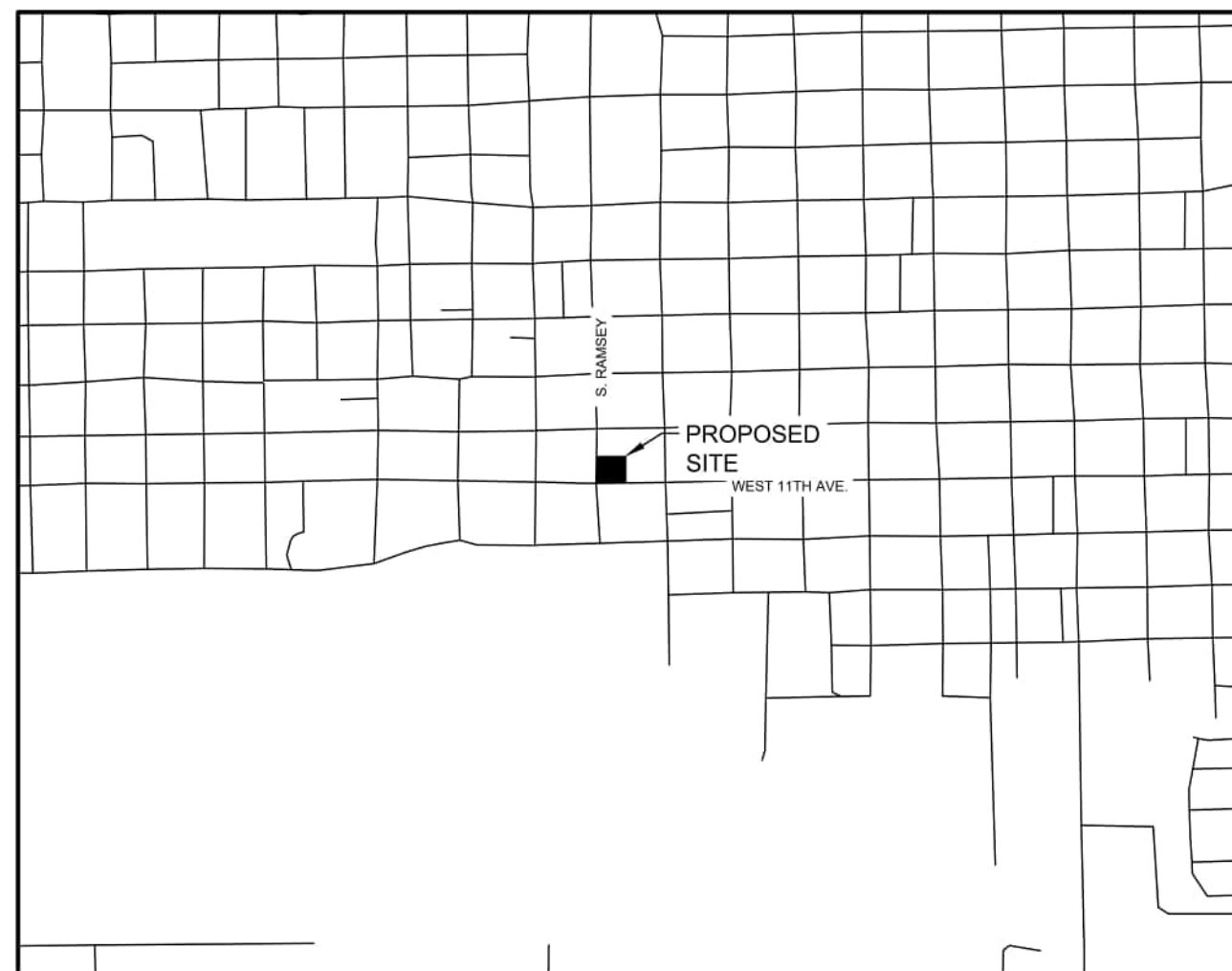


REAR ELEVATION (OPTION 'B')
SCALE: 1/4" = 1'-0"



SIDE ELEVATION (OPTION 'B')
SCALE: 1/4" = 1'-0"

IMPROVEMENT PLANS



EXISTING	DESCRIPTION	PROPOSED
	BARB WIRE FENCE	
	CHAINLINK FENCE	
	ALUMINUM FENCE	
	OVERHEAD ELECTRIC	
	SANITARY SEWER	
	WATER LINE	
	MAJOR CONTOUR	
	MINOR CONTOUR	
	STORM PIPE / BOX CULVERT (4:4)	
	RETAINING WALL	
	CONCRETE PAVING	
	WATER METER	
	FIRE HYDRANT	
	WATER VALVE	
	SANITARY SEWER MANHOLE	
	STORM SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	POWER POLE	
	GAS METER	
	GUY WIRE	

R/W	RIGHT OF WAY
U/E	UTILITY EASEMENT
BGL	BUILDING SETBACK LINE
NG	NATURAL GROUND ELEVATION
N.A.P.	NOT A PART
BFE	BASE FLOOD ELEVATION

DEVELOPMENT SERVICES DEPARTMENT
CITY OF STILLWATER
COMMUNITY AND DEVELOPMENT SERVICES
723 S. LEWIS ST.
STILLWATER, OK 74074
TEL: 405-742-8216

BUILDING DEPARTMENT
CITY OF STILLWATER
COMMUNITY AND DEVELOPMENT SERVICES
723 S. LEWIS ST.
STILLWATER, OK 74074
TEL: 405-742-8218

SANITARY SEWER / WATER / STORM WATER
CITY OF STILLWATER
COMMUNITY AND DEVELOPMENT SERVICES
723 S. LEWIS ST.
STILLWATER, OK 74074
TEL: 405-742-8220

POWER COMPANY
CITY OF STILLWATER ELECTRIC UTILITY
411 E. THIRD ST.
STILLWATER, OK 74076
TEL: 405-742-8367
CONTACT: VERNON HALL

NATURAL GAS COMPANY
OKLAHOMA NATURAL GAS
3424 N. PERKINS RD.
STILLWATER, OK 74075
TEL: 866-206-9587

TELEPHONE COMPANY
AT&T
TEL: 405-743-6181
CONTACT: JAY HALFERTY

SHEET NO	SHEET TITLE	REVISIONS
C1.0	COVER SHEET	
C1.1	GENERAL CONSTRUCTION NOTES	
C2.0	EROSION CONTROL PLAN	
C2.1	EROSION CONTROL PLAN NOTES	
C3.0	SITE & PAVING PLAN	
C4.0	EXISTING DRAINAGE AREA MAP	
C4.1	PROPOSED DRAINAGE AREA MAP	
C5.0	GRADING PLAN	
C6.0	FOUNDATION PLAN	
C7.0	UTILITY PLAN	
C8.0	FIRE PROTECTION PLAN	
C9.0	DETAILS (1 OF 3)	
C9.1	DETAILS (2 OF 3)	
C9.2	DETAILS (3 OF 3)	
L1.0	LANDSCAPE PLAN	
L1.1	LANDSCAPE DETAIL	

02/03/2021	INTERNAL REVIEW
01/03/2025	INTERNAL REVIEW
02/21/2025	SUBMITTAL

NO.	DATE	DESCRIPTION

TBM#1
BENCHMARK
SET MAG NAIL
NORTHING=405436.35
EASTING=2243772.57
ELEVATION=864.09

HORIZONTAL: OKLAHOMA STATE NORTH ZONE NAD 83
VERTICAL: NGVD1988

STILLWATER HOUSING AUTHORITY CORP.
807 S. LOWRY ST.
STILLWATER, OK, 74074

DESIGNER'S INK GRAPHIC & BUILDING DESIGNS, LLC.
2324 W. 7TH PLACE, SUITE #1
STILLWATER, OK, 74074

STILLWATER HOUSING
DEVELOPMENT CORP. 11TH
& RAMSEY SITE

SHEET NUMBER
C1.0

JOB NUMBER
890.02

DATE
02/14/2025

SCALE: AS SHOWN

CREATED BY:CDW

DRAWN BY:CDW

CHECKED BY: SCGG



**Gose &
Associates**
ENGINEERING • PLANNING • LAND SERVICES
1113 E. 8th Avenue Stillwater, OK 74074 PH (405) 743-4907 CA 1640
www.gose-associates.com

REVISION
DATE
3/4/2025

SHEET #

8

**11TH AVE. &
RAMSEY ST.**
STILLWATER, OK

DESIGNER: **JEFF DILLON**

DRAFTING BY: **S. VANDEBURGH**

CLIENT: **STILLWATER HOUSING**



WWW.DESIGNERSINK.US

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GENERAL CONSTRUCTION NOTES

1. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY AND COUNTY DESIGN STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS.
3. THE CONTRACTOR SHALL CONTACT ALL FRANCHISED UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISED UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS ARE CONCEPTUAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
5. BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
6. THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE UTILITY COMPANY RECORDS AND PLANS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THEIR EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
7. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
8. THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS. COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE ARCHITECT, CIVIL ENGINEER AND CITY ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
13. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
14. CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
15. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, STRUCTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
16. ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
17. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISED UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION.
18. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED, IRRIGATED, AND STABILIZED AS SPECIFIED IN THE PLANS, AND MAINTAINED UNTIL SOIL IS STABILIZED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE STABILIZED AND MULCHED AS SHOWN ON THE LANDSCAPE, GRADING, AND EROSION CONTROL PLANS.
19. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE SHOWN. ALL SLOPES IN RIGHT OF WAYS AND EASEMENTS TO BE 4:1 MAX.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
21. SOD OR SEED MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
22. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
23. THE CONTRACTOR MUST CONSTRUCT AND MAINTAIN A PERMANENT STABLE PROTECTIVE COVER (GRASS) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. THE PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN DAYS AFTER FINAL GRADING OF THE AFFECTED LAND SURFACE. A PERMANENT STABLE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION.
24. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF AS-BUILT PLANS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
25. ALL EXISTING PAVEMENT, ADJACENT UTILITIES, STRUCTURES, ETC., DISTURBED AS A RESULT OF THE NEW CONSTRUCTION, SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
26. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.

EROSION CONTROL NOTES

1. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND A STAND OF GRASS IS ESTABLISHED WITH 70% COVERAGE ACHIEVED.
2. CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH TOPSOIL AND VEGETATION.
3. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE AND

THE ESTABLISHMENT OF A STAND OF GRASS SUFFICIENT TO PREVENT EROSION. THE CONTRACTOR MUST USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM CLOGGING STORM SEWER PIPES OR PROPOSED OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT OF WAYS.

4. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
5. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
6. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND SOLID WASTE MATERIALS.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT ADVERSE OFF SITE IMPACT OR STORM WATER QUALITY FROM SILT AND CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE CITY. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
9. CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DEVICES DURING THE PHASED CONSTRUCTION OF THIS PROJECT.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS OFF SITE FROM THE EXISTING ROADWAYS AND PROJECT SITE THAT ARE A RESULT OF THE PROPOSED CONSTRUCTION.
11. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED ON THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
12. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE.
13. CONTRACTOR STAGING AREA TO BE AGREED UPON BY OWNER PRIOR TO BEGINNING CONSTRUCTION.
14. AS INLETS ARE COMPLETED TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED.
15. SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
16. DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED. DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND RESEEDED OR RESODDED, IF NECESSARY.
17. CONTRACTOR SHALL PROMOTE AND PROVIDE FOR A HEALTHY ESTABLISHMENT OF TURF GRASSES WHILE KEEPING IRRIGATION TO A MINIMUM IN ORDER TO REDUCE EROSION FROM SURFACE RUNOFF.

STORM SEWER DISCHARGE AUTHORIZATION

1. A CONSTRUCTION SITE NOTICE SHALL BE POSTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
3. A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE CITY AND FILED WITH THE CONSTRUCTION PLANS, AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
4. IF REQUIRED, A NOTICE OF TERMINATION (N.O.T.) SHALL BE SUBMITTED TO THE ODEQ BY THE CONTRACTOR WHEN THE SITE HAS 70% OF THE DISTURBED AREAS STABILIZED, AND THE SITE NO LONGER HAS STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, OR THE N.O.T. PERMITTEE OR CO-PERMITTEE NO LONGER HOLDS OPERATIONAL CONTROL OF THE CONSTRUCTION.

PAVING AND STRIPING NOTES

1. ALL WORK AND MATERIALS ON SITE SHALL BE IN ACCORDANCE WITH THE CITY'S DESIGN CRITERIA MANUAL.
2. THE CONTRACTOR SHALL REFER TO THE PAVING PLAN AND GEOTECHNICAL REPORT FOR PAVEMENT THICKNESS AND TYPE.
3. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
4. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
5. RAISED PAVEMENT MARKERS SHALL BE BONDED TO THE ROADWAY SURFACE WITH ADHESIVE CONFORMING WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE PAVEMENT UPON WHICH THE LANE AND PAVEMENT MARKERS ARE TO BE PLACED SHALL BE PREPARED TO THE APPROVAL OF THE INSPECTOR TO ENSURE PROPER CLEANING OF THE PAVEMENT SURFACE.
7. ALL STRIPING SHALL BE EXTRUDED THERMOPLASTIC MARKING MATERIAL OR PAINT AS REQUIRED BY JURISDICTION OR COUNTY.
8. SIGN LOCATIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY. CONTRACTOR SHALL REVIEW ALL TRAFFIC CONTROL DEVICES WITH THE CITY PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS.
10. SEE IRRIGATION PLAN AND MEP PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
11. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1994.

12. CONTRACTOR TO SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
13. COORDINATE WITH BUILDING CONTRACTOR ON THE CONSTRUCTION AND PAVING NEAR THE COMPACTOR AND ENCLOSURE.
14. ALL EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE.

GRADING NOTES

1. A GRADING PERMIT IS REQUIRED FROM THE CITY OR COUNTY PRIOR TO STARTING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT AND PAYING ALL ASSOCIATED FEES.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
3. ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE. ADD 0.50' TO SPOT GRADES SHOWN FOR TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
6. ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR OFF SITE. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
7. ALL AREAS DISTURBED BY GRADING OPERATIONS SHALL BE SEEDED, TEMPORARILY IRRIGATED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 70% MINIMUM DENSITY, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE, IS ACHIEVED.
8. BUILDING PAD PREPARATION SHALL BE CONSISTENT WITH THE GEOTECHNICAL REPORT.
9. ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE RECOMMENDATIONS MADE IN THE SUBSURFACE EXPLORATION REPORT.
10. GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISED UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
11. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY. ANY DEVIATION FROM A BALANCED CUT AND FILL SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CIVIL ENGINEER AND ANY VARIANCE QUANTIFIED ON THE BID.
12. REFERENCE STRUCTURAL PLANS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD LAYOUT AND SOIL PREPARATION/COMPACTION.

WATER AND SANITARY SEWER NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WHERE PROPOSED UTILITIES ARE BEING CONNECTED. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN, COORDINATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY SERVICES ENTERING THE BUILDING AND/OR CROSSING OTHER UTILITIES.
3. ALL FIRE WATER LINES SHALL BE PVC C900, DR-14 OR APPROVED EQUAL.
4. ALL DOMESTIC WATER LINES SHALL BE PEX TUBING OR SCH-40 PVC.
5. ALL SANITARY SEWER LINES SHALL BE A MINIMUM OF PVC SDR-35, ASTM F789/D3212. ALL SANITARY SEWER LINES DEEPER THAN 15 FEET SHALL BE A MINIMUM OF PVC SDR-26. (PIPE SIZES 6 INCHES AND SMALLER SHALL BE PVC SCHEDULE 40, AND PIPE SIZES 8 INCHES OR LARGER MAY BE SDR35)
6. ALL UTILITY CONSTRUCTION, WATER TAPS, VALVES, AND SERVICES SHALL BE INSTALLED BY THE CONTRACTOR AFTER APPROVAL FROM THE CITY AND SHALL CONFORM TO ALL GUIDELINES AND REGULATIONS SET FORTH BY THE CITY FOR WATER AND SANITARY SEWER CONSTRUCTION.
7. ALL APURTENANCES USED FOR FIRE PROTECTION SHALL CONFORM TO THE CURRENT CITY DESIGN STANDARDS.
8. ALL WATER AND SANITARY SEWER LINES SHALL MAINTAIN A MINIMUM COVER OF 42 INCHES FROM TOP OF PIPE TO TOP OF GROUND OR PAVEMENT, UNLESS OTHERWISE NOTED.
9. ALL PROPOSED WIRING AND CABLEING SHALL BE INSTALLED BELOW GROUND.
10. CONTRACTOR TO SEQUENCE CONSTRUCTION AS TO AVOID INTERRUPTION OF WATER AND SANITARY SEWER SERVICE TO SURROUNDING AREAS.
11. CONTRACTOR TO REPLACE GRASS AND RESTORE PROPERTY TO ORIGINAL CONDITION IN ALL DISTURBED AREAS.
12. EXISTING AND/OR PROPOSED WATER MAINS SHALL BE LOWERED BELOW OR ABOVE PROPOSED SANITARY AND STORM SEWER LINES TO MAINTAIN A MINIMUM OF 2.0 FEET OF VERTICAL SEPARATION. CONTRACTOR TO MAINTAIN MINIMUM 4.0' SEPARATION BETWEEN SANITARY SEWER AND STORM LINES.
13. EXISTING MANHOLE TOPS, VALVE BOXES, FIRE HYDRANTS AND ALL OTHER UTILITY APURTENANCES SHALL BE ADJUSTED AS REQUIRED TO MATCH PROPOSED GRADES AS SHOWN ON GRADING PLAN.
14. CLEANOUTS LOCATED IN PAVEMENT OR SIDEWALKS SHALL HAVE BRASS OR CAST IRON COVERS THAT EXTEND TO GRADE.
15. CONTRACTOR SHALL CONTACT ALL NECESSARY UTILITY COMPANIES PRIOR TO CONSTRUCTION, IN ORDER TO LOCATE AND/OR DISCONNECT SERVICES.
16. FOR EACH SEWER AND WATER CROSSING, CENTER ONE LENGTH OF SEWER PIPE ON THE EXISTING OR PROPOSED WATER MAIN.
17. FIRE HYDRANT SPRINKLER CONNECTIONS, IF SHOWN, SHALL BE LOCATED ON THE BUILDING NOT LESS THAN 18" OR MORE THAN 48" ABOVE GRADE.
18. SITE WORK CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTORS TO ENSURE THAT ALL UTILITIES SERVICE CONNECTIONS AND CONDUITS ARE IN PLACE AND COORDINATED PRIOR TO BEGINNING ANY PAVING ACTIVITIES.
19. ALL VALVES AND FITTINGS SHALL HAVE MEGALUG ANCHORS.
20. THE CONTRACTOR SHALL RECONNECT ANY EXISTING WASTEWATER LATERALS TO PROPOSED WASTEWATER MAINS.
21. WATER PIPES SHALL NOT BE RUN OR LAID IN THE SAME TRENCH AS DRAINAGE PIPES UNLESS:
A. THE BOTTOM OF THE WATER PIPE IS AT LEAST 24 INCHES ABOVE THE TOP OF THE DRAIN LINE.
B. THE WATER PIPE SHALL BE PLACED ON A SOLID SHELF EXCAVATED AT ONE SIDE OF THE COMMON TRENCH WITH A MINIMUM CLEAR HORIZONTAL DISTANCE OF AT LEAST 12 INCHES FROM THE DRAIN LINE.
22. CONTRACTOR TO BRACE AND/OR BENCH ALL UTILITY TRENCHES AS REQUIRED FOR CONSTRUCTION ADJACENT TO EXISTING AND/OR PROPOSED PAVEMENT AND FOUNDATIONS.

23. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS, LABOR AND COSTS TO CONNECT ALL UTILITIES TO BUILDING.

GAS, ELECTRIC, AND TELEPHONE NOTES

1. THE CONTRACTOR SHALL INSTALL 2-2" SCHEDULE 40 PVC CONDUITS FOR AREA TELEPHONE SERVICE PROVIDER. THE SERVICE PROVIDER WILL INSTALL THE WIRING. THE CONDUITS SHALL EXTEND FROM THE BUILDING TO THE ADJACENT R.O.W. CONTRACTOR SHALL COORDINATE LOCATION, ALIGNMENT AND INSTALLATION REQUIREMENTS WITH THE AREA TELEPHONE PROVIDER.
2. PULL BOXES SHALL BE INSTALLED AT ALL BENDS AND AT 1000-FOOT INCREMENTS ALONG ALL TELEPHONE AND COMMUNICATIONS CONDUITS. ALL PULL BOXES SHALL BE WATERPROOF, AND THOSE IN PAVED AREAS SHALL BE TRAFFIC RATED.
3. THE CONTRACTOR SHALL PROVIDE 4 WEEKS LEAD TIME FOR (TEMPORARY AND PERMANENT) TELEPHONE SERVICE INSTALLATION, AND 14-16 WEEK LEAD TIME FOR THREE-PHASE TRANSFORMERS. COORDINATE SERVICE WITH THE LOCAL ELECTRIC PROVIDER.
4. THE CONTRACTOR SHALL COORDINATE ALL ELECTRIC AND GAS SERVICE (TEMPORARY AND PERMANENT) LOCATION, ALIGNMENT, INSTALLATION REQUIREMENTS AND COST SHARING ARRANGEMENTS WITH FRANCHISED UTILITY PROVIDER.
5. ALL FRANCHISED UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE CONCEPTUAL IN NATURE. THE CONTRACTOR SHALL COORDINATE THE EXACT DESIGN, ALIGNMENT, INSTALLATION REQUIREMENTS AND COST SHARING ARRANGEMENTS WITH THE INDIVIDUAL UTILITY PROVIDERS. THE CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS TO INSTALL FRANCHISED UTILITY (GAS, ELECTRIC, PHONE, CABLE) SERVICE TO THE PROPOSED BUILDING, IN THE BASE BID ALIGNMENT WITH UTILITY PROVIDER.

TRAFFIC CONTROL NOTES

1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS, AT LEAST 48 HOURS PRIOR TO ANY WORK IN A PUBLIC STREET.
2. ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST VERSION.
3. THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC.
4. THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
5. ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.
6. THE TEMPORARY TRAFFIC CONTROL MEASURES SHOWN ON THESE PLANS ARE TO BE CONSIDERED AN ESTABLISHED MINIMUM. ADDITIONAL SIGNS, BARRICADES OR OTHER WARNING DEVICES SHALL BE FURNISHED WHEN NECESSARY TO SAFELY GUIDE TRAFFIC THROUGH THE CONSTRUCTION AREA.
7. TRAFFIC BARRICADES WILL BE REQUIRED AT ALL PROPOSED DRIVEWAY CONNECTIONS TO STREETS AND STORM SEWER CONSTRUCTION IN STREET RIGHT-OF-WAY. BARRICADES SHALL CONFORM TO THE INSTALLATION SHOWN.

STILLWATER ELECTRIC UTILITY NOTES

1. CONTRACTOR SHALL PERFORM THE NECESSARY TRENCHING, PROVIDE AND PLACE THE ELECTRIC CONDUIT, BEDDING AND WARNING TAPE, PERFORM THE TRENCHING BACKFILLING AND COMPACTION, AND CONSTRUCT THE REQUIRED CONCRETE TRANSFORMER PAD OR PADS.
2. 2-INCH ELECTRIC CONDUIT SHALL BE POLY PIPE PLACED FOUR (4) FEET BELOW THE FINAL FINISHED GRADE.
3. ALL WORK PERFORMED AND MATERIALS PROVIDED BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH SEU STANDARDS.
4. STILLWATER ELECTRIC UTILITY WILL PROVIDE AND INSTALL THE PRIMARY CONDUCTOR WIRE AND TRANSFORMER AS NEEDED.
5. IF FOR WHATEVER REASON SEU IS UNABLE TO PULL THE CONDUCTOR WIRE THROUGH THE CONDUIT, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT THE PROBLEM AT THEIR EXPENSE DURING THE WARRANTY PERIOD.
6. THE POINT OF DELIVERY WILL BE DEFINED AS THE LUGS ON THE SECONDARY BUSHINGS OF THE TRANSFORMER AND THE CUSTOMER WILL BE RESPONSIBLE FOR INSTALLING, OWNING, AND MAINTAINING ALL OF THE CUSTOMERS DISTRIBUTION SYSTEM BEYOND THOSE LUGS. SEU WILL PROVIDE THE SECONDARY LUGS AND MAKE THE SECONDARY TERMINATIONS ON THE TRANSFORMER BUSHINGS.
7. THE CONTRACTOR SHALL INSTALL A UTILITY-SUPPLIED METER BASE IN A LOCATION DETERMINED BY SEU.
8. THE CONTRACTOR'S INSTALLATION SHALL INCLUDE THE CONDUIT TO THE SECONDARY COMPARTMENT OF THE TRANSFORMER. SEU WILL PROVIDE THE NECESSARY METERING EQUIPMENT AND METERING WIRING.
9. THE CUSTOMER SHALL, AT THEIR EXPENSE, PROVIDE THE PREMISES FOR EACH TRANSFORMER INSTALLATION, AN APPROVED TRANSFORMER VAULT OR TRANSFORMER PAD, AS REQUIRED BY SEU.
10. SEU SHALL PROVIDE THE CONTRACTOR WITH A DETAILED DRAWING SHOWING PAD DIMENSIONS BASED UPON THE SIZE OF TRANSFORMER THAT WILL BE INSTALLED.
11. WHEN PAD MOUNTED TRANSFORMERS ARE TO BE USED, THE PAD LOCATION SHALL BE CHOSEN TO PROTECT THE TRANSFORMERS FROM DAMAGE BY TRAFFIC, OR ADEQUATE GUARDS AS APPROVED BY SEU.
12. TRANSFORMER AREA SHALL BE ACCESSIBLE TO SEU'S LARGE TRUCKS FOR INSTALLATION AND MAINTENANCE.
13. CUSTOMER SHALL NOT PAINT THE TRANSFORMER OR IN ANY WAY ALTER THE EXTERIOR FINISH WITHOUT PRIOR APPROVAL FROM SEU.
14. ANY AND ALL INSTALLATION OF THE PRIMARY AND SECONDARY CONDUITS SYSTEM WILL NEED TO BE INSPECTED PRIOR TO SAND BEDDING AND BACKFILL BY A MEMBER OF SEU STAFF FOR COMPLIANCE WITH SEU TERMS AND CONDITIONS OF SERVICE AND IN ACCORDANCE TO SEU TRENCHING STANDARDS.

SPECIAL NOTES

1. ALL WORK DONE INSIDE THE FLOODPLAIN SHALL BE CONDUCTED SO THAT THERE IS LITTLE DISTURBANCE.
2. CONTRACTOR TO PAY FOR ALL WATER USAGE DURING CONSTRUCTION.

JOB NUMBER	DATE	SCALE	CREATED BY	DRAWN BY	CHECKED BY
890.02	01/17/2025	AS SHOWN	COV	COV	SCG

**Gose & Associates**
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PREPARED UNDER THE
SUPERVISION OF
STEPHEN C. GOSE
OK P.E.# 22808
DATE: 01/17/2025

JOB NUMBER	DATE	SCALE	CREATED BY	DRAWN BY	CHECKED BY
890.02	01/17/2025	AS SHOWN	COV	COV	SCG

GENERAL CONSTRUCTION NOTES

STILLWATER HOUSING DEVELOPMENT CORP. 11TH & RAMSEY SITE

NOTES

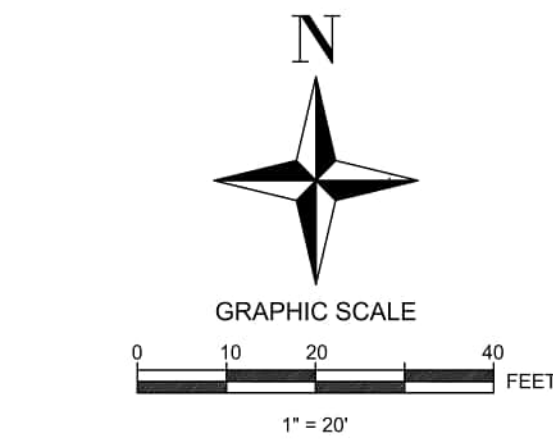
STILLWATER, OKLAHOMA

REVISION DATE

3/4/2025

SHEET #

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- SITE MAP- GENERAL NOTES

- CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS. CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
- AREAS CONTAINED WITHIN THE PROPERTY BOUNDARIES WILL BE AREAS OF DISTURBANCE AND SOIL EXPOSURE WITHIN THESE LIMITS SHALL BE STABILIZED BY VEGETATION OR STRUCTURE.
- CONTRACTOR SHALL RECORD INSTALLATION MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WEATHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
- DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS, FLOW ARROWS, AND SLOPES.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION PROCESS, AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE ANY OTHER STABILIZATION PRACTICES OR OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED, CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS FOR PERMANENT STABILIZATION. IS PROVIDED BY LANDSCAPING, THE BUILDING, AND SITE PAVING.
- BMP'S HAVE BEEN IDENTIFIED AND LOCATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING RUNOFF FROM SITE RUNOFF.
- SANITARY SEWER EFFLUENT IS DISPOSED OF VIA AN ONSITE SEWER SYSTEM CONNECTED TO A MUNICIPAL SEWER SYSTEM.
- PROPER MAINTENANCE AND DISPOSAL OF CONSTRUCTION WASTE MATERIAL REQUIRED BY THE CONTRACTOR. MATERIALS INCLUDE STOCKPILES, SURPLUS, DEBRIS, AND ALL OTHER BY-PRODUCTS OF THE CONSTRUCTION PROCESS. PROPER DISPOSAL OF WASTE MATERIALS INCLUDES SPILL PREVENTION, AND CLEANUP MEASURES. CONTROL AND PRACTICES SHALL MEET THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL AGENCIES.
- PROPER MAINTENANCE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS IS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING MANUFACTURER'S RECOMMENDATIONS FOR USE AND FEDERAL REGULATIONS TO ENSURE CORRECT HANDLING, DISPOSAL, SPILL PREVENTION AND CLEANUP MEASURES. EXAMPLES INCLUDE BUT ARE NOT LIMITED TO: PAINTS, ACIDS, SOLVENTS, OILS, GREASES, AND OTHER ADDITIVES CURING COMPOUNDS AND CONTAMINATED SOLIDS.

- ### SITE MAP- SITE SPECIFIC NOTES

- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
2. THE NATURE OF THIS SITE CONSTRUCTION CONSISTS OF:
- A. CLEARING AND GRUBBING
 - B. PRELIMINARY GRADING
 - C. UTILITY INSTALLATION
 - D. BUILDING CONSTRUCTION
 - E. FINAL GRADING AND STABILIZATION
3. STORM WATER ON-SITE WILL LEAVE THE SITE VIA SURFACE FLOW.
4. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING OR LANDSCAPING.
5. DISTURBED PORTIONS OF THE SITE MUST BE STABILIZED. STABILIZATION PRACTICES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS BEEN EITHER TEMPORARILY OR PERMANENTLY CEASED. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF STABILIZATION OR PERMANENT DRAINAGE FACILITIES.
6. ACCORDING TO FEMA'S MAP SERVICE CENTER, THE SITE IS LOCATED WITHIN A FLOOD ZONE AE ACCORDING TO FIR# 401910C0022F. MAP REVISED: 5/16/2007
7. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW, OR EQUIPMENT STORAGE AREAS.
8. CONTRACTOR SHALL INSURE DISTURBED AREAS, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND VEHICLES, BUILT AND EXIT SITE WITHIN 14 DAYS OF THE END OF WORK. WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER.

EROSION CONTROL SCHEDULE AND SEQUENCING

- | | | |
|----|---|--|
| 1. | ROUGH GRADING | PERIMETER CONTROLS INCLUDING CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION FILTER TUBE, AND ROCK BERM STRUCTURES SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING AS SHOWN ON THE PLAN. |
| 2. | UTILITY INSTALLATION | ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. INLET PROTECTION TO BE INSTALLED AS STORM SEWER SYSTEM IS CONSTRUCTED. |
| 3. | PAVING | ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT. |
| 4. | FINAL GRADING/SLOPE STABILIZATION/LANDSCAPING | ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE ENGINEER. |

GENERAL NOTES

A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO COMPLY WITH THE OKLAHOMA POLLUTION DISCHARGE ELIMINATION SYSTEM (OPDES) REGULATION. THIS PLAN IS DEVELOPED DURING THE DESIGN PHASE, CONFIRMED IN THE PRE-WORK MEETINGS AND AVAILABLE TO THE PUBLIC. THE SWPPP IS A KEY DOCUMENT FOR THE ODEP, WHICH IS THE ODEP'S PRIMARY TOOL FOR MONITORING AND ENFORCING THE OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY (ODEQ). THE BASIC GOAL OF STORMWATER MANAGEMENT IS TO IMPROVE WATER QUALITY BY REDUCING POLLUTANTS IN STORM WATER DISCHARGES. RUNOFF FROM CONSTRUCTION SITES HAS A POTENTIAL FOR POLLUTION DUE TO EXPOSED SOILS AND THE PRESENCE OF HAZARDOUS MATERIALS USED IN THE CONSTRUCTION PROCESS. THE PREVENTION OF SOIL EROSION, SEDIMENTATION, AND POLLUTION ARE THE PRIMARY CONCERNS OF THESE POLLUTANTS BEFORE LEAVING THE CONSTRUCTION SITE AREA. THE BEST PRACTICES FOR CONTROLLING STORM WATER POLLUTION.

THE FOLLOWING SHOULD BE NOTED: "ODEQ GENERAL PERMIT (OKR10) FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES WITHIN THE STATE OF OKLAHOMA," ODEQ, WATER QUALITY DIVISION, OCTOBER 18, 2022

SITE DATA	
TOTAL LOT AREA	0.48 AC (20,913 SF)
TOTAL AREA DISTURBED	0.77 AC (33,547 SF)
PAVED AREA (IN PROP. LIMITS)	0.04 AC (1,884 SF)
ROOFED AREA (IN PROP. LIMITS)	0.15 AC (6,535 SF)
VEGETATED AREA (IN PROP. LIMITS)	0.31 AC (13,347 SF)
PRE-DEVELOPMENT RUNOFF COEFFICIENT	0.49
POST-DEVELOPMENT RUNOFF COEFFICIENT	0.69
RECEIVING BODY OF WATER	STILLWATER CREEK
SENSITIVE WATERS OR WATERSHEDS	NO
303(D) IMPAIRED WATERS	YES

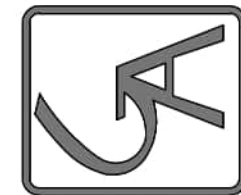
*DOES NOT INCLUDE ANY OFF-SITE DISPOSAL OR BORROW AREAS - CONTRACTOR TO UPDATE AS NECESSARY DURING CONSTRUCTION

EROSION CONTROL PLAN

STILLWATER HOUSING
DEVELOPMENT CORP. 11TH
& RAMSEY SITE

SHEET NUMBER
C2.0

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JOB NUMBER	890.02
DATE	02/14/2025
SCALE:	AS SHOWN
CREATED BY:	KPB
DRAWN BY:	KPB
CHECKED BY:	...

STILL WATER OKI AHOMA



DESIGNER'S
INK

DESIGNER: **JEFF DILLON**
DRAFTING BY: **S. VANDEBURGH**
CLIENT: **STILLWATER HOUSING**

**11TH AVE. &
RAMSEY ST.**

EROSION CONTROL PLAN

REVISION
DATE
3/4/2025

SHEET #
10

- ## NOTES

- | | |
|--|---|
| 1. MUST BE INSTALLED PROPERLY TO AVOID NOTICE OF VIOLATION. | 1. ALL ROCK RAG BAG BARRIERS MUST AGREE WITH THE NOTES ON PREVIOUS PAGE. |
| 2. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE POUNDING EFFICIENCY. | 2. PLACE CURB TYPE RAG BAG BARRIER ON GENTLY SLOPING STREET, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF. |
| 3. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 3' MAXIMUM RECOMMENDED STORAGE HEIGHT. | 3. BAGS OF WOVEN GEOTEXTILE FABRIC, FILLED WITH GRAVEL, MUST BE LAYERED SUCH THAT NO GAPS ARE EVIDENT. |
| 4. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED. | 4. LEAVE ONE SANDBAG GAP IN THE TOP ROW ON THE SIDE AWAY FROM FLOW, TO PROVIDE A SPILLWAY. OR IN THE CENTER IF REMOVAL IS NEEDED ON BOTH SIDES. |
| | 5. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY |

PLAN VIEW

BACK OF SIDEWALK

PLACE ROCK BARRIER BAGS SUCH THAT NO GAPS ARE EVIDENT

CATCH BASIN

CURB INLET

BACK OF CURB

PONDING AREA FOR SEDIMENT SEPARATION

SPILLWAY

FLOW

SECTION A-A

PONDING HEIGHT

SPILLWAY

CURB INLET

SIDEWALK

CATCH BASIN

- NOTES:

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5. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT, SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY

- NOTES:

1. FILTER DAMS SHALL BE PLACED TO COLLECT SEDIMENT WHERE EROSION IS EXPECTED. IE. NEAR THE TOE OF SLOPES, AT UPSTREAM AND DOWNSTREAM TERMINATIONS OF CHANNELS, AT THE HEADS OF BRANCH CHANNELS, AS SHOWN IN THE PLANS OR AS DIRECTED BY THE ENGINEER.
2. MATERIALS SPECIFICATIONS FOR STONE FILL FOR GABIONS (ROCK) , WIRE MESH AND FILTER FABRIC SHALL BE IN ACCORDANCE WITH THE 1999 STANDARD SPECIFICATION FOR CONSTRUCTION (2004) , 7TH EDITION, SECTION 20.01, 20.02, 20.03, 20.04, 20.05, 20.06, 20.07, 20.08, 20.09, 20.10, 20.11, 20.12, 20.13, 20.14, 20.15, 20.16, 20.17, 20.18, 20.19, 20.20, 20.21, 20.22, 20.23, 20.24, 20.25, 20.26, 20.27, 20.28, 20.29, 20.30, 20.31, 20.32, 20.33, 20.34, 20.35, 20.36, 20.37, 20.38, 20.39, 20.40, 20.41, 20.42, 20.43, 20.44, 20.45, 20.46, 20.47, 20.48, 20.49, 20.50, 20.51, 20.52, 20.53, 20.54, 20.55, 20.56, 20.57, 20.58, 20.59, 20.60, 20.61, 20.62, 20.63, 20.64, 20.65, 20.66, 20.67, 20.68, 20.69, 20.70, 20.71, 20.72, 20.73, 20.74, 20.75, 20.76, 20.77, 20.78, 20.79, 20.80, 20.81, 20.82, 20.83, 20.84, 20.85, 20.86, 20.87, 20.88, 20.89, 20.90, 20.91, 20.92, 20.93, 20.94, 20.95, 20.96, 20.97, 20.98, 20.99, 21.00, 21.01, 21.02, 21.03, 21.04, 21.05, 21.06, 21.07, 21.08, 21.09, 21.10, 21.11, 21.12, 21.13, 21.14, 21.15, 21.16, 21.17, 21.18, 21.19, 21.20, 21.21, 21.22, 21.23, 21.24, 21.25, 21.26, 21.27, 21.28, 21.29, 21.30, 21.31, 21.32, 21.33, 21.34, 21.35, 21.36, 21.37, 21.38, 21.39, 21.40, 21.41, 21.42, 21.43, 21.44, 21.45, 21.46, 21.47, 21.48, 21.49, 21.50, 21.51, 21.52, 21.53, 21.54, 21.55, 21.56, 21.57, 21.58, 21.59, 21.60, 21.61, 21.62, 21.63, 21.64, 21.65, 21.66, 21.67, 21.68, 21.69, 21.70, 21.71, 21.72, 21.73, 21.74, 21.75, 21.76, 21.77, 21.78, 21.79, 21.80, 21.81, 21.82, 21.83, 21.84, 21.85, 21.86, 21.87, 21.88, 21.89, 21.90, 21.91, 21.92, 21.93, 21.94, 21.95, 21.96, 21.97, 21.98, 21.99, 22.00, 22.01, 22.02, 22.03, 22.04, 22.05, 22.06, 22.07, 22.08, 22.09, 22.10, 22.11, 22.12, 22.13, 22.14, 22.15, 22.16, 22.17, 22.18, 22.19, 22.20, 22.21, 22.22, 22.23, 22.24, 22.25, 22.26, 22.27, 22.28, 22.29, 22.30, 22.31, 22.32, 22.33, 22.34, 22.35, 22.36, 22.37, 22.38, 22.39, 22.40, 22.41, 22.42, 22.43, 22.44, 22.45, 22.46, 22.47, 22.48, 22.49, 22.50, 22.51, 22.52, 22.53, 22.54, 22.55, 22.56, 22.57, 22.58, 22.59, 22.60, 22.61, 22.62, 22.63, 22.64, 22.65, 22.66, 22.67, 22.68, 22.69, 22.70, 22.71, 22.72, 22.73, 22.74, 22.75, 22.76, 22.77, 22.78, 22.79, 22.80, 22.81, 22.82, 22.83, 22.84, 22.85, 22.86, 22.87, 22.88, 22.89, 22.90, 22.91, 22.92, 22.93, 22.94, 22.95, 22.96, 22.97, 22.98, 22.99, 23.00, 23.01, 23.02, 23.03, 23.04, 23.05, 23.06, 23.07, 23.08, 23.09, 23.10, 23.11, 23.12, 23.13, 23.14, 23.15, 23.16, 23.17, 23.18, 23.19, 23.20, 23.21, 23.22, 23.23, 23.24, 23.25, 23.26, 23.27, 23.28, 23.29, 23.30, 23.31, 23.32, 23.33, 23.34, 23.35, 23.36, 23.37, 23.38, 23.39, 23.40, 23.41, 23.42, 23.43, 23.44, 23.45, 23.46, 23.47, 23.48, 23.49, 23.50, 23.51, 23.52, 23.53, 23.54, 23.55, 23.56, 23.57, 23.58, 23.59, 23.60, 23.61, 23.62, 23.63, 23.64, 23.65, 23.66, 23.67, 23.68, 23.69, 23.70, 23.71, 23.72, 23.73, 23.74, 23.75, 23.76, 23.77, 23.78, 23.79, 23.80, 23.81, 23.82, 23.83, 23.84, 23.85, 23.86, 23.87, 23.88, 23.89, 23.90, 23.91, 23.92, 23.93, 23.94, 23.95, 23.96, 23.97, 23.98, 23.99, 24.00, 24.01, 24.02, 24.03, 24.04, 24.05, 24.06, 24.07, 24.08, 24.09, 24.10, 24.11, 24.12, 24.13, 24.14, 24.15, 24.16, 24.17, 24.18, 24.19, 24.20, 24.21, 24.22, 24.23, 24.24, 24.25, 24.26, 24.27, 24.28, 24.29, 24.30, 24.31, 24.32, 24.33, 24.34, 24.35, 24.36, 24.37, 24.38, 24.39, 24.40, 24.41, 24.42, 24.43, 24.44, 24.45, 24.46, 24.47, 24.48, 24.49, 24.50, 24.51, 24.52, 24.53, 24.54, 24.55, 24.56, 24.57, 24.58, 24.59, 24.60, 24.61, 24.62, 24.63, 24.64, 24.65, 24.66, 24.67, 24.68, 24.69, 24.70, 24.71, 24.72, 24.73, 24.74, 24.75, 24.76, 24.77, 24.78, 24.79, 24.80, 24.81, 24.82, 24.83, 24.84, 24.85, 24.86, 24.87, 24.88, 24.89, 24.90, 24.91, 24.92, 24.93, 24.94, 24.95, 24.96, 24.97, 24.98, 24.99, 25.00, 25.01, 25.02, 25.03, 25.04, 25.05, 25.06, 25.07, 25.08, 25.09, 25.10, 25.11, 25.12, 25.13, 25.14, 25.15, 25.16, 25.17, 25.18, 25.19, 25.20, 25.21, 25.22, 25.23, 25.24, 25.25, 25.26, 25.27, 25.28, 25.29, 25.30, 25.31, 25.32, 25.33, 25.34, 25.35, 25.36, 25.37, 25.38, 25.39, 25.40, 25.41, 25.42, 25.43, 25.44, 25.45, 25.46, 25.47, 25.48, 25.49, 25.50, 25.51, 25.52, 25.53, 25.54, 25.55, 25.56, 25.57, 25.58, 25.59, 25.60, 25.61, 25.62, 25.63, 25.

The drawing illustrates the construction of a straw bale wall using wire mesh and staples. It includes three views: a Plan view, a Staple Detail, and a Section B-B.

PLAN

The Plan view shows a square wall section with dimensions of 10 FT. TYP. for both width and height. The wall is constructed from straw bales (TYP.) held together by wire mesh. The mesh is secured with staples (TYP.) along the perimeter. The wall is 3 FT. TYP. thick. The bottom of the wall is labeled "IMPERMEABLE SHEETING". The top of the wall is labeled "STRAW BALE (TYP.)". The wall is labeled "B" on both sides.

STAPLE DETAIL

The Staple Detail shows a cross-section of a staple. The staple is 2 IN. wide and 4 IN. high. It is made of 1/8 IN. DIA. STEEL WIRE.

SECTION B-B

The Section B-B view shows a cross-section of the wall. The wall is 3 FT. TYP. thick. It is constructed from straw bales (TYP.) held together by wire mesh. The mesh is secured with staples (TYP.) along the perimeter. The wall is labeled "B" on both sides. The bottom of the wall is labeled "IMPERMEABLE SHEETING". The top of the wall is labeled "STRAW BALE (TYP.)". The wall is labeled "B" on both sides. The bottom of the wall is labeled "WOOD OR METAL STAKES (2 PER BALE)".

NOTE: CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2% OR GREATER

SECTION A -- A

ROADWAY

FILTER FABRIC

ROCK BAGS, OR CONTINUOUS GEOSYNTHETIC FABRIC BERM OF EQUIVALENT HEIGHT

SPILLWAY

NOTE: USE ROCK BAGS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED. SEE NOTES.

SUPPLY WATER TO WASH WHEELS IF NECESSARY

ROCK BAGS MUST BE PLACED SUCH THAT NO GAPS ARE EVIDENT

20' R

FLOW

FLOW

FLOW

FLOW

ROADWAY

A

A

2" - 3" COURSE AGGREGATE MIN. 6" THICK

DIVERSION RIDGE

50' MIN.

PLAN

20' MIN.

- NOTES:**

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT. SEE NOTES ERO-03.

The diagram shows a perspective view of a silt dam unit. A central trench is filled with foam. Arrows indicate the flow direction from left to right. The roadway is shown on the right side of the unit. The trench is labeled '3' TO 6" TRENCH' and the foam is labeled 'FOAM'. The roadway is labeled 'ROADWAY'. The unit is labeled 'SILT DAM UNIT' and 'CUT SECTION'.

- ## NOTES

1. STAPLES SHALL BE PLACED WHERE THE UNITS OVERLAP AND IN THE CENTERS OF THE 7' UNIT AS SHOWN IN DETAILS.
2. POINT 'A' MUST BE HIGHER THAN POINT 'B' TO ENSURE THAT THE WATER FLOWS OVER THE DAM AND NOT AROUND THE ENDS.

Diagram illustrating the Root Protection Zone (RPZ) and Drip Line for a tree.

Labels in the diagram include:

- TREE TRUNK
- CURB
- STREET
- ROOT PROTECTION ZONE (RPZ)
- SIDEWALK
- ESTABLISH FENCE PROTECTION MINIMUM 5' FROM TRUNK
- ROOT PROTECTION ZONE (RPZ)
- DRIP LINE

Text describing the zones:

- 6" MULCH INSIDE RPZ WHEN THERE IS NO EXISTING UNDERSTORY OR TURF
- 8" MULCH OUTSIDE RPZ AND UNDER DRIP LINE AS MINIMAL PROTECTION FOR ROOTS FROM CONSTRUCTION ACTIVITIES

NOTE

1. OPTION USED FOR TIGHT CONSTRUCTION AREA OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

- REMOVAL OR DESTRUCTION OF EROSION CONTROL MEASURES IS PROHIBITED WITHOUT AUTHORIZATION OF THE BUILDERS. NO VEHICLES ALLOWED OFF THE PAVED STREETS EXCEPT FOR ESSENTIAL LOADING & UNLOADING & THEN ONLY IN DRY CONDITIONS WITHOUT AUTHORIZATION OF THE BUILDER. NO VEHICLES ALLOWED OUTSIDE THE PINNED BOUNDARIES OF THE CONSTRUCTION LOT WITHOUT AUTHORIZATION OF THE BUILDER. MUD OR DEBRIS DEPOSITED IN THE PAVED STREETS WITHOUT BUILDER AUTHORIZATION SHALL BE IMMEDIATELY CLEANED BY CONSTRUCTION CONTRACTORS EXPENSE.

(COPY AND POST ON SITE)
THIS CONSTRUCTION SITE IS BOUND BY EPA STORM WATER DISCHARGE LAWS

CONTRACTORS, BUILDERS, REGULAR SUPPLIERS OR OTHERS (CONTRACTORS) INVOLVED IN CONSTRUCTION ACTIVITY WHO ARE NOT THE OWNER/OPERATOR, DEVELOPER OR GENERAL CONTRACTOR, AND HAVE NOT BEEN ISSUED THE STORM WATER CONSTRUCTION GENERAL PERMIT AUTHORIZATION, MUST EXECUTE THIS CONTRACT WHICH PLACES THE RESPONSIBILITY OF COMPLYING WITH AND ABIDING BY THE INTENT AND PURPOSE OF THE PERMIT WITH THE CONTRACTOR FOR ANY AND ALL WORK PERFORMED UNDER THE AUTHORITY AND DIRECTION OF THE CONTRACTOR. FURTHERMORE, THE CONTRACTOR ASSUMES RESPONSIBILITY TO AVOID OR ELIMINATE ANY ACTUAL OR POTENTIAL ADVERSE EFFECTS UPON THE ENVIRONMENT ACCORDING TO THIS STORM WATER POLLUTION PREVENTION PLAN (SWPP), DURING ALL PHASES OF BUILDING, CONSTRUCTION, OR DELIVERY ACTIVITY ON ANY AND ALL CONSTRUCTION SITES UNDER THE CONTROL AND RESPONSIBILITY OF THE CONTRACTOR.

1. CONTRACTOR COMPANY NAME: _____
2. CONTRACTOR ADDRESS: _____
3. PROJECT LOCATION: _____
4. CONTRACTOR MUST BE THOROUGHLY FAMILIAR WITH THE ORIGINAL NOTICE OF INTENT WITH THE OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY. CONTRACTOR MUST READ AND ADHERE TO, THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE FILE AT THE FOLLOWING LOCATION: _____. THE CONTRACTOR IS CELESTIAL PHYSICAL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION ACTIVITIES PERFORMED UNDER THE DIRECTION AND CONTROL OF THE CONTRACTOR, TO AVOID OR ELIMINATE ANY ACTUAL OR POTENTIAL ENVIRONMENTAL DAMAGE TO THE ENVIRONMENT PERTAINING TO THE PROPERTIES LISTED IN ITEM 3 ABOVE.

CERTIFICATION

I CERTIFY THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE OKLAHOMA POLLUTANT DISCHARGE ELIMINATION SYSTEM ACT (OPDES) GENERAL PERMIT THAT AUTHORIZES STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE CONSTRUCTION SITE AS IDENTIFIED IN THIS CERTIFICATION. I HAVE READ AND UNDERSTAND THE OWNER/ OPERATORS' OBLIGATION TO PREVENT (NO) AND/OR REDUCE (YES) THE RISK OF POLLUTION FROM THE CONSTRUCTION SITE. I HAVE READ AND UNDERSTAND THE REQUIREMENTS OF THE OKLAHOMA POLLUTANT DISCHARGE FROM CONSTRUCTION ACTIVITY, INCLUDING THOSE REQUIREMENTS PUBLISHED IN THE MODIFIED OPDES GENERAL PERMIT GP-0054 OF FEBRUARY 1, 1999, AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND BEST MANAGEMENT PRACTICES (BMP) DESCRIBED IN ITEM 4 ABOVE. I AGREE THAT AS A CONTRACTOR, BUILDER, REGULAR SUPPLIER, OR A SUPPORT SERVICE COMPANY, I AM RESPONSIBLE FOR INSTALLING AND/OR MAINTAINING THE APPROPRIATE POLLUTION PREVENTION MEASURES THAT I AM RESPONSIBLE FOR ACCORDING TO THE AGREEMENT.

I HAVE WITH THE PERMITTEE,

I UNDERSTAND THAT CONTINUED COVERAGE UNDER THIS PERMIT IS CONTINGENT UPON MAINTAINING ELIGIBILITY AS PROVIDED FOR IN PART I.B.

SIGNATURE: _____ TITLE: _____
 PRINT NAME: _____ DATE: _____
 SIGNATURE: _____ TITLE: _____

[illegible]

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STEPHEN C. GOSE
OK P/E #: 22808
DATE: 01/17/2025

JOB NUMBER
890.02

DATE
01/17/2025

SCALE: AS SHOWN
CREATED BY: CCWB
DRAWN BY: CCWB
CHECKED BY: CCWB

EROSION CONTROL PLAN NOTES

STILLWATER HOUSING
DEVELOPMENT CORP. 11TH
& RAMSEY SITE

SHEET NUMBER
C2.1

STII | WATER OKI AHOMA



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INK

DESIGNER: **JEFF DILLON**
DRAFTING BY: **S. VANDEBURGH**
CLIENT: **STILLWATER HOUSING**

**11TH AVE. &
RAMSEY ST.**

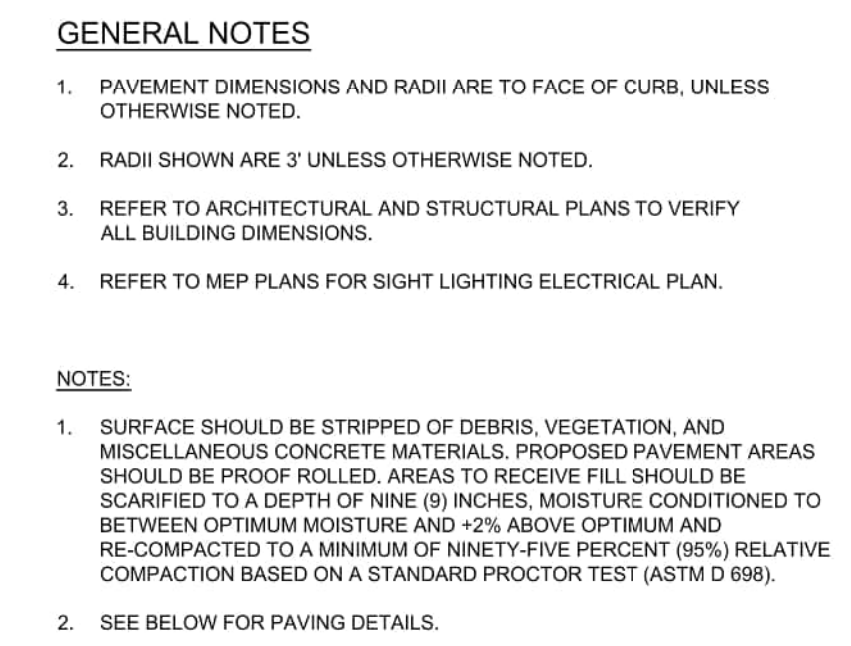
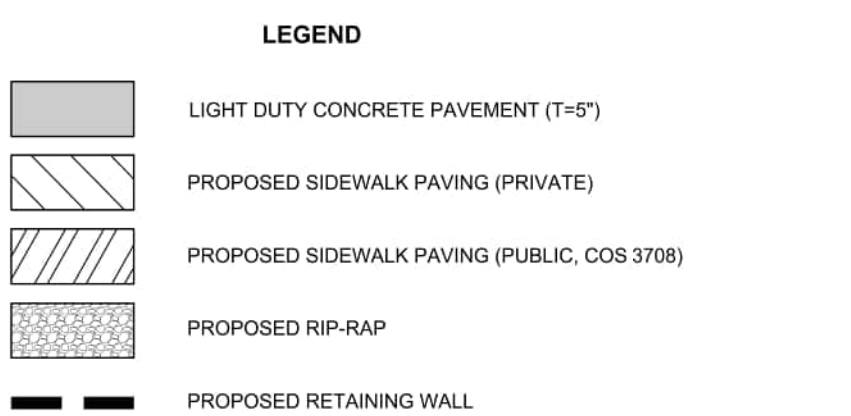
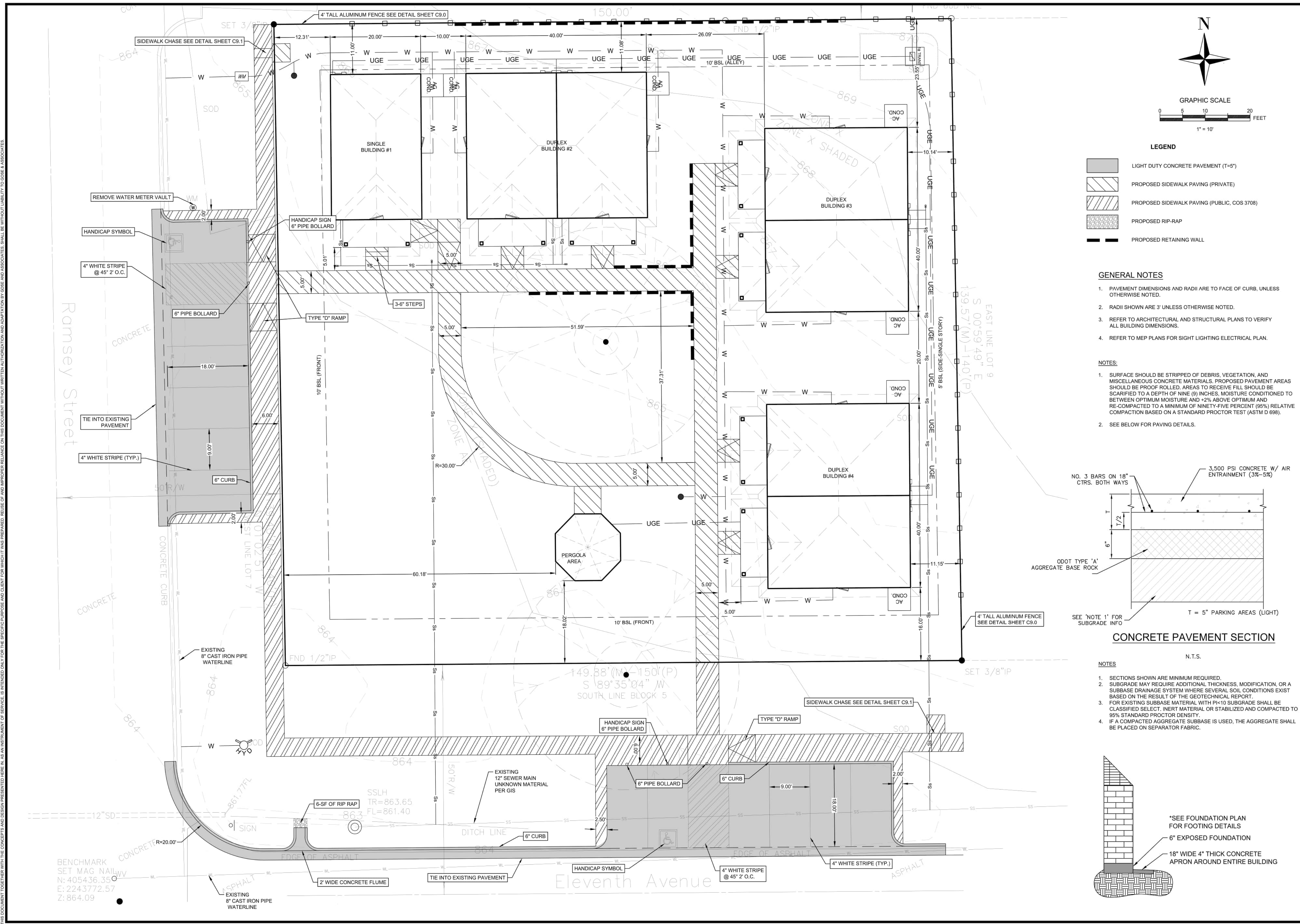
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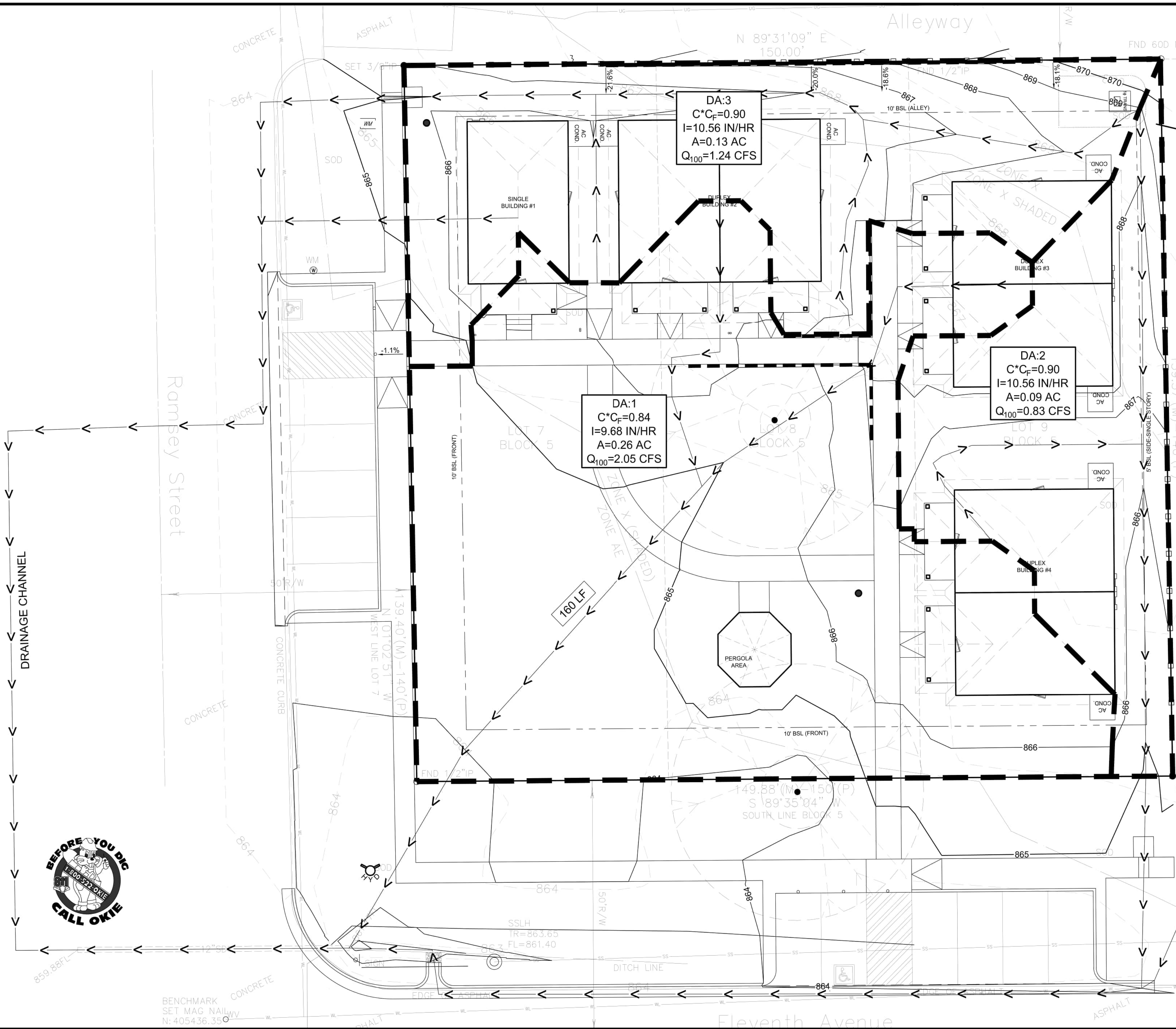
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SITE & PAVING PLAN	
STILLWATER HOUSING DEVELOPMENT CORP. 11TH & RAMSEY SITE STILLWATER, OKLAHOMA	

PROPOSED DRAINAGE AREA MAP
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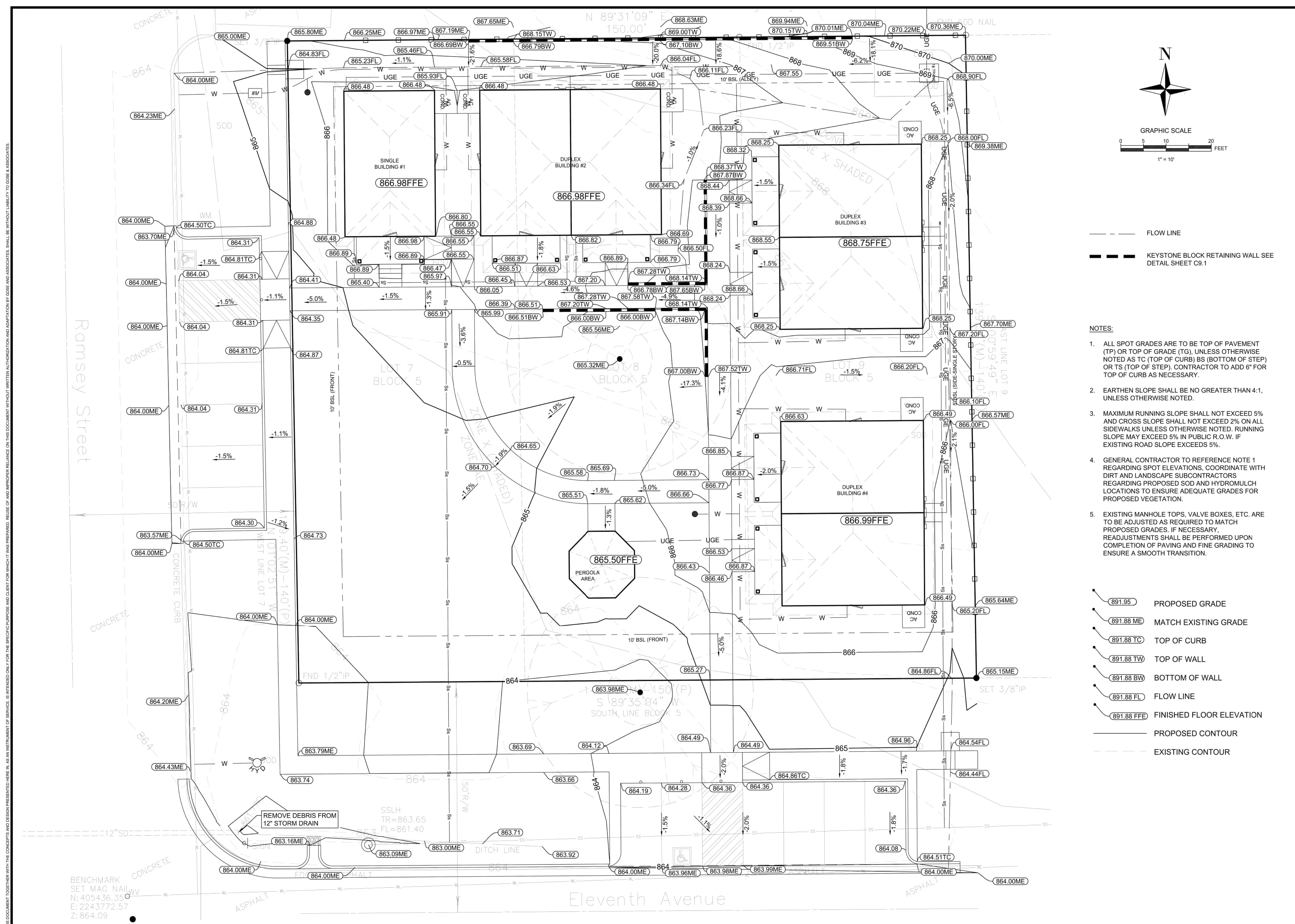
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STILLWATER HOUSING DEVELOPMENT CORP. 11TH & RAMSEY SITE STILLWATER, OKLAHOMA	PROPOSED DRAINAGE AREA MAP	Gose & Associates ENGINEERING • PLANNING • LAND SERVICES 113 E. 8th Avenue, Stillwater, OK 74074, PH (405) 743-4907 CA 1640 www.gose-associates.com	REVISIONS
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DRAFTING BY: S. VANDEBURGH
CLIENT: STILLWATER HOUSING

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STILLWATER, OK

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GRADING PLAN

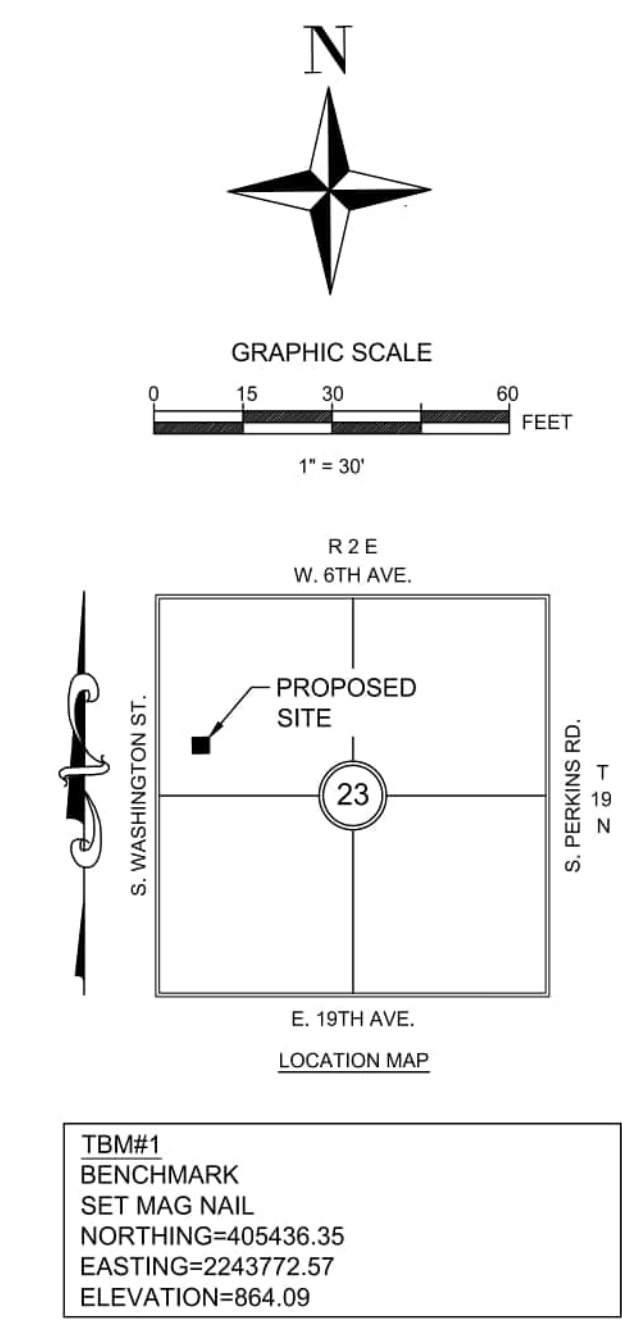
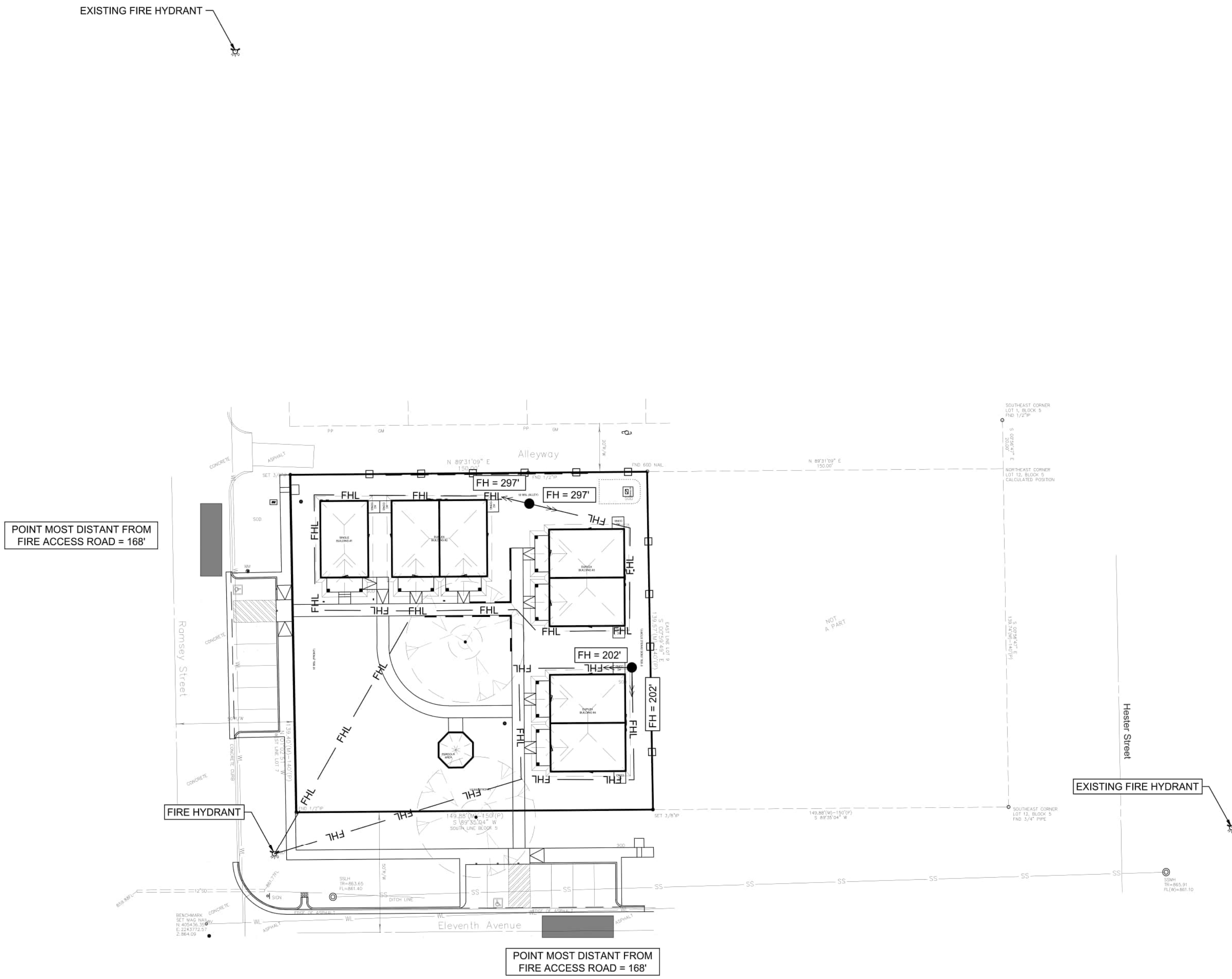
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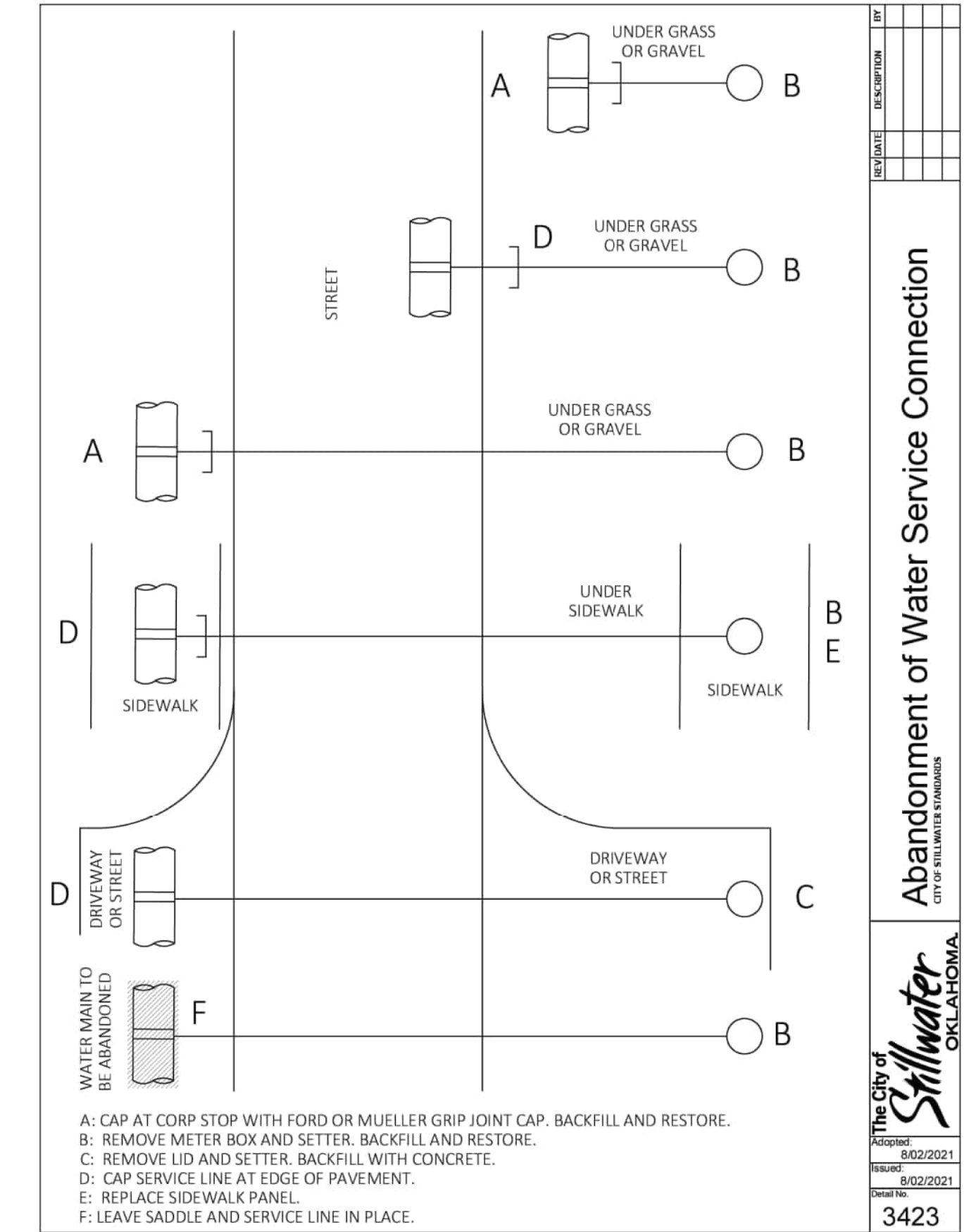
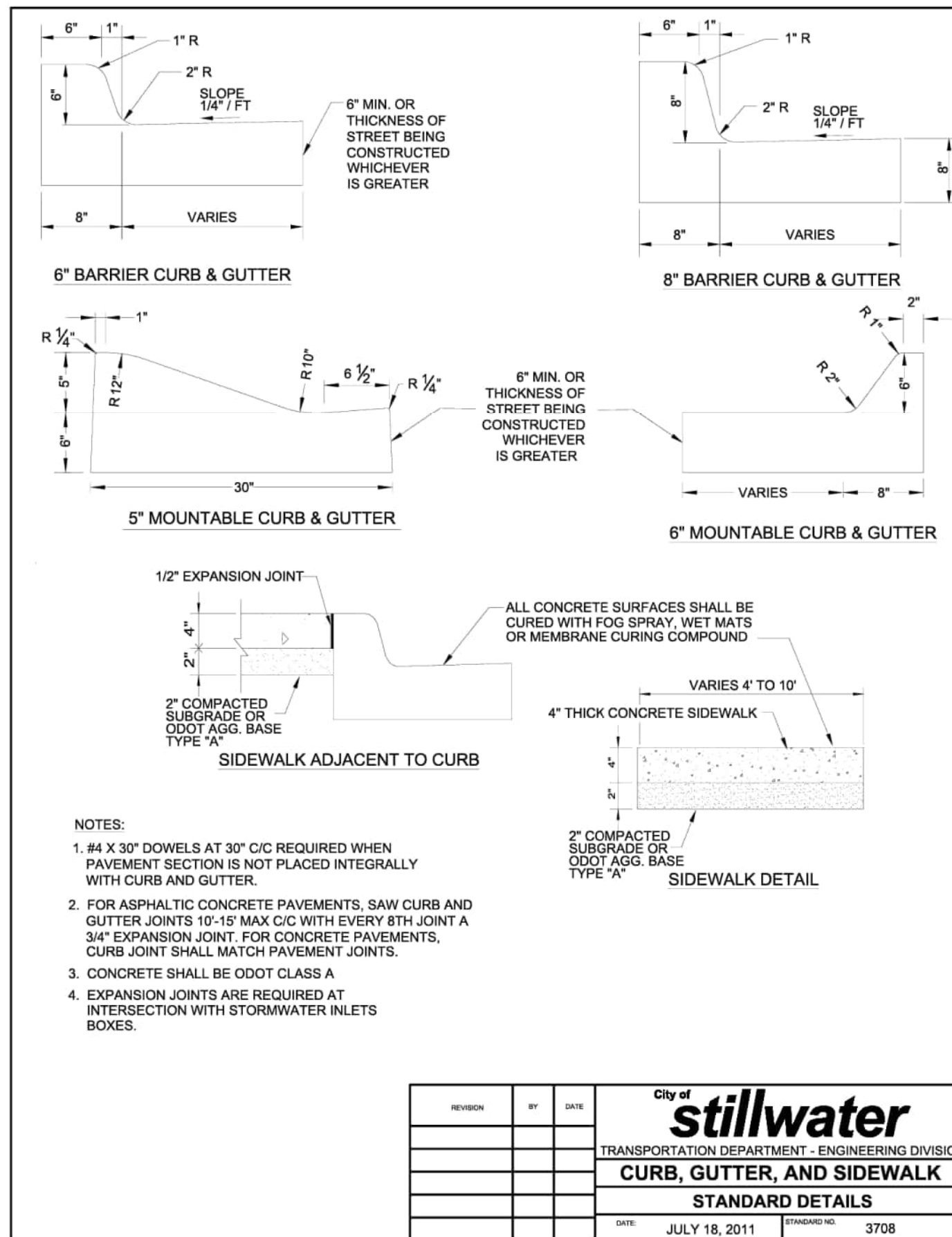
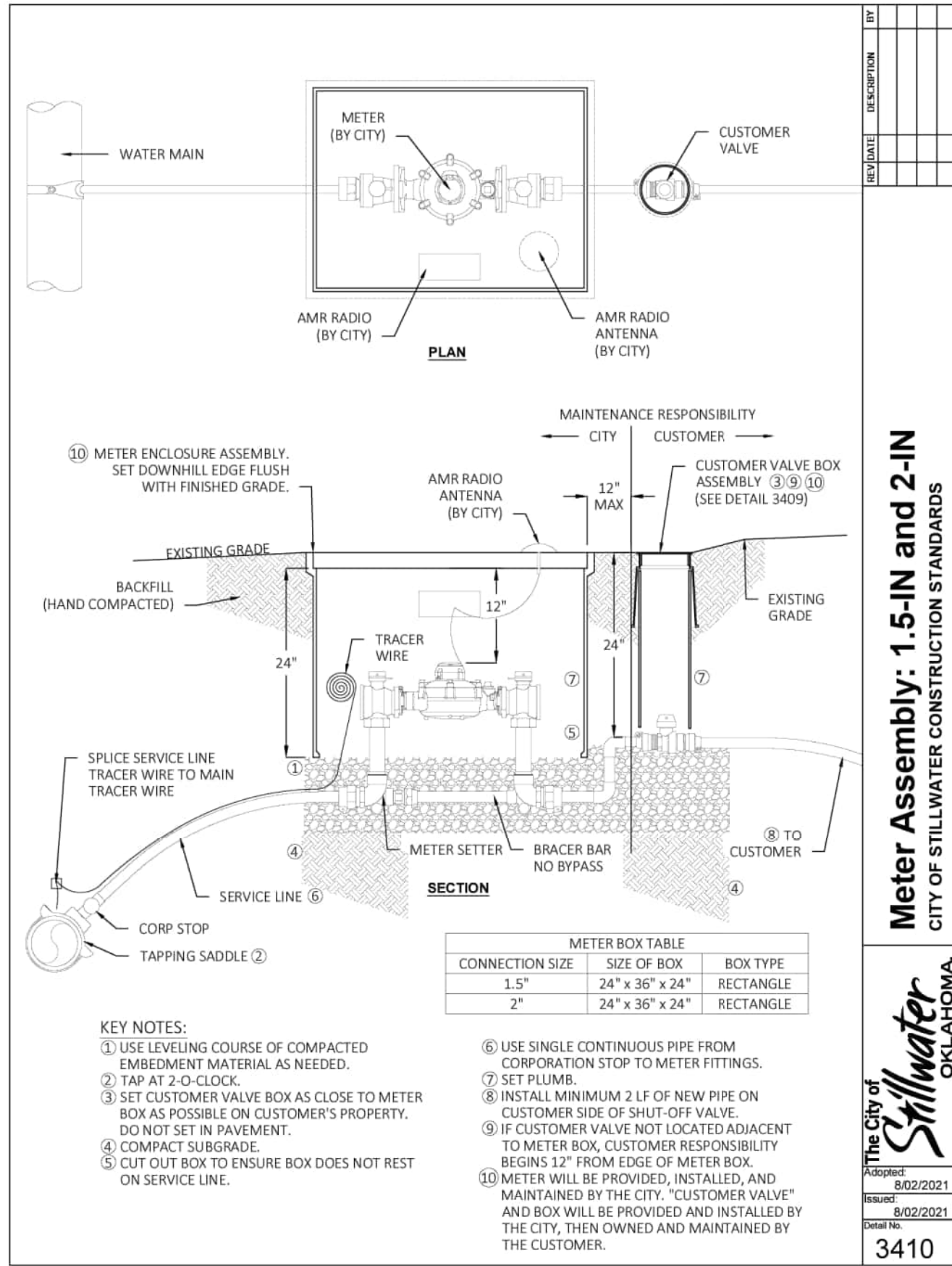
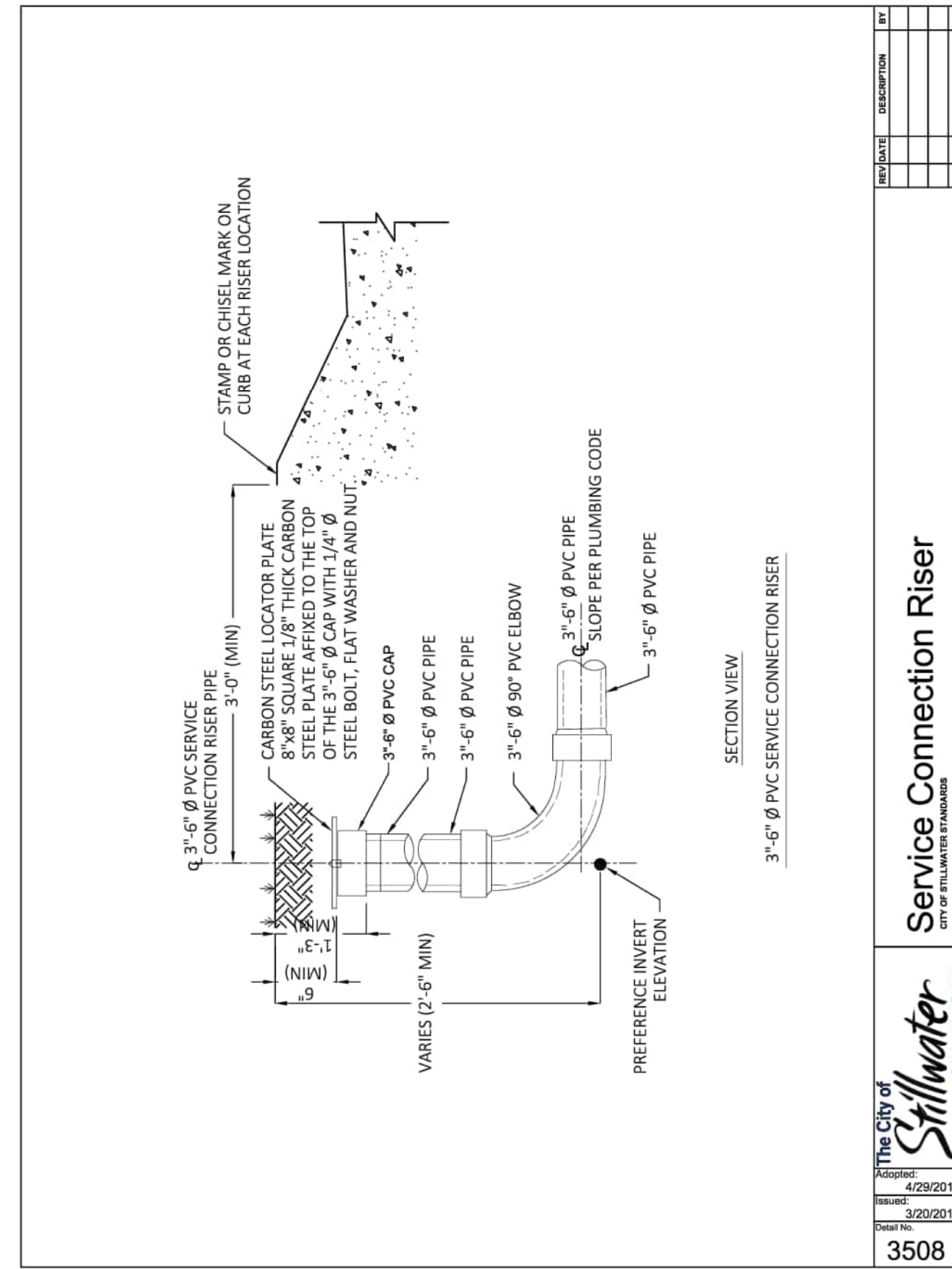
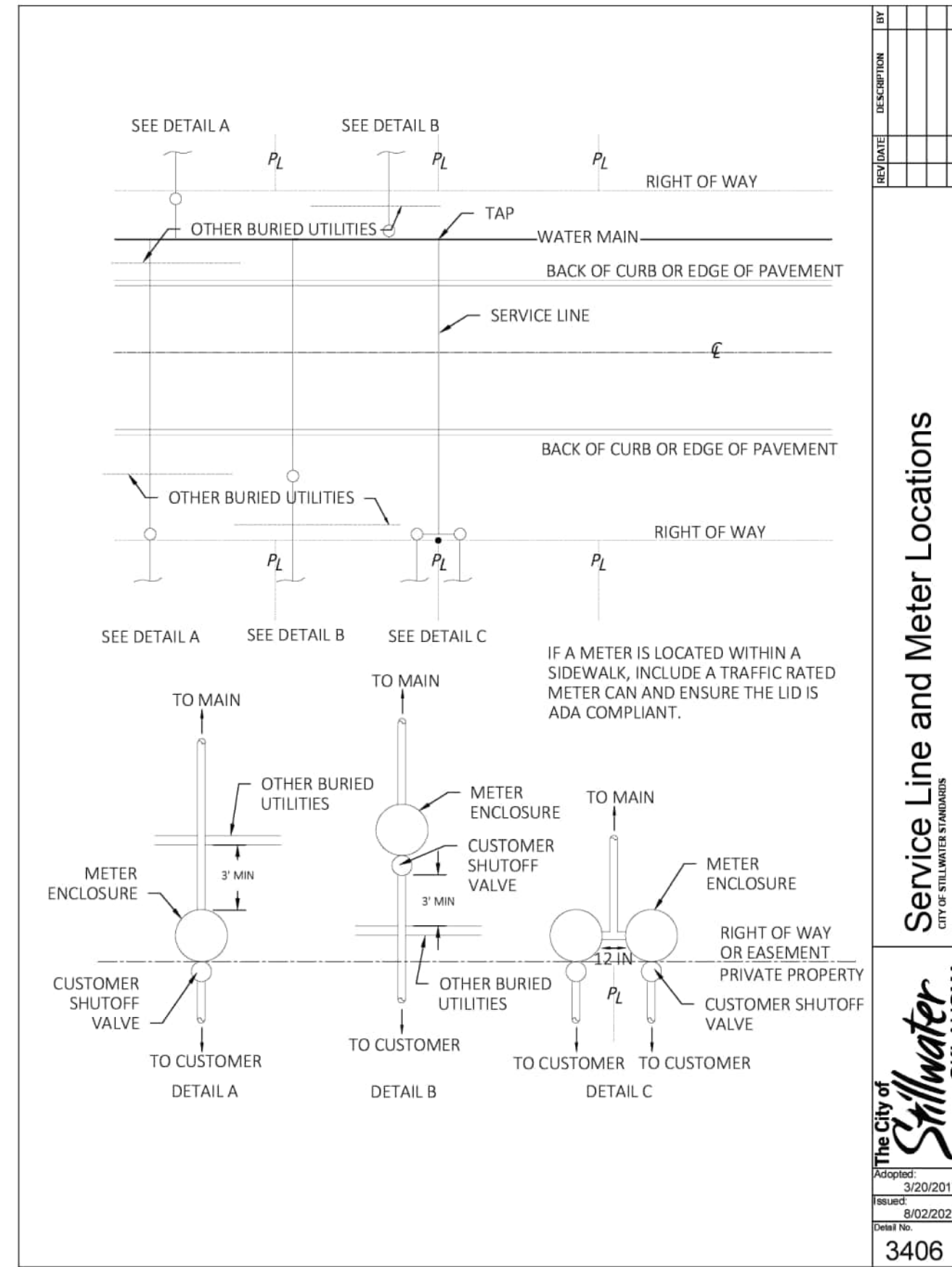
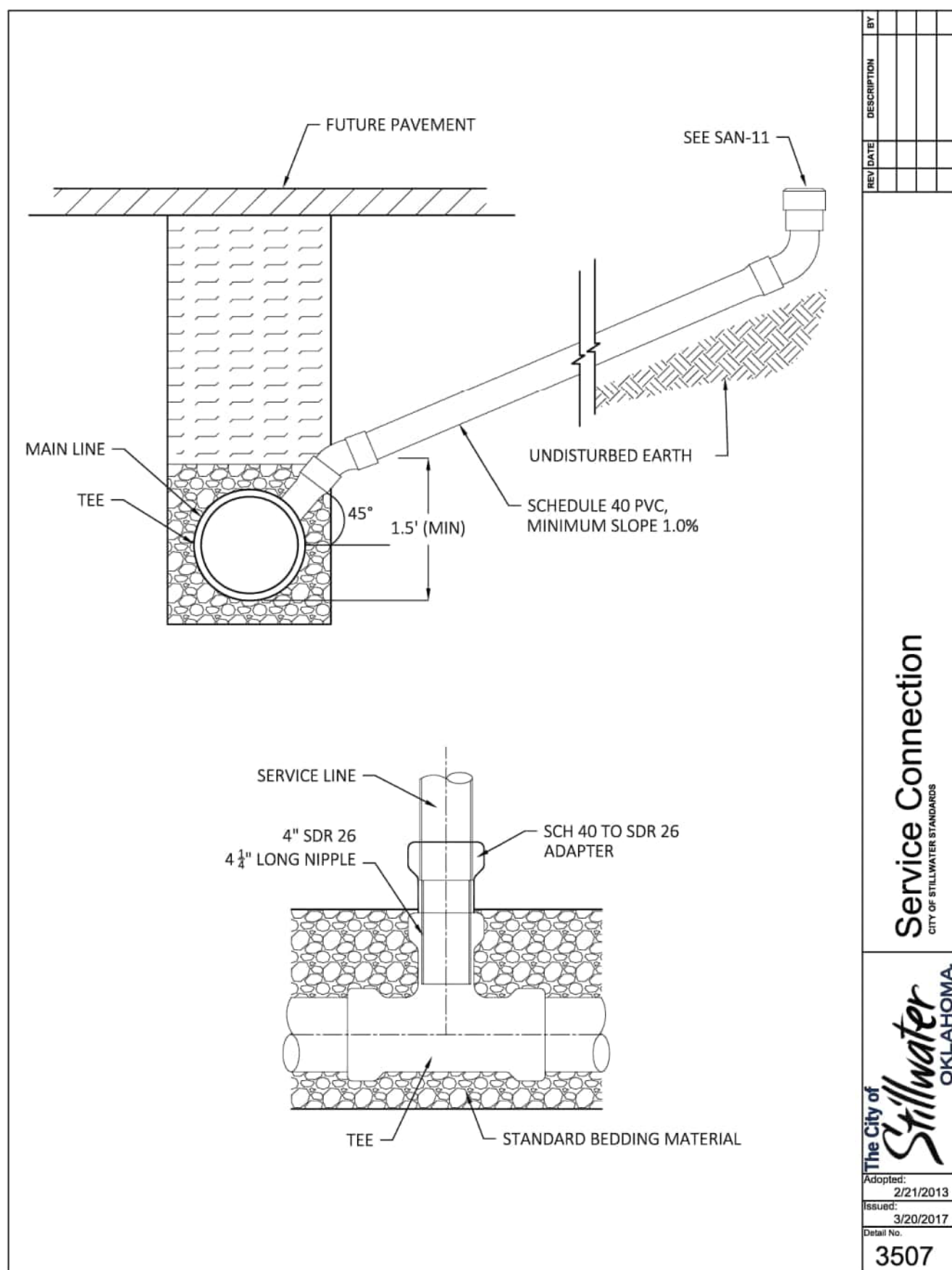
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- FIRE PROTECTION NOTES:**
1. KNOX BOX FOR EACH UNIT.
 2. ADDRESS TO BE CLEARLY MARKED PER SECTION (502.1) OF THE IBC.

STILLWATER HOUSING DEVELOPMENT CORP. 11TH & RAMSEY SITE STILLWATER, OKLAHOMA	FIRE PROTECTION PLAN	Gose & Associates ENGINEERING • PLANNING • LAND SERV/CES 113 E 8th Avenue Stillwater, OK 74074 PH (405) 743-4807 CA 1640 www.gose-associates.com	REVISIONS NO. DATE
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01/17/2025
SCALE: AS SHOWN
CREATED BY: CDW
DRAWN BY: CDW
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DATE
3/4/2025

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DETAILS

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STILLWATER, OK

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DRAFTING BY: S. VANDEBURGH
CLIENT: STILLWATER HOUSING

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