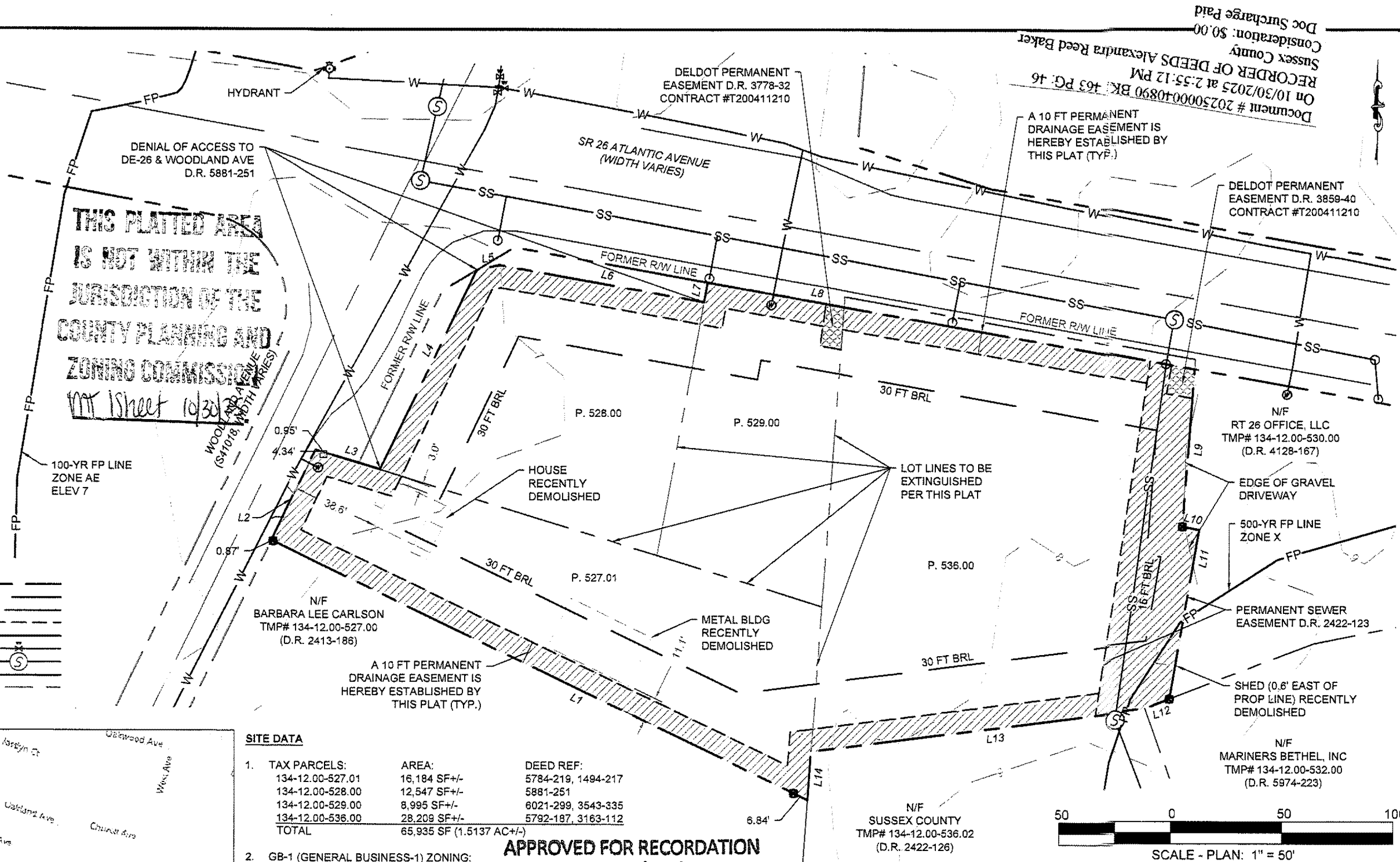
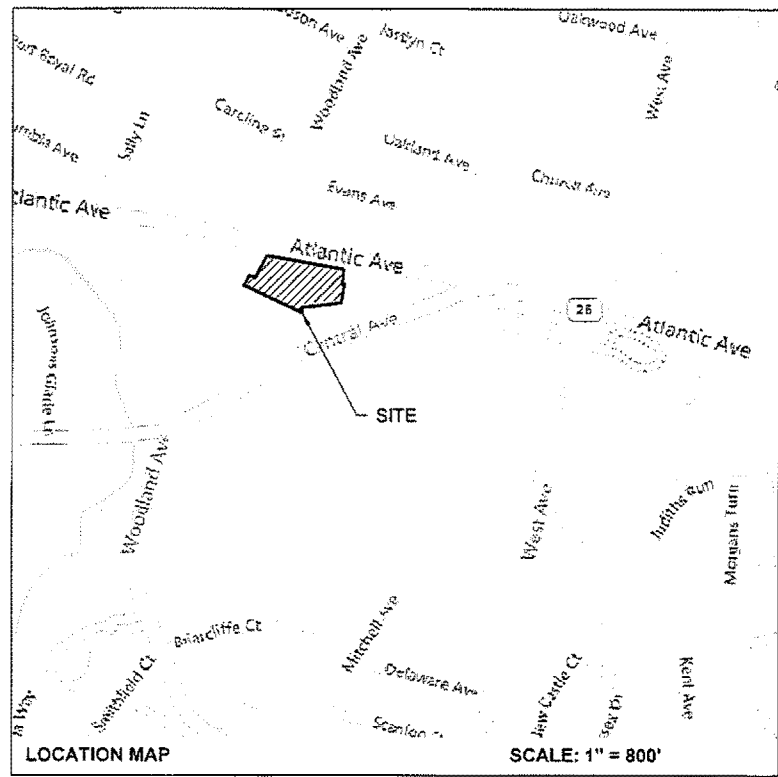


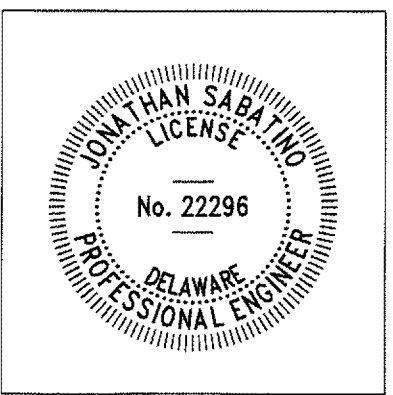
LINE DATA		
NO.	BEARING	DISTANCE
L1	N64°19'23"W	267.83'
L2	N25°53'55"E	45.31'
L3	S73°15'04"E	30.39'
L4	N25°53'55"E	99.69'
L5	N79°00'10"E	10.52'
L6	S79°49'40"E	93.20'
L7	N10°32'30"E	9.00'
L8	S79°49'40"E	222.48'
L9	S04°22'29"W	70.87'
L10	S79°43'35"E	7.66'
L11	S09°58'17"W	77.07'
L12	S69°07'45"W	11.79'
L13	S82°43'49"W	151.16'
L14	S04°09'41"W	21.64'

LEGEND	
CONC MONUMENT	□
IRON PIPE	○
RIGHT OF WAY	---
PROPERTY LINE	---
SETBACK LINE	---
EASEMENT	---
ROAD CENTER	---
WATER LINE	W
SEWER LINE	SS
FLOODPLAIN	---
CONTOUR	---



SITE DATA			
1. TAX PARCELS:	AREA:	DEED REF:	
134-12.00-527.01	16,184 SF+/-	5784-219, 1494-217	
134-12.00-528.00	12,547 SF+/-	5881-251	
134-12.00-529.00	8,995 SF+/-	6021-299, 3543-335	
134-12.00-536.00	28,209 SF+/-	5792-187, 3163-112	
TOTAL	65,935 SF (1.5137 AC+/-)		
2. GB-1 (GENERAL BUSINESS-1) ZONING:			
TRACT AREA	14,000 SF		
TRACT WIDTH/DEPTH	100 FT		
FRONT SETBACK	30 FT		
SIDE SETBACK	15 FT		
REAR SETBACK	30 FT		
MAX BLDG HEIGHT	35 FT		
MAX COVERAGE	50%		
3. EXISTING LOTS: 4	PROPOSED LOTS: 1		
4. TOPOGRAPHY DEPICTED ON THIS PLAN WAS DERIVED FROM STATE OF DELAWARE 2014 LIDAR, VERTICAL DATUM NAVD88.			
5. SUBSURFACE UTILITIES ARE APPROXIMATE AND BASED ON VISUALLY OBSERVED EVIDENCE AT GROUND LEVEL.			
6. PER THE WETLAND INVESTIGATION REPORT PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED 4/24/25, NO REGULATORY OR JURISDICTIONAL WETLANDS ARE PRESENT ON THE PROPERTY.			
7. PER FEMA FLOOD INSURANCE RATE MAP NUMBERS 10005C0511K AND 10005C0512K, EFFECTIVE 3/16/15, THE SITE IS LOCATED IN FLOOD ZONE X - AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE (500-YEAR) FLOODPLAIN.			
8. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.			

APPROVED FOR RECORDATION
Date: 10/30/25
By: *Jill C. Oliver* Planner
Kenneth L. Cimino, Director of Planning & Zoning
Town of Ocean View, Delaware
Application P-354
approved by P-2 10/18/24



OWNER CERTIFICATION
I CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.
Rick Lowrance 10/23/25
RICK LOWRANCE - ATLANTIC PROMENADE, LLC DATE

PROFESSIONAL CERTIFICATION
I CERTIFY THAT I AM A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE AND THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.
Jonathan Sabatino 10/23/25
JONATHAN SABATINO, PE #22296 DATE

OWNER / DEVELOPER

ATLANTIC PROMENADE, LLC
45 WANOMA CIRCLE
REHOBOTH BEACH, DE 19971
CONTACT: RICK LOWRANCE
914.504.3551

ENGINEER

SITE STUDIOS
CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
P.O. BOX 682
NORTH EAST, MD 21801
443.553.5455
WWW.SITESTUDIOSINC.COM

DRAWING TITLE

LOT CONSOLIDATION PLAN

PROJECT

LANDS OF ATLANTIC PROMENADE, LLC

TOWN OF OCEAN VIEW, SUSSEX COUNTY, DELAWARE

DRAFTING: EG

CHECKED: JS

PLOT DATE: 10/8/2025

PROJECT #: 250008

SHEET

1 OF 1