

PRELIMINARY SITE PLAN

SR-70 MULTIFAMILY

IN MANATEE COUNTY, FLORIDA
PLN2212-0029

SECTION 18 - TOWNSHIP 35S - RANGE 18E
PID NUMBERS: 1800600007, 1800100059 & 1800100109

A DEVELOPMENT BY
BRADENTON PROJECT, LLC
154 CALLIBLUFF DRIVE
SUMMERVILLE, SC 29496

SITE ADDRESS
2008 53rd AVE. E.
BRADENTON, FL 34203

PROJECT CONTACTS

ENGINEER:
MATTHEW J. MORRIS, P.E.
MORRIS ENGINEERING & CONSULTING, LLC
6997-B PROFESSIONAL PARKWAY EAST
SARASOTA, FL 34240
(941) 444-6644
WWW.MORRISENGINEERING.NET

UTILITIES, ELECTRICITY
FLORIDA POWER & LIGHT
(941) 917-0708

UTILITIES, GAS
TECO PEOPLES GAS
(877) 832-6747

UTILITIES, CABLE TV, PHONE & INTERNET
SPECTRUM
(877) 524-6979

UTILITIES, FIBER
SPECTRUM
(877) 524-6979
AT&T
(866) 890-9267

UTILITIES, POTABLE WATER, & WASTEWATER
MANATEE COUNTY UTILITIES
(941) 792-8811

APPLICANT
BRADENTON PROJECT, LLC
154 CALLIBLUFF DR.
SUMMERVILLE, SC 29486

SURVEYOR
CLEMENTS SURVEYING, INC
509 8TH AVE W. STE. 140
PALMETTO, FL 34221
(941) 729-6690

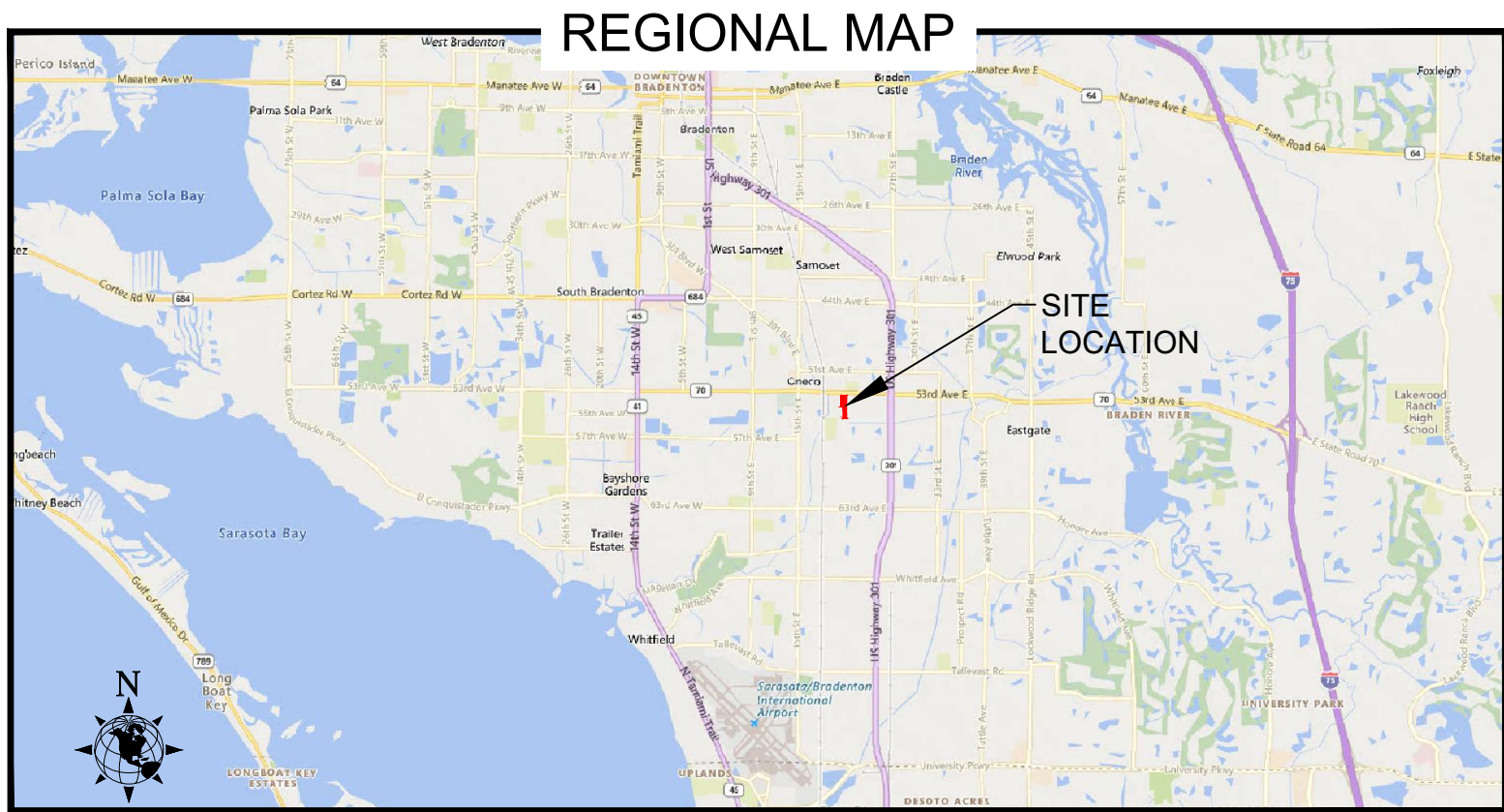
GROSS ACREAGE: 6.47 AC.
WETLANDS: 1.84 AC.
UPLANDS: 4.63 AC.
+ 20% WL CREDIT 1.28 AC.
AC. FOR DENSITY 5.92 AC.

5.92 AC. x 20 DU/AC = 118.4 MAX DU (GROSS)
PROVIDED UNITS = 118 TOTAL DU - WITHIN ALLOWABLE DENSITY

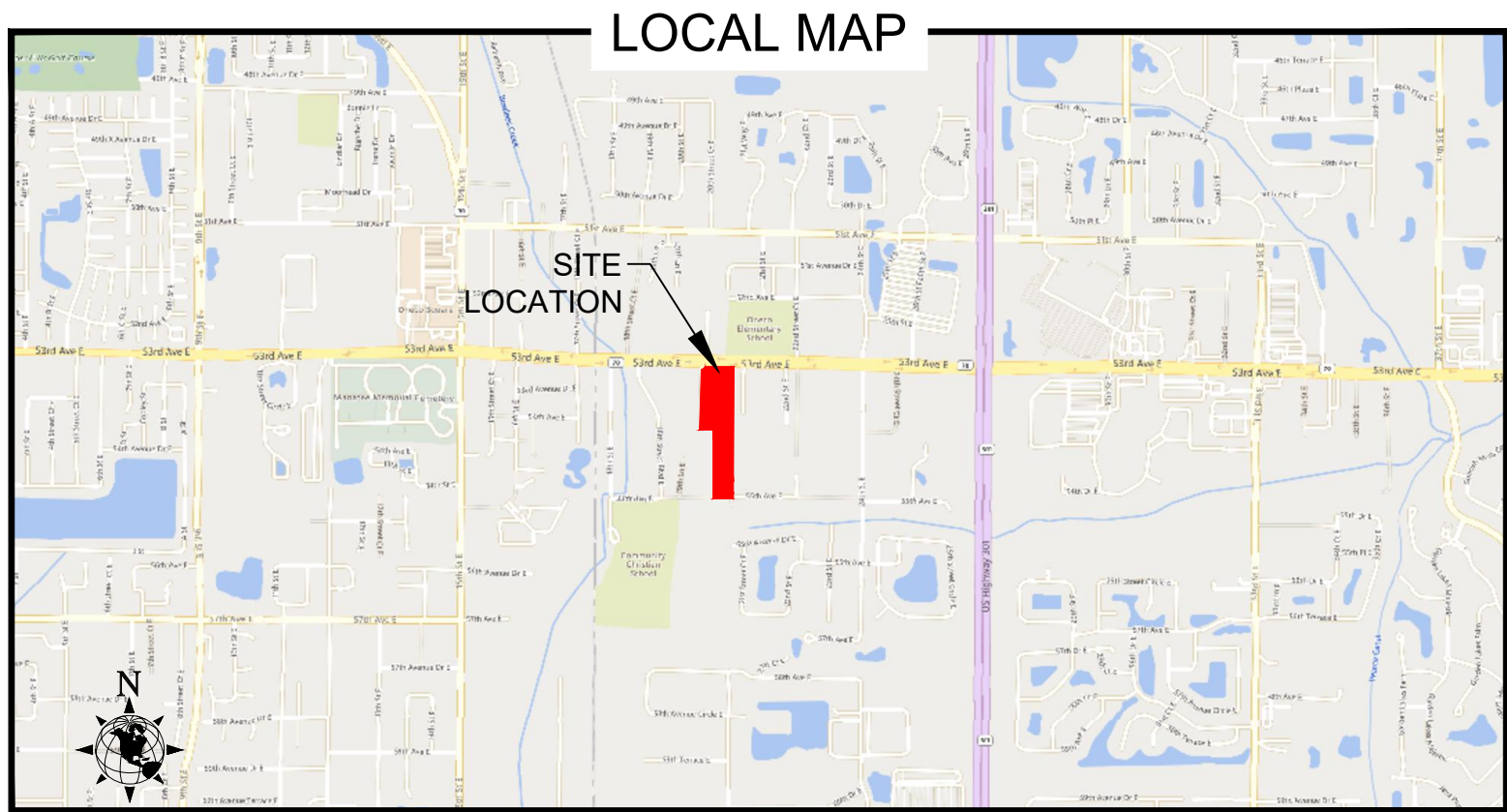
DEVELOPMENT DESCRIPTION

TOTAL ACERAGE = 6.47 AC.
TOTAL DWELLING UNITS = 118 DU

OPEN SPACE TABLE			
Areas	Sq. Ft.	Acres	%
Project Area	281,787	6.47	100.00%
Wetlands	80,150	1.84	28.44%
Wetland Buffer	16,555	0.38	5.88%
Pavement	33,560	0.77	11.91%
Sidewalk	5,045	0.12	1.79%
L.S. & R/W Buffers	38,986	0.89	13.84%
Multi-Fam Bldg.	48,216	1.11	17.11%
Amenity Bldg.	3,224	0.07	1.14%
Parcel-2	14,887	0.34	5.28%
Parcel-3	8,964	0.21	3.18%
Other Open Space	32,200	0.74	11.43%



MANATEE COUNTY, FLORIDA



MANATEE COUNTY, FLORIDA

REQUIRED COMMENTS

1. THERE ARE NO KNOWN WELLS ON SITE. ANY WELLS DISCOVERED DURING EXCAVATION, EARTHMOVING OR CONSTRUCTION MUST BE REPORTED TO MANATEE COUNTY HEALTH DEPARTMENT ENVIRONMENTAL HEALTH WITHIN 24 H OF DISCOVERY.
2. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER.

GENERAL CONSTRUCTION NOTES

1. ALL ELEVATIONS REFER TO N.A.V.D. 1988 DATUM. (DATUM CONVERSION FORMULA: NGVD29 - 0.95 = NAVD88)

ROAD DESIGN NOTE

THE PROPOSED ROADWAY SECTIONS, DESIGN AND DETAILS SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF MANATEE COUNTY PUBLIC WORKS STANDARDS PART 3 HIGHWAY & TRAFFIC STANDARDS MANUAL. THE DESIGN OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE / CONSTRUCTION PLAN REVIEW PROCESS.

NOTES

1. ALL UTILITY INFRASTRUCTURE WITHIN PUBLIC UTILITY EASEMENTS WILL BE TURNED OVER TO MANATEE COUNTY FOR PERPETUAL OWNERSHIP AND MAINTENANCE.
2. ALL UTILITIES WITHIN THE DEVELOPMENT WILL BE PRIVATE.
3. ALL ROADWAYS INTERNAL TO THIS PROJECT WILL BE PRIVATELY OWNED AND MAINTAINED BY THE DEVELOPMENT MANAGEMENT COMPANY.
4. STORMWATER FACILITIES AND COMMON AREAS WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT MANAGEMENT COMPANY.
5. GATES WILL BE CONSTRUCTED IN COMPLIANCE WITH MANATEE COUNTY ORDINANCE 19-15 AND THE COMPANION AUTOMATIC GATE SYSTEM STANDARDS MEMORANDUM.

SPECIFIC APPROVALS:

1. REQUEST RELIEF FROM LDC SECTION 402.7 D.5 REQUIRING A 15 FOOT WIDE GREENBELT BUFFER WHEN A RESIDENTIAL USE IN A PDR ZONING DISTRICT ABUTS ANOTHER EXISTING RESIDENTIAL USE OR ZONING TO ALLOW A 0 FOOT WIDE BUFFER WHERE THE TWO RESIDENTIAL, SINGLE FAMILY DETACHED LOTS ABUT AN ADJACENT RESIDENTIAL ZONING AND/OR USE. THIS REQUEST BEING FOR TWO SINGLE FAMILY DETACHED LOTS SOUTH OF THE REMAINDER OF THE DEVELOPMENT AND SEPARATED BY A LARGE WETLAND AREA. THIS AREA IS NOT A TYPICAL SUBDIVISION AS DEFINED IN THE LDC AND THEREFORE SHOULD NOT BE REQUIRED TO PROVIDE THE NOTED BUFFERING ON THE PARCELS.
2. REQUEST RELIEF FROM LDC SECTION 402.7 D.1. REQUIRING A 20 FEET WIDE ROADWAY BUFFER ALONG DISTRICT BOUNDARIES ABUTTING AND RUNNING PARALLEL TO ANY PUBLIC ROAD IN THE PDR DISTRICT TO REMOVE THIS REQUIREMENT FROM THE TWO SINGLE FAMILY DETACHED LOTS AT THE SOUTHERN END OF THE REMAINDER OF THE DEVELOPMENT AND SEPARATED BY A LARGE WETLAND AREA. THIS AREA IS NOT A TYPICAL SUBDIVISION AS DEFINED IN THE LDC AND THEREFORE SHOULD NOT BE REQUIRED TO PROVIDE THE NOTED BUFFERING ON THE PARCELS.
3. REQUEST RELIEF FROM LDC SECTION 1005.7 D.(2) PROHIBITING MULTI-FAMILY DWELLING UNITS FROM BACKING ONTO A PRIVATE TRAVEL LANE TO ALLOW THIS REQUEST AS THE PRIVATE TRAVEL LANE IS A CLOSED ROADWAY WITH NO THRU TRAFFIC WITHIN THE DEVELOPMENT. THE PRIVATE TRAVEL LANES ARE ONE-WAY, INTERNAL ROADWAYS WITH NO INTERCONNECTIONS TO OTHER DEVELOPMENTS CREATING THRU TRAFFIC CONFLICTS. RESIDENTS OF THE DEVELOPMENT WILL BE THE ONLY TRAFFIC UTILIZING THE ROADWAYS CREATING A LOW TRAFFIC VOLUME ALONG WITH LOW TRAFFIC SPEED ON A PRIVATE, INTERNAL TRAVEL WAY, REDUCING CONFLICT PROBABILITIES WITH THE BACKING OF RESIDENT VEHICLES ONTO THE PRIVATE TRAVEL WAY.

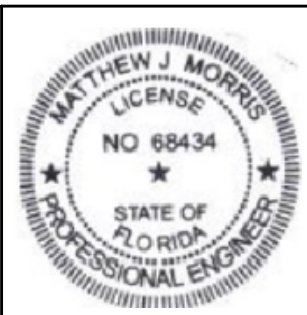
PREPARED BY



MORRIS ENGINEERING AND CONSULTING, LLC
Civil Engineering and Land Development Consulting

6997-B Professional Parkway East Sarasota, FL 34240 C.A.28780 941-444-6644 www.morrisengineering.net

This item has been digitally signed and sealed by
Matthew J. Morris, PE., on the date adjacent to the seal.
Printed copies of this document are not considered signed
and sealed and the signature must be verified on any
electronic copies.



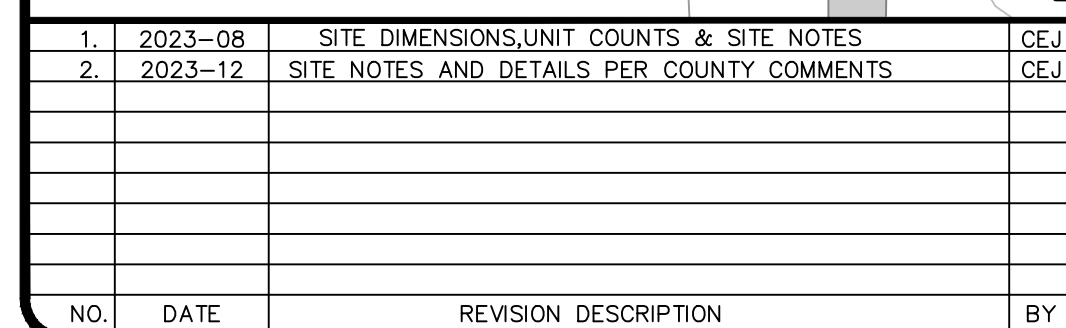
MATTHEW J. MORRIS
FL LICENSE NO. 68434

INDEX OF SHEETS

SHEET	TITLE
01	COVER SHEET (PSP)
02	EXISTING CONDITIONS PLAN
03	AERIAL SITE MAP
03A	GENERALIZED TREE INVENTORY
04-05	MASTER SITE PLAN
06-07	MASTER DRAINAGE PLAN
08-09	MASTER UTILITY PLAN
10	SITE DETAILS
11	LANDSCAPE PLAN

REVISIONS

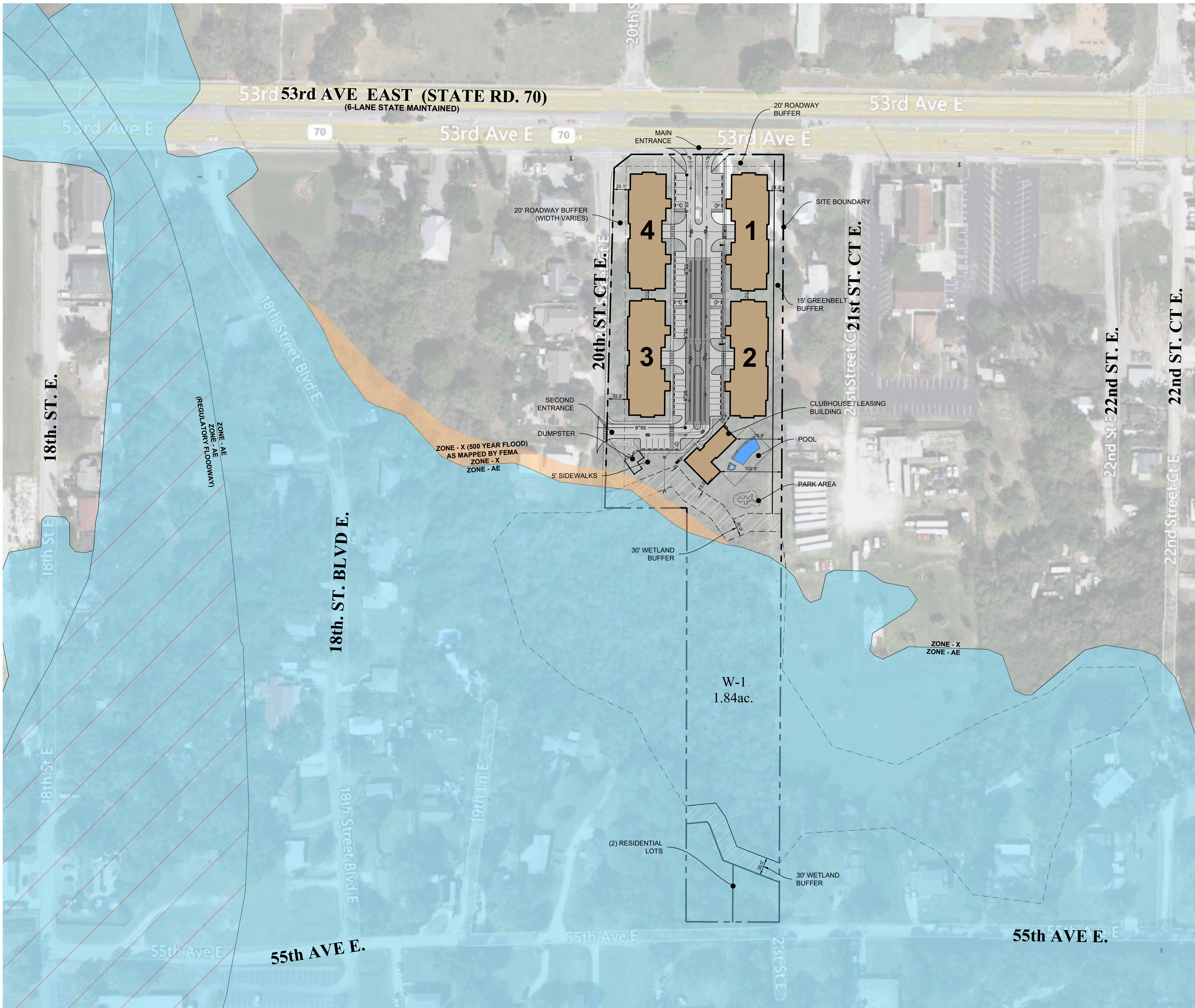
NO.	DATE	DESCRIPTION	BY
1	2023-08	SITE DIMENSIONS, UNIT COUNTS & SITE NOTES	CEJ
2	2023-12	SITE NOTES AND DETAILS PER COUNTY COMMENTS	CEJ
3	2024-02	SITE NOTES AND DETAILS PER COUNTY COMMENTS	CEJ
4	2024-03	DRIVE ISLES AND SITE NOTES PER COUNTY COMMENTS	CEJ
5	2024-04	EXTENDED 20th ST. CT. SIDEWALK ALONG PROPERTY LINE	CEJ



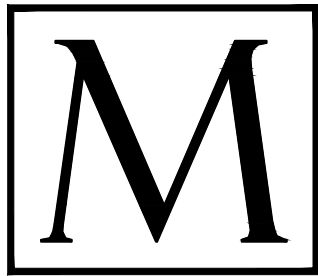
EXISTING CONDITIONS PLAN
SR-70 MULTI-FAMILY
MANATEE COUNTY, FLORIDA

SCALE 1:80	
SEC.—TSP.—RNG. 18, 35S, 18E	
SHEET 2	OF 11

MATTHEW J. MORRIS
FL LICENSE NO. 6843



1.	2023-08	SITE DIMENSIONS, UNIT COUNTS & SITE NOTES	CEJ
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NO.	DATE	REVISION DESCRIPTION	BY



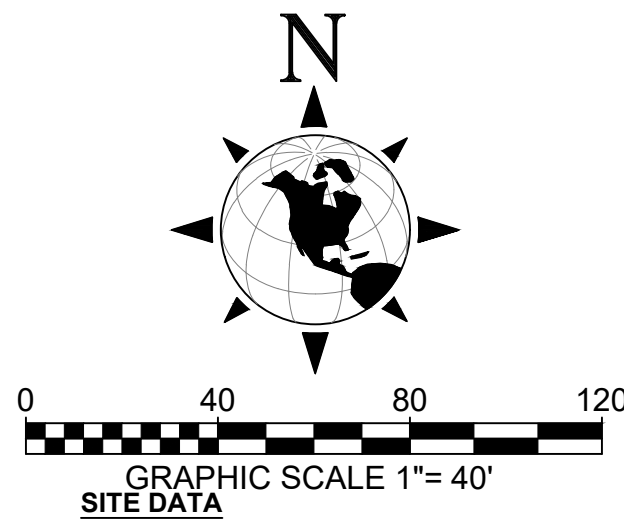
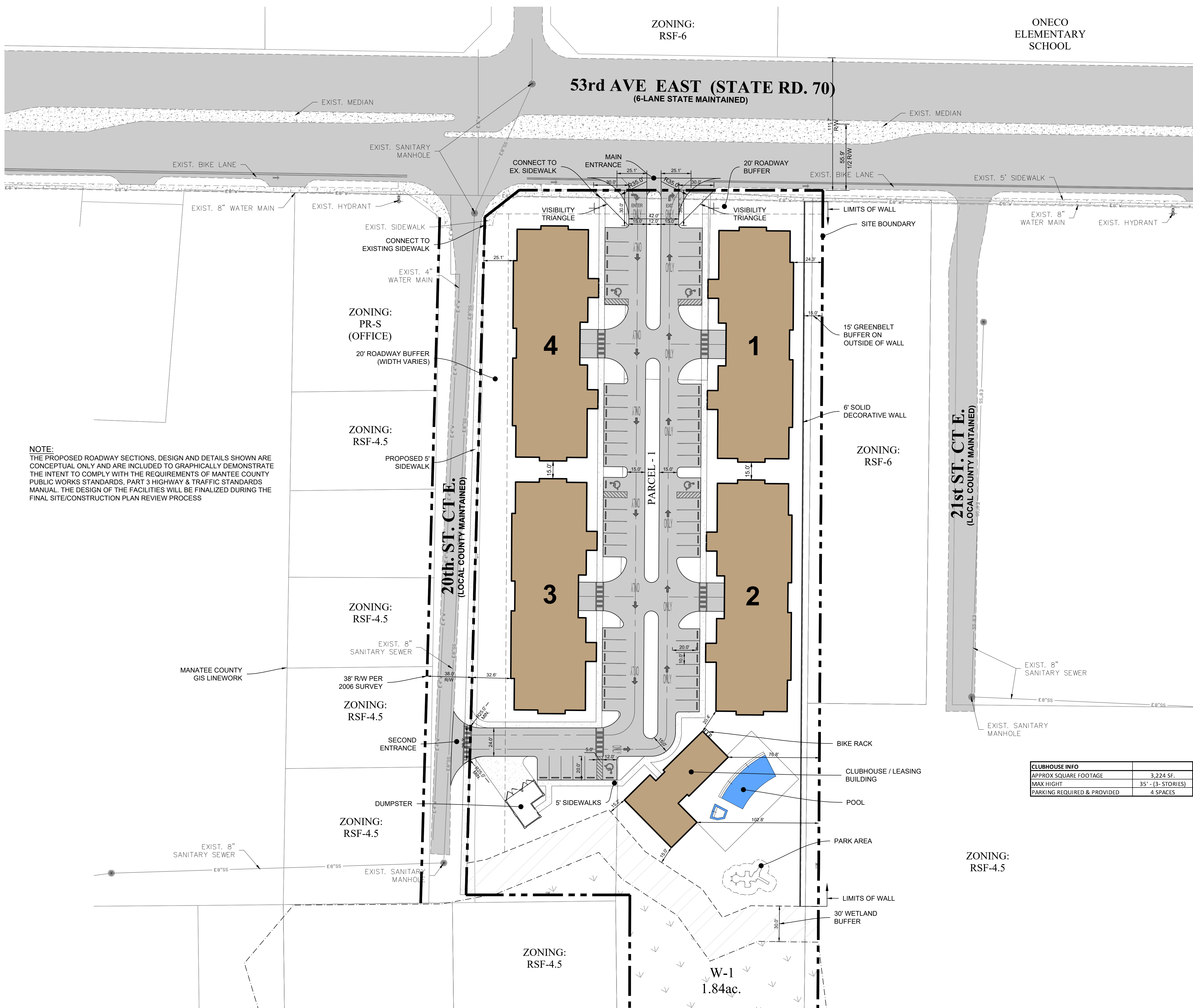
MORRIS ENGINEERING AND CONSULTING, LLC
Civil Engineering and Land Development Consulting
6997 Professional Parkway East, Suite B, Sarasota, Florida 34240 C:\A.28780 941-444-6644 www.morrisengineering.net

DATE	2022-07-27
PROJECT	SR-70
DRAWING	03-SR70-AER
DRAWN	CEJ
CHECKED	MJM

AERIAL SITE MAP
SR-70 MULTI-FAMILY
MANATEE COUNTY, FLORIDA

SCALE 1"=80'	
SEC. - TSP. - RING. 18, 35S, 18E	
SHEET	OF
3	11

MATTHEW J. MORRIS
FL LICENSE NO. 68434



OWNER: BRADENTON PROJECT LLC
154 CALLIBUFF DR.
SUMMERVILLE, SC 29486

SITE ADDRESSES:

- P.I.D.: 1800600007
• 2008 53rd AVE. E. BRADENTON, FL
• 1.62 AC.±
- P.I.D.: 1800100059
• 2010 53rd AVE. E. BRADENTON, FL
• 0.25 AC.±
- P.I.D.: 1800100109
• 2012 53rd AVE. E. BRADENTON, FL
• 4.60 AC.±

CURRENT ZONING: RSF-4.5

PROPOSED ZONING: PDR

FUTURE LAND USE: RES-9

FLOOD ZONE: AE, X
PANEL # 12081C0308E
EFFECTIVE 3/17/14

BASE FLOOD ELEVATION (BFE): RANGE FROM 19 TO 22
IN ZONE AE

MAX BUILDING HEIGHT: 35' - (3-STORIES)

S.T.R.: 18-35S-18E

TOTAL PROJECT BOUNDARY AREA:
281,787± SF (6.472± AC) = 100%

APARTMENT SITE:
PARCEL-1 = 264,168± SF (6.06± AC) = 93.74%

RESIDENTIAL PARCELS:
PARCEL-2 = 11,204± SF (0.25± AC) = 3.98%
PARCEL-3 = 6,415± SF (0.21± AC) = 2.28%

APT. DRAINAGE AREA: UNDERGROUND STORAGE
PROPOSED

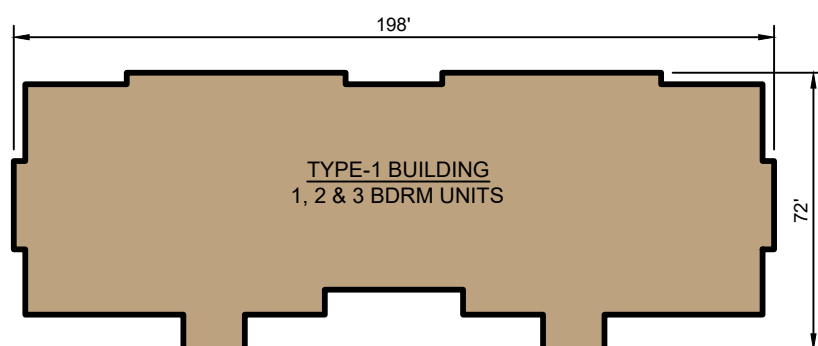
OPEN SPACE TABLE			
Areas	Sq. Ft.	Acres	%
Wetlands	80,150	1.84	28.44%
Wetland Buffer	16,555	0.38	5.88%
L.S. & R/W Buffers	38,986	0.89	13.84%
Other Open Space	31,764	0.73	11.27%
TOTAL	167,455	3.84	59.43%
OPEN SPACE REQ'D	70,447	1.62	25%

SIGNAGE & PAVEMENT MARKINGS
ALL OF THE SIGNING AND PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MUTCD, FDOT DESIGN STANDARDS AND THE MANATEE COUNTY PUBLIC WORKS DEPARTMENT HIGHWAY, TRAFFIC AND STORMWATER STANDARDS.

TRAFFIC CONTROL DEVICES THAT DO NOT CONFORM TO THESE DOCUMENTS AND THAT ARE WITHIN THE PUBLICLY MAINTAINED RIGHT-OF-WAY, IF ACCEPTABLE, WILL REQUIRE AN EXECUTED MAINTENANCE AGREEMENT PRIOR TO APPROVAL OF CONSTRUCTION PLAN.

SINGLE FAMILY DESIGN STANDARDS					
MINIMUM LOT WIDTH	60'				
MAX BUILDING HEIGHT	2-STORIES				
SETBACKS	FRONT- 25'	SIDES - 10'	REAR - 10'	WETLAND - 15'	
PARKING REQUIRED & PROVIDED	2 SPACES PER UNIT PROVIDED AT EACH INDIVIDUAL LOT				

UNIT INFO	
UNIT COUNTS	116 TOTAL MF/DU, 25FD LOTS
MAX HEIGHT	35' - (3-STORIES)
MAX DENSITY	20 DU/AC, AFFORDABLE HOUSING
MAX DENSITY PROVIDED	118 UNITS ON 6.47 AC.
SETBACKS	FRONT- 20' SIDES - 8' REAR - 15'
20' FRONT SETBACK COMPLIANT SINCE NO FRONT LOAD GARAGES OR CARPORTS.	
PARKING REQUIREMENTS	(1.8 SPACES PER M/F UNIT) - 56 M/F UNITS x 1.8 = 100.8 SPACES 40 - 1/2 DWELLING UNITS = 40 SPACES TOTAL SPACES NEEDED = 141
PARKING PROVIDED	UNDER BUILDING SPACES = 120 OUTSIDE SPACES = 56 - (INCL. 5 ADA) TOTAL SPACES PROVIDED = 176
THIS PROJECT IS PLANNING TO CONNECT INTO COUNTY UTILITIES AND IS IN ACCORDANCE WITH THE MOST RECENT COUNTY PASTER PLAN FOR THIS AREA	



NO.	DATE	REVISION DESCRIPTION	BY
1.	2023-08	SITE DIMENSIONS, UNIT COUNTS & SITE NOTES	CEJ
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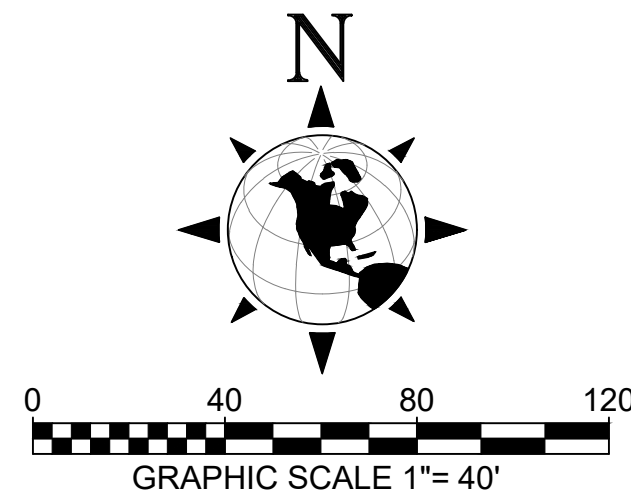
MORRIS ENGINEERING AND CONSULTING, LLC
Civil Engineering and Land Development Consulting
6997 Professional Parkway East, Suite B, Sarasota, Florida 34240 C:A.28780 941-444-6644 www.morrisengineering.net

DATE	2022-07-27
PROJECT	SR-70
DRAWING	04-05-SR70-MSP
DRAWN	CEJ
CHECKED	MJM

MASTER SITE PLAN
SR-70 MULTI-FAMILY
MANATEE COUNTY, FLORIDA

SCALE		1"=40'
SEC. - TSP, - RING.		18, 35S, 18E
SHEET	OF	
4	11	

MATTHEW J. MORRIS
FL LICENSE NO. 68434



SITE DATA

OWNER: BRADENTON PROJECT LLC
154 CALLIBUFF DR.
SUMMERVILLE, SC 29486

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- P.I.D.: 1800600007
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FUTURE LAND USE: RES-9

FLOOD ZONE: AE, X, X5
PANEL # 12081C0308E
EFFECTIVE 3/17/14

MAX BUILDING HEIGHT: 35' - (3-STORIES)

S.T.R.: 18-35S-18E

TOTAL PROJECT BOUNDARY AREA:

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APARTMENT SITE:

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APT. DRAINAGE AREA: UNDERGROUND STORAGE
PROPOSED

OPEN SPACE TABLE

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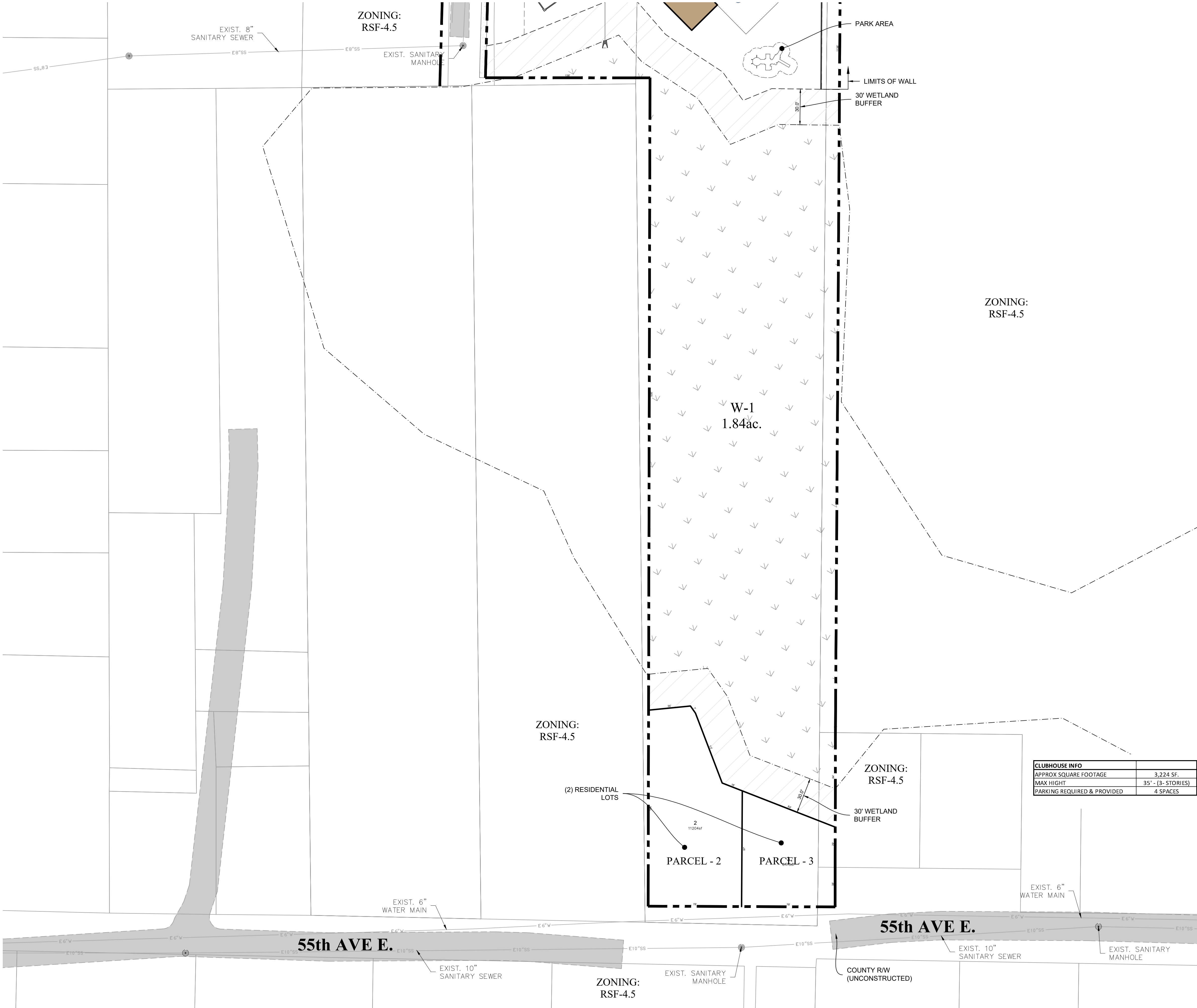
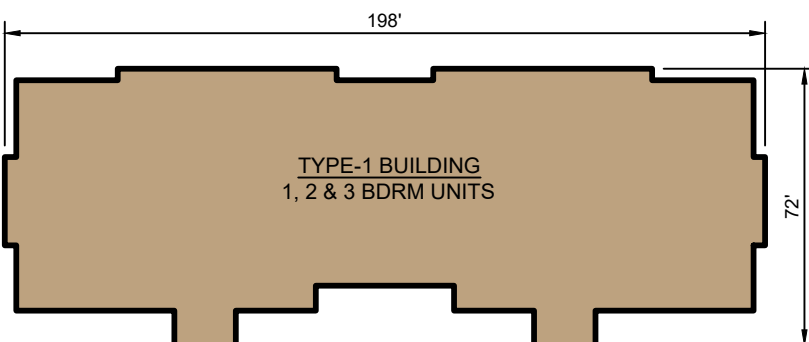
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MINIMUM LOT WIDTH	60'				
MAX BUILDING HEIGHT	2-STORIES				
SETBACKS	FRONT- 25'	SIDES - 10'	REAR - 10'	WETLAND - 15'	
PARKING REQUIRED & PROVIDED	2 SPACES PER UNIT PROVIDED AT EACH INDIVIDUAL LOT				

UNIT INFO	
UNIT COUNTS	116 TOTAL MF/DU, 25FD LOTS
MAX HEIGHT	35' - (3-STORIES)
MAX DENSITY	20 DU/AC, AFFORDABLE HOUSING
MAX DENSITY PROVIDED	118 UNITS ON 6.47 AC.
SETBACKS	FRONT- 20' SIDES - 8' REAR - 15'
20' FRONT SETBACK COMPLIANT SINCE NO FRONT LOAD GARAGES OR CARPORTS.	
PARKING REQUIREMENTS	(1.8 SPACES PER M/F UNIT) - 56 M/F UNITS x 1.8 = 100.8 SPACES
	40 - 1/2 DWELLING UNITS = 40 SPACES
	TOTAL SPACES NEEDED = 141
PARKING PROVIDED	UNDER BUILDING SPACES = 120
	OUTSIDE SPACES = 56 - (INCL. 5 ADA)
	TOTAS SPACES PROVIDED = 176
THIS PROJECT IS PLANNING TO CONNECT INTO COUNTY UTILITIES AND IS IN ACCORDANCE WITH THE MOST RECENT COUNTY PASTER PLAN FOR THIS AREA	



CLUBHOUSE INFO	
APPROX SQUARE FOOTAGE	3,224 SF
MAX HEIGHT	35' - (3-STORIES)
PARKING REQUIRED & PROVIDED	4 SPACES

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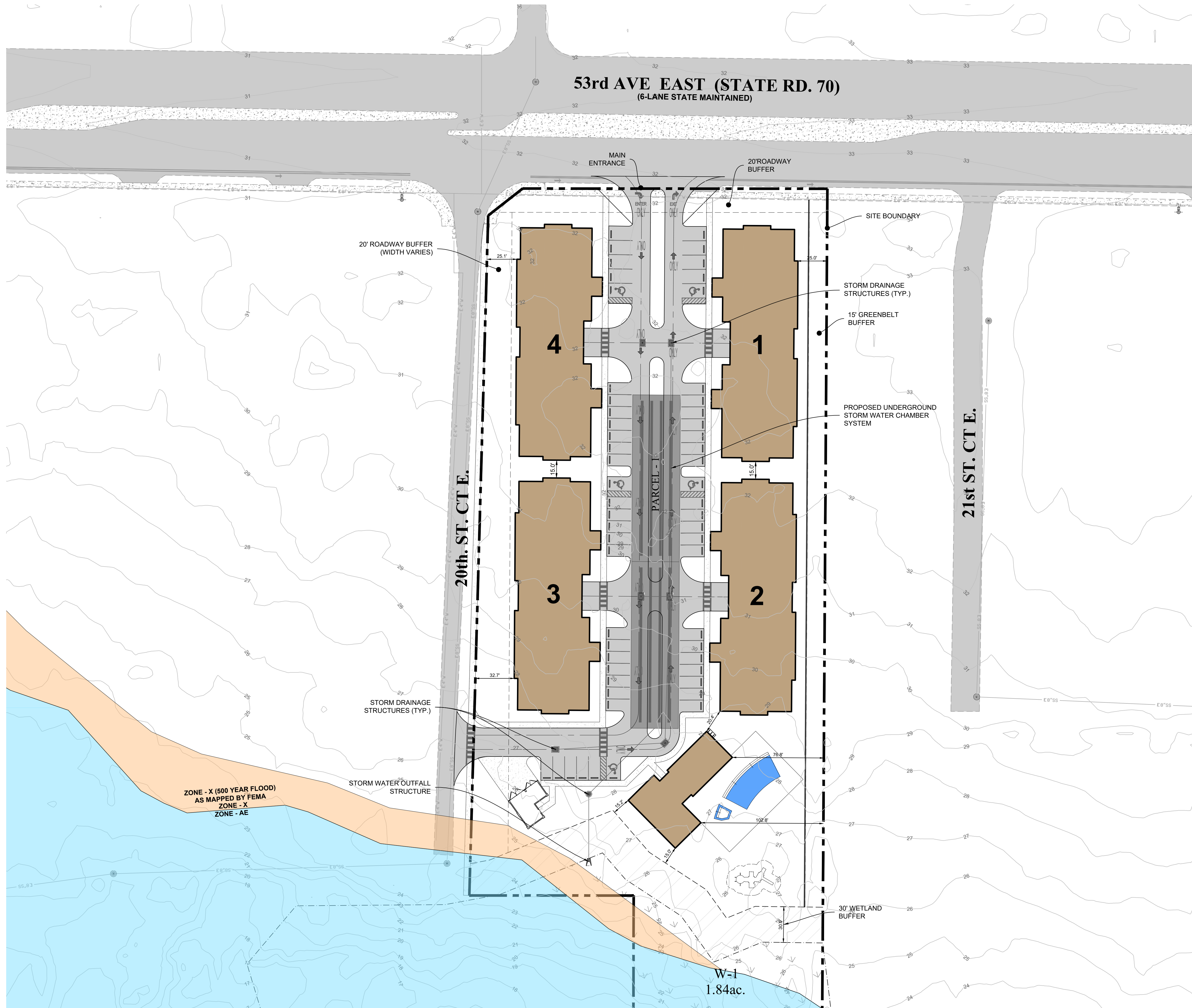
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5	11



NOTE:
AREAS MAY HAVE BEEN DIGITIZED FROM A SCALED PDF,
COUNTY GIS AND/OR AERIAL IMAGERY. LINEWORK
GENERATED USING THIS METHOD MAY BE OFF AS MUCH AS
3 TO 5%. ALL CALLS SHOULD BE DEEMED APPROXIMATE
UNTIL SURVEY HAS BEEN PROVIDED.



NOTES:

- ALL OFFSITE ROADWAY IMPROVEMENT STORMWATER NEEDS SHALL BE ADDRESSED BY THIS PROJECT, INCLUDING PERMITTING AND STORMWATER CAPACITY. THIS WILL BE DETERMINED AT THE TIME OF FSP/CONSTRUCTION PLANS.
- ROADSIDE DRAINAGE ALONG 25th STREET COURT EAST WITH RESPECT TO PROPOSED ROADWAY IMPROVEMENTS THAT MAY IMPACT EXISTING ROADSIDE DRAINAGE SWALES AND CULVERT PIPES SHALL BE INCORPORATED INTO THE FSP/CONSTRUCTION PLANS.
- ROOF RUNOFF FROM ALL BUILDINGS WILL BE COLLECTED VIA DOWNSPOUTS AND DIRECT CONNECTION TO STORMWATER CONVEYANCE PIPING UNDERGROUND.
- PERIMETER SWALES AND COLLECTION SYSTEMS WILL BE UTILIZED TO COLLECT OFFSITE RUNOFF AND ROUTE TO PONDS OR AROUND PROJECT.
- PROPOSED VEGETATION ASSOCIATED WITH PERIMETER LANDSCAPE BUFFERS SHOULD NOT CONFLICT WITH EXISTING DRAINAGE DITCHES OR PROPOSED FLOODPLAIN MITIGATION AREAS.
- THE PROPOSED DRAINAGE EASEMENTS AND STORMWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 801 OF THE LDC AND THE REQUIREMENTS OF MANATEE COUNTY PUBLIC WORKS STANDARDS PART 2 STORMWATER MANAGEMENT DESIGN MANUAL. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE / CONSTRUCTION PLAN REVIEW PROCESS.
- FLOOD ZONES: AE, X
- FEMA FLOOD ZONE MAPS: 12081C0308 DATED 3/17/2014

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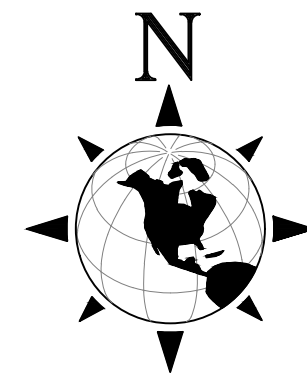
MASTER DRAINAGE PLAN

SR-70 MULTI-FAMILY

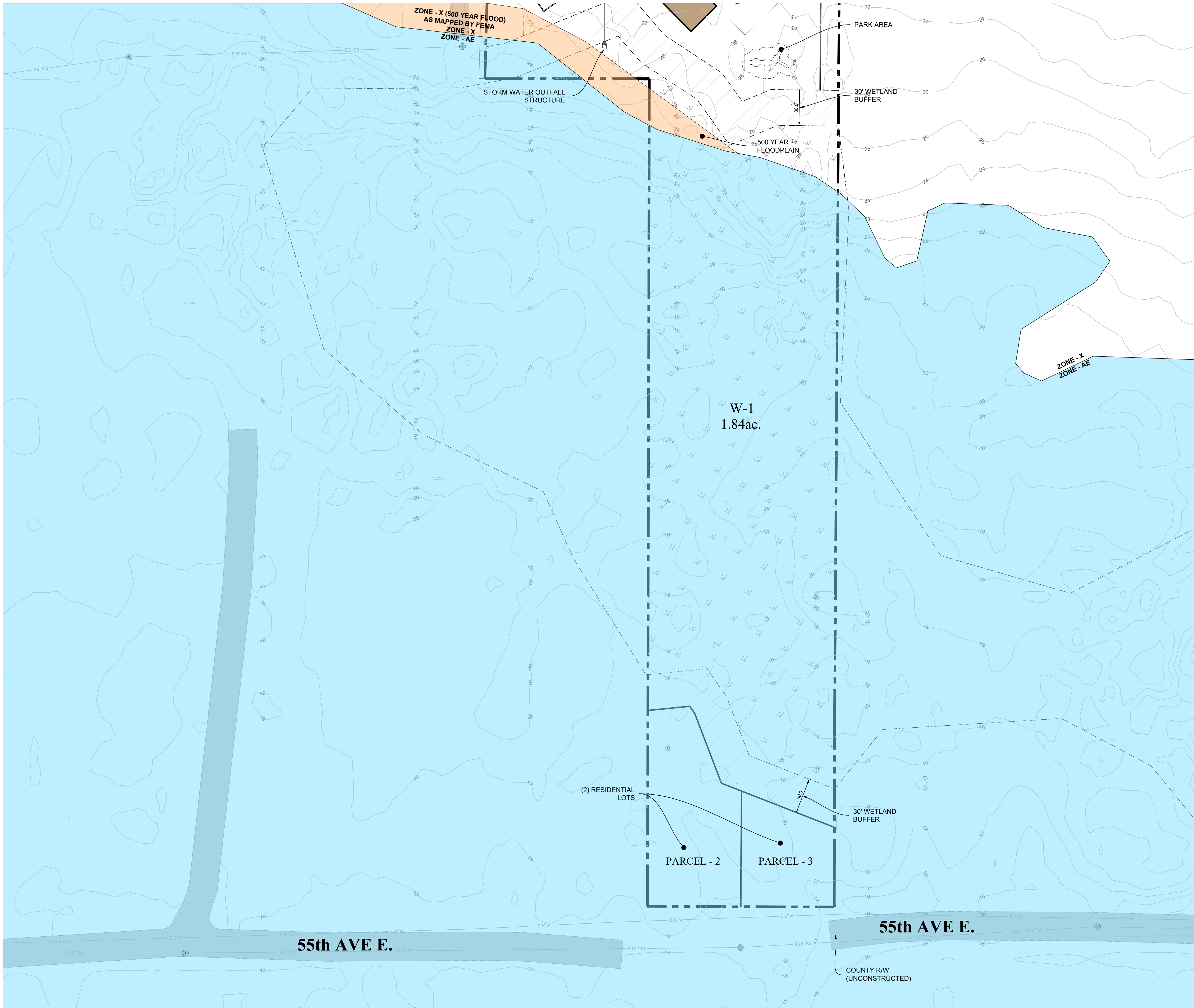
MANATEE COUNTY, FLORIDA

SCALE	1"=40'
SEC. - TSP, - RNG.	18, 35S, 18E
SHEET	OF
6	11

MATTHEW J. MORRIS
FL LICENSE NO. 68434



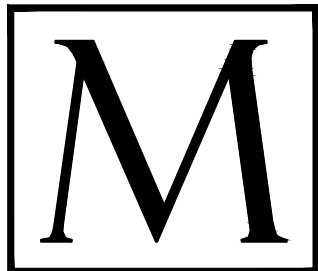
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UNTIL SURVEY HAS BEEN PROVIDED.



NOTES:

- ALL OFFSITE ROADWAY IMPROVEMENT STORMWATER NEEDS SHALL BE ADDRESSED BY THIS PROJECT, INCLUDING PERMITTING AND STORMWATER CAPACITY. THIS WILL BE DETERMINED AT THE TIME OF FSP/CONSTRUCTION PLANS.
- ROADSIDE DRAINAGE ALONG 25th STREET COURT EAST WITH RESPECT TO PROPOSED ROADWAY IMPROVEMENTS THAT MAY IMPACT EXISTING ROADSIDE DRAINAGE SWALES AND CULVERT PIPES SHALL BE INCORPORATED INTO THE FSP/CONSTRUCTION PLANS.
- ROOF RUNOFF FROM ALL BUILDINGS WILL BE COLLECTED VIA DOWNSPOUTS AND DIRECT CONNECTION TO STORMWATER CONVEYANCE PIPING UNDERGROUND.
- PERIMETER SWALES AND COLLECTION SYSTEMS WILL BE UTILIZED TO COLLECT OFFSITE RUNOFF AND ROUTE TO PONDS OR AROUND PROJECT.
- PROPOSED VEGETATION ASSOCIATED WITH PERIMETER LANDSCAPE BUFFERS SHOULD NOT CONFLICT WITH EXISTING DRAINAGE DITCHES OR PROPOSED FLOODPLAIN MITIGATION AREAS.
- THE PROPOSED DRAINAGE EASEMENTS AND STORMWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 801 OF THE LDC AND THE REQUIREMENTS OF MANATEE COUNTY PUBLIC WORKS STANDARDS PART 2 STORMWATER MANAGEMENT DESIGN MANUAL. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE / CONSTRUCTION PLAN REVIEW PROCESS.
- FLOOD ZONES: AE, X
- FEMA FLOOD ZONE MAPS: 12081C0308 DATED 3/17/2014

1.	2023-08	SITE DIMENSIONS, UNIT COUNTS & SITE NOTES	CEJ
2.	2023-12	SITE NOTES AND DETAILS PER COUNTY COMMENTS	CEJ
3.	2024-02	SITE NOTES AND DETAILS PER COUNTY COMMENTS	CEJ
4.	2024-03	DRIVE ISLES AND SITE NOTES PER COUNTY COMMENTS	CEJ
5.	2024-04	EXTENDED 20th ST. CT. SIDEWALK ALONG PROPERTY LINE	CEJ
NO.	DATE	REVISION DESCRIPTION	BY



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Civil Engineering and Land Development Consulting
6997 Professional Parkway East, Suite B, Sarasota, Florida 34240 C:\A.28780 941-444-6644 www.morrisengineering.net

DATE	2022-07-27
PROJECT	SR-70
DRAWING	06-07-SR70-MDP
DRAWN	CEJ
CHECKED	MJM

MASTER DRAINAGE PLAN
SR-70 MULTI-FAMILY
MANATEE COUNTY, FLORIDA

SCALE	1"=40'
SEC.-TSP.-RNG.	18, 35S, 18E
SHEET	OF
7	11

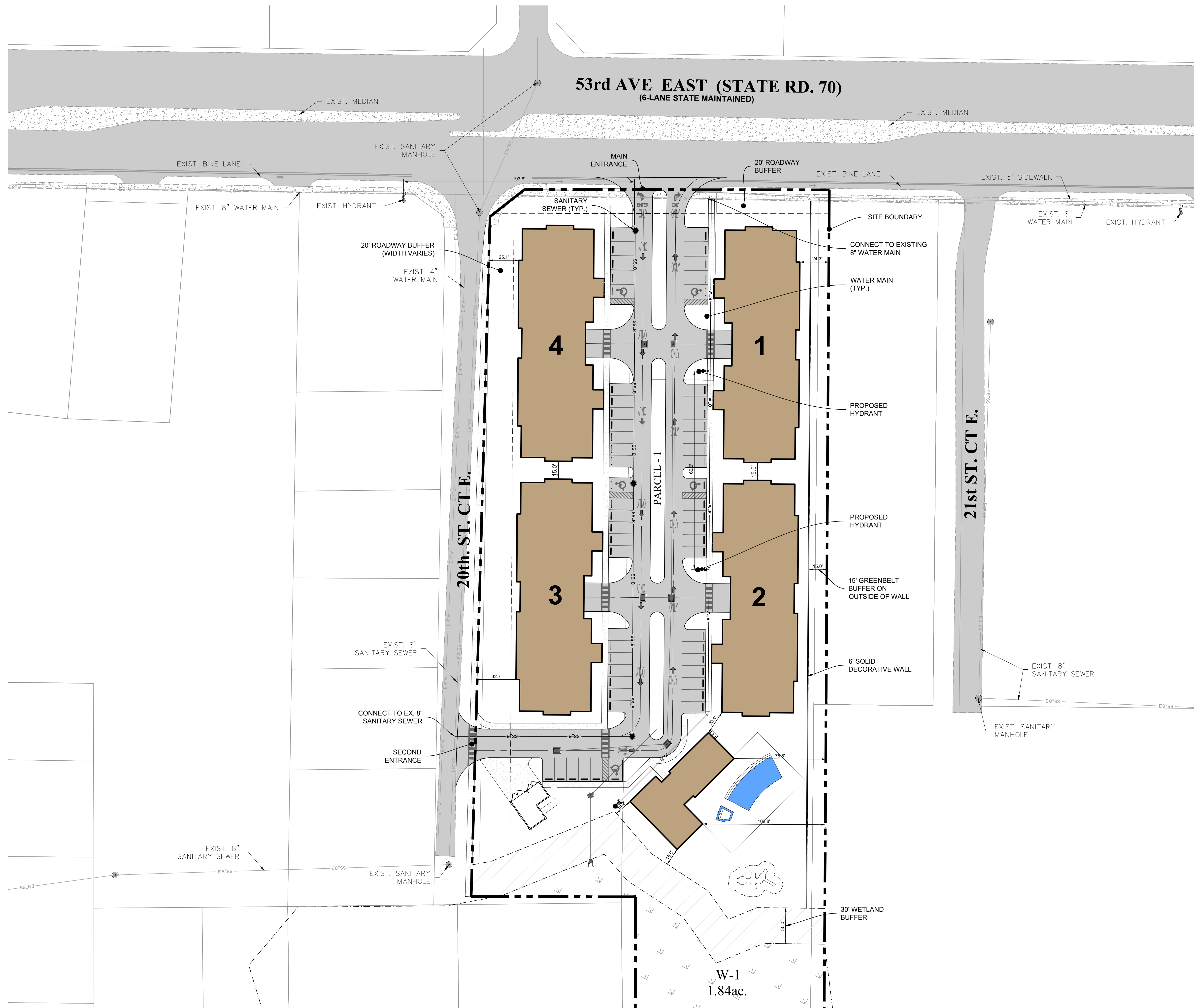
MATTHEW J. MORRIS
FL LICENSE NO. 68434



NOTE:
AREAS MAY HAVE BEEN DIGITIZED FROM A SCALED PDF.
COUNTY GIS AND/OR AERIAL IMAGERY, LINEWORK
GENERATED USING THIS METHOD MAY BE OFF AS MUCH AS
3 TO 5%. ALL CALC'S SHOULD BE DEEMED APPROXIMATE
UNTIL SURVEY HAS BEEN PROVIDED.

CLOSEST EXISTING HYDRANT IS 195' FROM PROPOSED DRIVEWAY

- NOTES:
1. THERE SHALL BE 3 FOOT MINIMUM CLEARANCE FROM LANDSCAPE PLANTS AND THE EDGE OF THE METER SLAB FOR METERS LESS THAN 3" AND 6" FOR METERS LARGER THAN 3", AND FOR FIRE LINE BACKFLOW PREVENTION ASSEMBLIES.
 2. THERE SHALL BE 10' MINIMUM CLEARANCE BETWEEN TREES AND METER ASSEMBLIES, METER ASSEMBLY SLABS AND FIRE LINE BACKFLOW PREVENTION ASSEMBLIES.
 3. THERE MUST BE A CLEARANCE OF 7.5' MINIMUM FROM THE FRONT AND BOTH SIDES, AND 4' TO THE REAR OF ALL FIRE HYDRANTS AND ABOVE GRADE OBSTRUCTIONS INCLUDING POSTS, FENCES, TREES, ETC.
 4. STREET SIDE OF METER ASSEMBLIES AND FIRE LINE BACKFLOW PREVENTION ASSEMBLIES SHALL REMAIN OPEN AND FREE OF LANDSCAPING.
 5. TREES SHALL NOT BE PLANTED OR LOCATED WITHIN 10' OF ANY POTABLE WATER MAIN, RECLAIMED WATER MAIN, SANITARY FORCE MAIN, GRAVITY SANITARY SEWER MAIN, SANITARY CLEANOUTS, OR POTABLE /RECLAIMED/FORCE MAIN APPURTENANCES SUCH AS METERS, HYDRANTS, BACKFLOW PREVENTION ASSEMBLIES, ETC. THAT ARE OWNED AND MAINTAINED BY MANATEE COUNTY. AN APPROVED ROOT BARRIER SHALL BE USED WHERE TREES ARE PLANTED CLOSER THAN 10 FEET.
 6. PROPOSED POTABLE WATER, RECLAIMED WATER AND/OR WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 803 OF THE MANATEE COUNTY LDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.
 7. ALL IRRIGATION SHALL BE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE NEEDS OF THE SYSTEM. STORM WATER REUSE, RECLAIMED WATER USE, GREY WATER IRRIGATION SYSTEMS, AND/OR SHALLOW WELLS SHALL BE USED. THE USE OF POTABLE WATER FOR IRRIGATION WILL NOT BE ALLOWED.



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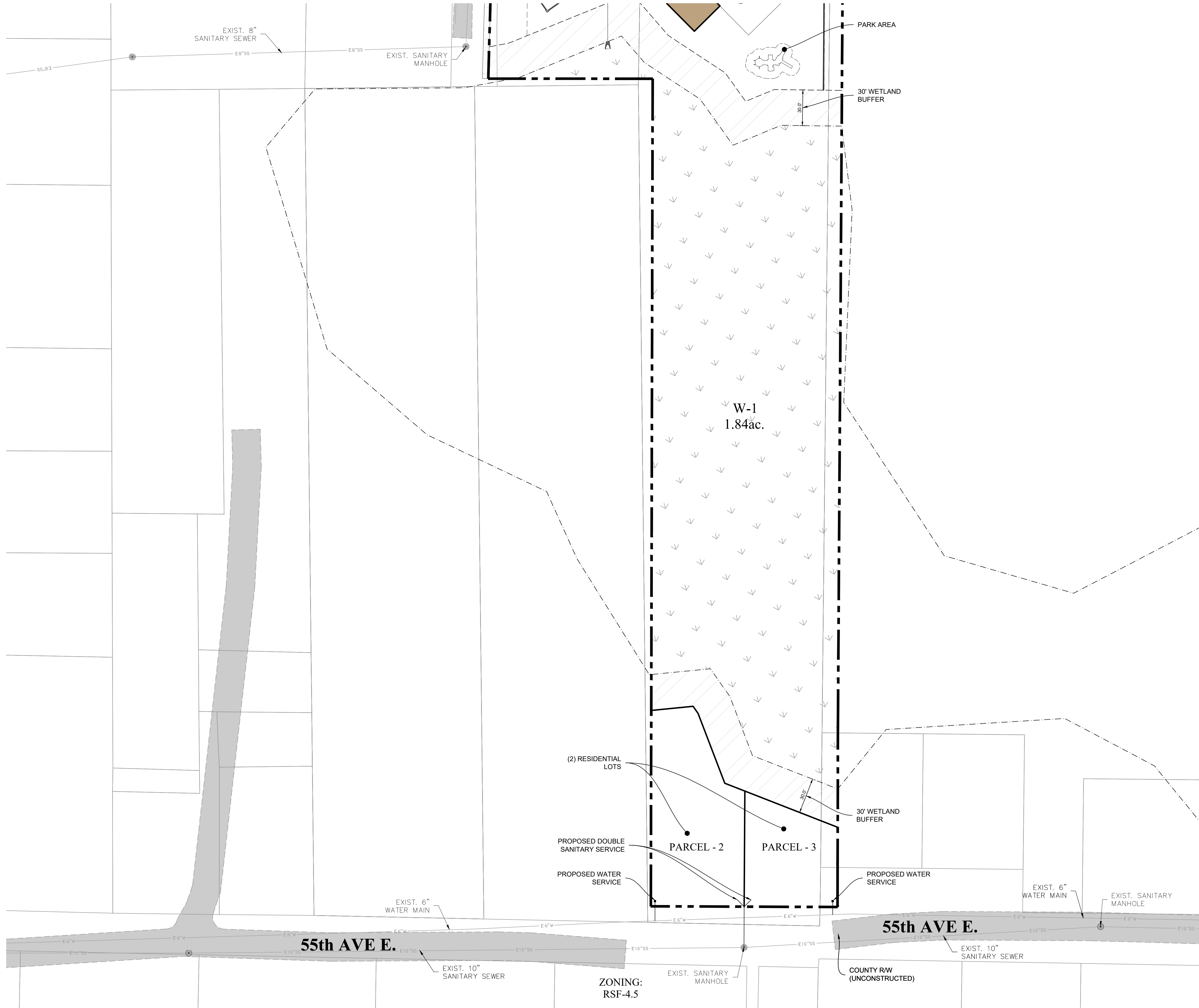
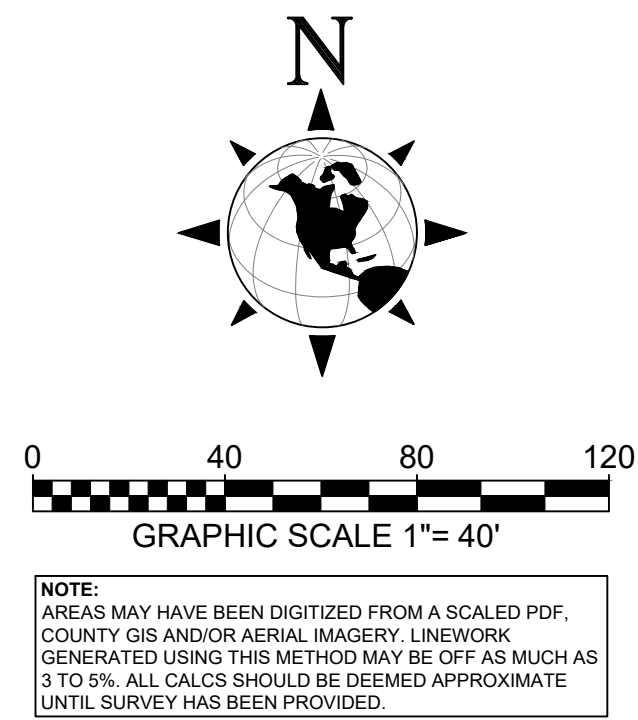
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DATE	2022-07-27
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DRAWING	08-09-SR70-MUP
DRAWN	CEJ
CHECKED	MJM

MASTER UTILITY PLAN
SR-70 MULTI-FAMILY
MANATEE COUNTY, FLORIDA

SCALE		1"=40'
SEC.-TSP.-RNG.		1B, 3SS, 18E
SHEET	OF	
8	11	

MATTHEW J. MORRIS
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MASTER UTILITY PLAN
SR-70 MULTI-FAMILY
MANATEE COUNTY, FLORIDA

SCALE 1"=40'	
SEC.-TSP.-RNG. 18, 35S, 18E	
SHEET 9	OF 11

MATTHEW J. MORRIS
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BUFFER LEGEND

- A GREENBELT BUFFER**
GREENBELT BUFFER REQUIREMENTS FOR ALL PROPERTY LINES NOT ADJACENT TO A ROAD. RESIDENTIAL GREENBELTS - REQUIRES 15' GREENBELT BUFFER TO BE PROVIDED AROUND THE PERIMETER OF SUBDIVISIONS WHERE THE DO NOT ABUT ROAD RIGHTS-OF-WAY FOR SUBDIVISIONS WITH MORE THAN 10 LOTS. FOR NEW RESIDENTIAL PROJECT ABUTTING NON-RECREATIONAL, NON-RESIDENTIAL USES, THE GREENBELT BUFFER SHALL ALSO MEET THE SCREENING BUFFER REQUIREMENTS THAT MAY INCLUDE EITHER A HEDGE, FENCE OR WALL. (LDC SECTION 701.4.B.4.)
- B ROADWAY BUFFER**
20' WIDE, 2 CANOPY TREES AND 33 SHRUBS PER 100 L.F. (NOTE: EXISTING TREES TO REMAIN ARE COUNTED TOWARDS REQUIRED BUFFER PLANTING MATERIAL WHERE APPLICABLE)

LANDSCAPING/ BUFFERS/TREES

20' WIDTH PER PDR ROADWAY BUFFER STANDARDS AND SHALL UTILIZE ONE OF THE LANDSCAPING OPTIONS IS FIG. 7.2, WHICH APPLIES FOR ROADWAY BUFFER OPTIONS. (LDC SECTION 701.4.B.)

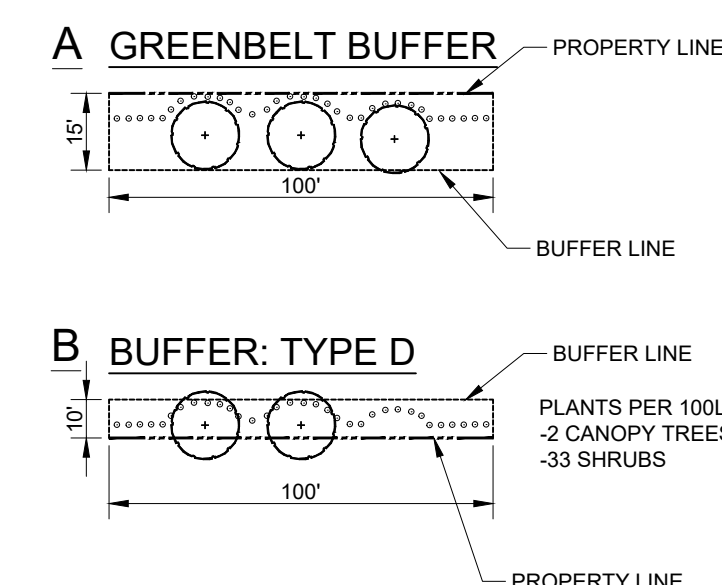
NOTE:

1. 100 HUNDRED PERCENT (100%) AUTOMATIC IRRIGATION SHALL BE PROVIDED.
2. ROADWAY BUFFERS SHALL NOT BE LOCATED IN POTENTIAL FUTURE RIGHT-OF-WAY RESERVATION SETBACKS.
3. LOWEST WATER QUALITY SERVICE AVAILABLE SHALL BE UTILIZED FOR IRRIGATION. POTABLE WATER SHALL NOT BE UTILIZED FOR LANDSCAPE IRRIGATION.
4. PLANT SPECIES SHALL BE NATIVE AND/OR NATURALIZED.
5. A MINIMUM OF THREE DIFFERENT SPECIES FOR EACH PLANT CATEGORY IS REQUIRED.
6. TWO PALM TREES IN A GROUPING SHALL SERVE AS THE EQUIVALENT OF ONE CANOPY TREE.
7. TREE PLANTINGS SHALL BE STAGGERED & CLUSTERED IN NATURAL ARRANGEMENTS.
8. PROPOSED PLANT MATERIALS SHALL BE IN ACCORDANCE WITH LDC SECTION 701.10.N.
9. FOUNDATION LANDSCAPE AREAS SHALL BE DESIGNED TO MEET CURRENT MANATEE COUNTY STANDARDS AT THE TIME OF FSP/CONSTRUCTION PLAN REVIEW.
10. ALL VEHICLE USE AREAS CONTAINING MORE THAN 1,000 SQUARE FEET SHALL BE LANDSCAPED IN ACCORDANCE WITH FIGURE 7-1 OF THE LDC (LDC SECTION 701.3.A.2).
11. ALL REQUIRED LANDSCAPE BUFFERS SHALL BE PROVIDED OUTSIDE OF ANY DRAINAGE EASEMENTS.
12. TREE REMOVAL / REPLACEMENT AND LANDSCAPING WILL BE IN ACCORDANCE WITH SECTIONS 700 AND 701 OF THE LDC.

IRRIGATION NOTES

ALL IRRIGATION SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE NEEDS OF THE SYSTEM. STORM WATER REUSE, RECLAIMED WATER USE, GREY WATER IRRIGATION SYSTEMS AND/OR SHALLOW WELLS SHALL BE USED. THE USE OF POTABLE WATER FOR IRRIGATION WILL NOT BE ALLOWED.

100% AUTOMATIC IRRIGATION SHALL BE UTILIZED



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LANDSCAPE PLAN
SR-70 MULTI-FAMILY
MANATEE COUNTY, FLORIDA

SCALE	1"=80'
SEC. - TSP. - RING.	18, 35S, 18E
SHEET	OF
11	11

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FL LICENSE NO. 68434