

- GENERAL PLAN NOTES:**
1. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
 2. ANY DISCREPANCIES OR INCONSISTENCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
 3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
 4. DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE.
 5. GC TO VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
 6. IN THE EVENT OF A DISCREPANCY BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS WILL ALWAYS SUPERSEDE ARCHITECTURAL.
 7. IF TRUSSES USED, A STATE LICENSED TRUSS COMPANY MUST PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER AND GC FOR REVIEW PRIOR TO FABRICATION.
 8. ALL VENTING SHALL BE ROUTED TO THE BACK SIDE (NON-STREET/ENTRY) SIDE OF THE ROOF RIDGE AND BE PAINTED TO MATCH BASE ROOF COLOR.

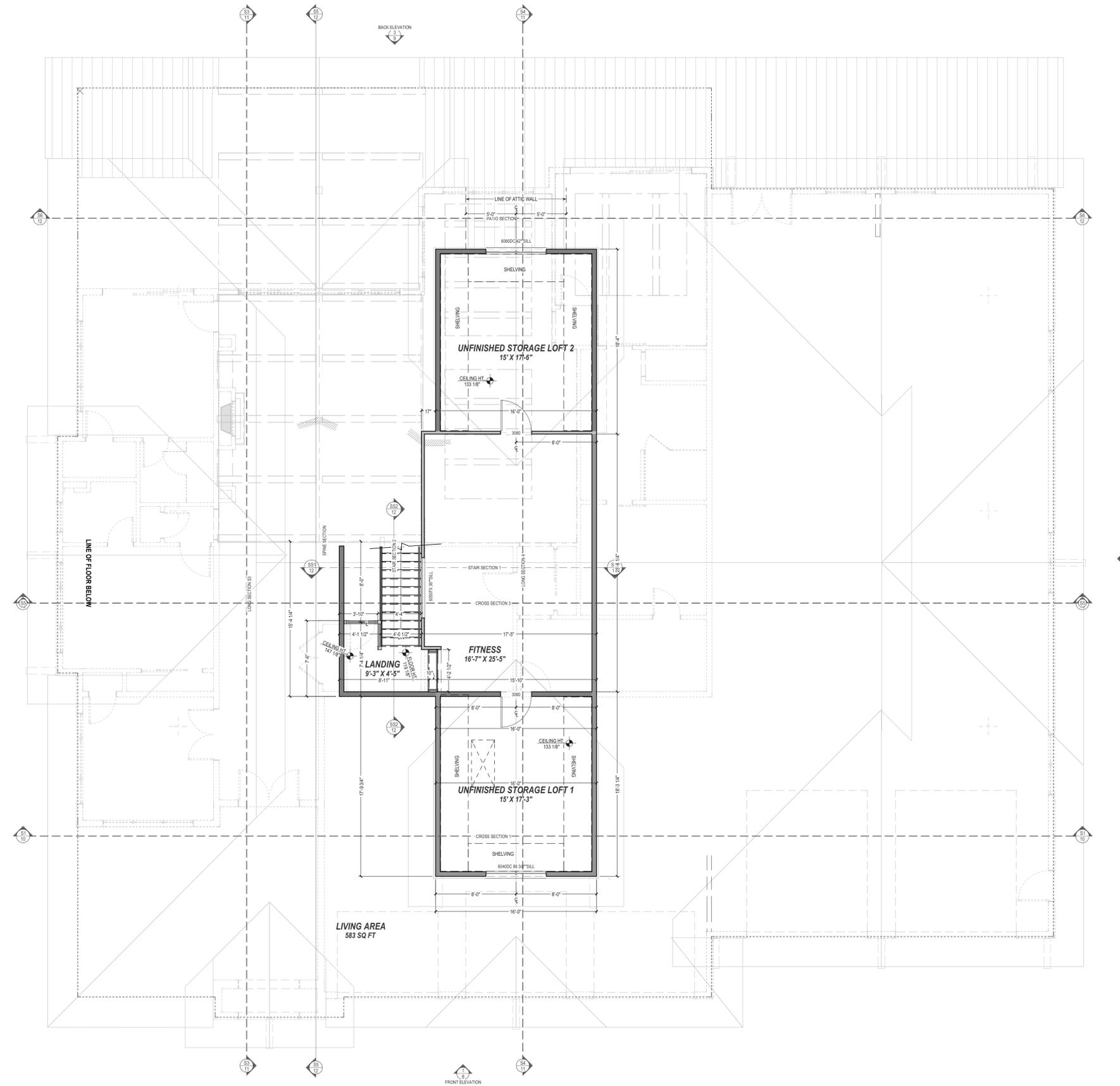
MINIMUM INSULATION NOTES:
 RE: INSULATION SUB-CONTRACTOR SUBMITTAL FOR EXACT INSULATION VALUES USED.

ABOVE GRADE WALLS: R-23
VAULTED/ATTIC CEILING: R-60
BELOW GRADE WALLS: R-19
 (FINISHED, UNFINISHED OR CRAWL SPACE)
GARAGE EXTERIOR WALLS: R-19
CEILING (ATTIC) AREA (OCCUPIED): R-60
GARAGE CEILING AREA: R-19

FLOOR PLAN GENERAL NOTES:

1. All work is to be performed in compliance with all Federal, State and local codes. Secure all required permits and approvals prior to commencement of any construction. All code references in these documents refer to the latest version of the International Residential Code AND OVERRULE ALL CONFLICTING DESIGNER NOTE(S).
2. The project manager, superintendent, and all subcontractors are to examine and verify all dimensions and existing conditions both on the plans and in the field. Notify Architect and builder of any discrepancies and conflicts prior to proceeding with construction.
3. Builder to consult complete subdivision plans for specific utility easements and other pertinent information.
4. Builder to field verify and coordinate utility connections, their routing, meter locations, hose bibs and other associated items. Builder is to have all existing utilities located by its respective authority, and connect to those utilities should take the most direct route to the building.
5. If a geotechnical report has been prepared, it has been provided to the owner by their consultant. If applicable, the report is available for review as an aid in planning and executing all areas of work for the project. The report data is provided for reference only, and is not to be considered a part of these contract documents. While it is believed to be reliable, its accuracy and/or completeness is not guaranteed by the architect.
6. Builder to coordinate top of foundation wall elevations with elevation from structural drawings and final grading.
7. Coordinate landscape irrigation supply and required sleeve locations with the builder.
8. All windows to be double paned and "Low E" technology UNO OR PER BUILDER SPEC. Basements and sleeping rooms shall have at least one operable egress window for emergency escape. Tempered glass is to be provided per code.
9. Structural design and truss and floor framing design by others.
10. Cabinet design and related millwork drawings are to be provided by others. ANY CABINET ELEVATIONS SHOWN ARE FOR REFERENCE ONLY.
11. All exterior doors leading to unheated areas are to be weather-stripped.
12. Verify with builder if gyp board corners are to be radused PRIOR TO DRYWALL INSTALLATION. Framing at cabinetry to be coordinated to allow for the radius to terminate at or before the face of cabinet.
13. Take care to protect all neighboring property enhancements.
14. Do not scale documents.
15. All truss and walls to be fire-stopped.
16. Manufacturer's installation instructions are to be strictly followed for the installation of all fireplaces. Provide combustion air to all fireplaces.
17. Use self-closing, light-tighting and fire rated garage to house doors only. MEET LOCAL CODE.
18. All stair assemblies of 36" in width or greater shall have a minimum of three stringers.
19. Provide gutters and downspouts (or chains per plans). On downspouts, a minimum 4" extension is required. Splash blocks may also be used, but must be a minimum of 36" in length. MATCH ANY EXISTING NEIGHBORHOOD STANDARDS THAT MIGHT EXIST.
20. All stone to be full cut real stone or manufactured stone. Re: elevation drawings, provide STONE OR slabs profile "UNITE", above and below "SILL" WINDOW, AND AS NOTED ON EXTERIOR ELEVATIONS.
21. ALL BRICK TO HAVE ROWLOCK OR SOLDIER COURSE BRICK CAP WITH FLASHING AND TRIM OVER ROWLOCK OR SOLDIER U.N.O.
22. PROVIDE CRAWLSPACE ACCESS OPENING(S) ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18" X 24" AND A MINIMUM OF 16" X 24" THROUGH THE PERIMETER WALL. (IRC R408.6). ACCESS OPENING SHALL BE WEATHER STRIPPED PER WSEC R402.2.4
23. PROVIDE ATTIC ACCESS OPENING(S) ACCESS OPENINGS THROUGH THE CEILING SHALL BE A MINIMUM 22" X 30" WITH A MINIMUM HEADROOM OF 30" (IRC R807.1). ACCESS OPENING SHALL BE WEATHER STRIPPED PER WSEC R402.2.4
24. GARAGE SEPARATION REQUIRES 1" GYPSUM WALL BOARD (GWB) ON THE GARAGE SIDE. IF TYPE "X" GWB IS REQUIRED WHERE THERE IS LIVING SPACE ABOVE. SUPPORTING COLUMNS, WALLS AND BEAMS USE 1" GWB (IRC R302.6). TYPE "X" GWB SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAX. 6" O.C. FASTENERS PER TABLE R102.3.5
25. OPENINGS INTO A GARAGE SHALL HAVE SOLID WOOD OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1/8" IN THICKNESS OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE (IRC R302.5.1).
26. WATER CLOSET CLEARANCES SHALL BE A MINIMUM OF 21" IN FRONT OF THE FIXTURE, AND 15" FROM THE CENTERLINE OF THE FIXTURE TO ANY OBSTRUCTION ON EITHER SIDE (IRC R307.1).
27. NOTE: 50 CFM MINIMUM REQUIRED IN BATHROOM, 100 CFM MINIMUM REQUIRED IN KITCHEN. KITCHEN RANGE HOODS ARE REQUIRED IN ALL DOMESTIC KITCHENS. HOODS CAPABLE OF EXHAUSTING MORE THAN 400 CFM REQUIRE MAKE UP AIR (IRC R1505.6)
28. M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.

- WINDOW NOTES:** (FINAL SPEC PER BUILDER UNO)
- 1 WINDOWS FINISH BY BUILDER SPEC
 - 2 PROVIDE LOW-E GLASS ON ALL WINDOWS SUBJECT TO OPINION OF WINDOW SUPPLIER.
 - 3 GC AND WINDOW SUPPLIER TO VERIFY EGRESS REQUIREMENTS AND TEMPERED GLASS NEEDS
 - 4 GC AND WINDOW SUPPLIER TO VERIFY FINAL ROUGH OPENINGS.
 - 5 PROVIDE ALL FLASHING AND COUNTER FLASHING, MEMBRANE WRAP AND SEALANT.
 - 6 REF. BUILDING ELEVATIONS FOR WINDOW OPERATION.
 - 7 BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW PER CODE.
 - 8 TEMPER GLASS WHEN: (AND/OR AS DIRECTED PER LOCAL CODE)
 - LOCATION IS WITHIN A 24" ARC OF A DOOR, EITHER CLOSED OR OPEN.
 - AREAS SUBJECT TO IMPACT BY HUMANS OR ANIMALS.
 - GLASS USED IN DOORS.
 - PLACED LESS THAN 18" AFF AND GREATER THAN 9 SF IN SIZE.
 - AT BATHTUB AND SHOWER LOCATIONS



REQUIREMENTS FOR EGRESS WINDOWS:
 EGRESS WINDOWS SHALL BE LOCATED ON THE EXTERIOR WALL OF THE BUILDING. EGRESS WINDOWS SHALL BE UNOBSTRUCTED FROM THE INTERIOR AND SHALL BE OPENED FROM THE INTERIOR. EGRESS WINDOWS SHALL BE OPENED FROM THE INTERIOR. EGRESS WINDOWS SHALL BE OPENED FROM THE INTERIOR. EGRESS WINDOWS SHALL BE OPENED FROM THE INTERIOR.

DATE: 3/22/2026

REVISION:

SHEET:

SHEET TITLE:
MAIN LEVEL PLAN
FLOOR PLAN



USA-2770-MT
 40X PLAN
 RANCH PLAN
 3,775 SQ. FT. PLAN
 MOUNTAIN STYLE
 SLAB FOUNDATION
 GARAGE RIGHT-FRONT

DATE:
 3/22/2026

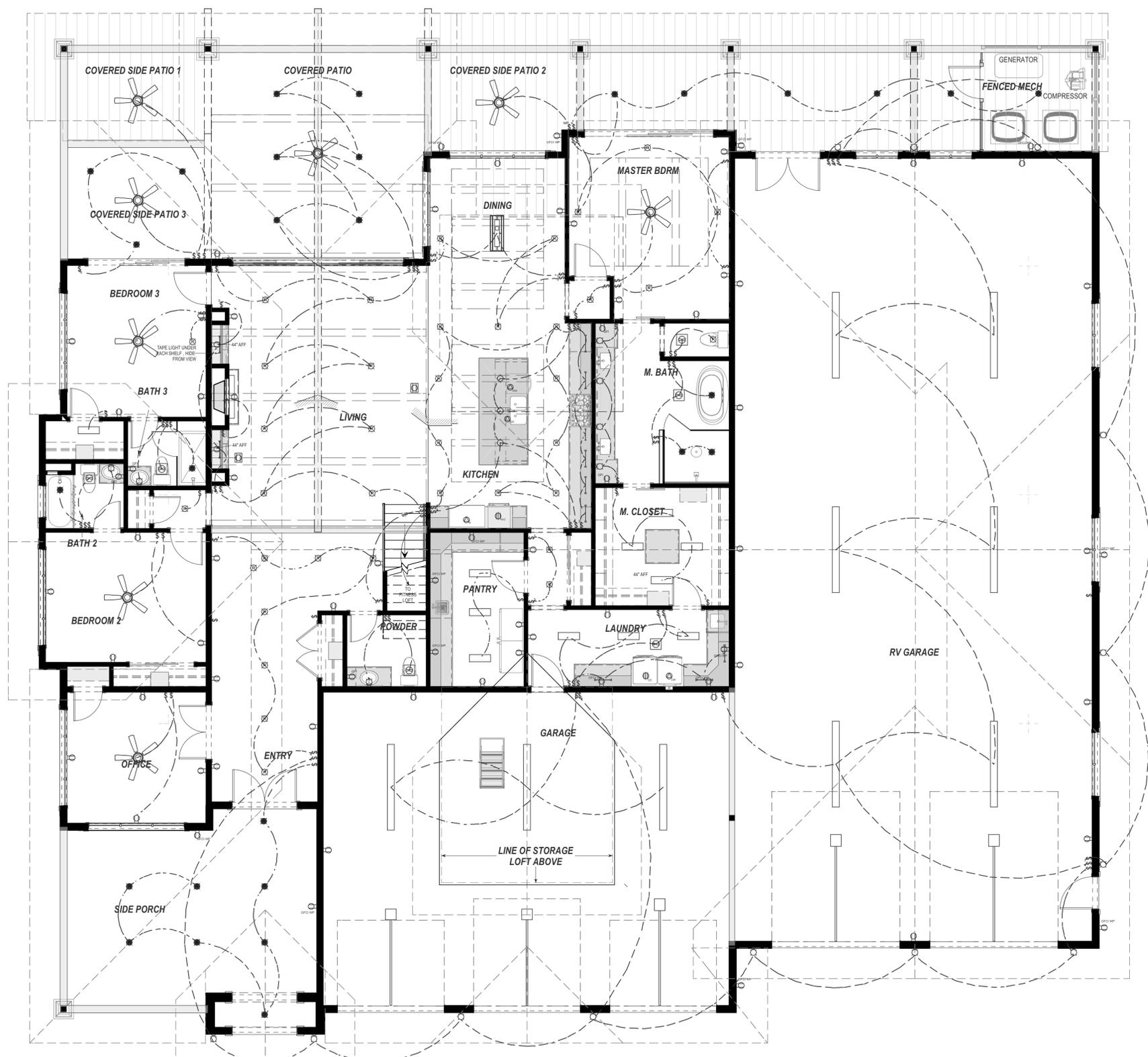
REVISION:
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SHEET:
A4

1 2ND FLOOR PLAN
A4 3/16 IN = 1 FT

ELECTRICAL, MECHANICAL, DATA & AUDIO NOTES:
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

- ELECTRICAL NOTES:**
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 2. PROVIDE ONE SMOKE DETECTOR IN EACH SLEEPING ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
 4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 5. FIXTURES TO BE SELECTED BY HOME OWNER.
 6. COORDINATE WITH HOME OWNER FOR TIE-IN OF NEW SWITCHES IN EXISTING WALL LOCATIONS.
 7. M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM - EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.
 8. NEW ATTACHED GARAGES, A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS. HEAT DETECTORS AND HEAT ALARMS SHALL BE INSTALLED IN A CENTRAL LOCATION AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS (IRC R314.2.3).
 9. ATTIC VENTILATION AREA SHALL NOT BE LESS THAN 1 S.F. FOR EACH 150 S.F. OF ATTIC AREA OR 1 S.F. FOR EACH 300 S.F. WHERE 40% TO 50% OF VENTS ARE WITHIN 3' OF THE RIDGE (IRC R806.2). RE: ROOF PLAN



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION - FIXTURE SYMBOLS MAY VARY FROM LEGEND
	CEILING FAN/VENTILATION FANS: CEILING MOUNTED, WALL MOUNTED NOTE: 50 CFM MINIMUM REQUIRED IN BATHROOM, 100 CFM MINIMUM REQUIRED IN KITCHEN.
	VENTILATION FANS: CEILING MOUNTED, WALL MOUNTED NOTE: 50 CFM MINIMUM REQUIRED IN BATHROOM, 100 CFM MINIMUM REQUIRED IN KITCHEN.
	CEILING MOUNTED LIGHT FIXTURES: SURFACE/PENDANT, RECESSED, WATER VAPOR PROOF, LOW VOLTAGE
	CEILING MOUNTED FIXTURES: FLUSH TRADITIONAL ROUNDED.
	WALL MOUNTED LIGHT FIXTURES: FLUSH MOUNTED, WALL SCONCE
	CHANDELIER LIGHT FIXTURES
	FLUORESCENT LIGHT FIXTURE (CEILING) (CABINET)
	220V RECEPTACLE
	110V RECEPTACLES: DUPLEX, WEATHER PROOF, GFCI/GFCI
	SWITCHES: SINGLE POLE, WEATHER PROOF, 3-WAY, 4-WAY
	UTILITY LIGHTING: KEYED FIXTURE, PULL SWITCH
	WALL JACKS: CATS, CAT5 + TV, TV/CABLE
	TELEPHONE JACK - INTERCOM
	THERMOSTAT
	DOOR CHIME, DOOR BELL BUTTON
	SMOKE DETECTORS: CEILING MOUNTED, WALL MOUNTED
	ELECTRICAL BREAKER PANEL

M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM
 EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.

1 MAIN LVL ELECTRICAL PLAN
A6 3/16 IN = 1 FT

REQUIREMENTS FOR MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE INTERNATIONAL MECHANICAL CODE (IMC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MECHANICAL AND ELECTRICAL SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MECHANICAL AND ELECTRICAL SYSTEMS.

DATE: 3/22/2026
 REVISION:
 SHEET: A6

ELECTRICAL PLAN
MAIN LEVEL

USA HOMEPLANS
 RANCH PLAN
 3,775 SQ. FT. PLAN
 MOUNTAIN STYLE
 SLAB FOUNDATION
 GARAGE RIGHT-FRONT

USA-2770-MT
 RANCH PLAN
 3,775 SQ. FT. PLAN
 MOUNTAIN STYLE
 SLAB FOUNDATION
 GARAGE RIGHT-FRONT

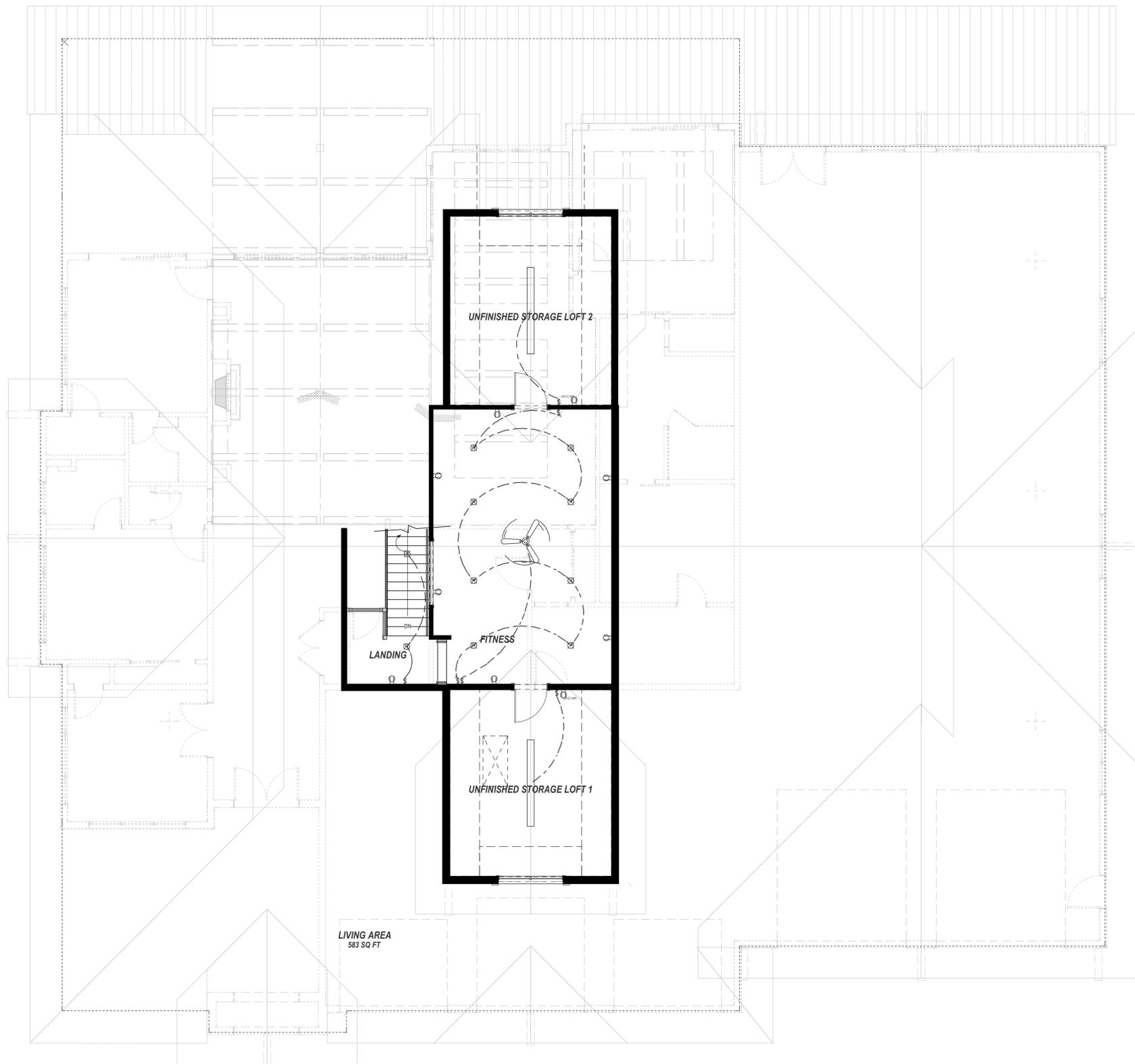
DATE: 3/22/2026
 REVISION:
 SHEET: A6

ELECTRICAL, MECHANICAL, DATA & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

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ELECTRICAL - DATA - AUDIO LEGEND

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REVISIONS TO BE MADE BY THE ARCHITECT OR ENGINEER. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

NO.	DATE	DESCRIPTION

SHEET TITLE:
**ELECTRICAL PLAN
MAIN LEVEL**



USA-2770-MT
RANCH PLAN
3.77% SE PLAN
MOUNTAIN STYLE
SLAB FOUNDATION
GARAGE RIGHT-FRONT

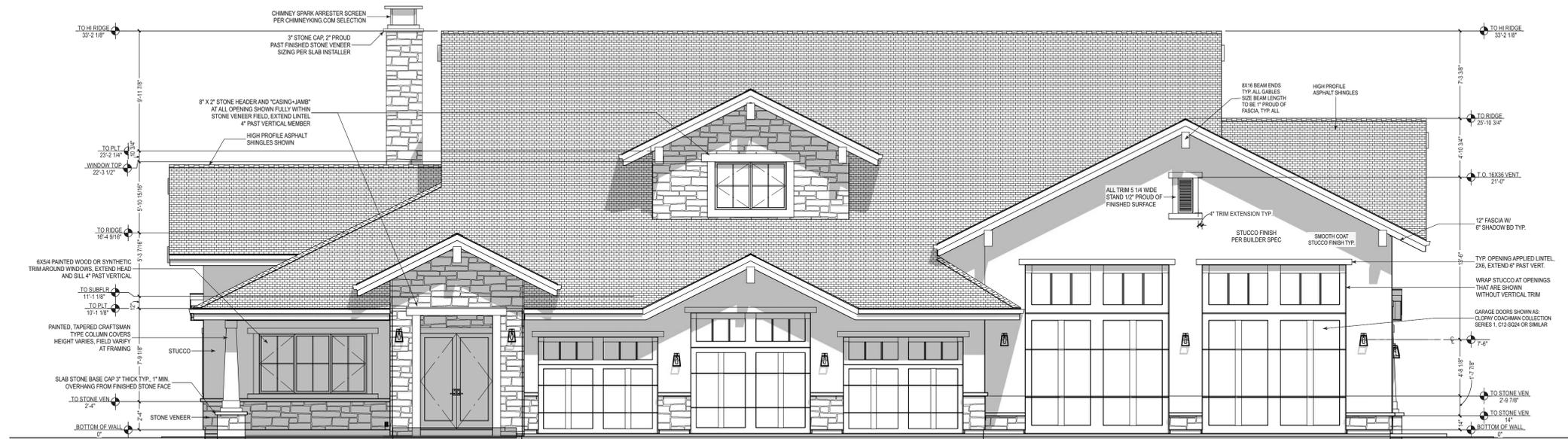
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3/22/2026

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SHEET:

1 2ND FLOOR PLAN+ELECTRICAL
A7 3/16 IN = 1 FT

A7



1 FRONT ELEVATION
8 3/16 IN = 1 FT



2 LEFT ELEVATION
8 3/16 IN = 1 FT

PROVIDING CONTRACTOR AND ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIALS AND FINISHES ARE AVAILABLE AND COMPLIANT WITH ALL APPLICABLE CODES AND REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIALS AND FINISHES ARE AVAILABLE AND COMPLIANT WITH ALL APPLICABLE CODES AND REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIALS AND FINISHES ARE AVAILABLE AND COMPLIANT WITH ALL APPLICABLE CODES AND REGULATIONS.

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE:
EXTERIOR ELEVATIONS
FRONT + LEFT SIDE

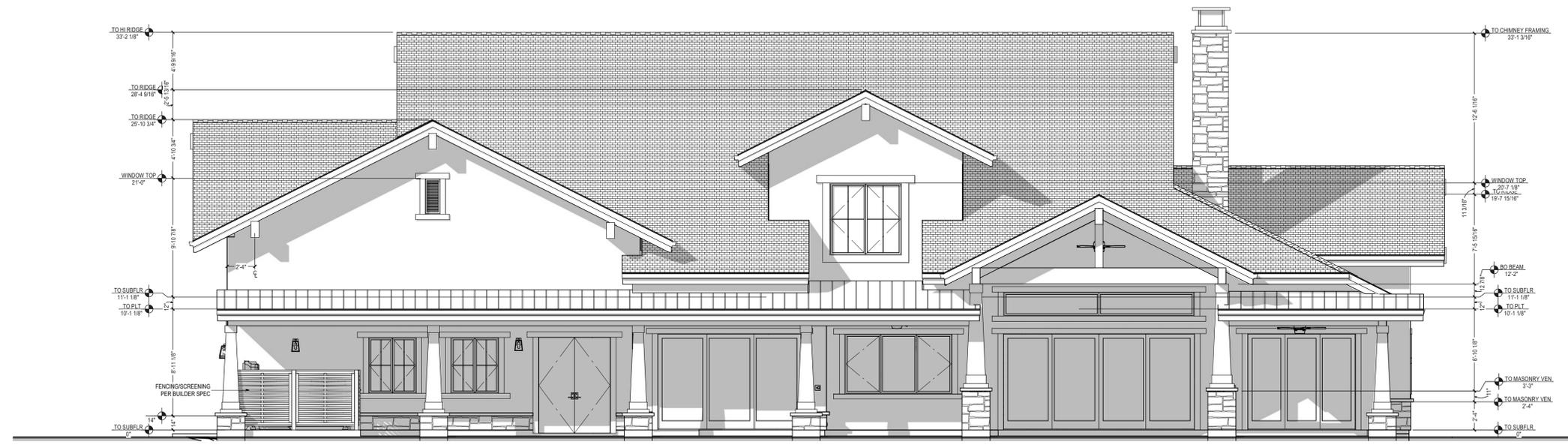


USA-2770-MT
BOX PLAN
RANCH PLAN
3,775 SF PLAN
MOUNTAIN STYLE
SLAB FOUNDATION
GARAGE RIGHT-FRONT

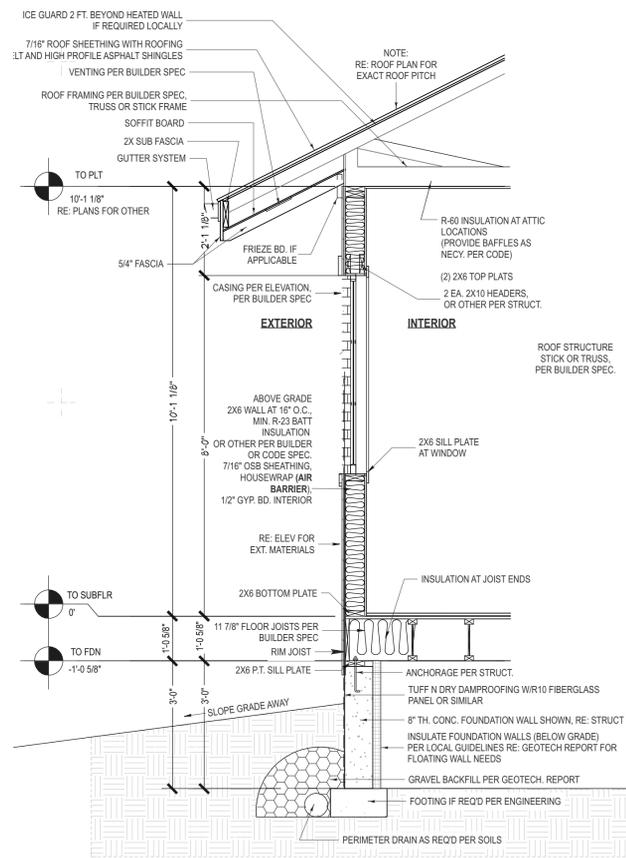
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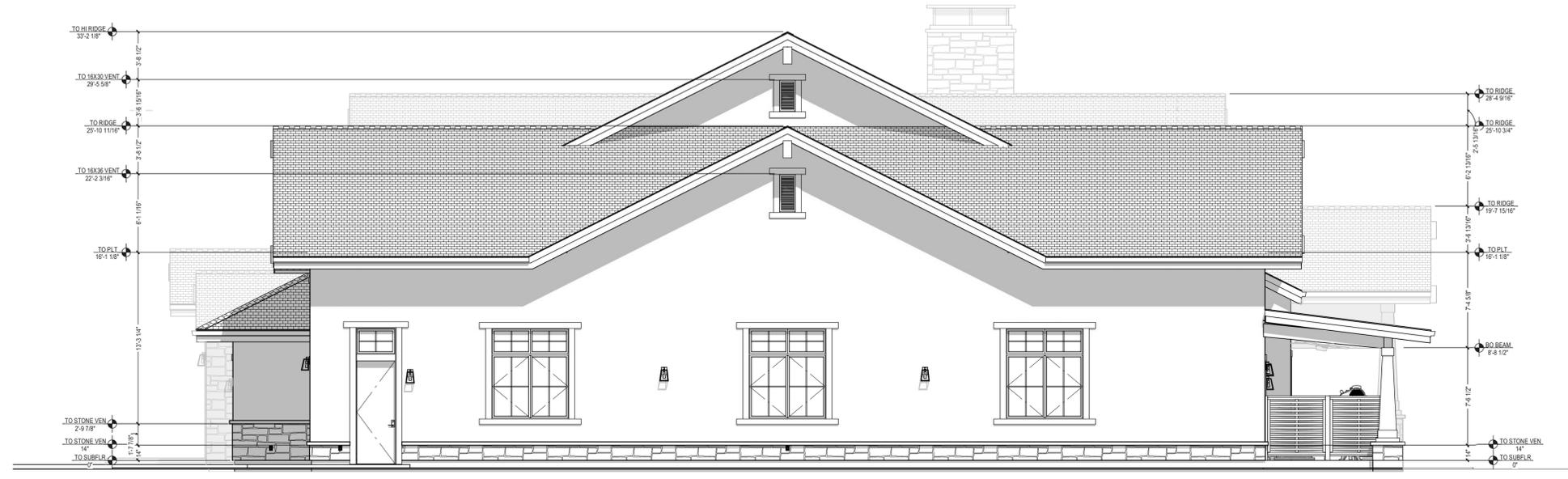
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3 BACK ELEVATION
9 3/16 IN = 1 FT



1 WALL SECTION-NO BIRDBOX
9 1/2 IN = 1 FT



4 RIGHT ELEVATION
9 3/16 IN = 1 FT

REVISIONS TO BE MADE BY THE ARCHITECT OR HIS DESIGN REPRESENTATIVE. ANY CHANGES TO THE ORIGINAL DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS DESIGN REPRESENTATIVE. ANY CHANGES MADE BY THE CONTRACTOR SHALL BE MADE BY THE CONTRACTOR. ANY CHANGES MADE BY THE CONTRACTOR SHALL BE MADE BY THE CONTRACTOR.

NO.	DATE	DESCRIPTION

SHEET TITLE:
**EXTERIOR ELEVATIONS
BACK + RIGHT**



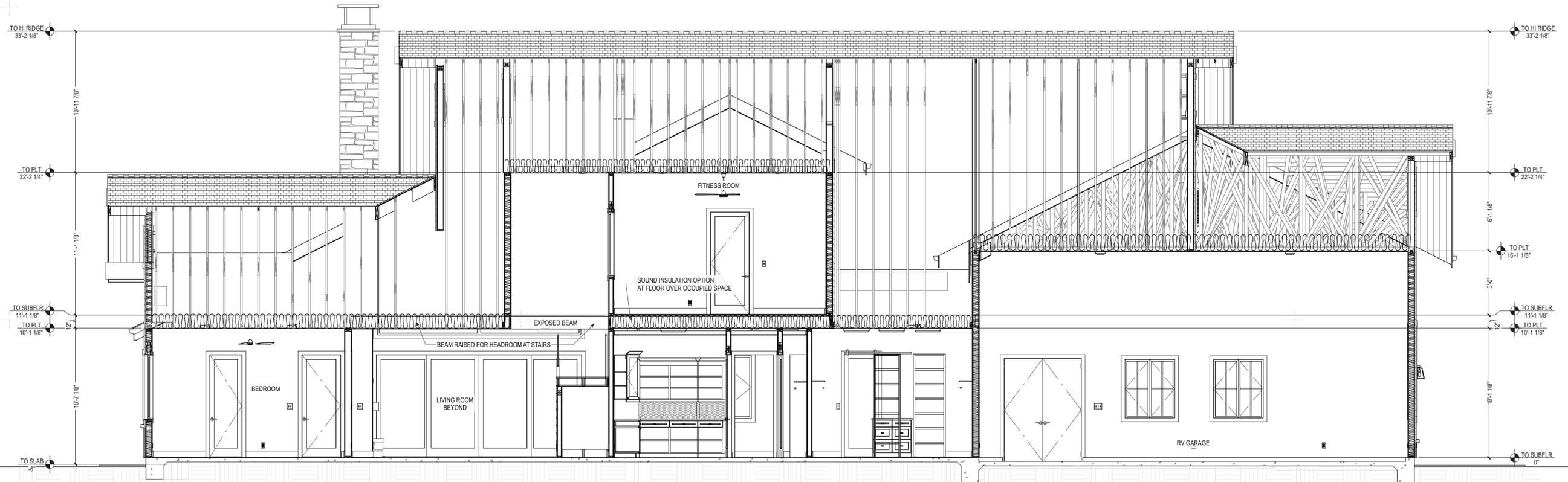
USA-2770-MT
RANCH PLAN
3,775 SQ FT PLAN
MOUNTAIN STYLE
SLAB FOUNDATION
GARAGE RIGHT-FRONT

DATE:
3/22/2026

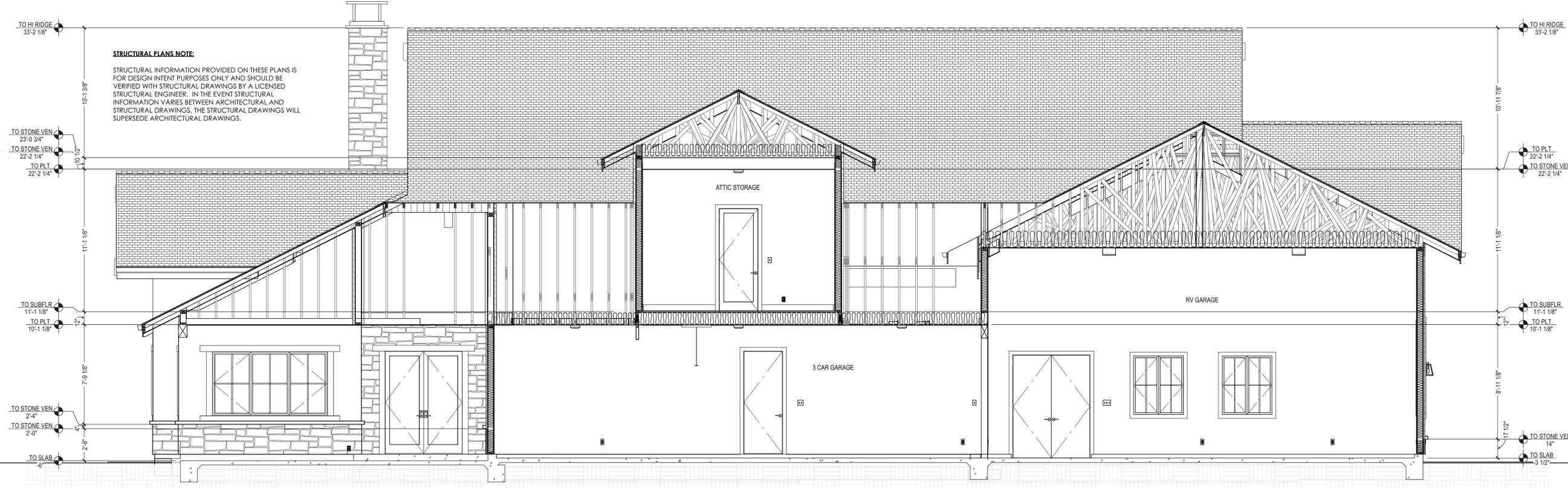
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SHEET:
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REVISIONS TO BE MADE BY THE ARCHITECT OR ENGINEER. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS.



S2 CROSS SECTION 2
10 1/4 IN = 1 FT



STRUCTURAL PLANS NOTE:
STRUCTURAL INFORMATION PROVIDED ON THESE PLANS IS FOR DESIGN INTENT PURPOSES ONLY AND SHOULD BE VERIFIED WITH STRUCTURAL DRAWINGS BY A LICENSED STRUCTURAL ENGINEER. IN THE EVENT STRUCTURAL INFORMATION VARIES BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS, THE STRUCTURAL DRAWINGS WILL SUPERSEDE ARCHITECTURAL DRAWINGS.

S1 CROSS SECTION 1
10 1/4 IN = 1 FT

DATE: 3/22/2026

REVISION:

USA HOMEPLANS
ARCHITECTURE & ENGINEERING, INC.

USA-2770-MT
RANCH PLAN
3775 SE PLAN
MOUNTAIN STYLE
SLAB FOUNDATION
GARAGE RIGHT-FRONT

DATE:
3/22/2026

REVISION:

SHEET:
A10

