



MKT Builders
3682 NORTH WICKHAM ROAD, MELBOURNE, FLORIDA 32935
e-Mail: info@mktbuilders.com



FRONT VIEW



BACK VIEW

USA-2298-MT

2,298 SF + 2,335 FINISHED BASEMENT
MOUNTAIN STYLE, RANCH PLAN
GARAGE RIGHT-FRONT LOAD
MODIFIED PLAN

AREA CALCULATIONS (ALL MEASUREMENTS IN SQUARE FEET) USA-2298-MT

BASEMENT	MAIN LEVEL	UPPER LEVEL	TOTAL FINISHED	OUTDOOR SPACE	GARAGE
FINISHED	FINISHED	FINISHED	FINISHED	PORCH	2-CAR
2335	2298	NA	4633	220	---
UNFINISHED			TOTAL FINISHED	COVERED DECK	3-CAR
76			W/BASEMENT	NA	942
TOTAL			4633	UNCOVERED DECK	1-CAR
2411				---	---
				PATIO	SHOP
		11' BMT WALLS	LEDGERED FLR. SUPRT	NA	804
BEDS	BATHS	FOUNDATION	ROOF / WALL / FLR INS.	COVERED PATIO	
2+(2)	2 1/2+(2)	10' BASEMENT	R60 / R23 /R19	428	
BUILDING HT.	ROOF PITCH	DIMENSIONS	1ST FLOOR CLG HT	COURTYARD	
22'-2"	6/12	82'-11" X 76'-6"	10'	---	

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
2. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE FROM FACE OF STUD, FACE OF CONCRETE, CENTER LINE OF STRUCTURAL MEMBERS.
5. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION. LOCAL CODES MAY SUPERSEDE NOTES LISTED HEREIN.
6. PROVIDE OUTSIDE COMBUSTION AIR TO ALL FIRE BOXES PER CODE.
7. ALL HAND AND GUARDRAILS SHALL COMPLY WITH APPLICABLE CODE.
8. PROVIDE COMBUSTION AIR TO FURNACES AND WATER HEATER PER CODE.
9. PROVIDE 1 HOUR FIRE PROTECTION AT ALL USEABLE SPACES UNDER STAIRS WITH 5/8" TYPE "X" GYP. BD. IF APPLICABLE.
10. PROVIDE FLOOR BLOCKING, WALL BLOCKING, ROOF BLOCKING AND FIRE BLOCKING PER CODE.
11. COORDINATE LANDSCAPE IRRIGATION SUPPLY AND REQUIRED SLEEVE LOCATIONS WITH THE BUILDER.
12. ALL ELEVATION TARGETS ARE TO TOP OF SUBFLOOR, TOP OF PLATE OR TOP OF CONCRETE UNO.
13. OWNER TO COORDINATE LOCATION OF GAS, WATER AND ELECTRICAL METER AS WELL AS PANEL LOCATIONS.
14. ALL BUILDING SITES ARE UNIQUE AND REQUIRE LOCALLY LICENSED ENGINEERING FOR FOUNDATIONS, TRUSSES, MECHANICAL ETC., THESE PLANS ARE FOR ARCHITECTURAL PLANNING ONLY.

DRAWING SHEET INDEX

LABEL	TITLE	DESCRIPTION	COMMENTS
1	COVER SHEET	-PROJECT INFORMATION-	
2	FLOOR PLAN	BASEMENT PLAN	
3	FLOOR PLAN	MAIN LEVEL PLAN	
4	ROOF PLAN	PLAN + NOTES	
5	ELECTRICAL PLAN	BASEMENT LEVEL	
6	ELECTRICAL PLAN	MAIN LEVEL	
7	EXTERIOR ELEVATIONS	FRONT + RIGHT	
8	EXTERIOR ELEVATIONS	BACK + LEFT	
9	BUILDING SECTIONS	STAIR + CROSS	
10	BUILDING SECTIONS	STAIR + CROSS	
11	INTERIOR ELEVATIONS	+ RELEVANT DETAILS	

PLAN UPDATES

PLAN REVISIONS		
NUMBER	DATE	DESCRIPTION

PLAN REVISIONS		
Number	Date	Description

COVER SHEET

-PROJECT INFORMATION-



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7/24/2025

TOTAL SHTS:

1 of 11

SHEET:

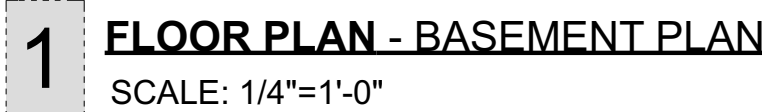
1

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2. ANY DISCREPANCIES OR INCONSISTENCIES SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE.
5. GC TO VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. IN THE EVENT OF A DISCREPANCY BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS WILL ALWAYS SUPERSEDE ARCHITECTURAL.
7. IF TRUSSES USED, A STATE LICENSED TRUSS COMPANY MUST PROVIDE SHOWN DRAWINGS TO STRUCTURAL ENGINEER AND GC FOR REVIEW PRIOR TO FABRICATION.
8. ALL VENTING SHALL BE ROUTED TO THE BACK SIDE (NON-STREET/ENTRY) SIDE OF THE ROOF RIDGE AND BE PAINTED TO MATCH BASE ROOF COLOR.

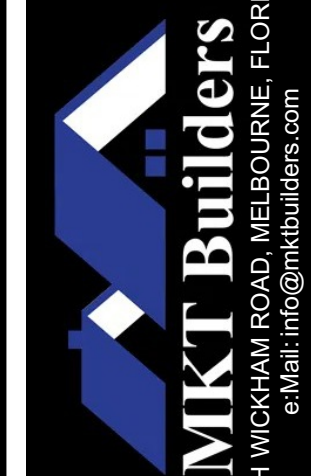
ABOVE GRADE WALLS:	R-23
VAULTED/ATTIC CEILING	R-60
BELOW GRADE WALLS	R-19
(FINISHED, UNFINISHED OR CRAWL SPACE)	
GARAGE EXTERIOR WALLS	R-19
CEILING (ATTIC) AREA (OCCUPIED)	R-60
GARAGE CEILING AREA	R-19

[illegible]

- 2) PROVIDE LOW-E GLASS ON ALL WINDOWS
- 3) SUBJECT TO OPINION OF WINDOW SUPPLIER
- 4) ALL GLASS SHALL BE SUBJECT TO VIBRATION REQUIREMENTS AND TEMPERED GLASS NEEDS
- 5) 4GC AND WINDOW SUPPLIER TO VERIFY FINAL ROUGH OPENINGS
- 6) PROVIDE FLASHING AND COUNTER FLASHING, MEMBRANE VAPOR AND SEALANT
- 7) BEEF BUILDING ELEVATIONS FOR WINDOW OPERATION
- 8) BASES AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW PER CODE
- 9) 8" TEMPER GLASS WHEN: (AND/OR AS DIRECTED PER LOCAL CODE)
 - LOCATION IS WITHIN A 24" ARC OF A DOOR
 - EITHER CLOSED OR OPEN
 - GLASS IS SUBJECT TO IMPACT BY VEHICLES OR ANIMALS
 - GLASS USED IN DOORS
 - PLACING LESS THAN 18" AFF AND GREATER THAN 6" AFF
 - AT BATHUB AND SHOWER LOCATIONS

[illegible]

FLOOR PLAN
BASEMENT PLAN



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GARAGE RIGHT-FRONT LOAD
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TOTAL SHTS:

2 of 11

SHEET:

2

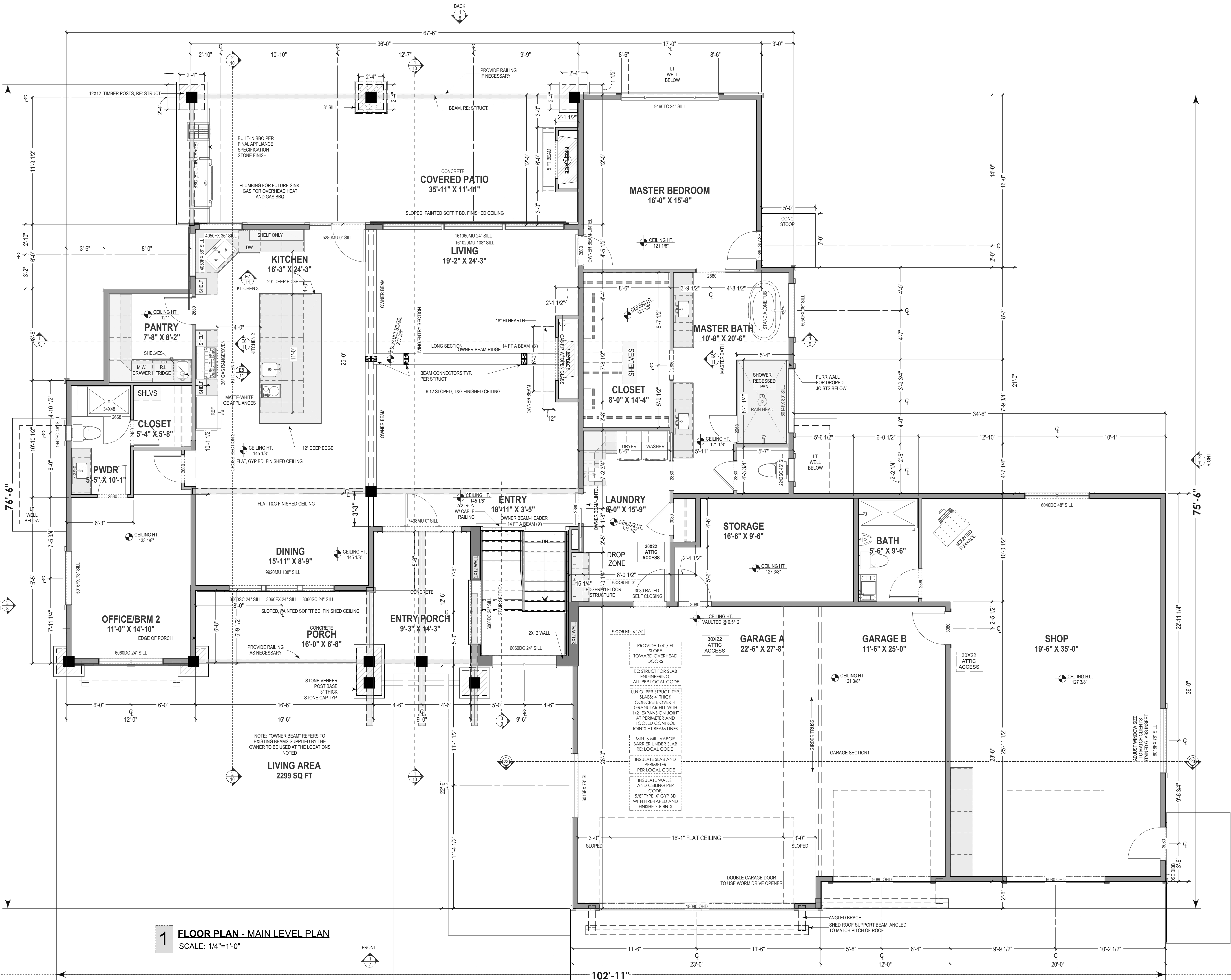
GENERAL PLAN NOTES:
1. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES OR INCONSISTENCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE.
5. GC TO VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. IN THE EVENT OF A DISCREPANCY BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS WILL ALWAYS SUPERSEDE ARCHITECTURAL.
7. IF TRUSSES USED, A STATE LICENSED TRUSS COMPANY MUST PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER AND GC FOR REVIEW PRIOR TO FABRICATION.
8. ALL VENTING SHALL BE ROUTED TO THE BACK SIDE (NON-STREET ENTRY) SIDE OF THE ROOF RIDGE AND BE PAINTED TO MATCH BASE ROOF COLOR.

MINIMUM INSULATION NOTES:
RE: INSULATION SUB-CONTRACTOR SUBMITTAL FOR EXACT INSULATION VALUES USED.

ABOVE GRADE WALLS: R-23
VAULTED/ATTIC CEILING R-40
BELOW GRADE WALLS R-19
(FINISHED, UNFINISHED OR CRAWL SPACE)
GARAGE EXTERIOR WALLS R-19
CEILING (ATTIC) AREA (OCCUPIED) R-40
GARAGE CEILING AREA R-19

FLOOR PLAN GENERAL NOTES:
1. All work is to be performed in compliance with all Federal, State and local codes. Secure all required permits and approvals prior to commencement of any construction. All code references in these documents refer to the latest version of the International Residential Code AND OVERRULE ALL CONFLICTING DESIGNER NOTE(S).
2. The project manager, superintendent, and all subcontractors are to examine and verify all dimensions and existing conditions both on the plans and in the field. Notify Architect and builder of any discrepancies and conflicts prior to proceeding with construction.
3. Builder to consult complete subdivision plans for specific utility easements and other pertinent information.
4. Builder to field verify and coordinate utility connections, their routing, meter locations, hose bbs and other associated items. Builder is to have all existing utilities located by its respective authority, and connections to those utilities should take the most direct route to the building.
5. If a geotechnical report has been prepared, it has been provided to the owner by their consultant. If applicable, the report is available for review as an aid in planning and executing all areas of work for the project. The report data is provided for reference only and is not to be considered a part of these contract documents. While it is believed to be reliable, its accuracy and/or completeness is not guaranteed by the architect.
6. Builder to coordinate top of foundation wall elevations with elevation from structural drawings and final grading.
7. Coordinate landscape irrigation supply and required sleeve locations with the builder.
8. All windows to be double paneled and "Low E" technology UNO OR PER BUILDER SPEC. Basements and sleeping rooms shall have at least one operable egress window for emergency escape. Tempered glass is to be provided per code.
9. Structural design and truss and floor framing design by others.
10. Cabinet design and related millwork drawings are to be provided by others. ANY CABINET ELEVATIONS SHOWN ARE FOR REFERENCE ONLY.
11. All exterior doors leading to unheated areas are to be weather-stripped.
12. Verify with builder if gyp board corners are to be reduced PRIOR TO DRYWALL INSTALLATION. Framing at cabinetry to be coordinated to allow for the radius to terminate at or before the face of cabinetry.
13. Take care to protect all neighboring property enhancements.
14. Do not scale documents.
15. All flues and walls to be fire-stopped.
16. Manufacturers installation instructions are to be strictly followed for the installation of all fireplaces. Provide combustion air to all fireplaces.
17. Use self closing, tight fitting and fire rated garage to house doors only. MEET LOCAL CODE.
18. All stair assemblies of 36" in width or greater shall have a minimum of three stringers.
19. Provide gutters and downspouts (or chains per plans). On downspouts, a minimum 4'-0" extension is required. Splash blocks may also be used, but must be a minimum of 36" in length. MATCH ANY EXISTING NEIGHBORHOOD STANDARDS THAT MIGHT EXIST.
20. All stone to be thin cut real stone or premanufactured stone. See elevation drawings, provide STONE OR stucco profile "LUNTEL" above AND BELOW "SILL" WINDOW, AND AS NOTED ON EXTERIOR ELEVATIONS.
21. ALL BRICK TO HAVE ROWLOCK OR SOLDIER COURSE BRICK CAP WITH FLASHING AND TRIM OVER ROWLOCK OR SOLDIER LINE.
22. PROVIDE CRAWLSPACE ACCESS OPENING(S) ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18" X 24" AND A MINIMUM OF 16" X 24" THROUGH THE PERIMETER WALL (IRC R408.4). ACCESS OPENING SHALL BE WEATHER STRIPPED PER WISC R402.2.4.
23. PROVIDE ATTIC ACCESS OPENING(S) ACCESS OPENINGS THROUGH THE CEILING SHALL BE A MINIMUM 22" X 30" WITH A MINIMUM HEADROOM OF 30" (IRC R807.1). ACCESS OPENING SHALL BE WEATHER STRIPPED PER WISC R402.2.4.
24. GARAGE SEPARATION REQUIRES 1/2" CYSPUM WALL BOARD (GWB) ON THE GARAGE SIDE. 5/8" TYPE "X" GWB IS REQUIRED WHERE THERE IS LIVING SPACE ABOVE. SUPPORTING COLUMNS, WALLS AND BEAMS USE 1/2" GWB (IRC R302.6). TYPE "X" GWB SHALL BE INSTALLED PERPENDICULAR TO THE CEILING. FRAMING AND SHALL BE FASTENED AT MAX. 6" O.C. FASTENERS PER TABLE R702.3.3.
25. OPENINGS INTO A GARAGE SHALL HAVE SOLID WOOD OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1-3/8" IN THICKNESS, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE (IRC R302.5.1).
26. WATER CLOSET CLEARANCES SHALL BE A MINIMUM OF 21" IN FRONT OF THE FIXTURE, AND 15" FROM THE CENTERLINE OF THE FIXTURE TO ANY OBSTRUCTION ON EITHER SIDE (IRC R307.1).
27. NOTE: 50 CFM MINIMUM REQUIRED IN KITCHEN, KITCHEN RANGE HOODS ARE REQUIRED FOR ALL DOMESTIC KITCHENS. HOODS CAPABLE OF EXHAUSTING MORE THAN 400 CFM REQUIRE MAKE UP AIR (IRC M1503.6).
28. M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.

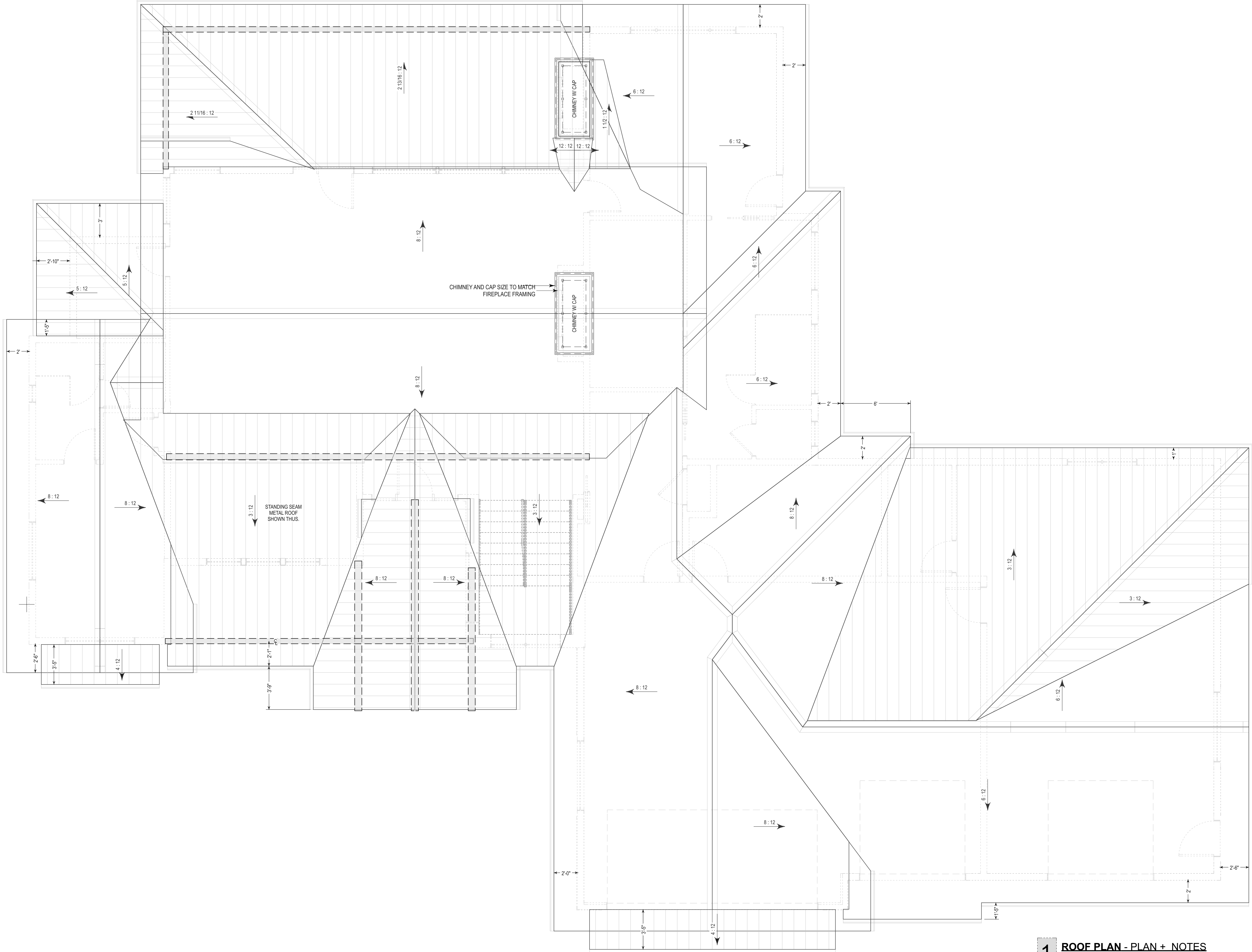
WINDOW NOTES: (FINAL SPEC PER BUILDER UNO)
1. WINDOWS FINISH BY BUILDER SPEC.
2. PROVIDE LOW-E GLASS ON ALL WINDOWS SUBJECT TO OPINION OF WINDOW SUPPLIER.
3. GC AND WINDOW SUPPLIER TO VERIFY EGRESS REQUIREMENTS AND TEMPERED GLASS NEEDS.
4. GC AND WINDOW SUPPLIER TO VERIFY FINAL ROUGH OPENINGS.
5. PROVIDE ALL FLASHING AND COUNTER FLASHING, MEMBRANE WRAP AND SEALANT.
6. REF. BUILDING ELEVATIONS FOR WINDOW OPERATION.
7. BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW PER CODE.
8. TEMPER GLASS WHEN: (AND/OR AS DIRECTED PER LOCAL CODE)
• LOCATION IS WITHIN A 24" ARC OF A DOOR, EITHER CLOSED OR OPEN.
• AREAS SUBJECT TO IMPACT BY HUMANS OR ANIMALS.
• GLASS USED IN DOORS.
• PLACED LESS THAN 18" AFF AND GREATER THAN 9" SF IN SIZE.
• AT BATHTUB AND SHOWER LOCATIONS



ROOF NOTES:

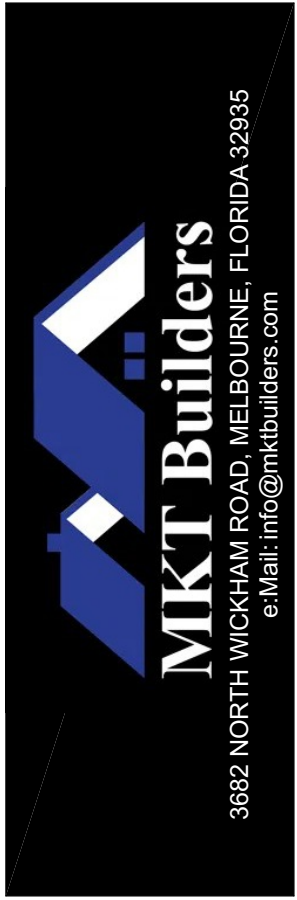
BUILDER SPEC AND LOCAL CODES OVERALL ALL NOTES:

1. ALL ROOF FRAMING 24" O.C. UNO
2. ALL OVERHANGS 24" UNO
3. ATTIC VENTILATION: REQUIRED PER CODE, BY BUILDER
4. WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO-PER STRUCTURAL
5. HIGH PROFILE ASPHALT SHINGLES. RE: ROOF PLAN FOR ADDITIONAL ROOFING MATERIALS. INSTALL PER MANUFACTURERS SPECIFICATIONS.
6. APPLY ICE & WATER SHIELD AT ALL EAVES, RIDGES, AND VALLEYS. DEFER TO LOCAL CODE OTHERWISE.
7. TITANIUM FELT UNDERLAYMENT, TYPICAL THROUGHOUT ROOF
8. ROUTE ALL ROOF PENETRATIONS THROUGH NON-STREET SIDE OF ROOF.
9. EXTRUDED GALVALUME. GUTTER AND DOWNSPOUT (TYP.)
10. ALL ROOF SLOPES TO BE: VARIES, RE: ROOF PLAN.
11. PROVIDE ROOF CRICKETS AS NECY, FOR DRAINAGE.



PLAN REVISIONS	
Number	Date

ROOF PLAN
PLAN + NOTES



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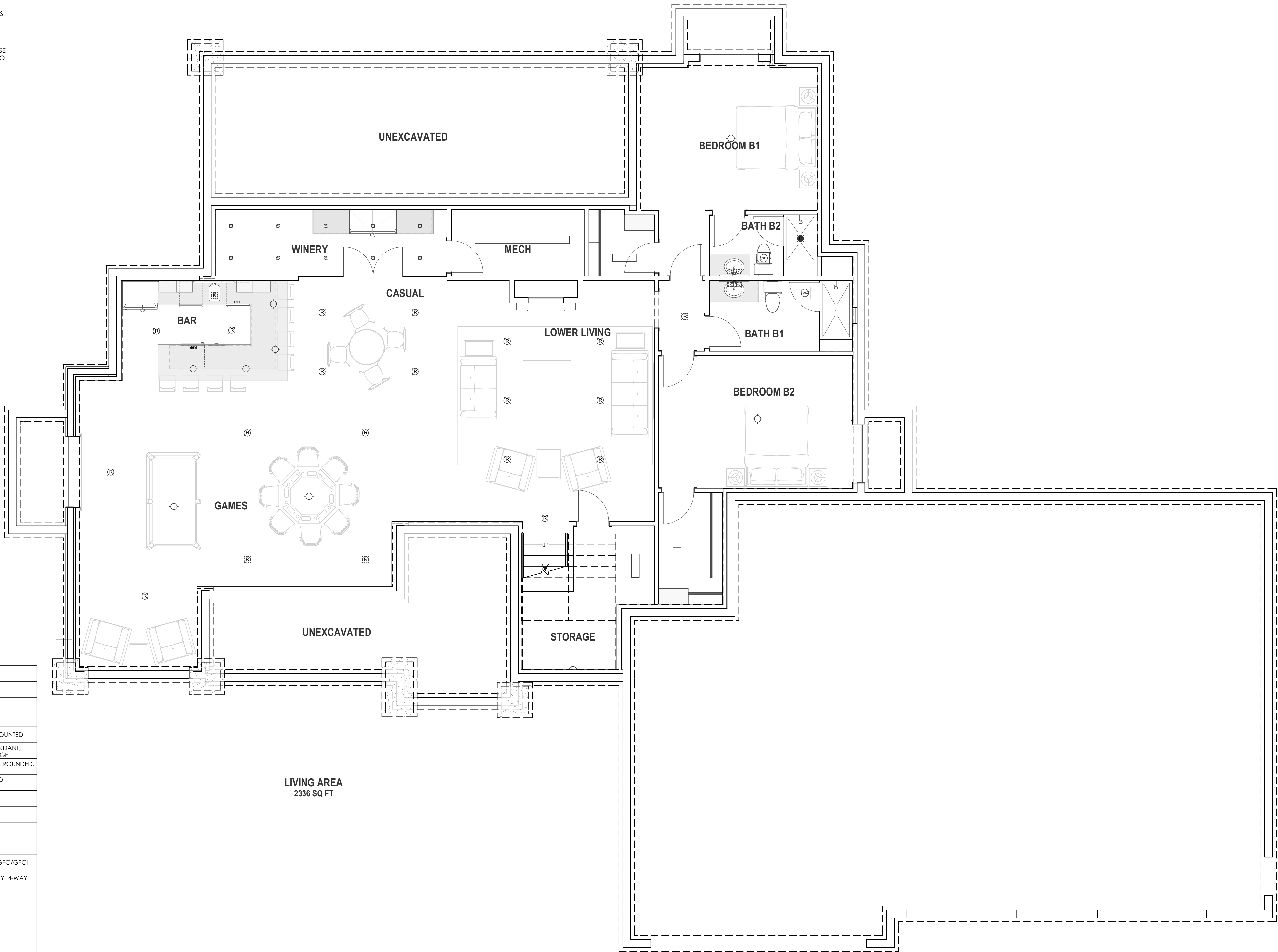
SHEET:

ELECTRICAL DATA & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH SLEEPING ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH BUILDER.
5. FIXTURES TO BE SELECTED BY BUILDER.



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	CEILING FAN
	VENTILATION FANS: CEILING MOUNTED, WALL MOUNTED
	CEILING MOUNTED LIGHT FIXTURES: SURFACE/PENDANT, RECESSED, WATER VAPOR PROOF, LOW VOLTAGE
	CEILING MOUNTED FIXTURES: FLUSH TRADITIONAL ROUNDED.
	WALL MOUNTED LIGHT FIXTURES: FLUSH MOUNTED, WALL SCONCE
	CHANDELIER LIGHT FIXTURES
	FLUORESCENT LIGHT FIXTURE
	FLUORESCENT LIGHT UNDER CABINET
	220V RECEPTACLE
	110V RECEPTACLES: DUPLEX, WEATHER PROOF, GFC/GFCI
	SWITCHES: SINGLE POLE, WEATHER PROOF, 3-WAY, 4-WAY
	UTILITY LIGHTING: KEYED FIXTURE, PULL SWITCH
	WALL JACKS: CAT5, CAT5 + TV, TV/CABLE
	TELEPHONE JACK
	INTERCOM
	THERMOSTAT
	DOOR CHIME, DOOR BELL BUTTON
	SMOKE+ CO DETECTORS: CEILING + WALL MOUNTED
	ELECTRICAL BREAKER PANEL

PLAN REVISIONS	
Number	Description

ELECTRICAL PLAN
BASEMENT LEVEL

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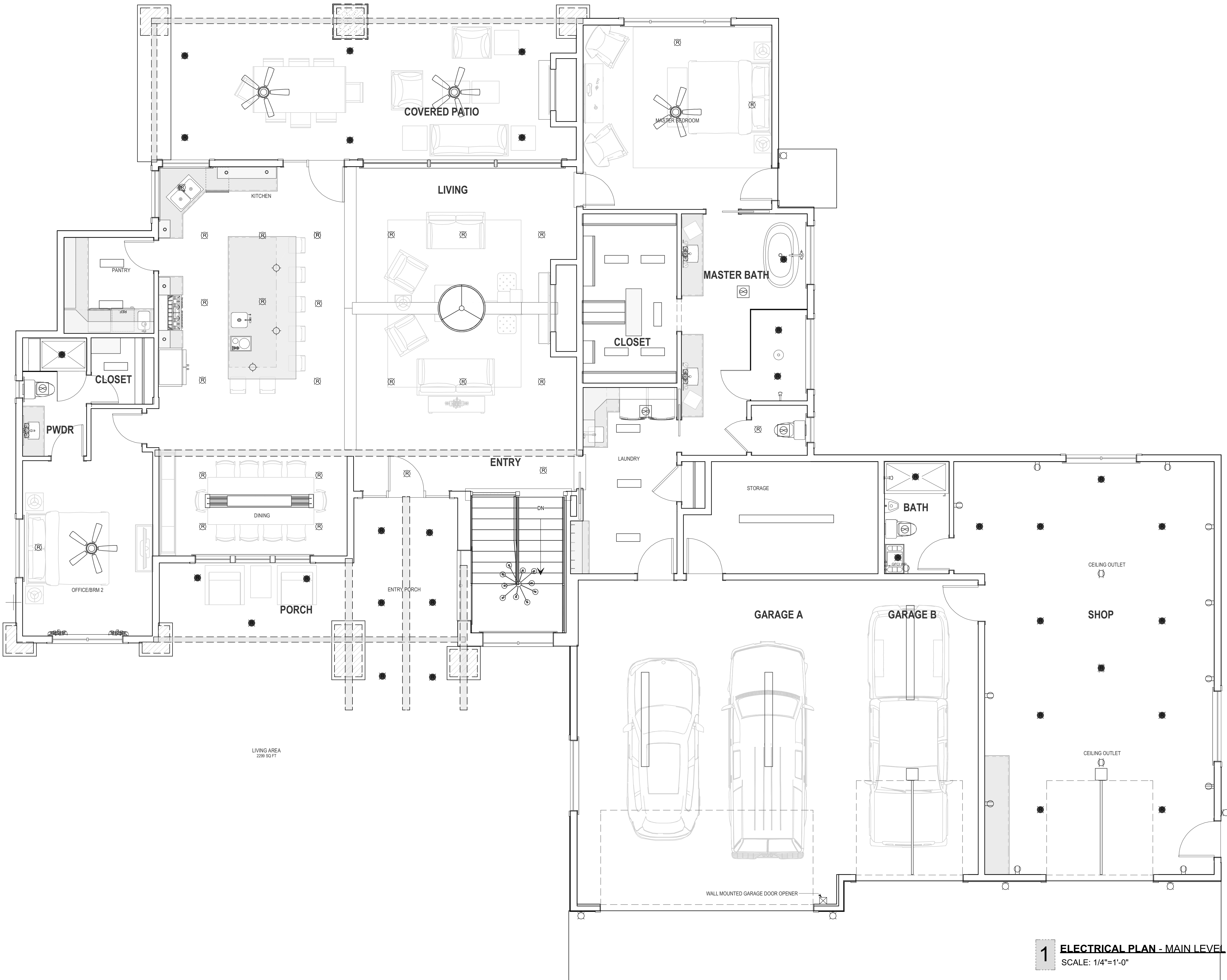
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SHEET:
5

ELECTRICAL DATA & AUDIO NOTES:

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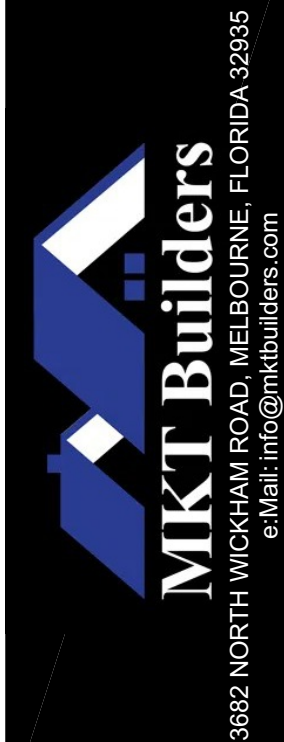
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ELECTRICAL - DATA - AUDIO LEGEND

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	INTERCOM
	THERMOSTAT
	DOOR CHIME, DOOR BELL BUTTON
	SMOKE+ CO DETECTORS: CEILING + WALL MOUNTED
	ELECTRICAL BREAKER PANEL

ELECTRICAL PLAN
MAIN LEVEL



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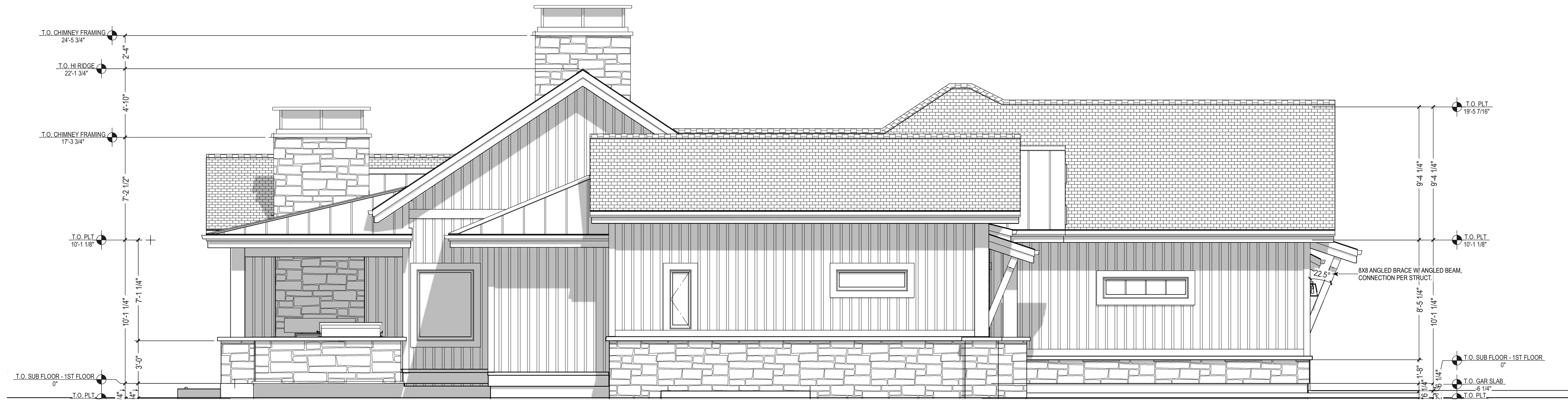
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SHEET:

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1 ELECTRICAL PLAN - MAIN LEVEL
SCALE: 1/4"=1'-0"

7



LEFT

2

EXTERIOR ELEVATIONS - BACK + LEFT

SCALE: 1/4"=1'-0"



BACK

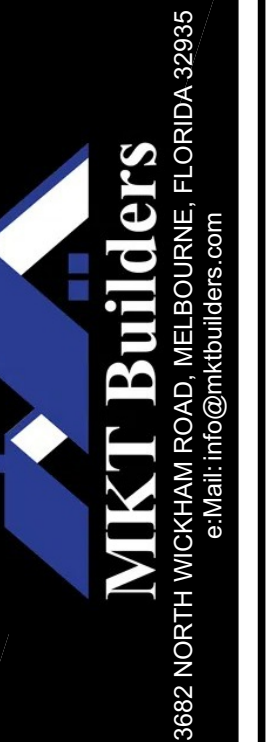
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EXTERIOR ELEVATIONS - BACK + LEFT

SCALE: 1/4"=1'-0"

PLAN REVISIONS
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EXTERIOR ELEVATIONS
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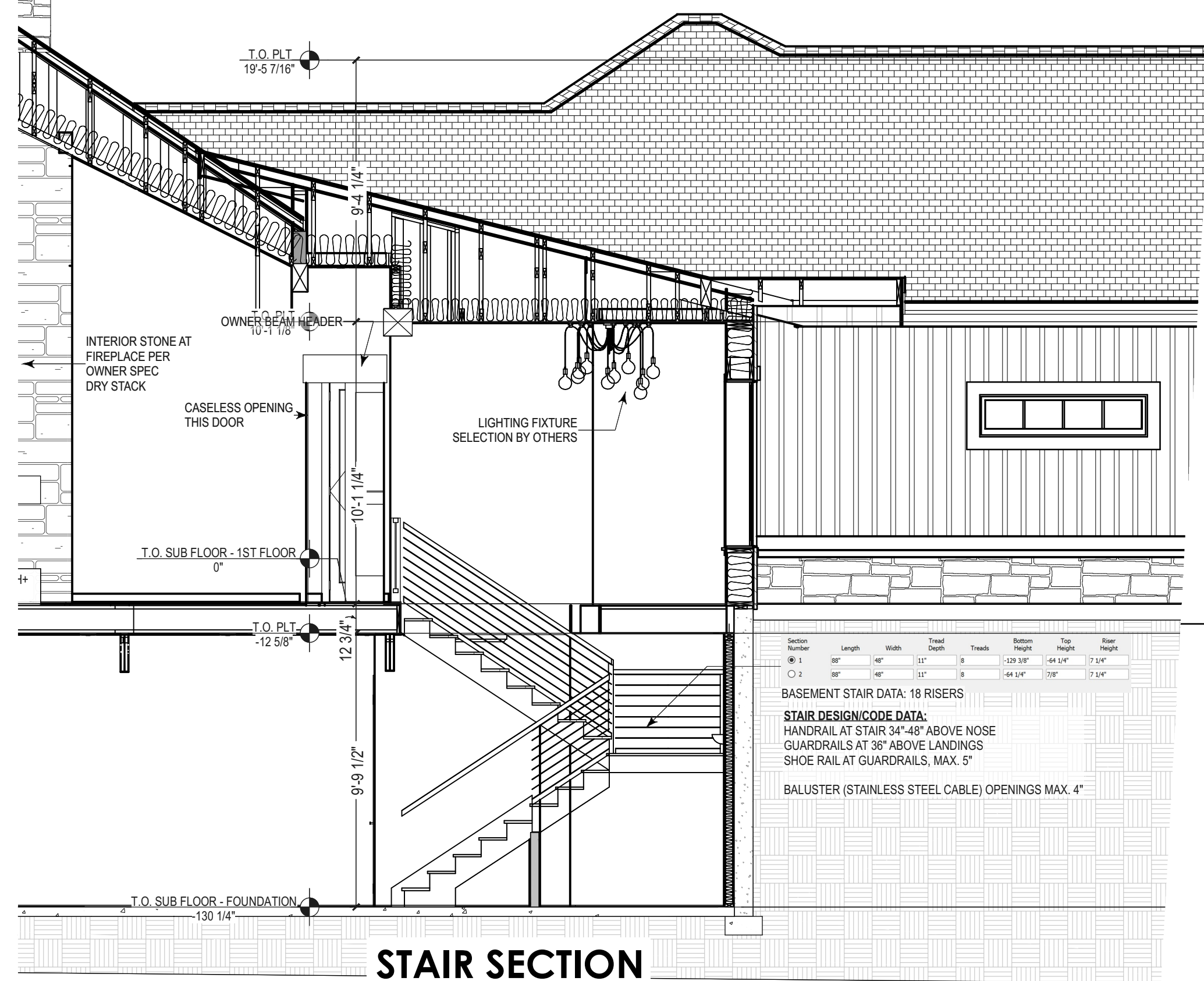
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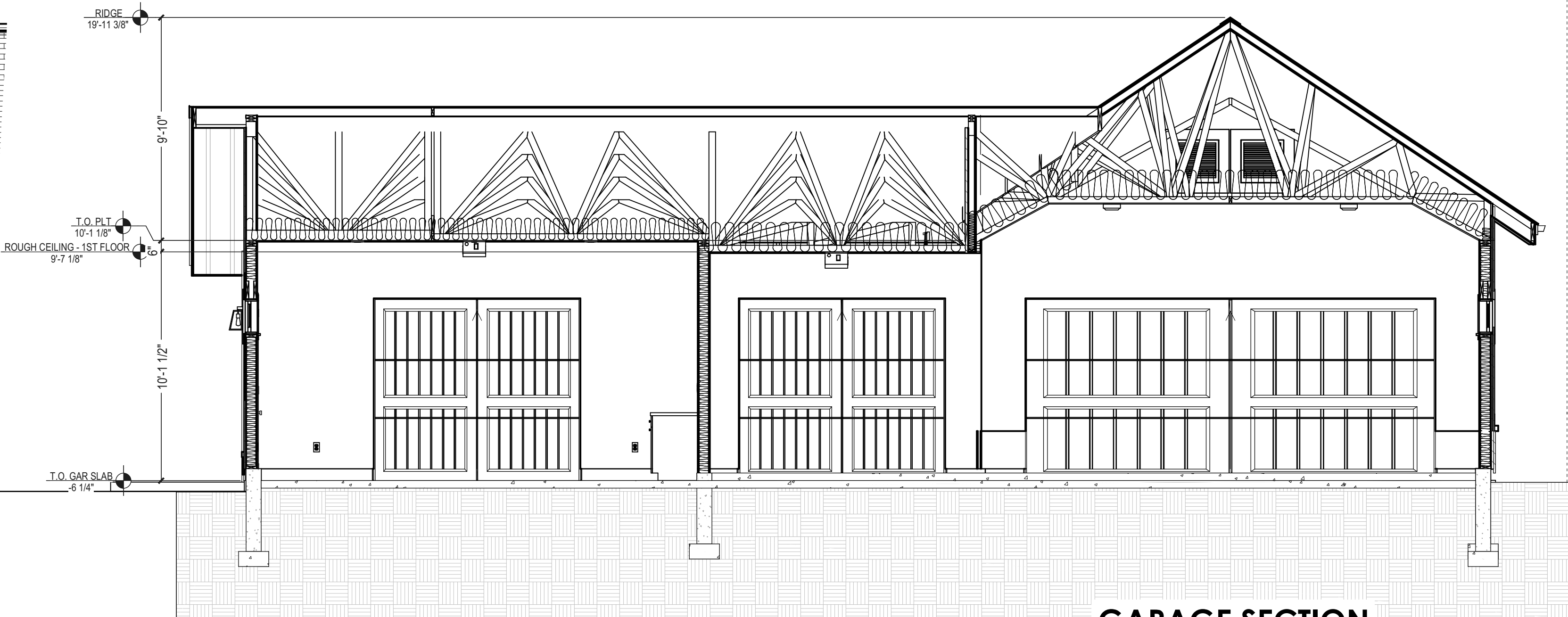
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AA	TYPICAL EXTERIOR WALL: EXTERIOR FINISH PER ELEVATION ON TYVEK WATERPROOF MEMBRANE OR TYVEK TYPE HOUSE WRAP ON EXTERIOR SHEATHING PER STRUCTURAL ON 2X FRAMING PER STRUCTURAL WITH INSULATION (R-23). PROVIDE VAPOR BARRIER ONLY IF REQUIRED PER BUILDING CODE. WITH 1/2" GYB. BOARD.
BB	TYPICAL INTERIOR WALL: 2X FRAMING WITH INSULATION AS SHOWN ON PLANS AND STANDARD BUILDER LOCATIONS, WITH 1/2" GYP. BD AT EACH SIDE.
CC	TYPICAL FOUNDATION WALL: DRAIN SYSTEM (AS NEEDED PER SOILS REPORT) OVER DAMPROOFING OVER REINFORCED CONCRETE FOUNDATION WALL PER STRUCTURAL PLANS. VINYL FACED INSULATION AT EXTERIOR WALLS PER CODE.
DD	TYPICAL ROOF: ROOFING MATERIAL PER ELEVATION ON ICE AND WATER SHIELD WATERPROOF MEMBRANE. ON EXTERIOR SHEATHING PER STRUCTURAL ON COLD ROOF FRAMING ON PLYWOOD SHEATHING ON 2X RATTERS OR PREMANUFACTURED ROOF TRUSSES PER STRUCTURAL WITH ATTIC INSULATION (RE: INSULATION NOTES). PROVIDE VAPOR BARRIER ONLY IF REQUIRED PER CODE WITH 5/8" GYP. BD. UNO OR PER BUILDER SPECS. 12" HIGH ENERGY HEAL ASSUMED U.N.O.
EE	TYPICAL MAIN AND UPPER LEVEL FLOORS: FINISHED FLOOR MATERIAL PER PLAN OVER 3/4" T & G OSB SUBFLOOR ON 11 7/8" TJI JOISTS PER STRUCTURAL WITH 1/2" GYP. BD. CEILING, PROVIDE INSULATION (RE: INSULATION NOTES) OVER UNFINISHED SPACES.
FF	TYPICAL LOWER LEVEL FLOOR: BASEMENT AND CRAWL SPACE PER ENGINEERING
GG	TYPICAL SOFFIT CONST: PROVIDE 1X8 FASCIA BOARD. 1X6 SUBFASCIA, GUTTER AND



3 **BUILDING SECTIONS - STAIR + CROSS**

SCALE: 1/4"=1'-0"

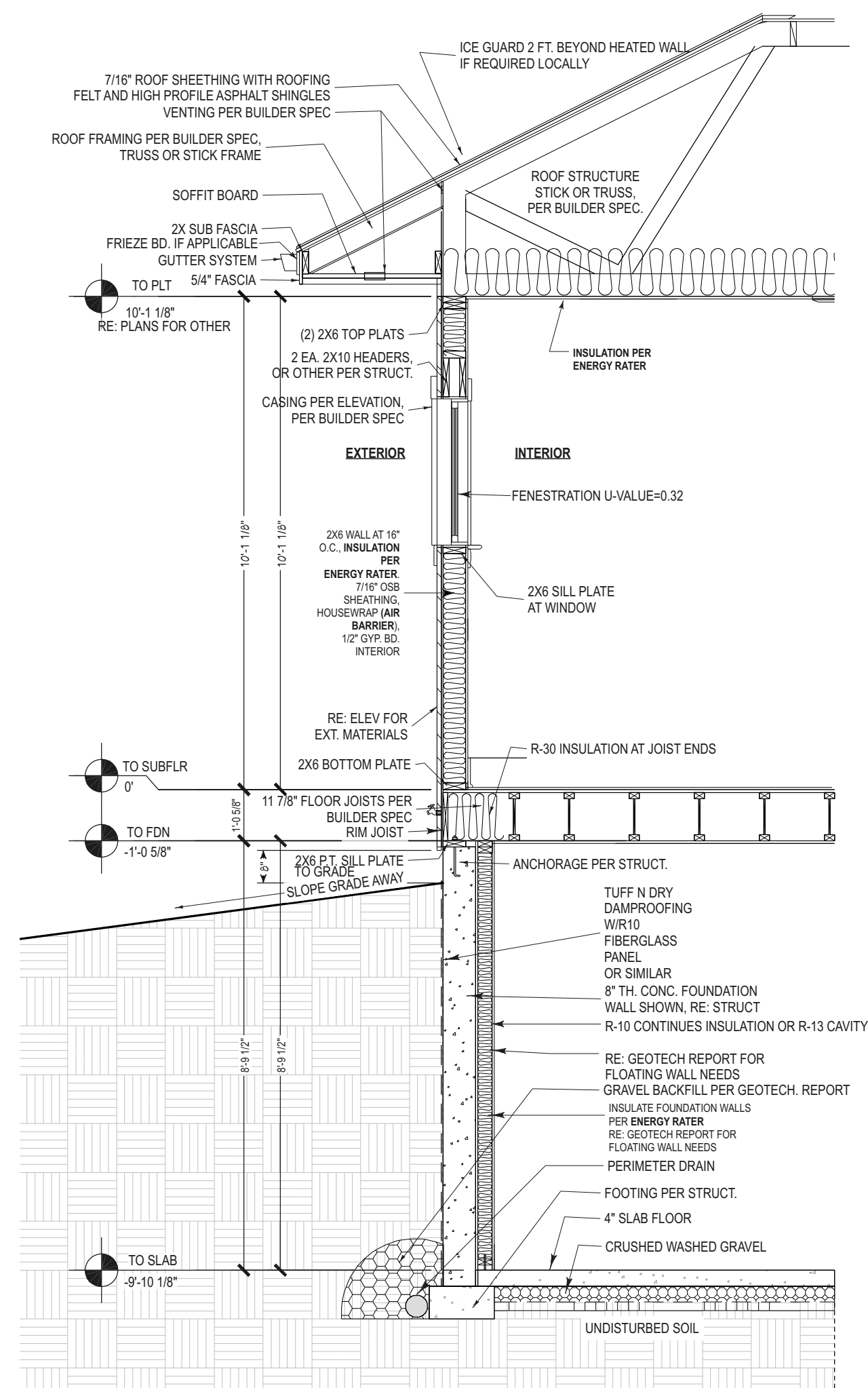


2 BUILDING SECTIONS - STAIR + CROSS

SCALE: 1/4"=1'-0"

STRUCTURAL PLANS NOTE:

STRUCTURAL INFORMATION PROVIDED ON THESE PLANS IS FOR DESIGN INTENT PURPOSES ONLY AND SHOULD BE VERIFIED AND/OR ENGINEERED WITH STRUCTURAL DRAWINGS BY A LICENSED STRUCTURAL ENGINEER. **IN THE EVENT STRUCTURAL INFORMATION VARIES BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS, THE STRUCTURAL DRAWINGS WILL SUPERSEDE ARCHITECTURAL DRAWINGS.**



3 TYPICAL WALL SECTION

SCALE: NTS



1 BUILDING SECTIONS - STAIR + CROSS
SCALE: 1/4"=1'-0"

ASSEMBLY TYPES:

- AA TYPICAL EXTERIOR WALL:**
EXTERIOR FINISH PER ELEVATION ON TYVEK.
WATERPROOF MEMBRANE OR TYVEK TYPE HOUSE
WRAP ON EXTERIOR SHEATHING PER STRUCTURAL
ON 2X FRAMING PER STRUCTURAL WITH
INSULATION (R-23). PROVIDE VAPOR BARRIER
ONLY IF REQUIRED PER BUILDING CODE, WITH 1/2"
GYB. BOARD.
- BB TYPICAL INTERIOR WALL:**
2X FRAMING WITH INSULATION AS SHOWN ON
PLANS AND STANDARD BUILDER LOCATIONS,
WITH 1/2" GYP. BD AT EACH SIDE.
- CC TYPICAL FOUNDATION WALL:**
DRAIN SYSTEM (AS NEEDED PER SOILS REPORT)
OVER DAMPROOFING OVER REINFORCED
CONCRETE FOUNDATION WALL PER STRUCTURAL
PLANS. VINYL FACED INSULATION AT EXTERIOR
WALLS PER CODE.
- DD TYPICAL ROOF:**
ROOFING MATERIAL PER ELEVATION ON ICE AND
WATER SHIELD WATERPROOF MEMBRANE. ON
EXTERIOR SHEATHING PER STRUCTURAL ON COLD
ROOF FRAMING ON PLYWOOD SHEATHING ON
2X RAFTERS OR PREMANUFACTURED ROOF
TRUSSES PER STRUCTURAL WITH ATTIC INSULATION
(RE: INSULATION NOTES). PROVIDE VAPOR
BARRIER ONLY IF REQUIRED PER CODE WITH 5/8"
GYP. BD. UNO OR PER BUILDER SPECS. 12" HIGH
ENERGY HEEL ASSUMED U.N.O.
- EE TYPICAL MAIN AND UPPER LEVEL FLOORS:**
FINISHED FLOOR MATERIAL PER PLAN OVER 3/4" T &
G OSB SUBFLOOR ON 11 7/8" TJI JOISTS PER
STRUCTURAL WITH 1/2" GYP. BD. CEILING.
PROVIDE INSULATION (RE: INSULATION NOTES)
OVER UNFINISHED SPACES.
- FF TYPICAL LOWER LEVEL FLOOR:**
BASEMENT AND CRAWL SPACE PER ENGINEERING
- GG TYPICAL SOFFIT CONST:**
PROVIDE 1X8 FASCIA BOARD, 1X6 SUBFASCIA,
GUTTER AND DOWNSPOUTS.
- JJ TYPICAL SLAB:**
CONCRETE SLAB PER STRUCTURAL, SLOPE AT 1/8"
PER 1'-0" MINIMUM TO DRAIN.
- KK TYPICAL TIMBER COMPONENTS:**
S4S RFKD DOUGLAS FIR S5 FOHC, COLUMNS AND
BRACKETS PER STRUCTURAL AND PER TIMBER
SHOP DRAWINGS.
- KKA1 TYPICAL TIMBER COMPONENTS (ALTERNATE 1):**
S4S WESTERN RED CEDAR (WRC) FOHC GREEN
#2/BETTER APPEARANCE GRADE BEAMS.

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WILL SUPERSEDE ARCHITECTURAL DRAWINGS.**



LIVING/ENTRY SECTION

2 BUILDING SECTIONS - STAIR + CROSS
SCALE: 1/4"=1'-0"

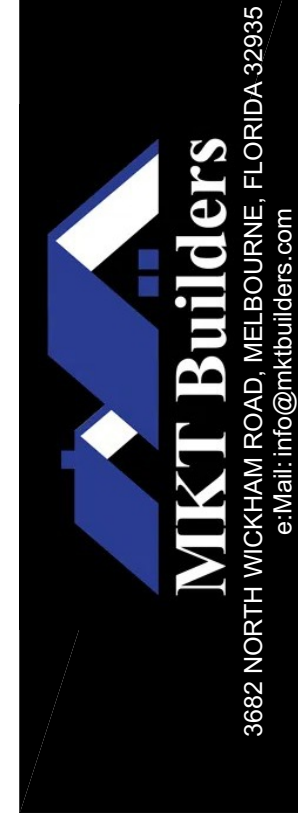


CROSS SECTION 2

1 BUILDING SECTIONS - STAIR + CROSS
SCALE: 1/4"=1'-0"

PLAN REVISIONS
Description
Number Date

BUILDING SECTIONS
STAIR + CROSS



USA-2298-MT
2,298 SF + 2,335 FINISHED BASEMENT
MOUNTAIN STYLE RANCH PLAN
GARAGE RIGHT-FRONT LOAD
MODIFIED PLAN

DATE:

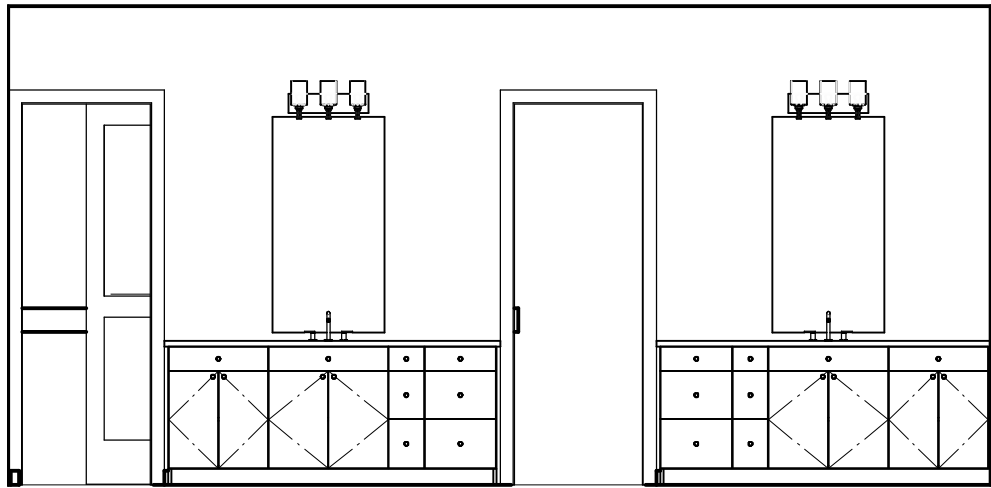
7/24/2025

TOTAL SHTS:

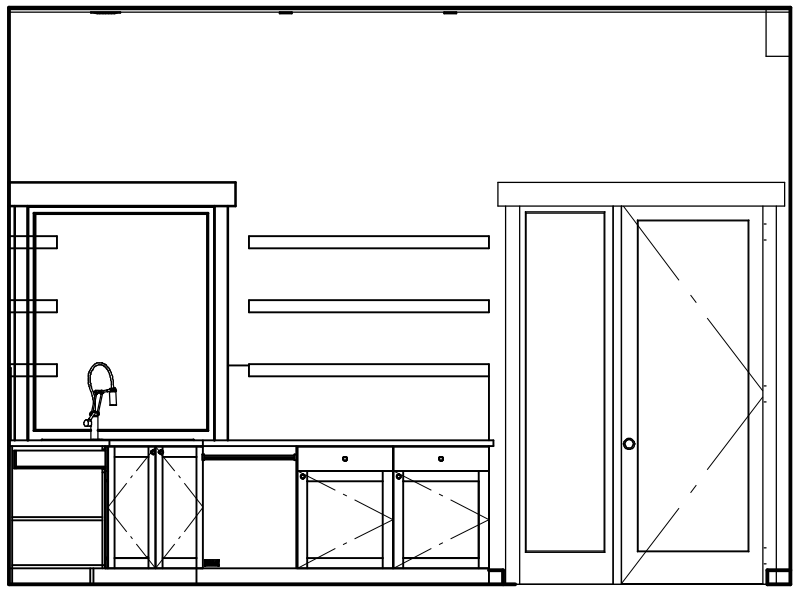
10 of 11

SHEET:

10



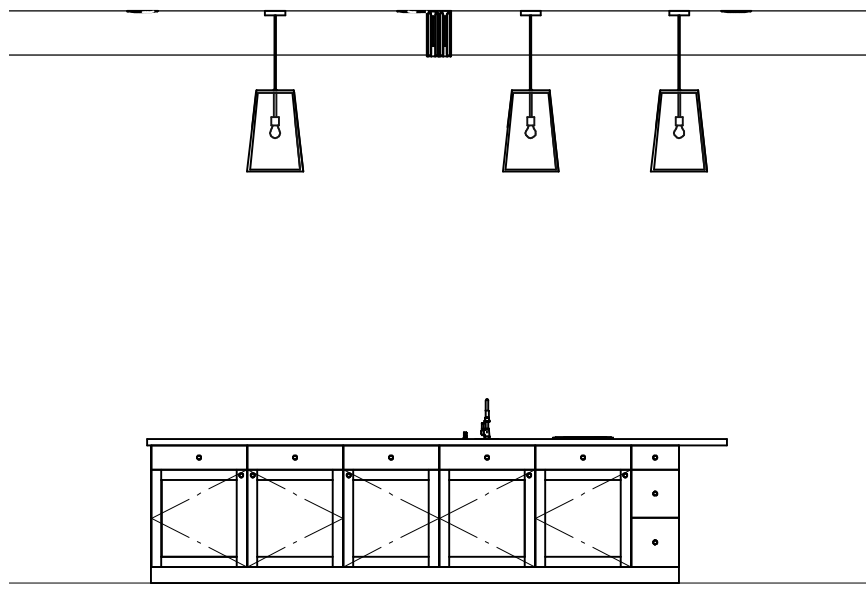
MASTER BATH



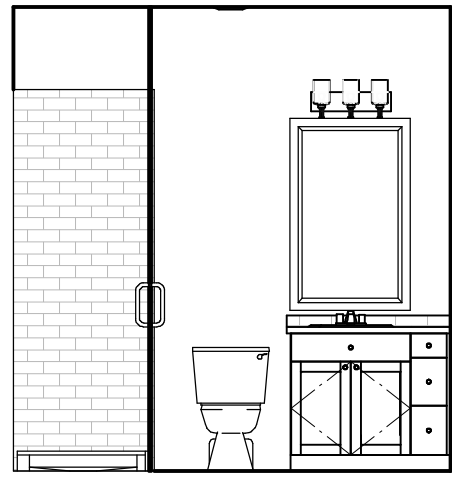
KITCHEN 3



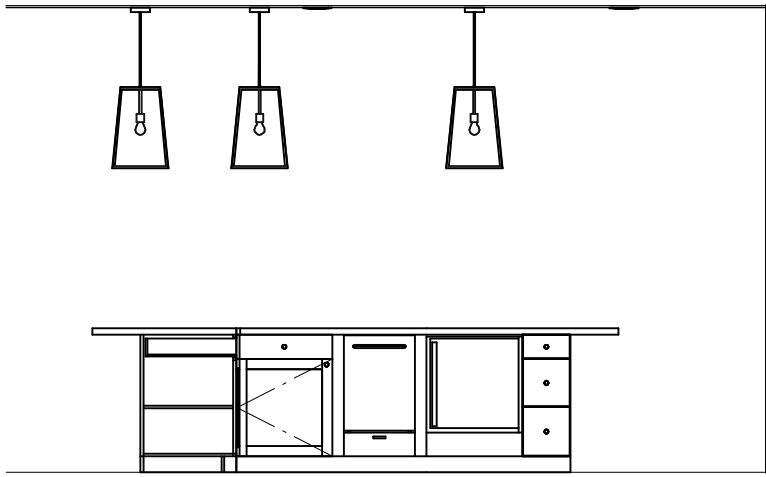
KITCHEN 2



KITCHEN 1



BATH B2



BAR

PLAN REVISIONS		
Number	Date	Description

INTERIOR ELEVATIONS
+ RELEVANT DETAILS



MKT Builders
3882 NORTH WICKHAM ROAD, MELBOURNE, FLORIDA 32935
e: info@mktbuilders.com

USA-2298-MT
2,298 SF + 2,335 FINISHED BASEMENT
MOUNTAIN STYLE RANCH PLAN
GARAGE RIGHT-FRONT LOAD
MODIFIED PLAN

DATE:
7/24/2025
TOTAL SHTS:
11 of 11
SHEET:
11