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FDS INSPECTION SERVICES

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OCTOBER 1, 2022



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# SUMMARY



ITEMS INSPECTED



MINOR DEFECT



MAJOR DEFECT

Summary Text (enter here)

- ⊖ 1.1.1 Roof - Roof Covering: Cracked and Damaged Roof Covering
- ✔ 1.1.2 Roof - Roof Covering: Tree Too Close
- ✔ 1.1.3 Roof - Roof Covering: Old System
- ⊖ 1.3.1 Roof - Plumbing Vent Pipes: Vent Pipe Flashing Material Was Cracked
- ✔ 1.4.1 Roof - Gutters & Downspouts: Downspouts Drain Near House
- ⊖ 2.1.1 Secondary Roof - Roof Covering: Cracked and Damaged Roof Covering
- ✔ 2.1.2 Secondary Roof - Roof Covering: Tree Too Close
- ✔ 2.1.3 Secondary Roof - Roof Covering: Old System
- ⊖ 2.2.1 Secondary Roof - Flashing: Corroded - Minor
- ✔ 2.4.1 Secondary Roof - Gutters & Downspouts: Debris in Gutters
- ⊖ 2.4.2 Secondary Roof - Gutters & Downspouts: Gutter Damaged
- ✔ 2.4.3 Secondary Roof - Gutters & Downspouts: Diverter Trays Need Adjusted
- ✔ 2.4.4 Secondary Roof - Gutters & Downspouts: Downspouts Drain Near House
- ⊖ 4.3.1 Exterior - Wall-Covering, Flashing & Trim: Damaged Wall-Covering Material
- ✔ 4.3.2 Exterior - Wall-Covering, Flashing & Trim: Inadequate Ground Clearance
- ⊖ 4.5.1 Exterior - GFCIs & Electrical: GFCI Wouldn't Reset
- ⊖ 4.7.1 Exterior - Stairs, Steps, Stoops, Stairways & Ramps: Damage at Step
- ✔ 4.7.2 Exterior - Stairs, Steps, Stoops, Stairways & Ramps: Slippery Steps
- ⊖ 4.8.1 Exterior - Porches, Patios, Decks, Balconies & Carports: Deteriorated Condition at Deck
- ⊖ 4.8.2 Exterior - Porches, Patios, Decks, Balconies & Carports: Deck - Flashing Defect
- ⊖ 4.8.3 Exterior - Porches, Patios, Decks, Balconies & Carports: Deck - Wood Rot
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- 🔧 6.1.1 Heating - Heating System Information: Heating System Did Not Operate
- ⊖ 7.1.1 Cooling - Cooling System Information: Cooling System Did Not Operate
- ⊖ 8.3.1 Plumbing - Hot Water Source: Corrosion
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- ⊖ 9.5.3 Electrical - Panelboards & Breakers: Subpanel Grounds Neutrals Not Separated
- ⊖ 9.5.4 Electrical - Panelboards & Breakers: Subpanel Not Supplied with 4 Conductors
- ⊖ 9.7.1 Electrical - AFCIs: Missing AFCI
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- ⊖ 9.7.3 Electrical - AFCIs: Missing AFCI Protection in Dining & Living Rooms
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# 1: ROOF

## Information

### Roof Covering: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

### Roof Covering: Type of Roof-Covering Described

Flat Roof Material, Roll Roof

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.

### Roof Covering: Roof Was Inspected

Roof

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder.

The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

### Flashing: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



### Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof).

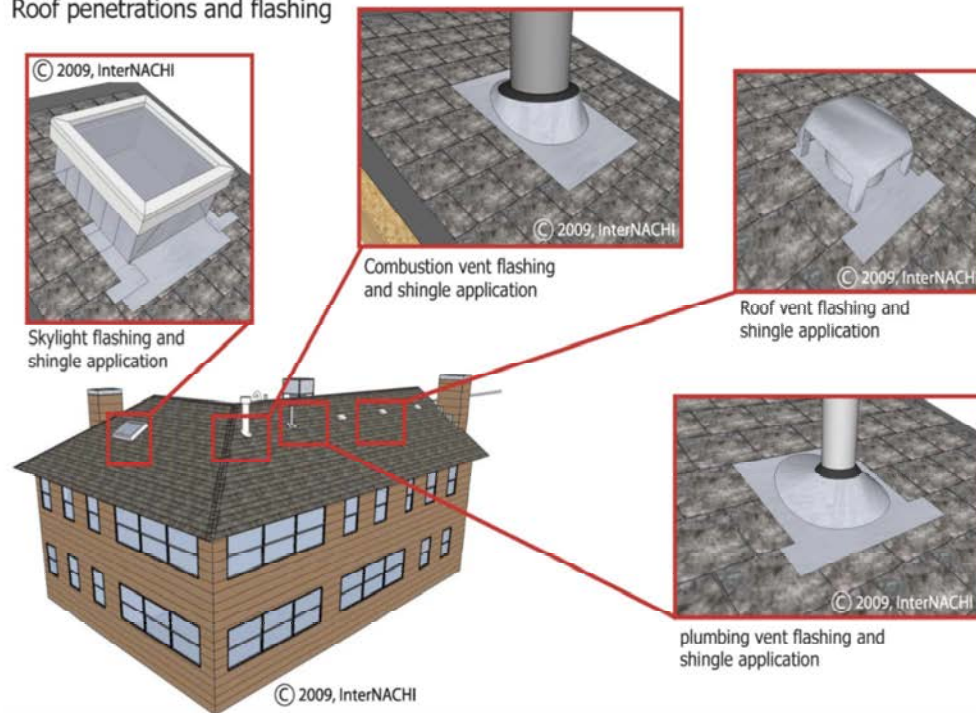
There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

## Plumbing Vent Pipes: Homeowner's Responsibility

Your job is to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

### Roof penetrations and flashing



## Plumbing Vent Pipes: Plumbing Vent Pipes Inspected

I looked at DWV (drain, waste and vent) pipes that pass through the roof covering. There should be watertight flashing (often black rubber material) installed around the vent pipes. These plumbing vent pipes should extend far enough above the roof surface.

## Gutters & Downspouts: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted far away from the house foundation.

## Limitations

### Flashing

#### DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

## Recommendations

### 1.1.1 Roof Covering

#### CRACKED AND DAMAGED ROOF COVERING



Major Defect



I observed areas of cracked/splitting and damaged roof-covering materials. This is a major defect. Prone to water leaking into the house. I recommend that a qualified roofing contractor to further evaluate and make repairs to the roof system,.

Recommendation

Contact a qualified roofing professional.



1.1.2 Roof Covering

**TREE TOO CLOSE**

I observed indications that a tree and or tree branch where overhanging the roof and maybe in contact with it.

Recommendation

Contact a qualified tree service company.



1.1.3 Roof Covering

**OLD SYSTEM**



I observed during my inspection that the system appeared to be old and at the end of its service life. It may not be reliable. Ask the homeowner or occupant about its recent performance. Regular maintenance and monitoring of its condition is recommended. Budgeting for repairs and future replacement is recommended. [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#)

Recommendation

Recommend monitoring.

### 1.3.1 Plumbing Vent Pipes

 Major Defect

#### **VENT PIPE FLASHING MATERIAL WAS CRACKED**

The rubber membrane flashing material around the vent pipe was cracked and damaged. This is prone to water penetration. Defect. Correction and further evaluation is recommended.

Recommendation

Contact a qualified roofing professional.



### 1.4.1 Gutters & Downspouts

 Minor Defect

#### **DOWNSPOUTS DRAIN NEAR HOUSE**

SOUTH

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation. A handy homeowner should be able to do this project.

Recommendation

Recommended DIY Project



## 2: SECONDARY ROOF

### Information

#### Roof Covering: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

#### Roof Covering: Type of Roof-Covering Described

Flat Roof Material, Roll Roof

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.

#### Roof Covering: Roof Was Inspected

Roof

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder.

The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

#### Flashing: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



#### Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof).

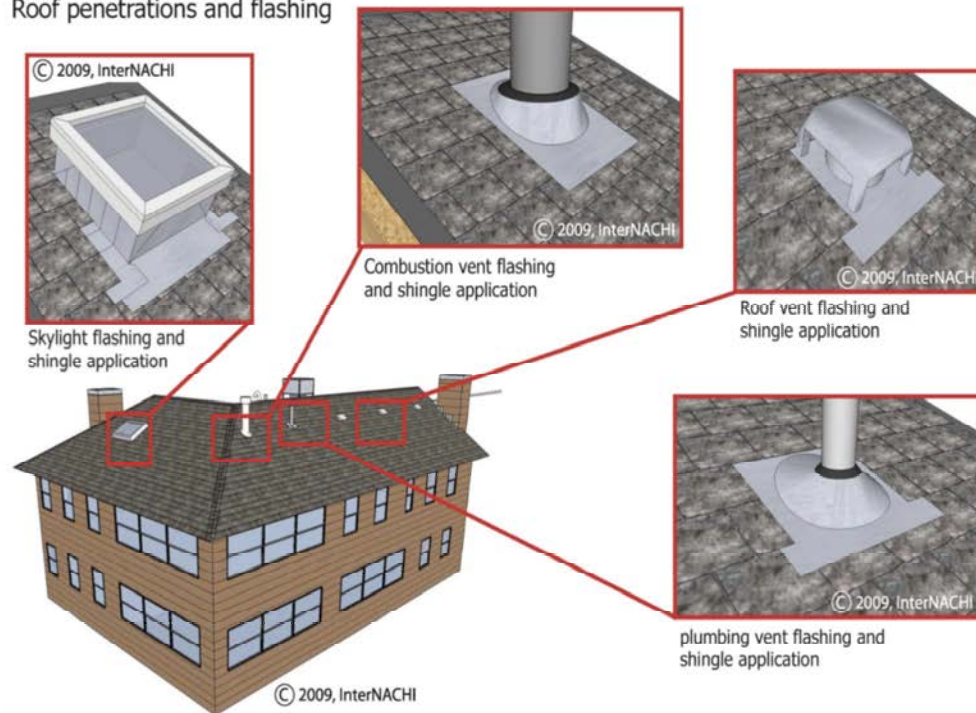
There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

## Plumbing Vent Pipes: Homeowner's Responsibility

Your job is to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

### Roof penetrations and flashing



## Gutters & Downspouts: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted far away from the house foundation.

## Limitations

### Flashing

#### DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

## Recommendations

### 2.1.1 Roof Covering

#### CRACKED AND DAMAGED ROOF COVERING

 Major Defect

I observed areas of cracked/splitting and damaged roof-covering materials. This is a major defect. Prone to water leaking into the house. I recommend that a qualified roofing contractor to further evaluate and make repairs to the roof system,.

#### Recommendation

Contact a qualified roofing professional.

## 2.1.2 Roof Covering

**TREE TOO CLOSE**

I observed indications that a tree and or tree branch where overhanging the roof and maybe in contact with it.

## Recommendation

Contact a qualified tree service company.



## 2.1.3 Roof Covering

**OLD SYSTEM**

I observed during my inspection that the system appeared to be old and at the end of its service life. It may not be reliable. Ask the homeowner or occupant about its recent performance. Regular maintenance and monitoring of its condition is recommended. Budgeting for repairs and future replacement is recommended. [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#)

## Recommendation

Recommend monitoring.



2.2.1 Flashing

**CORRODED - MINOR**

Major Defect

Roof flashing showed signs of corrosion, but seemed not be a major defect. Flashing should be monitored to prevent severe corrosion leading to moisture intrusion.

Recommendation

Contact a qualified roofing professional.

2.4.1 Gutters & Downspouts

**DEBRIS IN GUTTERS**

Minor Defect

I observed debris in the gutter. Cleaning and maintenance is recommended.

Recommendation

Contact a qualified gutter contractor



## 2.4.2 Gutters &amp; Downspouts

 Major Defect**GUTTER DAMAGED**

I observed damage to the gutter. This is a defect that should be corrected by a professional contractor.

Recommendation

Contact a qualified gutter contractor



## 2.4.3 Gutters &amp; Downspouts

 Minor Defect**DIVERTER TRAYS NEED ADJUSTED**

I observed indications that the water diverter tray or splash block at the downspout end needed improvement. Easy to do.

Recommendation

Recommended DIY Project





#### 2.4.4 Gutters & Downspouts

### **DOWNSPOUTS DRAIN NEAR HOUSE**

 Minor Defect

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation. A handy homeowner should be able to do this project.

Recommendation

Recommended DIY Project



# 3: INSPECTION DETAIL

## Information

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**General Inspection Info:  
Occupancy**

Occupied, Furnished

**General Inspection Info: Weather  
Conditions**

Sunny, Warm

**General Inspection Info: Type of  
Building**

Multi-Family

Dwelling being inspected is part of a duplex

**General Inspection Info: In Attendance**

Just the Inspector

I prefer to have my client with me during my inspection so that we can discuss concerns, and I can answer all questions.

## Your Job As a Homeowner: What Really Matters in a Home Inspection

Now that you've bought your home and had your inspection, you may still have some questions about your new house and the items revealed in your report.

Home maintenance is a primary responsibility for every homeowner, whether you've lived in several homes of your own or have just purchased your first one. Staying on top of a seasonal home maintenance schedule is important, and your InterNACHI Certified Professional Inspector can help you figure this out so that you never fall behind. Don't let minor maintenance and routine repairs turn into expensive disasters later due to neglect or simply because you aren't sure what needs to be done and when.

Your home inspection report is a great place to start. In addition to the written report, checklists, photos, and what the inspector said during the inspection not to mention the sellers disclosure and what you noticed yourself it's easy to become overwhelmed. However, it's likely that your inspection report included mostly maintenance recommendations, the life expectancy for the home's various systems and components, and minor imperfections. These are useful to know about.

### But the issues that really matter fall into four categories:

1. major defects, such as a structural failure;
2. things that can lead to major defects, such as a small leak due to a defective roof flashing;
3. things that may hinder your ability to finance, legally occupy, or insure the home if not rectified immediately; and
4. safety hazards, such as an exposed, live buss bar at the electrical panel.

Anything in these categories should be addressed as soon as possible. Often, a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. It's important to realize that sellers are under no obligation to repair everything mentioned in your inspection report. No house is perfect. Keep things in perspective as you move into your new home.

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call on your InterNACHI Certified Professional Inspector to help you devise an annual maintenance plan that will keep your family safe and your home in good condition for years to come.

## What Really Matters in a Home Inspection



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## Your Job As a Homeowner: Read Your Book



I have provided you a home maintenance book. It includes information on how your home works, how to maintain it, and how to save energy. Please write my contact information within the book's inside cover, so that you can always contact me.

**We're neighbors!** So, feel free to reach out whenever you have a house question or issue.

**Draft: Read Your Book**



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## Your Job As a Homeowner: Schedule a Home Maintenance Inspection



Even the most vigilant homeowner can, from time to time, miss small problems or forget about performing some routine home repairs and seasonal maintenance. That's why an Annual Home Maintenance Inspection will help you keep your home in good condition and prevent it from suffering serious, long-term and expensive damage from minor issues that should be addressed now.

The most important thing to understand as a new homeowner is that your house requires care and regular maintenance. As time goes on, parts of your house will wear out, break down, deteriorate, leak, or simply stop working. But none of these issues means that you will have a costly disaster on your hands if you're on top of home maintenance, and that includes hiring an expert once a year.

Just as you regularly maintain your vehicle, consider getting an Annual Home Maintenance Inspection as part of the cost of upkeep for your most valuable investment your home.

Your InterNACHI-Certified Professional Inspector can show you what you should look for so that you can be an informed homeowner. Protect your family's health and safety, and enjoy your home for years to come by having an Annual Home Maintenance Inspection performed every year.

**Schedule next year's maintenance inspection** with your home inspector today!

Every house should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

Draft: Home Maintenance Inspection



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## We'll Buy Your Home Back



**If your home inspector misses anything, InterNACHI will buy your home back.**

And now for the fine print:

- It's valid for home inspections performed for home buyers or sellers by participating InterNACHI members.
- The home must be listed for sale with a licensed real estate agent.
- The Guarantee excludes homes with material defects not present at the time of the inspection, or not required to be inspected, per InterNACHI's Residential Standards of Practice.
- The Guarantee will be honored for 90 days after closing.
- We'll pay you whatever price you paid for the home.

Joe Theismann for InterNACHI's Buy Back Guarant...



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## We'll Buy Your Home Guarantee



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For more information, please visit [www.nachi.org/buy](http://www.nachi.org/buy).

### Details



InterNACHI is so certain of the integrity of our members that we back them up with our **\$10,000 Honor Guarantee**.

InterNACHI will pay up to \$10,000 USD for the cost of replacement of personal property lost during an inspection and stolen by an InterNACHI-certified member who was convicted of or pleaded guilty to any criminal charge resulting from the member's taking of the client's personal property.

For details, please visit [www.nachi.org/honor](http://www.nachi.org/honor).

## Limitations

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General Inspection Info

### **THE CLIENT DID NOT ATTEND**

## Draft: Client Did Not Attend



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We invited the client to attend their home inspection. Unfortunately, my client did not attend the home inspection. The client did not learn what the home inspector desired to teach the client about the house. The client was unable to follow the home inspector through the house and ask questions during the inspection. The client's concerns at the time of the inspection were not addressed. This was a restriction and limitation of the home inspection.



## 4: EXTERIOR

### Information

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#### **General: Exterior Was Inspected**    **Exterior Doors: Exterior Doors**

I inspected the exterior of the house.

#### **Inspected**

I inspected the exterior doors.

#### **General: Homeowner's Responsibility**

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

#### **Eaves, Soffits & Fascia: Eaves, Soffits and Fascia Were Inspected**

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, since a home inspection is limited in its scope.

#### **Wall-Covering, Flashing & Trim: Type of Wall-Covering Material Described**

Vinyl

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the house's exterior for its condition and weathertightness.

Check the condition of all exterior wall-covering materials and look for developing patterns of damage or deterioration.

#### **Vegetation, Surface Drainage, Retaining Walls & Grading: Vegetation, Drainage, Walls & Grading Were Inspected**

I inspected the vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

#### **GFCIs & Electrical: Inspected GFCIs**

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

#### **Walkways & Driveways: Walkways & Driveways Were Inspected**

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.

#### **Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected**

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread of 10 inches.

### **Porches, Patios, Decks, Balconies & Carports: Porches, Patios, Decks, Balconies & Carports Were Inspected**

I inspected the porches, patios, decks, balconies and carports at the house that were within the scope of the home inspection.

### **Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected**

I inspected the railings, guards and handrails that were within the scope of the home inspection.

### **Windows: Windows Inspected**

A representative number of windows from the ground surface was inspected.

## **Limitations**

Wall-Covering, Flashing & Trim

### **INSPECTION WAS RESTRICTED**

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

## **Recommendations**

4.3.1 Wall-Covering, Flashing & Trim

### **DAMAGED WALL-COVERING MATERIAL**

I observed indications of a defect at the exterior wall-covering material.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified professional.



## 4.3.2 Wall-Covering, Flashing &amp; Trim

 Minor Defect
**INADEQUATE GROUND CLEARANCE**

I checked the distance between the bottom of wood components and the ground surface (or grade). In locations that have little or no snow, the distance should be no less than 8 inches. In locations with significant lasting snow, the bottom of wood elements should be no less than 8 inches above the average snow depth.

Correction and further evaluation is recommended.

## Recommendation

Contact a qualified siding specialist.



## 4.5.1 GFCIs &amp; Electrical

 Major Defect
**GFCI WOULDN'T RESET**

The tested GFCI would not reset.

## Recommendation

Contact a qualified electrical contractor.

## 4.7.1 Stairs, Steps, Stoops, Stairways &amp; Ramps

 Major Defect
**DAMAGE AT STEP**

I observed a damage at a step. This condition is a safety hazard.

Correction and further evaluation is recommended.

## Recommendation

Contact a qualified general contractor.

## 4.7.2 Stairs, Steps, Stoops, Stairways &amp; Ramps

 Minor Defect
**SLIPPERY STEPS**

I observed indications at the stair treads or steps are slippery.

Recommendation  
Contact a qualified professional.

4.8.1 Porches, Patios, Decks, Balconies & Carports

 Major Defect

**DETERIORATED CONDITION AT DECK**

I observed indications of deteriorated conditions at the deck componentson the day of inspection.

Recommendation  
Contact a qualified carpenter.



4.8.2 Porches, Patios, Decks, Balconies & Carports

 Major Defect

**DECK - FLASHING DEFECT**

SOUTH DECKING

I observed indications of a flashing defect. This flashing problem may allow water to enter into the wall cavity or building components.

Recommendation  
Contact a qualified deck contractor.





#### 4.8.3 Porches, Patios, Decks, Balconies & Carports

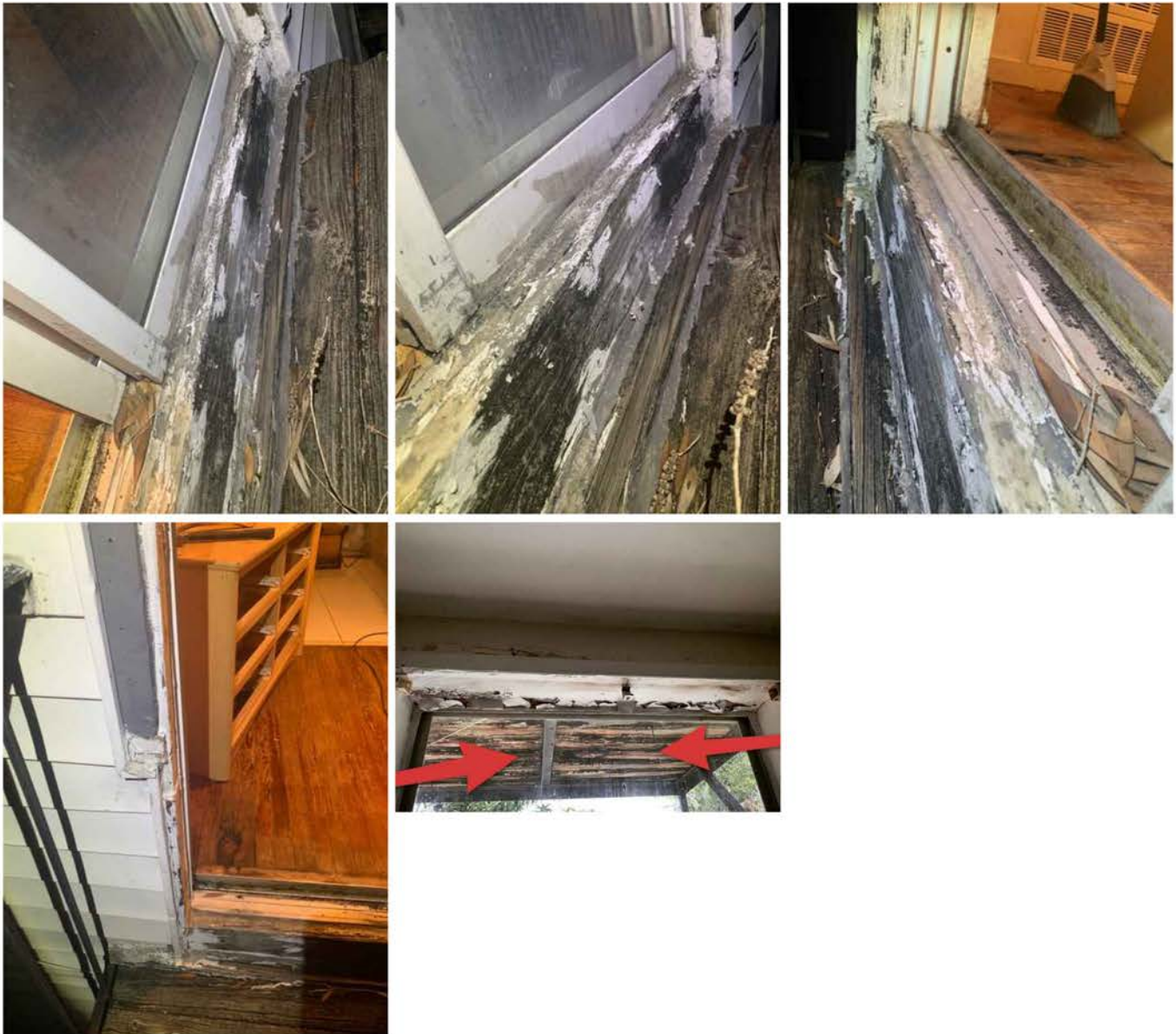
### **DECK - WOOD ROT**

I observed wood rot at the deck. This condition is a structural defect. Correction and further evaluation of the deck is recommended.

#### Recommendation

Contact a qualified deck contractor.





4.10.1 Windows

**WOOD ROT AT WINDOW**

I observed indications of wood rot at the window.  
Correction and further evaluation is recommended.

Recommendation

Contact a qualified handyman.

 Major Defect

4.10.2 Windows

**DAMAGED WINDOW SCREEN**

I observed a damaged window screen.

Correction and further evaluation is recommended.

 Minor Defect

Recommendation

Contact a qualified handyman.

# 5: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

## Information

**Basement: Type of Basement Foundation Described**  
Concrete

**Insulation in Foundation/Basement Area: Type of Insulation Observed**  
None

**Ventilation in Foundation/Basement Area: Insulation Type**  
None

**Basement: Foundation Was Inspected**

The foundation was inspected according to the [Home Inspection Standards of Practice](#).

**Basement: Structural Components Were Inspected**

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.

**Insulation in Foundation/Basement Area: Approximate Average Depth of Insulation**

None

Determining how much insulation should be installed in a house depends upon where a home is located. proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of

**Ventilation in Foundation/Basement Area: Attic Insulation Thickness**

None

Determining how much insulation should be installed in a house depends upon where a home is located. proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of

## Recommendations

5.1.1 Basement

**ACTIVE WATER PENETRATION OBSERVED**



SOUTHWEST

I observed indications of active water penetration into the house on SouthWest corner on small room. Correction and further evaluation is recommended.

Recommendation

Contact a qualified professional.



## 6: HEATING

### Information

**Heating System Information:**  
**Energy Source**  
 Electric

**Heating System Information:**  
**Heating Method**  
 Warm-Air Heating System

**Thermostat and Normal  
 Operating Controls: Thermostat  
 Location**  
 Living room

#### Heating System Information: Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

**It's your job** to get the HVAC system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

#### Thermostat and Normal Operating Controls: Service Switch Inspected

I observed a service switch. I inspected it. It worked when I used it during my inspection.

### Recommendations

#### 6.1.1 Heating System Information

#### **HEATING SYSTEM DID NOT OPERATE**



I observed that the heating system did not operate. Correction and further evaluation is recommended.

#### Recommendation

Contact a qualified HVAC professional.

## 7: COOLING

### Information

#### Cooling System Information: Service Disconnect Inspected

I observed a service disconnect within sight of the cooling system.

#### Thermostat and Normal Operating Controls: Thermostat Location

Living room

#### Cooling System Information: Homeowner's Responsibility

Most air-conditioning systems in houses are relatively simple in design and operation. The adequacy of the cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

**It's your job** to get the air conditioning system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

#### Thermostat and Normal Operating Controls: Service Switch Inspected

I observed a service switch. I inspected it. It worked when I used it during my inspection.

### Recommendations

#### 7.1.1 Cooling System Information

#### **COOLING SYSTEM DID NOT OPERATE**



Major Defect

I observed that the heating system did not operate. Unit energized and was blowing warm air however, at no point did the HVAC produce cold air. Correction and further evaluation is recommended.

#### Recommendation

Contact a qualified HVAC professional.

# 8: PLUMBING

## Information

---

<b>Main Water Shut-Off Valve:</b>	<b>Hot Water Source: Inspected TPR</b>
<b>Location of Main Shut-Off Valve</b>	<b>Valve</b>
Outside of House	I inspected the temperature and pressure relief valve.

### **Main Water Shut-Off Valve: Homeowner's Responsibility**

**It's your job** to know where the main water and fuel shutoff valves are located. And be sure to keep an eye out for any water and plumbing leaks.

### **Water Supply : Water Supply Is Public**

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

### **Hot Water Source: Type of Hot Water Source**

Electric Hot Water Tank

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.

### **Hot Water Source: Inspected Hot Water Source**

I inspected the hot water source and equipment according to the [Home Inspection Standards of Practice](#).

### **Water Supply & Distribution Systems: Inspected Water Supply & Distribution Pipes**

I attempted to inspect the water supply and distribution pipes (plumbing pipes). Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water supply, problems with water supply, and water leaks in the past.

## Limitations

---

Drain, Waste, & Vent Systems

### **NOT ALL PIPES WERE INSPECTED**

The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls.

Water Supply & Distribution Systems

### **NOT ALL PIPES WERE INSPECTED**

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.

## Recommendations

---

8.3.1 Hot Water Source



**CORROSION**

I observed corrosion at the hot water source.

Recommendation

Contact a qualified plumbing contractor.

# 9: ELECTRICAL

## Information

### Electric Meter & Base: Inspected the Electric Meter & Base

I inspected the electrical electric meter and base.

### Service-Entrance Conductors: Inspected Service-Entrance Conductors

I inspected the electrical service-entrance conductors.

### Main Service Disconnect: Inspected Main Service Disconnect

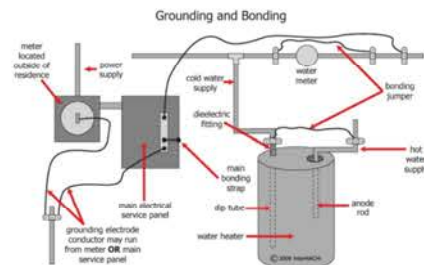
I inspected the electrical main service disconnect.

### Electrical Wiring: Type of Wiring, If Visible

NM-B (Romex)

### Service Grounding & Bonding: Inspected the Service Grounding & Bonding

I inspected the electrical service grounding and bonding.



### Main Service Disconnect: Homeowner's Responsibility

**It's your job** to know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but more than that, you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

### Main Service Disconnect: Main Disconnect Rating, If Labeled

200

I observed indications of the main service disconnect's amperage rating. It was labeled.

### Panelboards & Breakers: Inspected Main Panelboard & Breakers

I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).

### Panelboards & Breakers: Inspected Subpanel & Breakers

I inspected the electrical subpanel and over-current protection devices (circuit breakers and fuses).

### AFCIs: Inspected AFCIs

I inspected receptacles observed that were deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible.

### GFCIs: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

## Limitations

### Electrical Wiring

#### UNABLE TO INSPECT ALL OF THE WIRING

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

### AFCIs

#### UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the AFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

## Recommendations

### 9.5.1 Panelboards & Breakers



#### AMPACITY / OVERFUSING PROBLEM

I observed indications of an ampacity problem, where there was a large-sized breaker connected to small-gauge wire. Hazard. 30 amp breaker utilizing 14 AWG wiring on two circuit breakers, significantly undersized conductor which is a potential safety hazard. Additionally, two conductors are exposed and not fully seated in the double pole breaker. I also discovered a 20 amp breaker with a 14 AWG conductor, which is potentially undersized. Recommend an evaluation and correction by a electrical contractor.

#### Recommendation

Contact a qualified electrical contractor.



30 amp breaker utilizing 14 AWG wiring on two circuit breakers, significantly undersized conductor which is a potential safety hazard.

30 amp breaker utilizing 14 AWG wiring on two circuit breakers, significantly undersized conductor which is a potential safety hazard. Two conductors are exposed and not fully seated in the double pole breaker.

I discovered a 20 amp breaker with a 14 AWG conductor, which is potentially undersized.

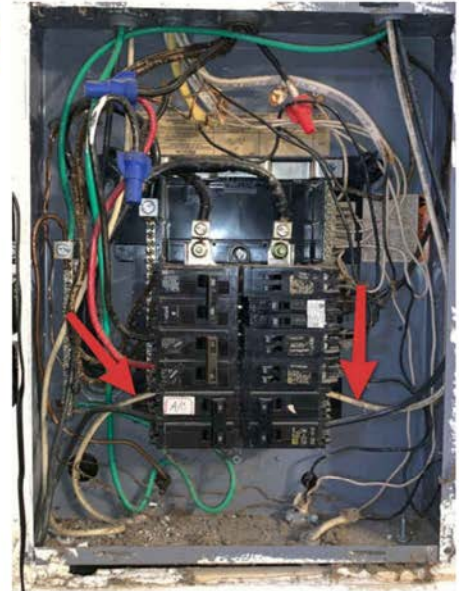
## 9.5.2 Panelboards &amp; Breakers

**NEUTRAL WHITE WIRE CONNECTED TO BREAKER**
 Major Defect

I observed indications of a neutral white-color wire that was connected to a breaker and was not properly re-identified. This is not permitted. Potentially hazardous.

## Recommendation

Contact a qualified electrical contractor.



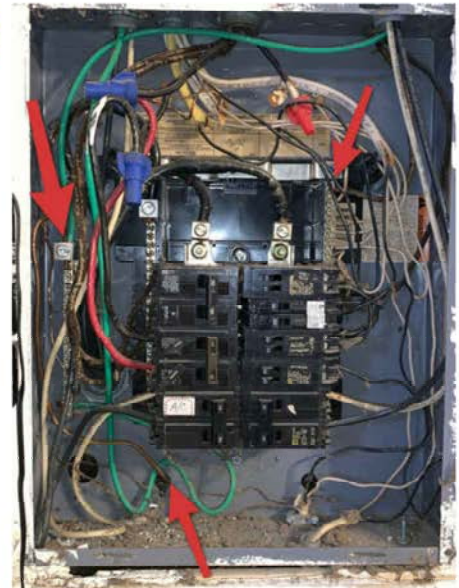
## 9.5.3 Panelboards &amp; Breakers

**SUBPANEL GROUNDS NEUTRALS NOT SEPARATED**
 Major Defect

I observed that the grounds and neutrals (white) at the subpanel, are not isolated (separated). In case of a surge of energy, the electrons need to flow to the ground. If ground and neutral are bonded, the electrons will not flow to the earth however, it will flow through the neutral (white), through the homes circuitry and potentially damage anything plugged into the receptacles. This is a defect and requires to be corrected by an electrical contractor.

## Recommendation

Contact a qualified electrical contractor.



Earth ground is also touching the box.

## 9.5.4 Panelboards &amp; Breakers

**SUBPANEL NOT SUPPLIED WITH 4 CONDUCTORS**
 Major Defect

I observed that the subpanel was not supplied with 4 conductors.

Subpanels must be supplied with 4 conductors with the grounds and neutrals being isolated at the subpanel.

## Recommendation

Contact a qualified electrical contractor.

## 9.7.1 AFCIs

 Major Defect**MISSING AFCI**

I observed indications that an AFCI is missing in an area that is required to keep the house safe.

## Recommendation

Contact a qualified electrical contractor.

---

## 9.7.2 AFCIs

 Major Defect**MISSING AFCI IN KITCHEN**

I observed missing AFCI protection for receptacle outlets located in the kitchen.

(Kitchen counter receptacles must be GFCI protected. AFCIs are different.)

## Recommendation

Contact a qualified electrical contractor.

---

## 9.7.3 AFCIs

 Major Defect**MISSING AFCI PROTECTION IN DINING & LIVING ROOMS**

I observed missing AFCI protection for receptacles in the dining and living rooms.

## Recommendation

Contact a qualified electrical contractor.

---

## 9.7.4 AFCIs

 Major Defect**MISSING AFCI PROTECTION AT BEDROOMS**

I observed missing AFCI protection for receptacles in the bedrooms.

## Recommendation

Contact a qualified electrical contractor.

---

## 9.8.1 GFCIs

 Major Defect**MISSING GFCI**

I observed indications that a GFCI is missing in bathroom.

## Recommendation

Contact a qualified electrical contractor.

---

## 9.8.2 GFCIs

 Major Defect**GFCI DEFECT**

I observed indications of a defect at a GFCI, in the kitchen.

## Recommendation

Contact a qualified electrical contractor.

---



# 10: ATTIC, INSULATION & VENTILATION

## Information

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### Insulation in Attic: Type of Insulation Observed

Blown in Insulation

### Structural Components & Observations in Attic: Structural Components Were Inspected

Structural components were inspected from the attic space according to the [Home Inspection Standards of Practice](#).

### Insulation in Attic: Approximate Average Depth of Insulation

insulation thickness varied greatly

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes.

### Ventilation in Attic: Ventilation Inspected

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected for mechanical exhaust systems.

I report as in need of correction the general absence of ventilation in unfinished spaces.

## Limitations

---

Structural Components & Observations in Attic

### COULD NOT SEE EVERYTHING IN ATTIC

I could not see and inspect everything in the attic space. The access is restricted and my inspection is limited.

## Recommendations

---

10.1.1 Structural Components & Observations in Attic



Major Defect

### PRIOR WATER PENETRATION OBSERVED

I observed indications that sometime in the past there was water penetration or intrusion into the attic. Water marks were observed. Correction and further evaluation is recommended.

Recommendation

Recommend monitoring.



#### 10.1.2 Structural Components & Observations in Attic

### **MISSING LIGHTING FOR ATTIC STORAGE**

I observed a lack of lighting for the attic storage area.

Areas used for storage require a switched lighting outlet.

Recommendation

Contact a qualified electrical contractor.



#### 10.2.1 Insulation in Attic

### **INSULATION COMPRESSED BY STEPS**



I observed indications that the insulation in the attic was stepped upon. The insulation in those areas are compressed. The insulation is not as thick and not performing as expected. Adding insulation in these areas is recommend.

Recommendation

Contact a qualified insulation contractor.



#### 10.2.2 Insulation in Attic

### **ATTIC ACCESS LACKS INSULATION**



I observed indications that the access to the attic was not insulated and sealed properly. This condition will create a heat/energy loss area. Adding insulation and air sealing at the attic access is recommended.

Recommendation

Recommended DIY Project

#### 10.2.3 Insulation in Attic

### **ADDITIONAL INSULATION RECOMMENDED**



I recommend air sealing and adding insulation to the areas that need more insulation.

Recommendation

Contact a qualified insulation contractor.

10.2.4 Insulation in Attic

**GENERAL ABSENCE OF INSULATION**

Major Defect

I observed indications of the general absence of insulation in the unfinished attic area.

Recommendation

Contact a qualified insulation contractor.

10.3.1 Ventilation in Attic

**ATTIC VENTILATION INSUFFICIENT**

Major Defect

Attic venting was insufficient at time of inspection. Modern standards recommend 1.5 square feet of venting area for every 300 square feet of attic floor space. Recommend an attic contractor evaluate and remedy.

Recommendation

Contact a qualified professional.



10.3.2 Ventilation in Attic

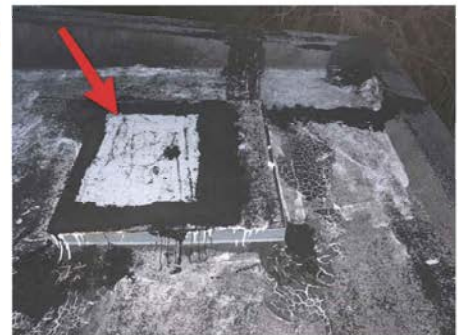
**WHOLE HOUSE FAN NOT PRESENT**

Major Defect

Whole house fan was not present at time of inspection. Recommend a qualified roofer to evaluate and repair.

Recommendation

Contact a qualified professional.



# 11: BATHROOMS

## Information

### Bathroom Toilets: Toilets Inspected

I flushed all of the toilets.

### Sinks, Tubs & Showers: Ran Water at Sinks, Tubs & Showers

I ran water at all bathroom sinks, bathtubs, and showers. I inspected for deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously.

### GFCI & Electric in Bathroom: GFCI-Protection Tested

I inspected the GFCI-protection at the receptacle near the bathroom sink by pushing the test button at the GFCI device or using a GFCI testing instrument.

All receptacles in the bathroom must be GFCI protected.

## Recommendations

### 11.1.1 Bathroom Toilets

#### TOILET DID NOT FLUSH

HALF BATH

I observed that the half bath toilet did not flush as expected. Recommend a further evaluation by a plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



### 11.1.2 Bathroom Toilets

#### NOISY BATHROOM FAN

Discovered bathroom fan to be extra noisy, Potentially due to age, or moisture exposure to induction motor windings. A further evaluation is required. No moisture was present at the time of inspection. Recommend to monitor bathroom while raining.

Recommendation

Contact a qualified professional.



### 11.2.1 Sinks, Tubs & Showers

#### INADEQUATE WATER DRAINAGE

FULL BATHROOM

I observed indications of a defect in the water drainage by viewing the functional flow of bathtub and bathroom sink only, operated individual. Possible drain restrictions.

Recommendation

Contact a qualified plumbing contractor.



## 11.3.1 Bathroom Exhaust Fan / Window

**IMPROPERLY EXHAUSTING**

HALF BATH

I observed that the bathroom fan is improperly exhausting air from the bathroom.

Exhaust air from bathrooms, toilet rooms, water closet compartments, and other similar rooms shall not be:

- exhausted into an attic, soffit, ridge vent, crawlspace, or other areas inside the building; or
- recirculated within a residence or to another dwelling unit.

Recommendation

Contact a qualified general contractor.

## 11.3.2 Bathroom Exhaust Fan / Window

**MISSING FAN**

FULL BATHROOM

I observed that the bathroom does not have a mechanical exhaust fan installed.

Regardless of what kind of ventilation system may be installed for the rest of the house, exhaust fans are recommended in the bathrooms to remove excess moisture, cleaning chemical fumes, etc. The fan should be ducted to exhaust outside of the home.

Recommendation

Contact a qualified general contractor.

## 11.4.1 GFCI &amp; Electric in Bathroom

**MISSING GFCI RECEPTACLE WITHIN 3' OF SINK**

I observed that there was no GFCI receptacle within 3 feet of the bathroom sink. This is a requirement. Receptacle must be GFCI protected and a standard receptacle.

Recommendation

Contact a qualified electrical contractor.

# 12: DOORS, WINDOWS & INTERIOR

## Information

### Doors: Doors Inspected

I inspected a representative number of doors according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate door locks and door stops, which is beyond the scope of a home inspection.

### Windows: Windows Inspected

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.

### Switches, Fixtures & Receptacles: Inspected a Switches, Fixtures & Receptacles

I inspected a representative number of switches, lighting fixtures and receptacles.

### Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).

### Presence of Smoke and CO Detectors: Inspected for Presence of Smoke and CO Detectors

I inspected for the presence of smoke and carbon-monoxide detectors.

There should be a smoke detector in every sleeping room, outside of every sleeping room, and one every level of a house.

## Limitations

Presence of Smoke and CO Detectors

### UNABLE TO TEST EVERY DETECTOR

I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

## Recommendations

12.1.1 Doors

### ENERGY LOSS AT FRONT DOOR

NORTH

Discovered energy loss at the base of the front door.

Recommendation

Contact a qualified professional.



## 12.2.1 Windows

**CRACKED GLASS**

KITCHEN

I observed cracked windowpane glass. Hazardous.

Recommendation

Contact a qualified window repair/installation contractor.



## 12.2.2 Windows

**WINDOW WOULD NOT STAY OPEN**

NORTH BEDROOM

I observed a window that would not stay open. It kept falling down. Hazardous condition.

Recommendation

Contact a qualified window repair/installation contractor.



## 12.3.1 Switches, Fixtures &amp; Receptacles

**LOOSE RECEPTACLE**

I observed indications of a loosely connected receptacle. Not secured to the wall. Defect.

Recommendation

Contact a qualified electrical contractor.



## 12.3.2 Switches, Fixtures &amp; Receptacles

**MISSING GROUND AT RECEPTACLE**

I observed indications of a missing, open, or disconnected ground at a receptacle. Hazard.

Recommendation

Contact a qualified electrical contractor.



## 12.3.3 Switches, Fixtures &amp; Receptacles

**COVER PLATES MISSING OR DAMAGED**

I observed one or more wall receptacles with a missing or damaged cover plate.

Recommendation

Contact a qualified electrical contractor.



## 12.4.1 Floors, Walls, Ceilings

**MAJOR CORNER CRACKS**

I observed major cracks on ceilings. Some settling is not unusual in a home of this age however, these cracks may be a structural concern due to the type of structural displacement visible. Recommend a further assessment by a structural engineer.

Recommendation

Contact a qualified structural engineer.





12.4.2 Floors, Walls, Ceilings

**MINOR CORNER CRACKS**

 Minor Defect

Minor cracks at the corners of doors and windows in walls. Appeared to be the result of long-term settling. Some settling is not unusual in a home of this age and these cracks are not a structural concern. Suggest repair.

Recommendation

Contact a qualified professional.



12.4.3 Floors, Walls, Ceilings

**MOISTURE DAMAGE**

 Major Defect

Stains on the walls visible at the time of the inspection appeared to be the result of moisture intrusion. The source of moisture may have not been corrected due to active water in ceiling via an infrared image of the stain. Recommend further examination by a qualified contractor to provide confirmation.

Recommendation

Contact a qualified professional.





12.4.4 Floors, Walls, Ceilings

Major Defect

**POSSIBLE MOLD**

There are possible signs of fungi growth on ceiling. It is unknown if this is a safety hazard. Moisture was over 55%, which is conducive to mold growth.

Stains on the ceiling appear to be the result of roof leaks. The source of leakage was identified from differed maintenance, improper sliding door installation on second floor, as well as missing flashing around the sliding door. It also appears caulking was used as main protection from water. Caulking should not be first line of defense from water. Sliding door requires to be corrected on second floor, and recommend a qualified mold inspector evaluate ceiling.

Recommendation

Contact a qualified mold inspection professional.



Moisture was over 55%, which is conducive to mold growth.





12.4.5 Floors, Walls, Ceilings

**RECENT ROOF LEAK DAMAGE**

Recommendation

Contact a qualified professional.

Major Defect



Moisture was over 55% around window

12.7.1 Presence of Smoke and CO Detectors

**MISSING SMOKE DETECTOR**

DINING ROOM, KITCHEN AND LIVING ROOM

I observed indications of a missing smoke detector. Hazard.

Recommendation

Contact a qualified professional.

Major Defect

12.7.2 Presence of Smoke and CO Detectors

**MISSING CO DETECTOR**

I observed indications of a missing carbon monoxide detector. Hazard.

Major Defect

Recommendation

Contact a qualified professional.

# 13: LAUNDRY

## Limitations

Clothes Washer

### DID NOT INSPECT

I did not inspect the clothes washer and dryer fully. These appliances are beyond the scope of a home inspection. I did not operate the appliances. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

Clothes Dryer

### DID NOT INSPECT

I did not inspect the clothes washer and dryer fully. These appliances are beyond the scope of a home inspection. I did not operate the appliances. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

## Recommendations

13.1.1 Clothes Washer

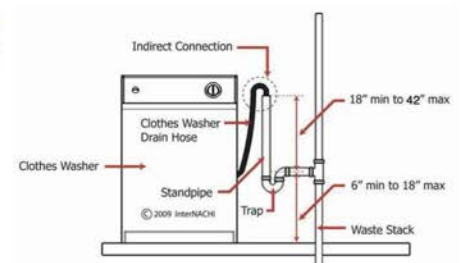
Major Defect

### STAND PIPE DEFECT

I observed a defect at the standpipe at the clothes washer. This issue could cause problems with the clothes washer when its draining and venting.

Recommendation

Contact a qualified plumbing contractor.



Standpipe Configuration

13.3.1 Laundry Room, Electric, and Tub

Major Defect

### MISSING ELECTRIC RECEPTACLE

I observed that there is a missing electric receptacle in the laundry room.

Recommendation

Contact a qualified electrical contractor.

13.3.2 Laundry Room, Electric, and Tub

Minor Defect

### MISSING CATCH PAN UNDER WASHER

I observed that the clothes washer did not have a water leak catch pan. It is recommended.

Recommendation

Recommended DIY Project

# 14: KITCHEN

## Information

---

### **Kitchen Sink: Ran Water at Kitchen Sink**

I ran water at the kitchen sink.

### **GFCI: GFCI Tested**

I observed ground fault circuit interrupter (GFCI) protection in the kitchen.

### **Countertops & Cabinets: Inspected Cabinets & Countertops**

I inspected a representative number of cabinets and countertop surfaces.

### **Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected**

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).

## Recommendations

---

### 14.1.1 Kitchen Sink

#### **IMPROPER DRAINAGE**

 Major Defect

Discovered sink does not draining properly and tends to fill up. Additionally, I discovered water leaking beneath the garbage disposal. A further evaluation and correction is required by a plumber.

Recommendation

Contact a qualified professional.

---

### 14.1.2 Kitchen Sink

#### **DEFECTIVE GARBAGE DISPOSAL**

 Major Defect

I discovered garbage disposal humming and not functioning. Additionally, water was leaking beneath the garbage disposal. A further evaluation and correction is required by a plumber or an appliance specialist.

Recommendation

Contact a qualified professional.

---

### 14.2.1 GFCI

#### **GFCI WOULDN'T RESET**

 Major Defect

The tested GFCI would not reset.

Recommendation

Contact a qualified electrical contractor.

---

## 14.3.1 AFCI

 Major Defect**MISSING AFCI PROTECTION**

I observed indications of missing AFCI protection in the kitchen.

All wall kitchen receptacles should be AFCI protected. Kitchen counter receptacles should be GFCI protected.

Recommendation

Contact a qualified electrical contractor.

## 14.4.1 Countertops &amp; Cabinets

 Minor Defect**CABINET HINGE LOOSE**

CENTER, UPPER KITCHEN CABINET DOOR

I observed a loose cabinet door and hinge.

Recommendation

Recommended DIY Project

## 14.4.2 Countertops &amp; Cabinets

 Major Defect**DAMAGED CABINET**

I observed damage at the island kitchen cabinet.

Recommendation

Contact a qualified cabinet contractor.

## 14.4.3 Countertops &amp; Cabinets

 Major Defect**DAMAGED BACK SPLASH**

Discovered damaged backsplash around window. Note, ceiling and window has had water damage. A further assessment is required

Recommendation

Contact a qualified professional.

## 14.5.1 Floors, Walls, Ceilings

 Major Defect**MOISTURE DAMAGE**

ABOVE KITCHEN WINDOW

Stains on the walls visible at the time of the inspection appeared to be the result of moisture intrusion. The source of moisture may have been corrected. Recommend further examination by a qualified contractor to provide confirmation.

Recommendation

Contact a qualified professional.

## 14.5.2 Floors, Walls, Ceilings

 Major Defect**POSSIBLE MOLD**

ABOVE KITCHEN WINDOW

There are possible signs of fungi growth on ceiling. It is unknown if this is a safety hazard. Recommend a qualified mold inspector evaluate.

Recommendation

Contact a qualified mold inspection professional.

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14.5.3 Floors, Walls, Ceilings

### **RECENT ROOF LEAK DAMAGE**

ABOVE KITCHEN WINDOW

Stains on the ceiling appear to be the result of roof leaks. The source of leakage should be identified and corrected, and the ceiling re-painted.

Recommendation

Contact a qualified professional.

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 Major Defect

14.5.4 Floors, Walls, Ceilings

### **TILES LOOSE**

BELOW KITCHEN WINDOW, BACKSPLASH

Loose tiles are present at time of inspection. Recommend a qualified contractor re-attach and seal.

Recommendation

Contact a qualified handyman.

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 Major Defect

14.5.5 Floors, Walls, Ceilings

### **POOR PATCHING**

ABOVE KITCHEN WINDOW

Sub-standard drywall patching observed at time of inspection. Recommend re-patching.

Recommendation

Contact a qualified drywall contractor.

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 Major Defect

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# STANDARDS OF PRACTICE

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## Roof

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the roof of the house.

Monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

### I. The inspector shall inspect from ground level or the eaves:

1. the roof-covering materials;
2. the gutters;
3. the downspouts;
4. the vents, flashing, skylights, chimney, and other roof penetrations; and
5. the general structure of the roof from the readily accessible panels, doors or stairs.

### II. The inspector shall describe:

1. the type of roof-covering materials.

### III. The inspector shall report as in need of correction:

1. observed indications of active roof leaks.

## Secondary Roof

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the roof of the house.

Monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

### I. The inspector shall inspect from ground level or the eaves:

1. the roof-covering materials;
2. the gutters;
3. the downspouts;
4. the vents, flashing, skylights, chimney, and other roof penetrations; and
5. the general structure of the roof from the readily accessible panels, doors or stairs.

### II. The inspector shall describe:

1. the type of roof-covering materials.

### III. The inspector shall report as in need of correction:

1. observed indications of active roof leaks.

## Inspection Detail

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Please refer to the [Home Inspection Standards of Practice](#) while reading this inspection report. I performed the home inspection according to the standards and my clients wishes and expectations. Please refer to the inspection contract or agreement between the inspector and the inspector's client.

## **Exterior**

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the exterior of the house.

### **I. The inspector shall inspect:**

1. the exterior wall-covering materials;
2. the eaves, soffits and fascia;
3. a representative number of windows;
4. all exterior doors;
5. flashing and trim;
6. adjacent walkways and driveways;
7. stairs, steps, stoops, stairways and ramps;
8. porches, patios, decks, balconies and carports;
9. railings, guards and handrails; and
10. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

### **II. The inspector shall describe:**

1. the type of exterior wall-covering materials.

### **III. The inspector shall report as in need of correction:**

1. any improper spacing between intermediate balusters, spindles and rails.

## **Basement, Foundation, Crawlspace & Structure**

### **I. The inspector shall inspect:**

the foundation;  
the basement;  
the crawlspace; and  
structural components.

### **II. The inspector shall describe:**

the type of foundation; and  
the location of the access to the under-floor space.

### **III. The inspector shall report as in need of correction:**

observed indications of wood in contact with or near soil;  
observed indications of active water penetration;  
observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and  
any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

## **Heating**

### **I. The inspector shall inspect:**

1. the heating system, using normal operating controls.

### **II. The inspector shall describe:**

1. the location of the thermostat for the heating system;
2. the energy source; and
3. the heating method.

**III. The inspector shall report as in need of correction:**

1. any heating system that did not operate; and
2. if the heating system was deemed inaccessible.

**Cooling****I. The inspector shall inspect:**

1. the cooling system, using normal operating controls.

**II. The inspector shall describe:**

1. the location of the thermostat for the cooling system; and
2. the cooling method.

**III. The inspector shall report as in need of correction:**

1. any cooling system that did not operate; and
2. if the cooling system was deemed inaccessible.

**Plumbing****I. The inspector shall inspect:**

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

**II. The inspector shall describe:**

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

**III. The inspector shall report as in need of correction:**

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

**Electrical****I. The inspector shall inspect:**

1. the service drop;
2. the overhead service conductors and attachment point;
3. the service head, gooseneck and drip loops;
4. the service mast, service conduit and raceway;
5. the electric meter and base;

6. service-entrance conductors;
7. the main service disconnect;
8. panelboards and over-current protection devices (circuit breakers and fuses);
9. service grounding and bonding;
10. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
11. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
12. for the presence of smoke and carbon-monoxide detectors.

## II. The inspector shall describe:

1. the main service disconnect's amperage rating, if labeled; and
2. the type of wiring observed.

## III. The inspector shall report as in need of correction:

1. deficiencies in the integrity of the service-entrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
2. any unused circuit-breaker panel opening that was not filled;
3. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
4. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
5. the absence of smoke and/or carbon monoxide detectors.

## Attic, Insulation & Ventilation

### The inspector shall inspect:

insulation in unfinished spaces, including attics, crawlspaces and foundation areas; ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and mechanical exhaust systems in the kitchen, bathrooms and laundry area.

### The inspector shall describe:

the type of insulation observed; and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

### The inspector shall report as in need of correction:

the general absence of insulation or ventilation in unfinished spaces.

## Bathrooms

### The home inspector will inspect:

interior water supply, including all fixtures and faucets, by running the water; all toilets for proper operation by flushing; and all sinks, tubs and showers for functional drainage.

## Doors, Windows & Interior

### The inspector shall inspect:

a representative number of doors and windows by opening and closing them; floors, walls and ceilings; stairs, steps, landings, stairways and ramps; railings, guards and handrails; and garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

### The inspector shall describe:

a garage vehicle door as manually-operated or installed with a garage door opener.

### The inspector shall report as in need of correction:

improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;  
photo-electric safety sensors that did not operate properly; and  
any window that was obviously fogged or displayed other evidence of broken seals.

**Laundry****The inspector shall inspect:**

mechanical exhaust systems in the kitchen, bathrooms and laundry area.

**Kitchen**

The kitchen appliances are not included in the scope of a home inspection according to the Standards of Practice.

**The inspector will out of courtesy only check:**

the stove,  
oven,  
microwave, and  
garbage disposer.