

Mulberry Springs Winery

4527 JM Turk Road, Flowery Branch, GA 30542
 New Winery & Tasting Room Building
 100% Construction Documents - May 13, 2023

Project Information

Property Address: Mulberry Springs Winery
 4527 JM Turk Road, Flowery Branch, GA 30542

Owner Representative: Mark Faul 678-472-6327

Architect: EarthStation: Architecture & Design,
 Jeffrey S. Wren, AIA, 404-966-5963

Contractor: To Be Determined

Applicable Codes:

- International Building Code, 2018 Edition, w/ GA Amendments (2020), (2022)
- International Fire Code, 2018 Edition w/ GA Amendments (2020)
- International Plumbing Code, 2018 Edition, w/ GA Amendments (2020), (2022)
- International Mechanical Code, 2018 Edition, w/ GA Amendments (2020)
- International Fuel Gas Code, 2018 Edition, w/ GA Amendments (2020), (2022)
- National Electrical Code, 2020 Edition, w/ GA Amendments (2021)
- International Energy Conservation Code, 2015 Edition, w/ GA Amendments (2020), (2022)
- Life Safety: NFPA 101, 2018 Edition w/ GA Amendments (2020)
- Accessibility Code: Georgia Handicapped Accessibility Law 120-3-20

Project Description and Scope of Work:

This project is a New Construction project of a small Winery & Tasting Building (Small Assembly & Business Occupancy) in an existing Agricultural area of Flowery Branch, Georgia, located in Hall County. Work includes foundations, wall and roof framing, new interior and exterior finishes throughout the structure, and new Mechanical, Electrical and Plumbing systems.

Project Construction Cost: To Be Determined

Building Information:

County: Hall County Jurisdiction: Hall County
 Location: 4527 JM Turk Road, Flowery Branch, GA 30542
 Project Square Footage: 4,636 SF (Gross)
 Construction Type: Type VB, Unprotected (Wood Frame and Heavy Timber Structure)
 Stories: Two-Story Sprinklered: No Fire Alarm: Yes

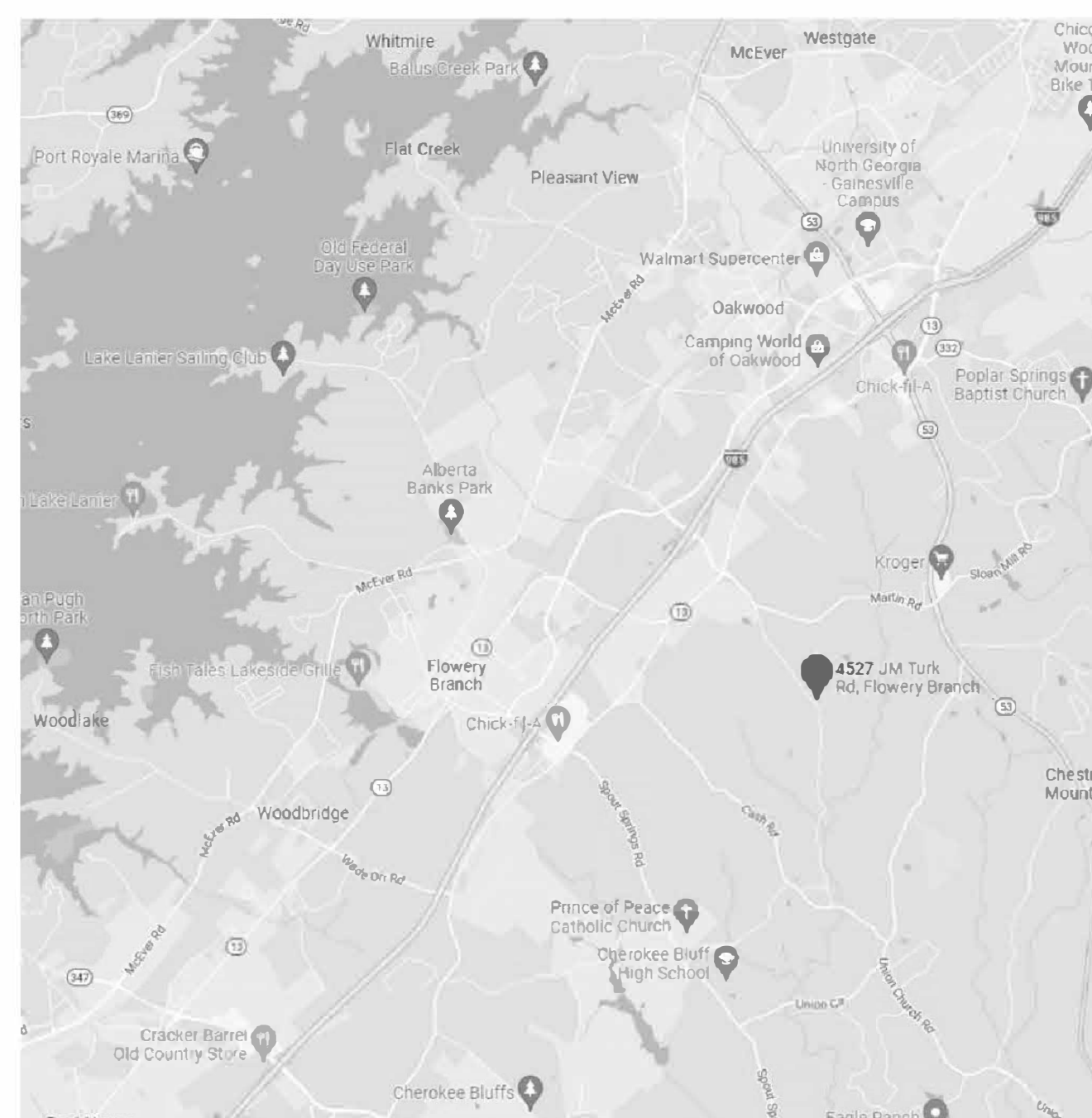
Accessible Restrooms: YES (2 new accessible restrooms)
 Occupancy Classification: Group A-2 (Small Assembly) & Group B (Business Occupancy)
 Tenant Area: 4,636 SF (Gross)
 Occupant Load Calculations:
 134 total occupants (See Life Safety Plans for details)

Total Occupants: 134.0 occupants
 Exit Width Required (Basement) : 22.0 Occupants x 0.2 Inches (Per) = 4.4 Inches
 Exit Width Provided (Basement) = 92 Inches (Doors) + 34 Inches (Stair) = 126 Inches (2 Remote Locations)

Exit Width Required (Main Level) : 111.0 Occupants x 0.2 Inches (Per) = 22.2 Inches
 Exit Width Provided (Basement) = 136 Inches (Doors) (2 Remote Locations)

SHT.	TITLE
G001	COVER SHEET / DRAWING INDEX
A200	BASEMENT LEVEL FLOOR PLAN & SCHEDULES
A201	MAIN LEVEL FLOOR PLAN & SCHEDULES
A202	ROOF PLAN
A203	BASEMENT LEVEL EQUIPMENT PLAN
A204	MAIN LEVEL EQUIPMENT PLAN
A205	BASEMENT REFLECTED CEILING PLAN / LIGHTING
A206	MAIN LEVEL REFLECTED CEILING PLAN / LIGHTING
A207	BASEMENT - LIFE SAFETY FLOOR PLAN
A208	MAIN LEVEL - LIFE SAFETY FLOOR PLAN
A301	EXTERIOR ELEVATION - SOUTHWEST
A302	EXTERIOR ELEVATION - NORTHWEST
A303	EXTERIOR ELEVATION - NORTHEAST
A304	EXTERIOR ELEVATION - SOUTHEAST
A305	BUILDING SECTION - TRANSVERSE
A306	BUILDING SECTION - TRANSVERSE
A307	BUILDING SECTION - LONGITUDINAL
A401	WALL SECTIONS
A402	WALL SECTIONS / STAIR SECTION
A501	RESTROOMS & ACCESSORIES SPECIFICATIONS
S-0	STRUCTURAL - STRUCTURAL NOTES
S-1	STRUCTURAL - FOUNDATION PLAN
S-2	STRUCTURAL - FIRST LEVEL FRAMING PLAN
S-3	STRUCTURAL - CEILING LEVEL FRAMING PLAN
S-4	STRUCTURAL - ROOF FRAMING PLAN
SD-1	STRUCTURAL - STRUCTURAL DETAILS
M101	MECHANICAL - HVAC WINERY & TASTING ROOM
M102	MECHANICAL - HVAC CELLAR
M201	MECHANICAL - HVAC NOTES & SCHEDULES
M202	MECHANICAL - HVAC DETAILS
P101	PLUMBING - CELLAR FLOOR PLAN
P102	PLUMBING - MAIN LEVEL FLOOR PLAN
P201	PLUMBING - RISERS
P301	PLUMBING - SCHEDULE, NOTES & DETAILS
E100	ELECTRICAL - SPECIFICATIONS
E101	ELECTRICAL - SCHEDULES
E200	ELECTRICAL - MAIN LEVEL LIGHTING
E201	ELECTRICAL - BASEMENT LEVEL LIGHTING
E202	ELECTRICAL - MAIN LEVEL ELECTRICAL
E203	ELECTRICAL - BASEMENT LEVEL ELECTRICAL

Project Vicinity Map



General Notes

- THE CONSTRUCTION DOCUMENT SET CONSISTS OF DRAWINGS AND SPECIFICATIONS, AND IS INTENDED TO BE UNDERSTOOD AS A SINGLE ENTITY. DO NOT DIVIDE THESE DOCUMENTS INTO PARTS OR SUB-PARTS. EACH CONTRACTING ENTITY SHALL BE RESPONSIBLE FOR ALL WORK RELATED TO ITS TRADE WHEREVER THAT INFORMATION IS SHOWN IN THE CONSTRUCTION DOCUMENT SET.
- DO NOT SCALE THE DRAWINGS FOR DIMENSIONAL INFORMATION. CRITICAL DIMENSIONS ARE TYPICALLY INDICATED IN THE DRAWINGS. IF ANY REQUIRED DIMENSIONS ARE NOT INDICATED IN THE DRAWINGS, CONTACT THE ARCHITECT FOR SPECIFIC DIMENSIONS PRIOR TO INITIATING RELATED CONSTRUCTION ACTIVITY.
- THE DRAWINGS ARE BASED UPON AS-BUILT DRAWINGS CREATED FROM MEASUREMENTS TAKEN IN THE FIELD PRIOR TO DESIGN. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF ANY AFFECTED SYSTEMS OR ASSEMBLIES.
- THE DRAWINGS ILLUSTRATE GENERAL SCOPE OF WORK REQUIREMENTS AND DO NOT PROVIDE INFORMATION REGARDING INSTALLATION TECHNIQUES OR PROCEDURES. ALL WORK PERFORMED SHALL MEET OR EXCEED INDUSTRY STANDARDS, AND SHALL BE PERFORMED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ALL GOVERNING FEDERAL, STATE, AND LOCAL CODES. IN ADDITION, CONSTRUCTION SHALL BE IN COMPLIANCE WITH ANSI GUIDELINES, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), AND THE STATE OF GEORGIA ACCESSIBILITY CODE (GA 120-3-20).
- ALL MATERIALS, FIXTURES, AND HARDWARE SHALL BE TESTED AND CERTIFIED BY UNDERWRITER'S LABORATORY (UL) OR AN EQUALLY QUALIFIED TESTING AND CERTIFICATION ORGANIZATION.
- THE GENERAL CONTRACTOR IS REQUIRED TO VISIT THE SITE PRIOR TO SUBMITTING A FINAL BID AND REVIEW EXISTING CONDITIONS AS THEY RELATE TO THE PROPOSED WORK. CONSIDER REMOVAL AND NECESSARY RELOCATION (WHEN NECESSARY) OF ALL VISIBLE STRUCTURAL, ARCHITECTURAL, PLUMBING, HVAC AND ELECTRICAL SYSTEMS IN AREAS AFFECTED BY REMODELING EFFORT.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ACCURATE EXECUTION OF THE BUILDING CONSTRUCTION. ANY CONFLICTING INFORMATION OR DISCREPANCIES IN THE DOCUMENT SET SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ALL ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, AND ANY OTHER MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE CONSTRUCTION WORK.
- THE GENERAL CONTRACTOR IS REQUIRED TO KEEP A FULL SET OF REVIEWED AND APPROVED "FOR CONSTRUCTION" DRAWINGS AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING, PAYING FOR, AND PROPERLY DISPLAYING ALL REQUIRED PERMITS AS PERTAINING TO THE WORK BEING DONE AT THE JOBSITE.
- WHERE EXISTING EQUIPMENT IS SCHEDULED TO REMAIN, CONTRACTOR SHALL VERIFY SECURE MOUNTINGS. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF UNSOUND MOUNTINGS, CONNECTIONS, OR UNSAFE CONDITIONS.
- GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT AND OWNER FOR REVIEW OF ALL FINISH MATERIALS AND SPECIFIED PRODUCTS PRIOR TO FABRICATION OR INSTALLATION.
- BUILDING SIGNAGE IS NOT INCLUDED IN THE SCOPE OF WORK OF THIS SET OF DRAWINGS. SIGNAGE APPLICATION SHALL BE COORDINATED SEPARATELY WITH THE HALL COUNTY BUILDING & PERMITTING DEPARTMENT.

THIS DRAWING WAS TAKEN FROM AN ELECTRONIC CAD FILE PROVIDED BY THE PROFESSIONAL REGISTRANT. A HARD COPY OF THE STAMPED AND CERTIFIED DRAWING, WHICH DOCUMENT IS THE ACTUAL RECORD INSTRUMENT, IS AVAILABLE FOR INSPECTION AT THE OFFICE OF BATHYREATION ARCHITECTURE & DESIGN, INC. - DECATUR, GA 30090

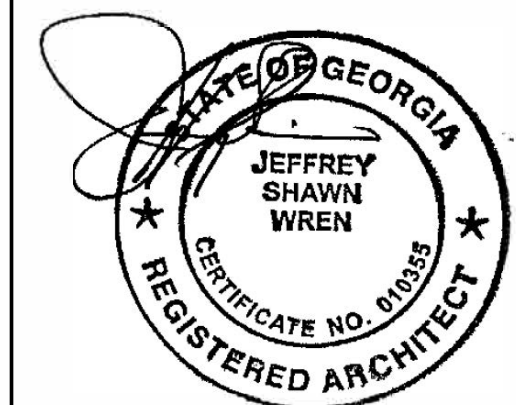
RELEASES / DATES	DATE
100% Construction Documents	05/13/2023
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Mulberry Springs Winery
 New Construction
 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN



COVER SHEET / INDEX

EarthStation
 Architecture & Design, Inc.
 EarthStation Architecture & Design
 108 Bypassmore Plaza, Studio 218A
 Decatur, GA 30090
 Tel: 404.966.5963
 email: jeff@earthstationarchitecture.com

DATE: 6/06/23 PROJECT NUMBER: EB123028
 DRAWING NUMBER

G001

(p) 6 78-472-6327

email: arrowquest@gmail.com

Item requested by the
Planning Department:

- all signage shall be
permitted separately.
- approximately 4 Leland
Cypress trees will be added
at the County's request.

- The tax parcel number:
15044 000034A
- AGRICULTURE
RESIDENTIAL-III (AR-
III)
Building setbacks: 64 and
175 feet as noted on the
LDP (Please see attached).

OBJECT
Mulberry
Springs

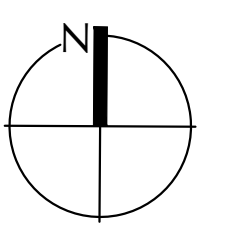
INITIAL SUBMITAL DATE: 12/6/2022

DATE:	PROJECT #:
6/11/2022	2021-68
DRAWN BY:	CHECKED BY:
MF	MF

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Planner and may not be published, reproduced, or
used in any way without permission.

REVISIONS

ORTH ARROW / SCALE



Atlas Technical Consultants, LLC
 Engineering * Planning * Landscape Architecture * Land Acquisition * Surveying
 LSC001323, EXP. 6/30/2024
 900 Interstate Ridge Drive, Suite 101
 Marietta, Georgia 30067
 PHONE: (770) 552-4021 FAX: (770) 552-4023

MARK FAUL
4527 JM TURK RD
FLOWERY BRANCH MILITIA DISTRICT
HALL COUNTY, GEORGIA

SHEET
1
OF 1

VERTICAL SCALE: N/A
 HORIZONTAL SCALE: 1" = 20'
 DATE: 12/05/2022
 DATE OF FIELD SURVEY: 12/02/2022
 DRAWN BY: JVN
 CHECKED BY: DRJ
 JOB NO.: 20G231A

SURVEYOR CERTIFICATION:
 As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.



CURRENT ZONING:
RESIDENTIAL (AR-III)
BUILDING SETBACKS:
 FRONT = 65' FROM CENTERLINE OF ROAD
 OR 40' FROM PROPERTY LINE
 WHICHEVER IS GREATER
 SIDE = 15'
 REAR = 25'

HALL COUNTY ENGINEERING NOTES:
 ANY STREAM OR STATE WATER LOCATED ON THIS PROPERTY MAY BE SUBJECT TO A 50 FEET UNDISTURBED NATURAL VEGETATIVE BUFFER AND A 25 FEET IMPERVIOUS SURFACE SETBACK. (HALL COUNTY CODE § 8.170.070)
 IF PROPERTY IS LOCATED IN THE NORTH OCOOEE WATERSHED DISTRICT, THEN ADDITIONAL STREAM BUFFERS AND IMPERVIOUS SETBACKS MAY BE REQUIRED FOR COMPLIANCE. (HALL COUNTY CODE § 17.225.040)
 THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP #1313900311G, HALL COUNTY GEORGIA, DATED DECEMBER 1, 2022.
 THIS PROPERTY IS NOT LOCATED IN THE HALL COUNTY FUTURE FLOOD ZONE, PER HALL COUNTY GIS.
 IF RESIDENTIAL PROPERTY IS SUBDIVIDED INTO SEVEN LOTS OR MORE WITH ALL LOTS ACCESSING EXISTING HALL COUNTY, GEORGIA ROADS, THEN STORMWATER MANAGEMENT IS REQUIRED.

APPROVED BY THE HALL COUNTY PLANNING DEPARTMENT

BY: _____
 DATE: _____
APPROVED BY THE HALL COUNTY ENGINEER

BY: _____
 DATE: _____
APPROVED BY THE HALL COUNTY HEALTH DEPARTMENT

BY: _____
 DATE: _____

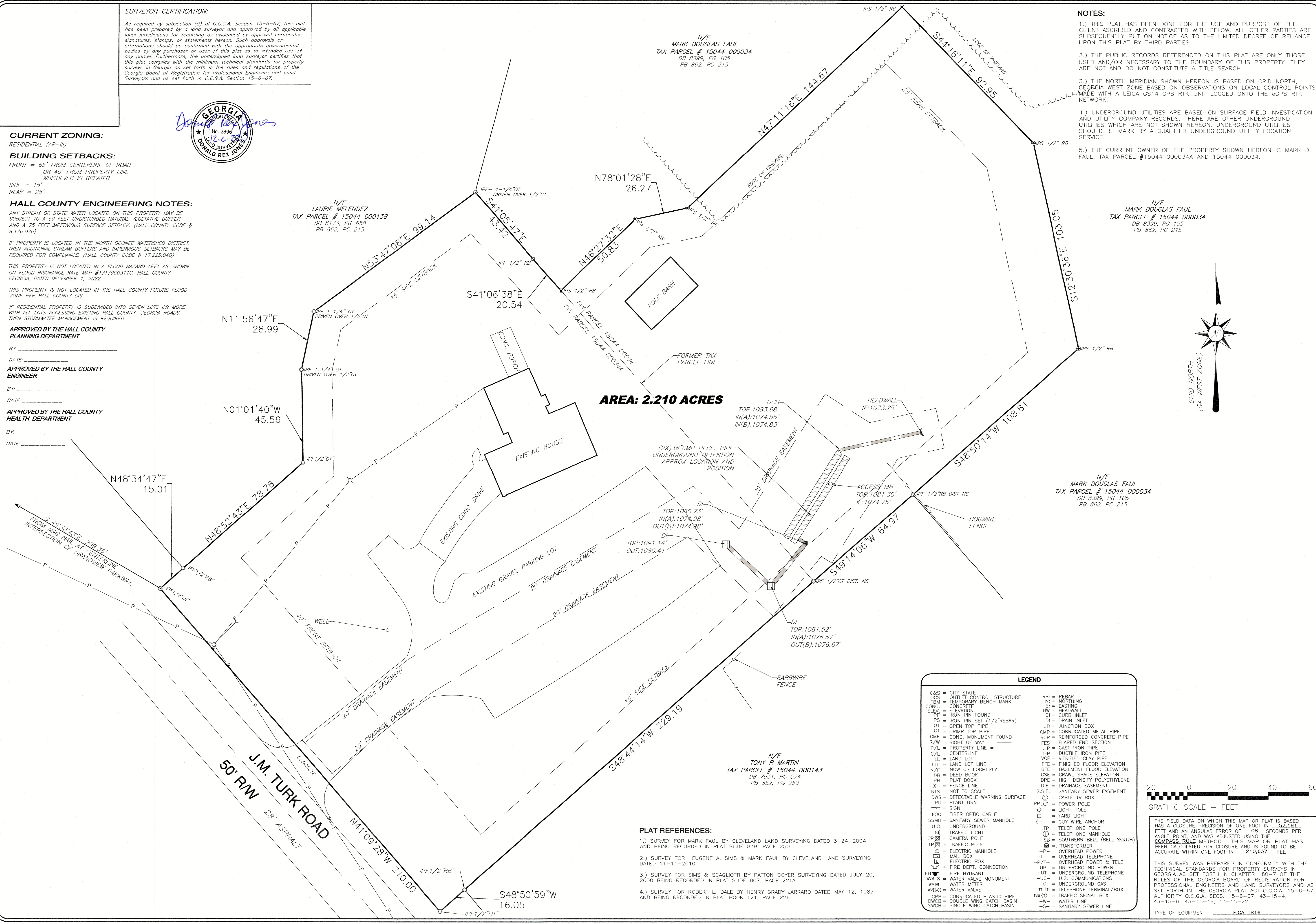
N/F
MARK DOUGLAS FAUL
 TAX PARCEL # 15044 000034
 DB 8399, PG 105
 PB 862, PG 215

N/F
LAURIE MELENDEZ
 TAX PARCEL # 15044 000138
 DB 8173, PG 658
 PB 862, PG 215

N/F
MARK DOUGLAS FAUL
 TAX PARCEL # 15044 000034
 DB 8399, PG 105
 PB 862, PG 215

NOTES:
 1.) THIS PLAT HAS BEEN DONE FOR THE USE AND PURPOSE OF THE CLIENT ASCRIBED AND CONTRACTED WITH BELOW. ALL OTHER PARTIES ARE SUBSEQUENTLY PUT ON NOTICE AS TO THE LIMITED DEGREE OF RELIANCE UPON THIS PLAT BY THIRD PARTIES.
 2.) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 3.) THE NORTH MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH, GEORGIA WEST ZONE BASED ON OBSERVATIONS ON LOCAL CONTROL POINTS MADE WITH A LEICA GS14 GPS RTK UNIT LOGGED ONTO THE eGPS RTK NETWORK.
 4.) UNDERGROUND UTILITIES ARE BASED ON SURFACE FIELD INVESTIGATION AND UTILITY COMPANY RECORDS; THERE ARE OTHER UNDERGROUND UTILITIES WHICH ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES SHOULD BE MARK BY A QUALIFIED UNDERGROUND UTILITY LOCATION SERVICE.
 5.) THE CURRENT OWNER OF THE PROPERTY SHOWN HEREON IS MARK D. FAUL, TAX PARCEL #15044 000034A AND 15044 000034.

AREA: 2.210 ACRES



LEGEND

C/S = CITY STATE	RB = REBAR
OCS = OUTLET CONTROL STRUCTURE	W = NORTHING
TBM = TEMPORARY BENCH MARK	E = EASTING
CONC = CONCRETE	HM = HEADWALL
ELEV = ELEVATION	CI = CURB INLET
IPF = IRON PIN FOUND	DI = DRAIN INLET
IPS = IRON PIN SET (1/2" REBAR)	JB = JUNCTION BOX
OT = OPEN TOP PIPE	CMP = CORRUGATED METAL PIPE
CT = CRIMP TOP PIPE	RCF = REINFORCED CONCRETE PIPE
CMF = CONC. MONUMENT FOUND	R/W = RIGHT OF WAY
R/W = RIGHT OF WAY	FES = FLARED END SECTION
P/L = PROPERTY LINE	CIP = CAST IRON PIPE
C/L = CENTERLINE	DIP = DUCTILE IRON PIPE
LL = LAND LOT	VCP = VITRIFIED CLAY PIPE
N/F = NOW OR FORMERLY	BFE = BASEMENT FLOOR ELEVATION
DB = DEED BOOK	CSE = CRAWL SPACE ELEVATION
PL = PLAT BOOK	HBP = HIGH DENSITY POLYETHYLENE
-X- = FENCE LINE	D.E. = DRAINAGE EASEMENT
NTS = NOT TO SCALE	S.S.E. = SANITARY SEWER EASEMENT
DWS = DETECTABLE WARNING SURFACE	CB = CABLE TV BOX
PU = PLANT URN	PP, CP = POWER POLE
— = SIGN	CL = LIGHT POLE
FOC = FIBER OPTIC CABLE	Y = YARD LIGHT
SSMH = SANITARY SEWER MANHOLE	— = GUY WIRE ANCHOR
U.C. = UNDERGROUND	— = TELEPHONE POLE
GL = TRAFFIC LIGHT	— = TELEPHONE MANHOLE
CP, BP = CAMERA POLE	SB = SOUTHERN BELL (BELL SOUTH)
TR = TRAFFIC POLE	TR = TRANSFORMER
EM = ELECTRIC MANHOLE	— = OVERHEAD POWER
MB = MAIL BOX	-T- = OVERHEAD TELEPHONE
UB = UTILITY BOX	-P/T- = OVERHEAD POWER & TIE
— = FIRE DEPT. CONNECTION	-UP- = UNDERGROUND POWER
FM = FIRE HYDRANT	-UT- = UNDERGROUND TELEPHONE
WV = WATER VALVE MONUMENT	-UC- = U.G. COMMUNICATIONS
WM = WATER METER	-CG- = UNDERGROUND GAS
WVB = WATER VALVE	-T- = TELEPHONE TERMINAL/BOX
CP = CORRUGATED PLASTIC PIPE	TB (C) = TRAFFIC SIGNAL BOX
DWB = DOUBLE WING CATCH BASIN	-W- = WATER LINE
SWC = SINGLE WING CATCH BASIN	-SS- = SANITARY SEWER LINE

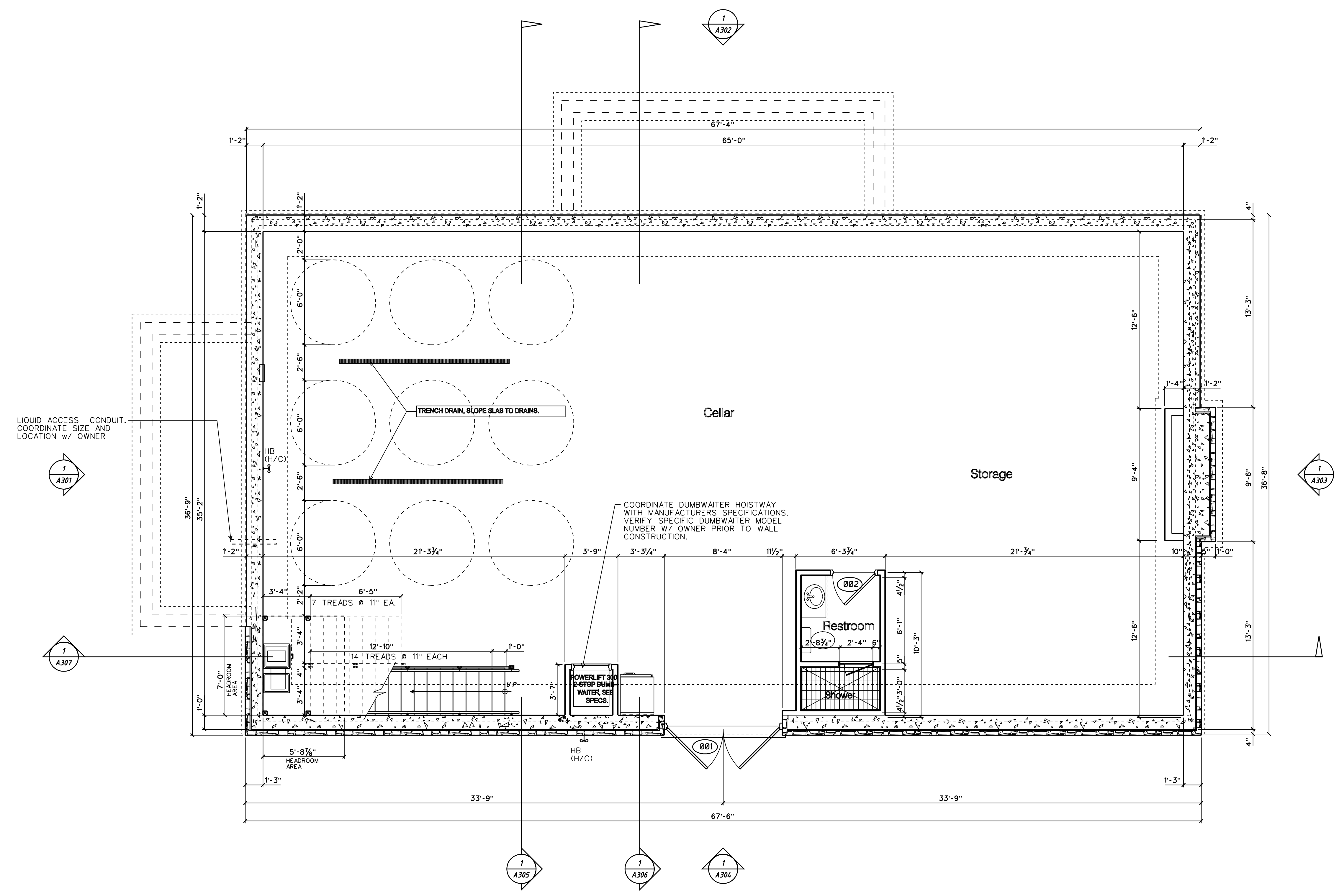
PLAT REFERENCES:
 1.) SURVEY FOR MARK FAUL BY CLEVELAND LAND SURVEYING DATED 3-24-2004 AND BEING RECORDED IN PLAT SLIDE B39, PAGE 250.
 2.) SURVEY FOR EUGENE A. SIMS & MARK FAUL BY CLEVELAND LAND SURVEYING DATED 11-11-2010.
 3.) SURVEY FOR SIMS & SCAGLIOTTI BY PATTON BOYER SURVEYING DATED JULY 20, 2000 BEING RECORDED IN PLAT SLIDE 807, PAGE 221A
 4.) SURVEY FOR ROBERT L. DALE BY HENRY GRADY JARRARD DATED MAY 12, 1987 AND BEING RECORDED IN PLAT BOOK 121, PAGE 226.

N/F
TONY R. MARTIN
 TAX PARCEL # 15044 000143
 DB 7931, PG 574
 PB 852, PG 250

THE FIELD DATA ON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 52,191 FEET AND AN ANGULAR ERROR OF 08 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 210,637 FEET.
 THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67. AUTHORITY O.C.G.A. SECS. 15-6-47, 43-15-4, 43-15-6, 43-15-19, 43-15-22.
 TYPE OF EQUIPMENT: LEICA TS16

AREA TABULATIONS:

BASEMENT LEVEL	2,236 SF
MAIN LEVEL	2,400 SF
TOTAL AREA (GROSS)	4,636 SF



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

Door Schedule

DES.	SIZE(W/H)	MAT'L	FRAME	NOTES
001	PR. 40x10-0	H.M.	H.M.	ENTRANCE DOOR / LOCKSET
002	3070	WOOD	H.M.	LOCKSET
101	PR. 3080	WOOD / GLASS	H.M.	ENTRANCE DOOR / LOCKSET
102	PR. 3080	WOOD / GLASS	H.M.	ENTRANCE DOOR / LOCKSET
103	3070	WOOD	H.M.	LOCKSET
104	3070	WOOD	H.M.	LOCKSET
105	3070	WOOD	H.M.	LOCKSET / 45. MIN. FIRE-RATED

ABBREVIATIONS:
H.M. HOLLOW METAL WD. WOOD L. LOCKSET K.P. KICKPLATE
P.H. PANIC HARDWARE V.P. VISION PANEL C. CLOSER

Window Schedule

DES.	(H/W - INCHES)	MAT'L	FRAME	NOTES
A	36 x 24	WOOD / GLASS	WOOD	FIXED WINDOW
B	48 x 48	WOOD / GLASS	WOOD	DOUBLE-HUNG WINDOW
C	72 x 48	WOOD / GLASS	WOOD	FIXED / DOUBLE-HUNG (SEE PLANS)
D	72 x 36	WOOD / GLASS	WOOD	FIXED WINDOW
E	IRREGULAR	WOOD / GLASS	WOOD	CUSTOM FIXED (FIELD MEASURE)
F	IRREGULAR	WOOD / GLASS	WOOD	CUSTOM FIXED (FIELD MEASURE)
G	IRREGULAR	WOOD / GLASS	WOOD	CUSTOM FIXED (FIELD MEASURE)
H	28 x 48	WOOD / GLASS	WOOD	FIXED WINDOW

WINDOW NOTES:
1. WINDOW SUPPLIER TO VISIT SITE, AND FIELD VERIFY ALL ROUGH OPENINGS PRIOR TO WINDOW FABRICATION AND INSTALLATION.
2. PROVIDE WINDOW PRICING AS BOTH WOOD AND VINYL FOR OWNER TO MAKE FINAL ASSESSMENT AND SELECTION.

Finish Schedule

FLOORING: BASEMENT: SEALED CONCRETE FLOOR SLAB
MAN LEVEL: SEALED & STAMPED CONCRETE W/ WOOD BASE

WALLS: BASEMENT: SEALED CONCRETE (RETAINING WALLS) / PTD. GYP.BD.
MAN LEVEL: PAINTED GYP. BD. / BEADBOARD WAINSCOT

CEILING: BASEMENT: OPEN TO STRUCTURE ABOVE / PTD. GYP.BD.
MAN LEVEL: OPEN TO STRUCTURE (T&G WOOD) / PTD. GYP. BD.

General Notes

- ARCHITECT IS PROVIDING DESIGN AND CONSTRUCTION DOCUMENTS, BUT IS NOT CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION SERVICES. GC TO COORDINATE ALL WORK DURING CONSTRUCTION PHASE.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY ALL MEASUREMENTS PRIOR TO INSTALLATION OR FABRICATION OF COMPONENTS OF THE CONSTRUCTION. COORDINATE CONSTRUCTION OF ROUGH OPENINGS AT DOORS AND WINDOWS WITH MANUFACTURERS RECOMMENDED INSTALLATION AND TOLERANCES.
- DIMENSIONS NOTED ON FLOOR PLAN ARE FROM FACE OF FINISH TO FACE OF FINISH. GC TO COORDINATE LAYOUT DIMENSIONS WITH PARTITION TYPES AS REQUIRED FOR PROPER LAYOUT.
- GENERAL CONTRACTOR TO PROVIDE SUBMITTAL INFORMATION TO OWNER FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION OF SPECIFIED PRODUCT OR SYSTEM.

Partition Notes

- TYPICAL INTERIOR, NON-BEARING WOOD STUD FRAMING 10'-0" OR LESS IN HEIGHT TO BE WOOD 2x4 SYP.
- INTERIOR, NON-BEARING WOOD STUD FRAMING TALLER THAN 10'-0" IN HEIGHT TO BE WOOD 2x4 SYP.
- ALL EXTERIOR WOOD STUD FRAMING TO BE WOOD 2x6 SYP. w/ R-19 WALL INSULATION IN WALL CAVITY, PER ENERGY CODE (2015 w/ GA. AMENDMENTS).
- INTERIOR PARTITION AT STAIRWAY ENCLOSURE TO BE 1-HOUR FIRE-RATED ASSEMBLY (UL DESIGN NUMBER U-305)

Drawing Legend

- (X) NEW WINDOW (SEE WINDOW SCHEDULE - VERIFY OPENINGS PRIOR TO MANUF.)
- (00X) NEW DOOR (SEE DOOR SCHEDULE)
- TYPICAL INTERIOR PARTITION
- ===== 1-HOUR FIRE-RATED INTERIOR PARTITION (UL • U-305)

THIS DRAWING WAS TAKEN FROM AN ELECTRONIC CAD FILE PROVIDED BY THE PROFESSIONAL REGISTRANT. A HARD COPY OF THE STAMPED AND CERTIFIED DRAWING, WHICH DOCUMENT IS THE ACTUAL RECORD INSTRUMENT, IS AVAILABLE FOR INSPECTION AT THE OFFICE OF BATHYREATION ARCHITECTURE & DESIGN, INC., DECATUR, GA 30030

RELEASES / DATES

DESIGN DEVELOPMENT	DATE 6/15/2024
SCHEMATIC DEVELOPMENT	DATE
PERMITTING	DATE
CONSTRUCTION	DATE

Mulberry Springs Winery
 New Construction
 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN



BASEMENT FLOOR PLAN

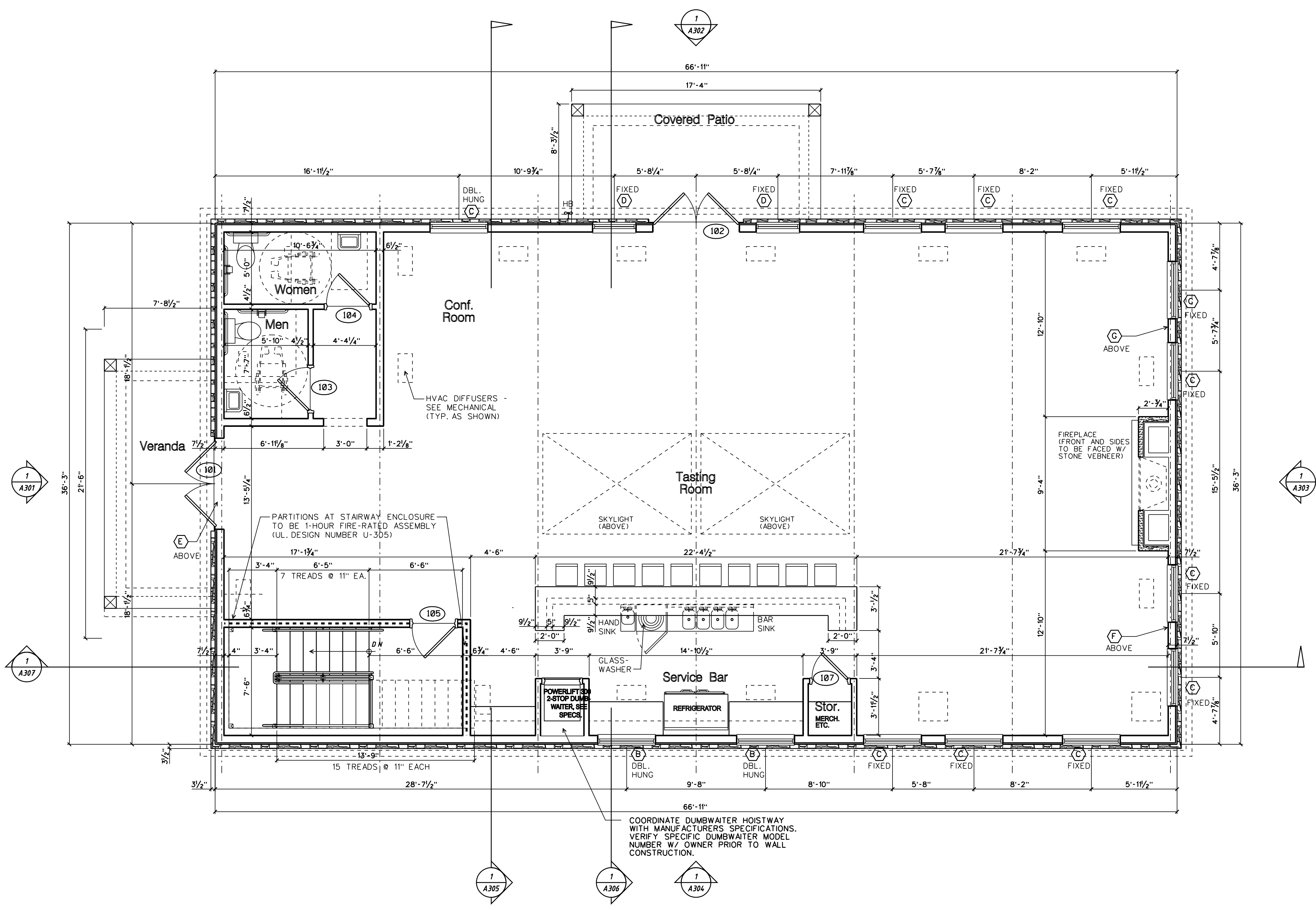
EarthStation
 Architecture & Design, Inc.
 EarthStation Architecture & Design
 105 Sycamore Place, Studio 219A
 Decatur, GA 30030
 Tel: 404.888.5993
 email: jeff@earthstationarchitecture.com

DATE: 6/07/22 PROJECT NUMBER: EB1A2208
 DRAWING NUMBER

A 200

AREA TABULATIONS:

BASEMENT LEVEL	2,236 SF
MAIN LEVEL	2,400 SF
TOTAL AREA (GROSS)	4,636 SF



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Door Schedule

DES.	SIZE(W/H)	MAT'L	FRAME	NOTES
001	PR. 40x10-0	H.M.	H.M.	ENTRANCE DOOR / LOCKSET
002	3070	WOOD	H.M.	LOCKSET
101	PR. 3080	WOOD / GLASS	H.M.	ENTRANCE DOOR / LOCKSET
102	PR. 3080	WOOD / GLASS	H.M.	ENTRANCE DOOR / LOCKSET
103	3070	WOOD	H.M.	LOCKSET
104	3070	WOOD	H.M.	LOCKSET
105	3070	WOOD	H.M.	LOCKSET / 45. MIN. FIRE-RATED

ABBREVIATIONS:
 H.M. HOLLOW METAL WD. WOOD L. LOCKSET K.P. KICKPLATE
 P.H. PANIC HARDWARE V.P. VISION PANEL C. CLOSER

Window Schedule

DES.	(H/W - INCHES)	MAT'L	FRAME	NOTES
A	36 x 24	WOOD / GLASS	WOOD	FIXED WINDOW
B	48 x 48	WOOD / GLASS	WOOD	DOUBLE-HUNG WINDOW
C	72 x 48	WOOD / GLASS	WOOD	FIXED / DOUBLE-HUNG (SEE PLANS)
D	72 x 36	WOOD / GLASS	WOOD	FIXED WINDOW
E	IRREGULAR	WOOD / GLASS	WOOD	CUSTOM FIXED (FIELD MEASURE)
F	IRREGULAR	WOOD / GLASS	WOOD	CUSTOM FIXED (FIELD MEASURE)
G	IRREGULAR	WOOD / GLASS	WOOD	CUSTOM FIXED (FIELD MEASURE)
H	28 x 48	WOOD / GLASS	WOOD	FIXED WINDOW

WINDOW NOTES:
 1. WINDOW SUPPLIER TO VISIT SITE, AND FIELD VERIFY ALL ROUGH OPENINGS PRIOR TO WINDOW FABRICATION AND INSTALLATION.
 2. PROVIDE WINDOW PRICING AS BOTH WOOD AND VINYL FOR OWNER TO MAKE FINAL ASSESSMENT AND SELECTION.

Finish Schedule

FLOORING: BASEMENT: SEALED CONCRETE FLOOR SLAB
 MAIN LEVEL: SEALED & STAMPED CONCRETE W/ WOOD BASE
 WALLS: BASEMENT: SEALED CONCRETE (RETAINING WALLS) / PTD. GYP.BD.
 MAIN LEVEL: PAINTED GYP. BD. / BEADBOARD WAINSCOT
 CEILING: BASEMENT: OPEN TO STRUCTURE ABOVE / PTD. GYP.BD.
 MAIN LEVEL: OPEN TO STRUCTURE (T&G WOOD) / PTD. GYP. BD.

General Notes

- ARCHITECT IS PROVIDING DESIGN AND CONSTRUCTION DOCUMENTS, BUT IS NOT CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION SERVICES. GC TO COORDINATE ALL WORK DURING CONSTRUCTION PHASE.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY ALL MEASUREMENTS PRIOR TO INSTALLATION OR FABRICATION OF COMPONENTS OF THE CONSTRUCTION. COORDINATE CONSTRUCTION OF ROUGH OPENINGS AT DOORS AND WINDOWS WITH MANUFACTURERS RECOMMENDED INSTALLATION AND TOLERANCES.
- DIMENSIONS NOTED ON FLOOR PLAN ARE FROM FACE OF FINISH TO FACE OF FINISH. GC TO COORDINATE LAYOUT DIMENSIONS WITH PARTITION TYPES AS REQUIRED FOR PROPER LAYOUT.
- GENERAL CONTRACTOR TO PROVIDE SUBMITTAL INFORMATION TO OWNER FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION OF SPECIFIED PRODUCT OR SYSTEM.

Partition Notes

- TYPICAL INTERIOR, NON-BEARING WOOD STUD FRAMING 10'-0" OR LESS IN HEIGHT TO BE WOOD 2x4 SYP.
- INTERIOR, NON-BEARING WOOD STUD FRAMING TALLER THAN 10'-0" IN HEIGHT TO BE WOOD 2x6 SYP.
- ALL EXTERIOR WOOD STUD FRAMING TO BE WOOD 2x6 SYP. w/ R-19 WALL INSULATION IN WALL CAVITY, PER ENERGY CODE (2015 w/ GA. AMENDMENTS).
- INTERIOR PARTITION AT STAIRWAY ENCLOSURE TO BE 1-HOUR FIRE-RATED ASSEMBLY (UL DESIGN NUMBER U-305)

Drawing Legend

- (X) NEW WINDOW (SEE WINDOW SCHEDULE - VERIFY OPENINGS PRIOR TO MANUF.)
- (00X) NEW DOOR (SEE DOOR SCHEDULE)
- TYPICAL INTERIOR PARTITION
- ===== 1-HOUR FIRE-RATED INTERIOR PARTITION (UL • U-305)

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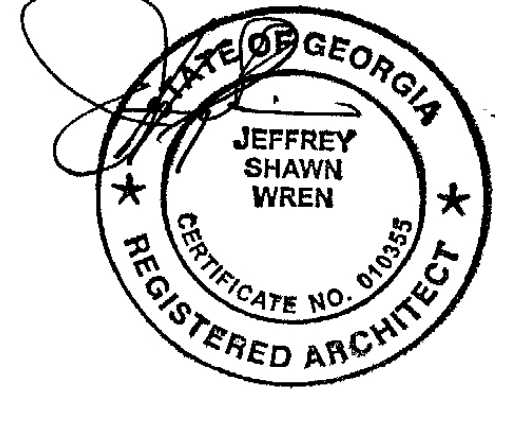
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Mulberry Springs Winery
 New Construction
 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN



MAIN LEVEL FLOOR PLAN

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 email: jeff@earthstationarchitecture.com

DATE: 6/01/22 PROJECT NUMBER: EB1A2208
 DRAWING NUMBER

A 201

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RELEASES / DATES	
1	DATE: 6/15/2024
2	DATE: _____
3	DATE: _____
4	DATE: _____
5	DATE: _____

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 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

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 REVIEWED BY: J. WREN

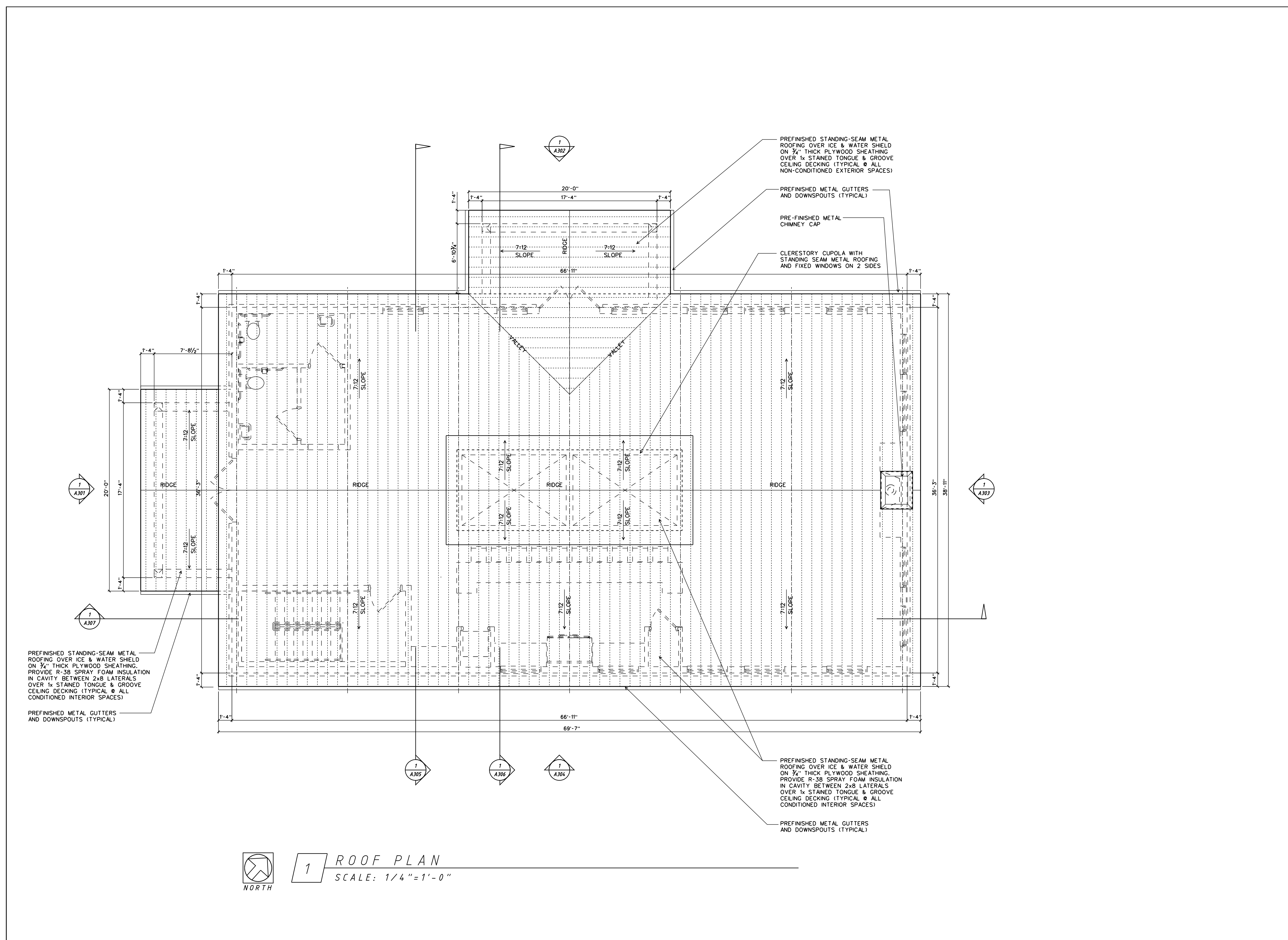


ROOF PLAN

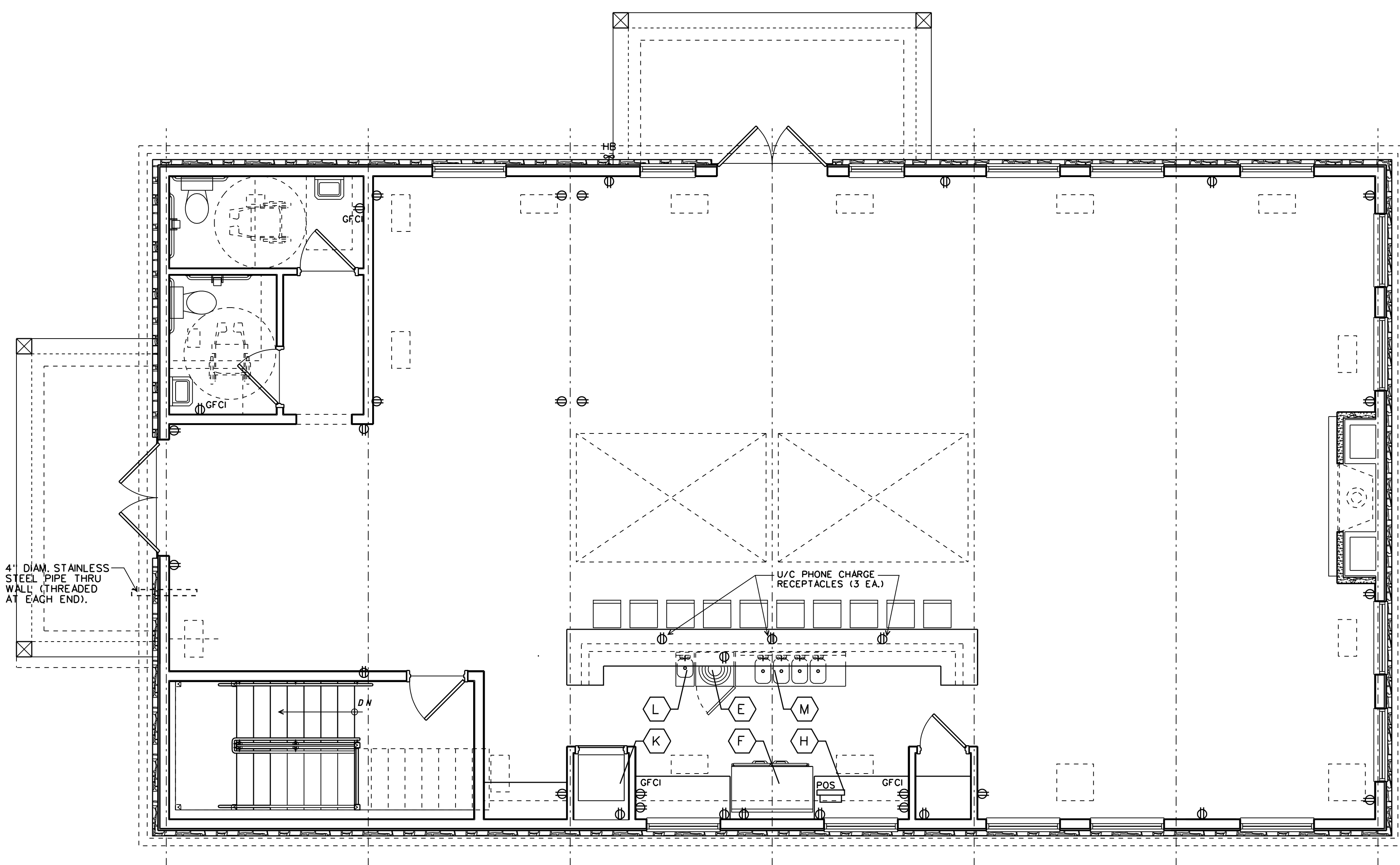
EarthStation
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DATE: 6/01/24 PROJECT NUMBER: EB/A202
 DRAWING NUMBER

A 202



1 ROOF PLAN
 SCALE: 1/4" = 1'-0"



1 MAIN LEVEL - EQUIPMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

Equipment Legend

DESIGNATION	QUANTITY	DESCRIPTION	MANUF.	MODEL	POWER	REMARKS
A	1 EA.	CRUSHER / DESTEMMER	MALVASIA	25	220V/DBL. 20a	3.70' x 2.19'
B	1 EA.	VERTICAL PRESS	ZAMBELLI	TIO	220V/DBL. 20a	
C	1 EA.	IMPELLER PUMP	McFINN TECH.	US-FIP 20035	1 PH/230V	3 HP MOTOR
D	1 EA.	COMM. GLYCOL CHILLER	PENGUN	5-TON	220V/DBL. 20a	5-TON
E	1 EA.	U/C DISHWASHER	LAMBER	DSP4DPS	208 - 240V	HIGH TEMP.
F	2 EA.	2-DOOR REFRIGERATOR	AVANTCO	GDC-49-HC	115V	
G	N/A	NOT USED	-	-	-	-
H	1 EA.	POINT-OF-SALE SYSTEM	BY VENDOR		110V	GFCI (AT BAR)
J	1 EA.	1-DOOR REFRIGERATOR	AVANTCO	GDC-23-HC 28	110V	
K	1 EA.	DUMBWATER	POWERLIFT	300	208 - 230V	1 HP MOTOR
L	1 EA.	HAND SINK				
M	1 EA.	4-COMP. BAR SINK				

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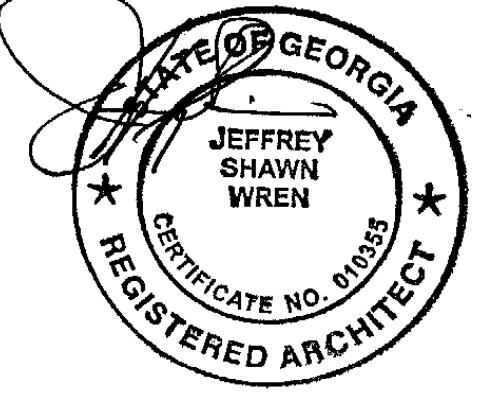
DATE	DESCRIPTION
05/15/2024	ISSUED FOR CONSTRUCTION

Mulberry Springs Winery
New Construction
4527 JM Turk Road
Flowerly Branch, GA 30542
(HALL COUNTY)

PROJECT CONTACT:
MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
REVIEWED BY: J. WREN



MAIN LEVEL - EQUIPMENT FLOOR PLAN

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DATE: 6/01/22 PROJECT NUMBER: EB1A2208
DRAWING NUMBER

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RELEASES / DATES	
100% Construction Documents	DATE: 6/15/2024
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REVIEWED BY: J. WREN

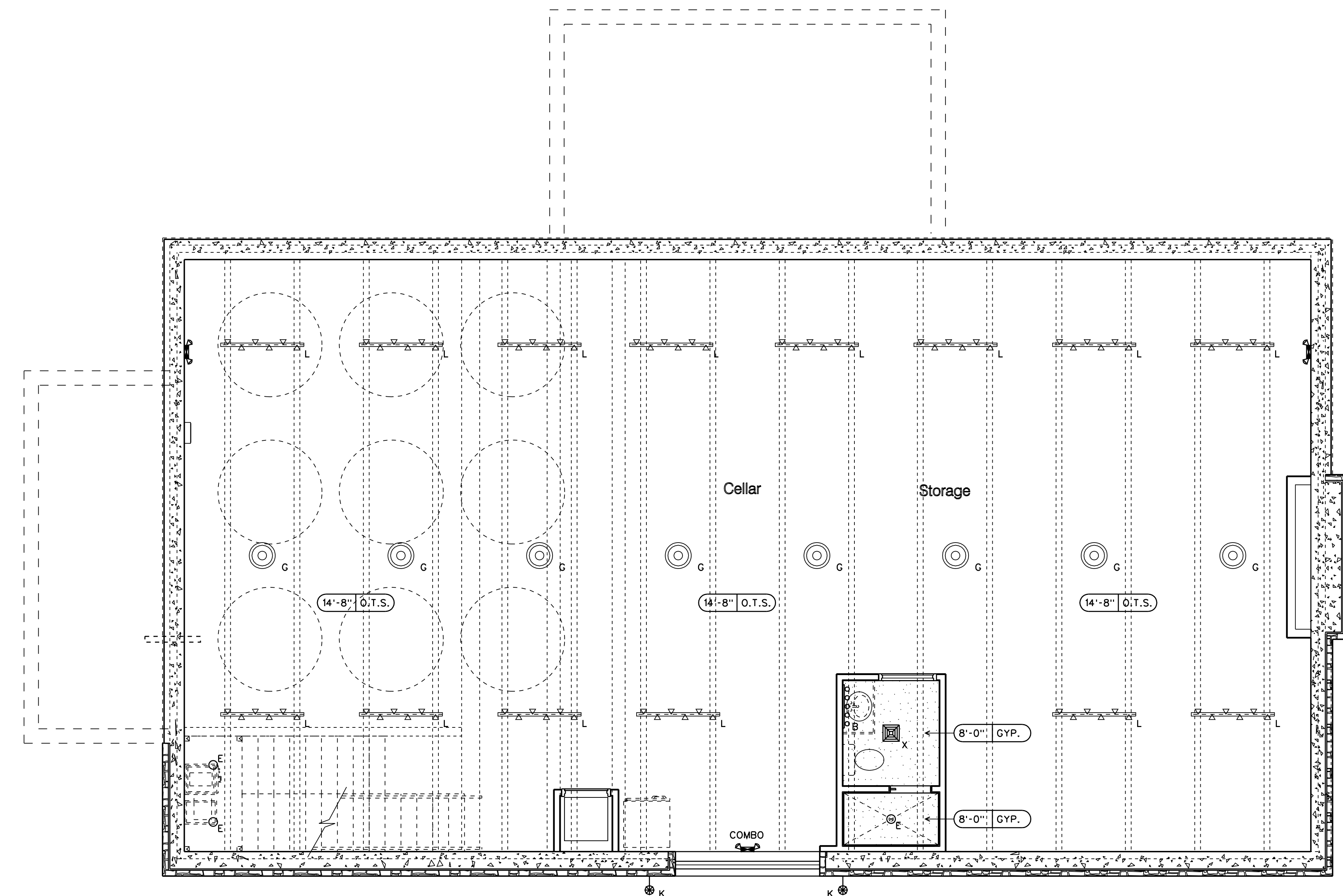


BASEMENT - REFLECTED CEILING PLAN

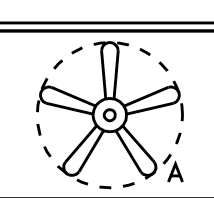
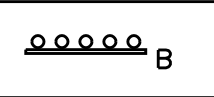
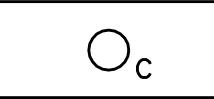
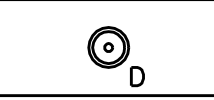
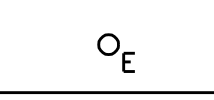
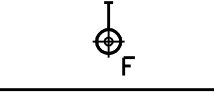
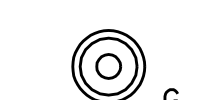
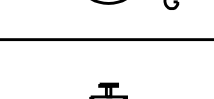

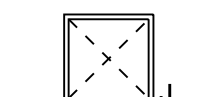
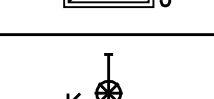
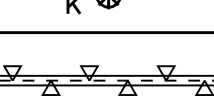
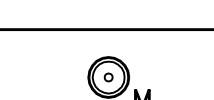
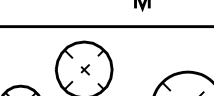


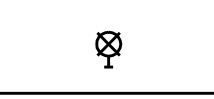
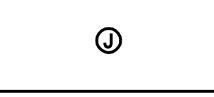


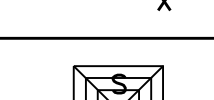
EarthStation Architecture & Design, Inc.
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DATE: 6/01/22 PROJECT NUMBER: EB1A2008
DRAWING NUMBER

A 205



 **1** BASEMENT - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

Ceiling & Lighting Legend	
	FIXTURE "A" - CEILING FAN (40" DIAMETER)
	FIXTURE "B" - DECORATIVE RESTROOM VANITY FIXTURE
	FIXTURE "C" - SUSPENDED UPLIGHT FIXTURE (DIMMABLE LED)
	FIXTURE "D" - DECORATIVE PENDANT (DIMMABLE LED)
	FIXTURE "E" - RECESSED CAN FIXTURE (DIMMABLE LED)
	FIXTURE "F" - EXTERIOR LED FLOOD LIGHTS
	FIXTURE "G" - LARGE HI-BAY PENDANT (LED)
	FIXTURE "H" - INTERIOR WALL SCONCE
	FIXTURE "J" - 2 x 2 FLUORESCENT (DIMMABLE LED LAY-IN)
	FIXTURE "K" - EXTERIOR SCONCE (WALL-MOUNTED)
	FIXTURE "L" - SURFACE-MTD. LINEAR TRACK UPLIGHTING (6'-0" LENGTH) (DIMMABLE LED)
	FIXTURE "M" - EXTERIOR DECORATIVE PENDANT (DIMMABLE LED)
	DECORATIVE CLUSTER OF GLOBE LAMPS (VARIOUS SIZES AND HEIGHTS, DIMMABLE)
	EMERGENCY LIGHTING (BATTERY PACK)
	EXIT LIGHTING (DIRECTIONAL)
	JUNCTION BOX
	SPRINKLER HEAD (EXISTING)
	CEILING-MTD. EXHAUST FAN / LED FIXTURE COMBO
	HVAC - SUPPLY GRILLE
	HVAC - RETURN GRILLE
Ceiling Finish Legend	
	CEILING HEIGHT / FINISH MARKER
ACT	ACOUSTIC CEILING TILE IN 2x2 OR 2x4 GRID
GYP.	GYP. BOARD PAINTED
O.T.S.	OPEN TO STRUCTURE (PAINTED INSULATION)

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New Construction
4527 JM Turk Road
Flowerly Branch, GA 30542
(HALL COUNTY)

PROJECT CONTACT:
MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
REVIEWED BY: J. WREN

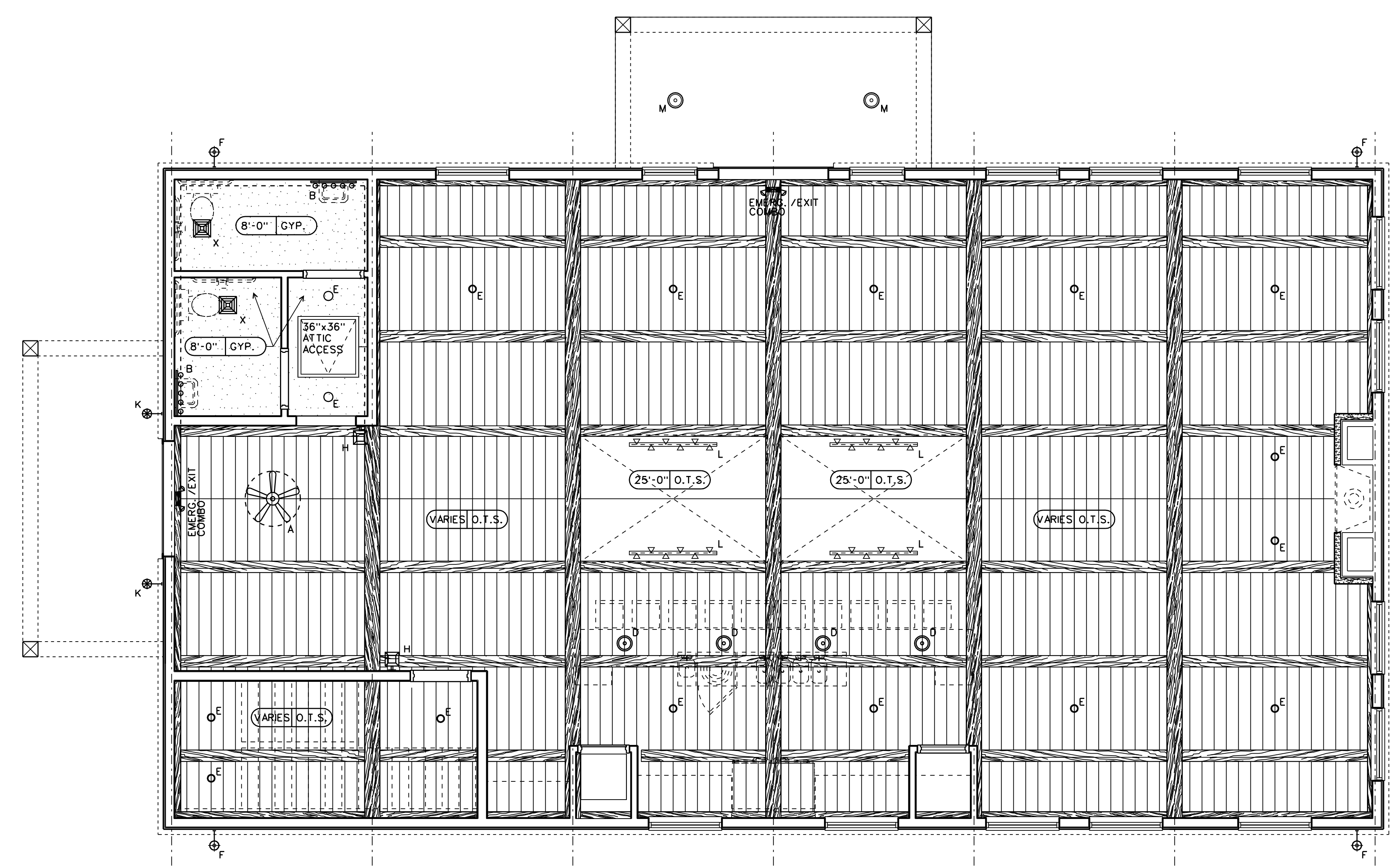


MAIN LEVEL - REFLECTED CEILING PLAN

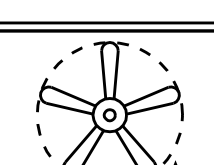
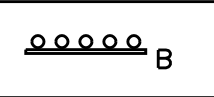
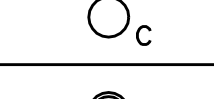
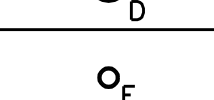
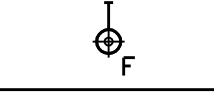
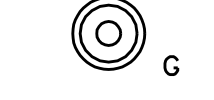

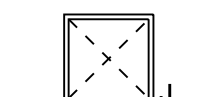

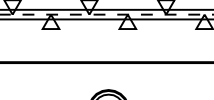
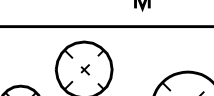
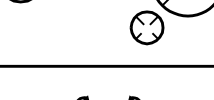
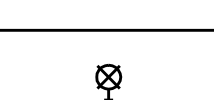
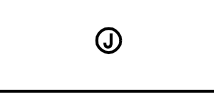
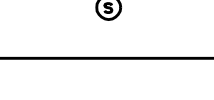

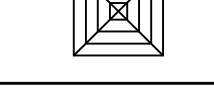
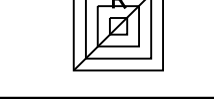

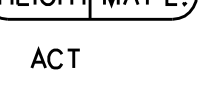
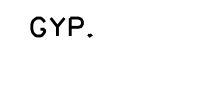
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DATE: 6/01/22 PROJECT NUMBER: EB1A2208
DRAWING NUMBER

A 206

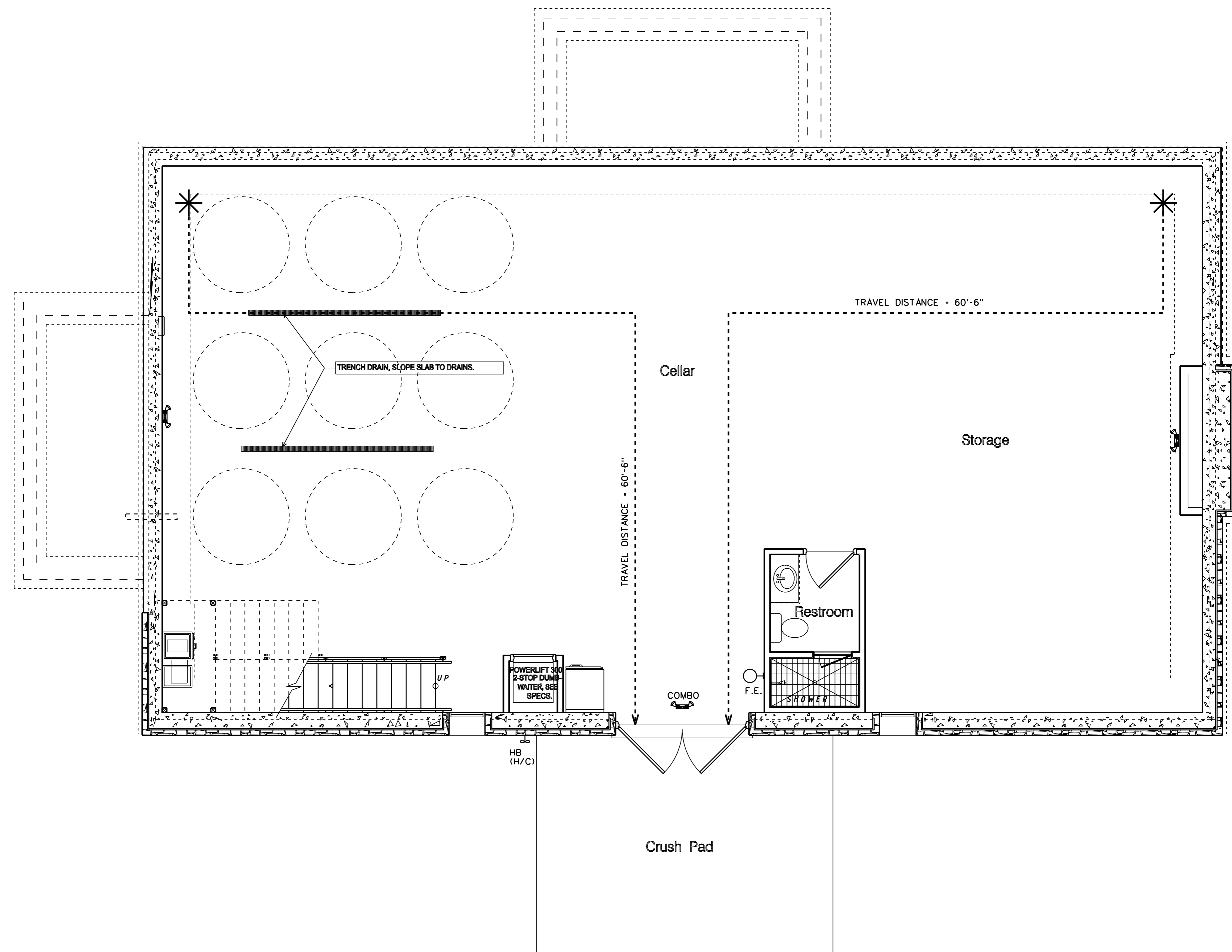


 **1** MAIN LEVEL - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

Ceiling & Lighting Legend	
	FIXTURE "A" - CEILING FAN (40" DIAMETER)
	FIXTURE "B" - DECORATIVE RESTROOM VANITY FIXTURE
	FIXTURE "C" - SUSPENDED UPLIGHT FIXTURE (DIMMABLE LED)
	FIXTURE "D" - DECORATIVE PENDANT (DIMMABLE LED)
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GYP.	GYP. BOARD PAINTED
O.T.S.	OPEN TO STRUCTURE (PAINTED INSULATION)

AREA TABULATIONS:

BASEMENT LEVEL	2,236 SF
MAIN LEVEL	2,400 SF
TOTAL AREA (GROSS)	4,636 SF



1 BASEMENT LEVEL LIFE SAFETY FLOOR PLAN
SCALE: 1/4" = 1'-0"

Interior Space Occupant Load Schedule

NOTE: THE INTERIOR SPACE OCCUPANT LOAD IN THIS TABLE IS USED TO CALCULATE THE NUMBER OF INTERIOR SPACE OCCUPANTS WHO WILL BE FACTORED INTO THE EXITING REQUIREMENT CALCULATIONS FOR THE SPACE (OCCUPANTS, EXIT WIDTHS, ETC.)

ROOM / SPACE DESIGNATION:	NET AREA (SF)	OCCUP. LOAD FACTOR	OCCUPANTS
A. BASEMENT LEVEL			
WINE CELLAR	2,085 SF	100 SF / OCCUP.	20.85
WINE CELLAR RESTROOM	34 SF	100 SF / OCCUP.	0.34
BASEMENT TOTALS	2,119 SF		21.19 (22)
EXIT WIDTH REQUIRED : 22.0 OCCUPANTS x 0.2 INCHES (PER) = 4.4 INCHES			
EXIT WIDTH PROVIDED : 92 INCHES (DOORS) + 34 INCHES (STAIR) = 126 INCHES (2 REMOTE LOCATIONS)			
B. MAIN LEVEL			
TASTING ROOM	1,570 SF	15 SF / OCCUP.	104.67
SERVICE COUNTER AREA	269 SF	100 SF / OCCUP.	2.69
CONFERENCE ROOM	138 SF	100 SF / OCCUP.	1.38
RESTROOMS / VESTIBULE	134 SF	100 SF / OCCUP.	1.34
STARWELL	108 SF	100 SF / OCCUP.	1.08
MAIN LEVEL TOTALS	2,219 SF		110.16
EXIT WIDTH REQUIRED : 110.0 OCCUPANTS x 0.2 INCHES (PER) = 22.2 INCHES			
EXIT WIDTH PROVIDED : 136 INCHES (DOORS)			
TOTAL (BY AREA) 110.16 OCC. (111)			

TOTAL OCCUPANTS (BOTH LEVELS) 134 OCCUPANTS (ROUNDED UP)

Plumbing Fixture Load Schedule

NOTE: THIS SCHEDULE CALCULATES THE NUMBER OF CUSTOMERS THAT WOULD IMPACT PLUMBING COUNTS AND PLUMBING FIXTURE REQUIREMENTS. THE SCHEDULE INCLUDES OUTDOOR PATRONS WHO WOULD NOT FACTOR INTO EGRESS REQUIREMENTS, BECAUSE THEY ARE ALREADY OUTSIDE THE BUILDING AND WOULD NOT BE EXITING THE SPACE.

ROOM / SPACE DESIGNATION:	NET AREA (SF)	PATRONS
TOTAL OCCUPANTS (BOTH LEVELS) N/A	2,219 SF	134.0
TOTAL (PLUMBING FIXTURE LOAD)		134.0

Plumbing Fixtures Required AS REQUIRED BY TABLE 403.1 IPC 2018

OCCUPANCY CLASS: A-2	WATER CLOSETS		LAVATORIES		DRINK. FOUNT.
	MALE	FEMALE	MALE	FEMALE	
REQUIRED	1 PER 75	1 PER 75	1 PER 75	1 PER 75	1 PER 500
PROVIDED (MAIN LEVEL)	1	1	1	1	N/A (FOOD)
PROVIDED (BASEMENT)	1 UNSEX		1 UNSEX		

Life Safety Notes

BUILDING OCCUPANCY: GROUP A-2 - SMALL ASSEMBLY OCCUPANCY

CONSTRUCTION TYPE: TYPE V - B (NOT SPRINKLERED)

TENANT AREA: 4,636 SF (GROSS AREA)

OCCUPANT LOAD: 134.0 OCCUPANTS (SEE ABOVE FOR DETAILS)

EXITS REQUIRED: 2 EXITS REQUIRED (4 PROVIDED, REMOTELY LOCATED)

COMMODITIES OF ESTABLISHMENT: WINE PRODUCTS (AGRICULTURAL WINERY)

DEAD-END CORRIDORS: (SECTION 12.2.5.1.3) SHALL NOT EXCEED 20 FEET

COMMON PATH OF TRAVEL: (SECTION 12.2.5.1.2) SHALL NOT EXCEED 20 FEET

TRAVEL DISTANCE TO EXITS: (SECTION 12.2.6.2) SHALL NOT EXCEED 200 FEET

FIRE ALARM: YES

SPRINKLER SYSTEM: NO

PORTABLE FIRE EXTINGUISHERS: PROVIDED SEE LIFE SAFETY PLANS

Drawing Legend

- FIRE EXTINGUISHER
- LOCATION OF EXITING OCCUPANT
- PATH OF EGRESS TRAVEL
- EMERGENCY LIGHTING OR EMERG./EXIT COMBO
- EXIT LIGHTING (DIRECTION INDICATED)

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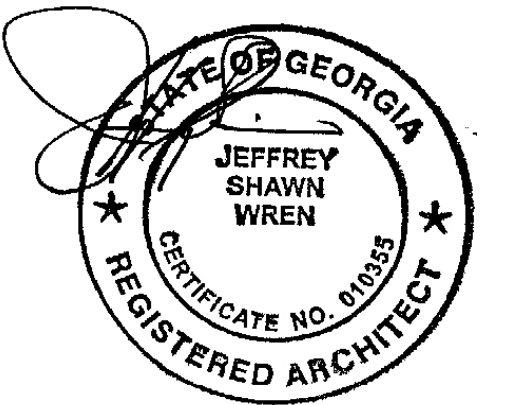
DATE	DESCRIPTION

Mulberry Springs Winery
New Construction
4527 JM Turk Road
Flowerly Branch, GA 30542
(HALL COUNTY)

PROJECT CONTACT:
MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
REVIEWED BY: J. WREN



BASEMENT - LIFE SAFETY FLOOR PLAN

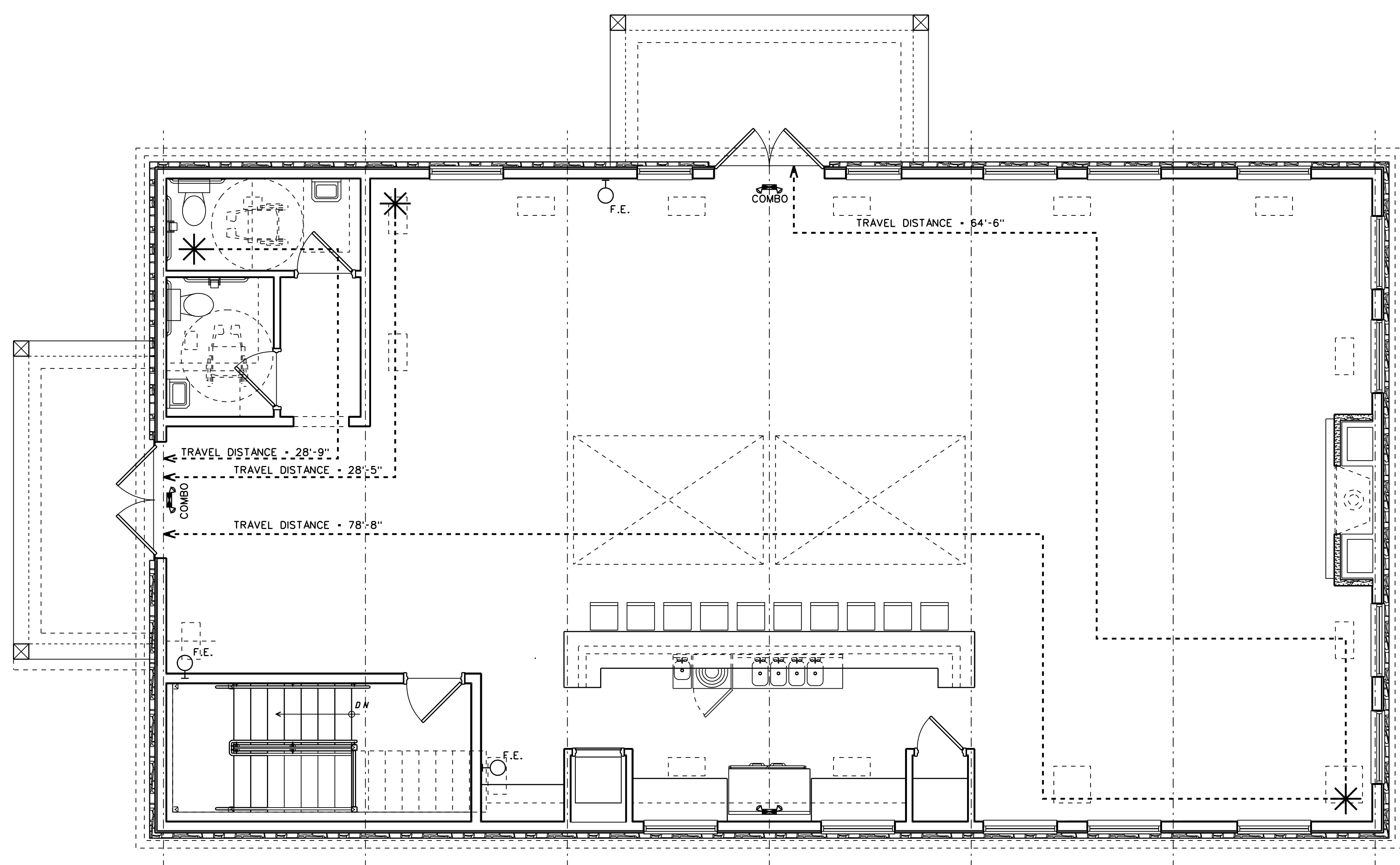
EarthStation
Architecture & Design, Inc.
EarthStation Architecture & Design
105 Sycamore Place, Studio 219A
Decatur, GA 30030
Tel: 404.998.5993
email: jeff@earthstationarchitecture.com

DATE: 6/01/22 PROJECT NUMBER: EB1A2208
DRAWING NUMBER

A 207

AREA TABULATIONS:

BASEMENT LEVEL	2,236 SF
MAIN LEVEL	2,400 SF
TOTAL AREA (GROSS)	4,636 SF



1 MAIN LEVEL LIFE SAFETY FLOOR PLAN
SCALE: 1/4" = 1'-0"

Interior Space Occupant Load Schedule

NOTE: THE INTERIOR SPACE OCCUPANT LOAD IN THIS TABLE IS USED TO CALCULATE THE NUMBER OF INTERIOR SPACE OCCUPANTS WHO WILL BE FACTORED INTO THE EXITING REQUIREMENT CALCULATIONS FOR THE SPACE (OCCUPANTS, EXIT WIDTHS, ETC.)

ROOM / SPACE DESIGNATION:	NET AREA (SF)	OCCUP. LOAD FACTOR	OCCUPANTS
A. BASEMENT LEVEL			
WINE CELLAR	2,085 SF	100 SF / OCCUP.	20.85
WINE CELLAR RESTROOM	34 SF	100 SF / OCCUP.	0.34
BASEMENT TOTALS	2,119 SF		21.19 (22)
EXIT WIDTH REQUIRED : 22.0 OCCUPANTS x 0.2 INCHES (PER) = 4.4 INCHES			
EXIT WIDTH PROVIDED : 92 INCHES (DOORS) + 34 INCHES (STAIR) = 126 INCHES (2 REMOTE LOCATIONS)			
B. MAIN LEVEL			
TASTING ROOM	1,570 SF	15 SF / OCCUP.	104.67
SERVICE COUNTER AREA	269 SF	100 SF / OCCUP.	2.69
CONFERENCE ROOM	138 SF	100 SF / OCCUP.	1.38
RESTROOMS / VESTIBULE	134 SF	100 SF / OCCUP.	1.34
STARWELL	108 SF	100 SF / OCCUP.	1.08
MAIN LEVEL TOTALS	2,219 SF		110.8
EXIT WIDTH REQUIRED : 110.0 OCCUPANTS x 0.2 INCHES (PER) = 22.2 INCHES			
EXIT WIDTH PROVIDED : 136 INCHES (DOORS)			
(2 REMOTE LOCATIONS)			
TOTAL (BY AREA)			110.16 OCC. (111)

TOTAL OCCUPANTS (BOTH LEVELS) 134 OCCUPANTS (ROUNDED UP)

Plumbing Fixture Load Schedule

NOTE: THIS SCHEDULE CALCULATES THE NUMBER OF CUSTOMERS THAT WOULD IMPACT PLUMBING COUNTS AND PLUMBING FIXTURE REQUIREMENTS. THE SCHEDULE INCLUDES OUTDOOR PATRONS WHO WOULD NOT FACTOR INTO EGRESS REQUIREMENTS, BECAUSE THEY ARE ALREADY OUTSIDE THE BUILDING AND WOULD NOT BE EXITING THE SPACE.

ROOM / SPACE DESIGNATION:	NET AREA (SF)	PATRONS
TOTAL OCCUPANTS (BOTH LEVELS) N/A	2,219 SF	134.0
TOTAL (PLUMBING FIXTURE LOAD)		134.0

Plumbing Fixtures Required AS REQUIRED BY TABLE 403.1 IPC 2018

OCCUPANCY CLASS: A-2	WATER CLOSETS		LAVATORIES		DRINK. FOUNT.
	MALE	FEMALE	MALE	FEMALE	
REQUIRED	1 PER 75	1 PER 75	1 PER 75	1 PER 75	1 PER 500
PROVIDED (MAIN LEVEL)	1	1	1	1	N/A (FOOD)
PROVIDED (BASEMENT)	1 UNSEX		1 UNSEX		

Life Safety Notes

BUILDING OCCUPANCY: GROUP A-2 - SMALL ASSEMBLY OCCUPANCY

CONSTRUCTION TYPE: TYPE V - B (NOT SPRINKLERED)

TENANT AREA: 4,636 SF (GROSS AREA)

OCCUPANT LOAD: 134.0 OCCUPANTS (SEE ABOVE FOR DETAILS)

EXITS REQUIRED: 2 EXITS REQUIRED (4 PROVIDED, REMOTELY LOCATED)

COMMODITIES OF ESTABLISHMENT: WINE PRODUCTS (AGRICULTURAL WINERY)

DEAD-END CORRIDORS: (SECTION 12.2.5.1.3) SHALL NOT EXCEED 20 FEET

COMMON PATH OF TRAVEL: (SECTION 12.2.5.1.2) SHALL NOT EXCEED 20 FEET

TRAVEL DISTANCE TO EXITS: (SECTION 12.2.6.2) SHALL NOT EXCEED 200 FEET

FIRE ALARM: YES

SPRINKLER SYSTEM: NO

PORTABLE FIRE EXTINGUISHERS: PROVIDED SEE LIFE SAFETY PLANS

Drawing Legend

- FIRE EXTINGUISHER
- LOCATION OF EXITING OCCUPANT
- PATH OF EGRESS TRAVEL
- EMERGENCY LIGHTING OR EMERG./EXIT COMBO
- EXIT LIGHTING (DIRECTION INDICATED)

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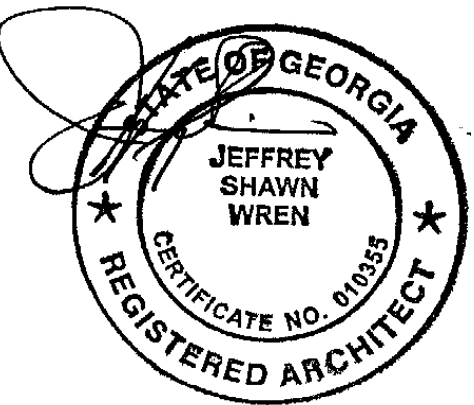
DATE	DESCRIPTION
DATE	DATE
DATE	DATE
DATE	DATE

Mulberry Springs Winery
New Construction
4527 JM Turk Road
Flowerly Branch, GA 30542
(HALL COUNTY)

PROJECT CONTACT:
MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
REVIEWED BY: J. WREN



MAIN LEVEL LIFE SAFETY FLOOR PLAN

EarthStation
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email: jeff@earthstationarchitecture.com

DATE: 6/01/22 PROJECT NUMBER: EB1A2208
DRAWING NUMBER

A 208

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RELEASES / DATES	DATE
100% Construction Documents	06/15/2024

Mulberry Springs Winery
 New Construction
 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN

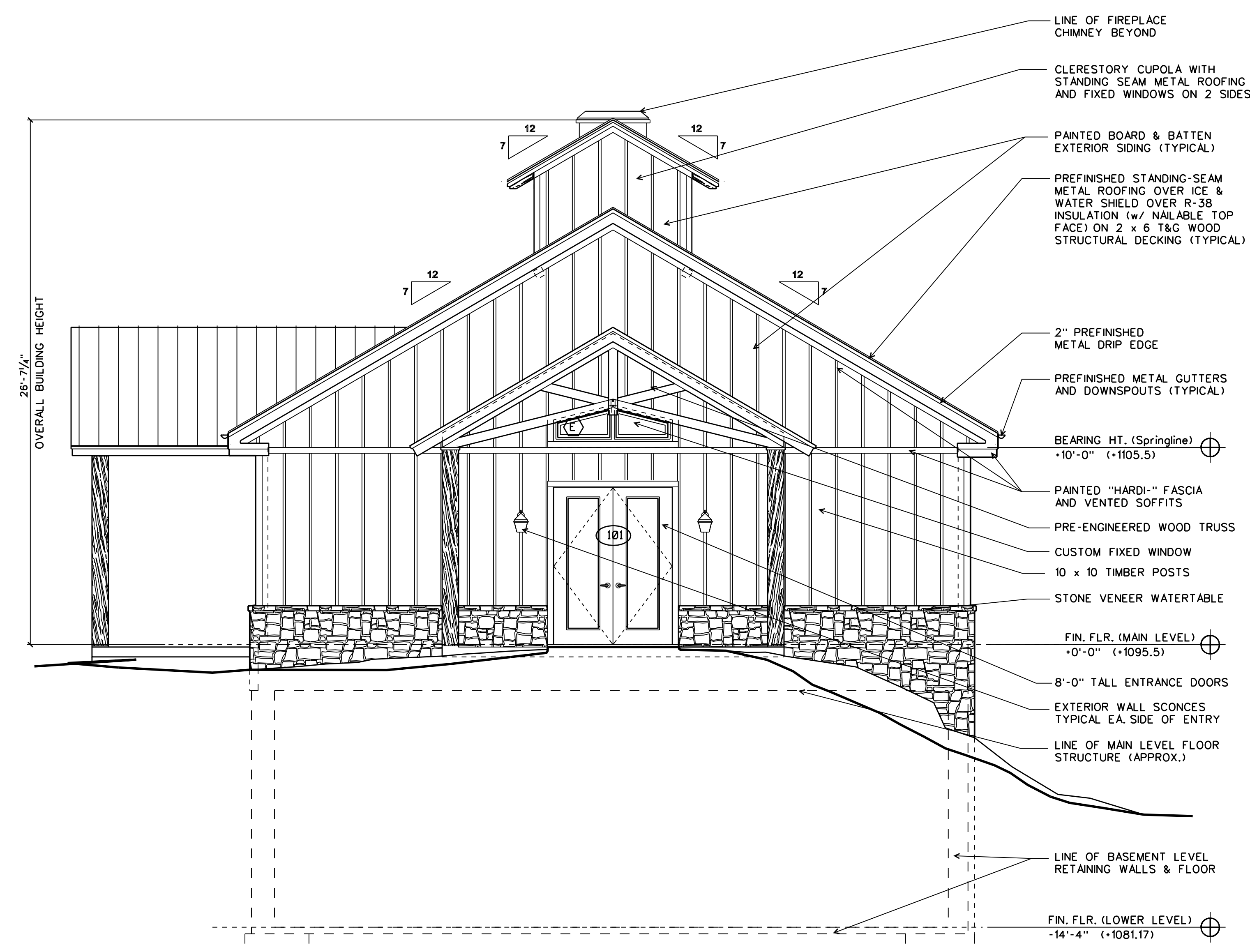


EXTERIOR ELEVATION - SW

EarthStation
 Architecture & Design, Inc.
 EarthStation Architecture & Design
 105 Sycamore Place, Studio 219A
 Decatur, GA 30030
 Tel: 404.998.9993
 email: jeff@earthstationarchitecture.com

DATE: 6/01/22 PROJECT NUMBER: EB/A2208
 DRAWING NUMBER

A301



1 EXTERIOR ELEVATION - SOUTHWEST
 SCALE: 1/4" = 1'-0"

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RELEASES / DATES	DATE
100% Construction Documents	01/15/2024
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Mulberry Springs Winery
 New Construction
 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN



EXTERIOR ELEVATION - NORTHWEST

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 Decatur, GA 30030
 Tel: 404.998.5993
 email: jeff@earthstationarchitecture.com

DATE: 6/01/22 PROJECT NUMBER: EB1A2208
 DRAWING NUMBER

A302



1 EXTERIOR ELEVATION - NORTHWEST
 SCALE: 1/4" = 1'-0"

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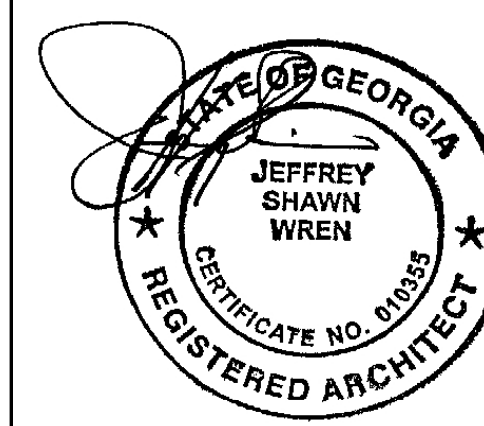
RELEASES / DATES	DATE
100% Construction Documents	05/15/2024
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Mulberry Springs Winery
 New Construction
 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN

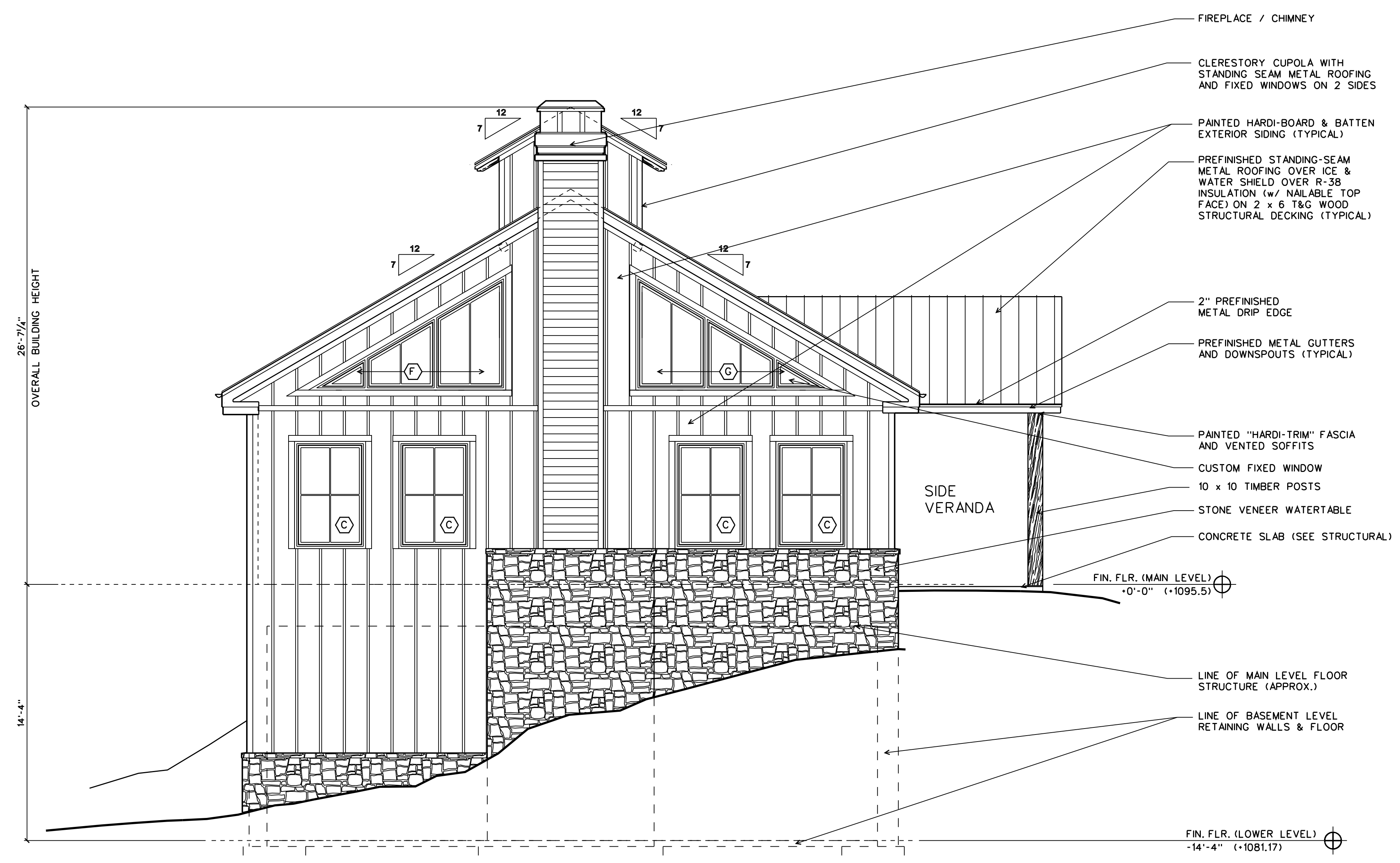


EXTERIOR ELEVATION - NORTHEAST

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 EarthStation Architecture & Design
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 Decatur, GA 30030
 Tel: 404.998.5593
 email: jeff@earthstationarchitecture.com

DATE: 6/01/22 PROJECT NUMBER: EB1A2208
 DRAWING NUMBER

A303



1 EXTERIOR ELEVATION - SOUTHWEST
 SCALE: 1/4" = 1'-0"

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RELEASES / DATES	DATE
100% Construction Documents	05/15/2024
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Mulberry Springs Winery
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 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN

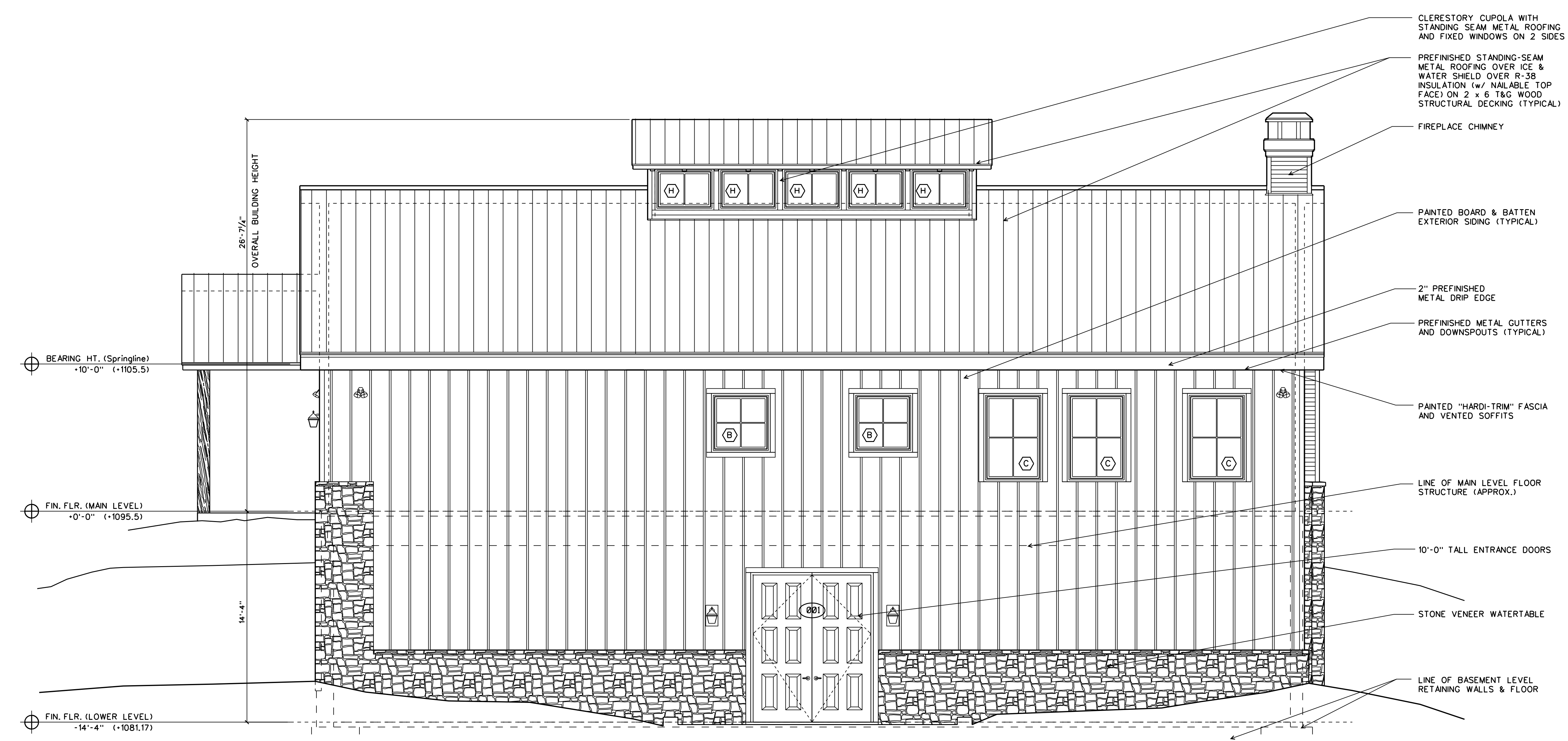


EXTERIOR ELEVATION - SOUTHEAST

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 Decatur, GA 30030
 Tel: 404.288.5583
 email: jeff@earthstationarchitecture.com

DATE: 6/01/22 PROJECT NUMBER: EB1A2208
 DRAWING NUMBER

A304



1 EXTERIOR ELEVATION - SOUTHEAST
 SCALE: 1/4" = 1'-0"

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RELEASES / DATES	
100% Construction Documents	DATE: 6/15/2024
---	DATE
---	DATE
---	DATE
---	DATE

Mulberry Springs Winery
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 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN

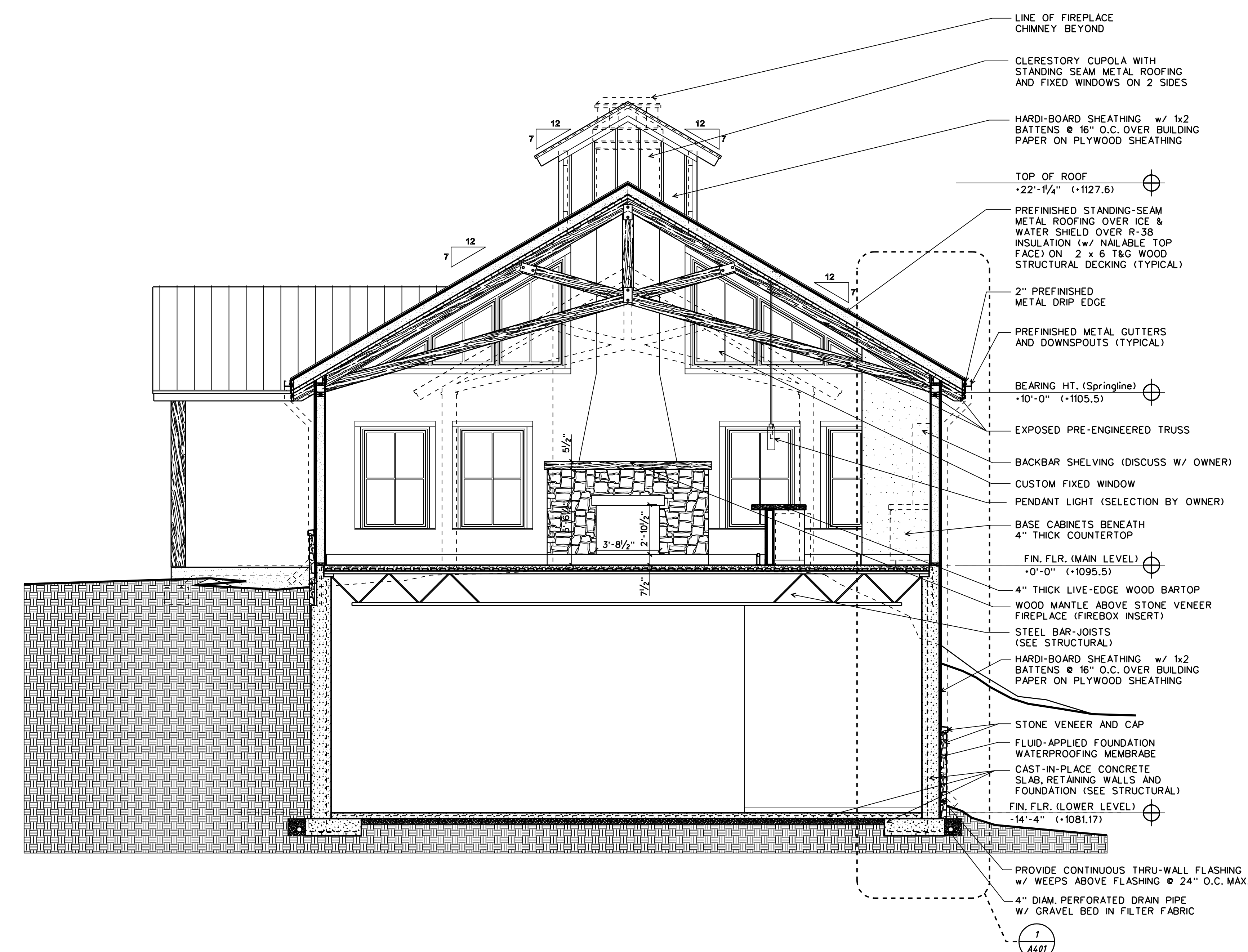


TRANSVERSE BUILDING SECTION

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 Decatur, GA 30030
 Tel: 404.998.9999
 email: jeff@earthstationarchitecture.com

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 DRAWING NUMBER

A305



1 TRANSVERSE SECTION -
 SCALE: 1/4" = 1'-0"

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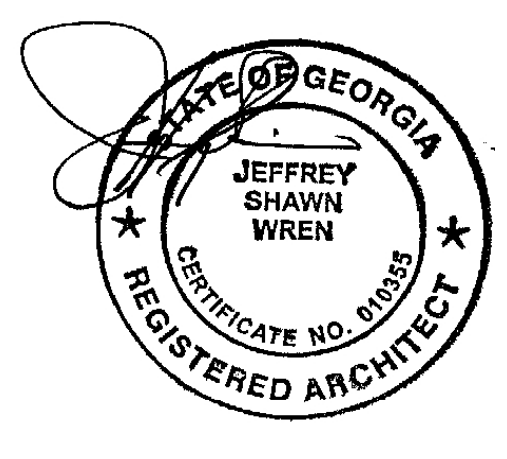
RELEASES / DATES	
100% Construction Documents	DATE: 6/15/2024
	DATE:
	DATE:
	DATE:
	DATE:

Mulberry Springs Winery
 New Construction
 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
 MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
 REVIEWED BY: J. WREN

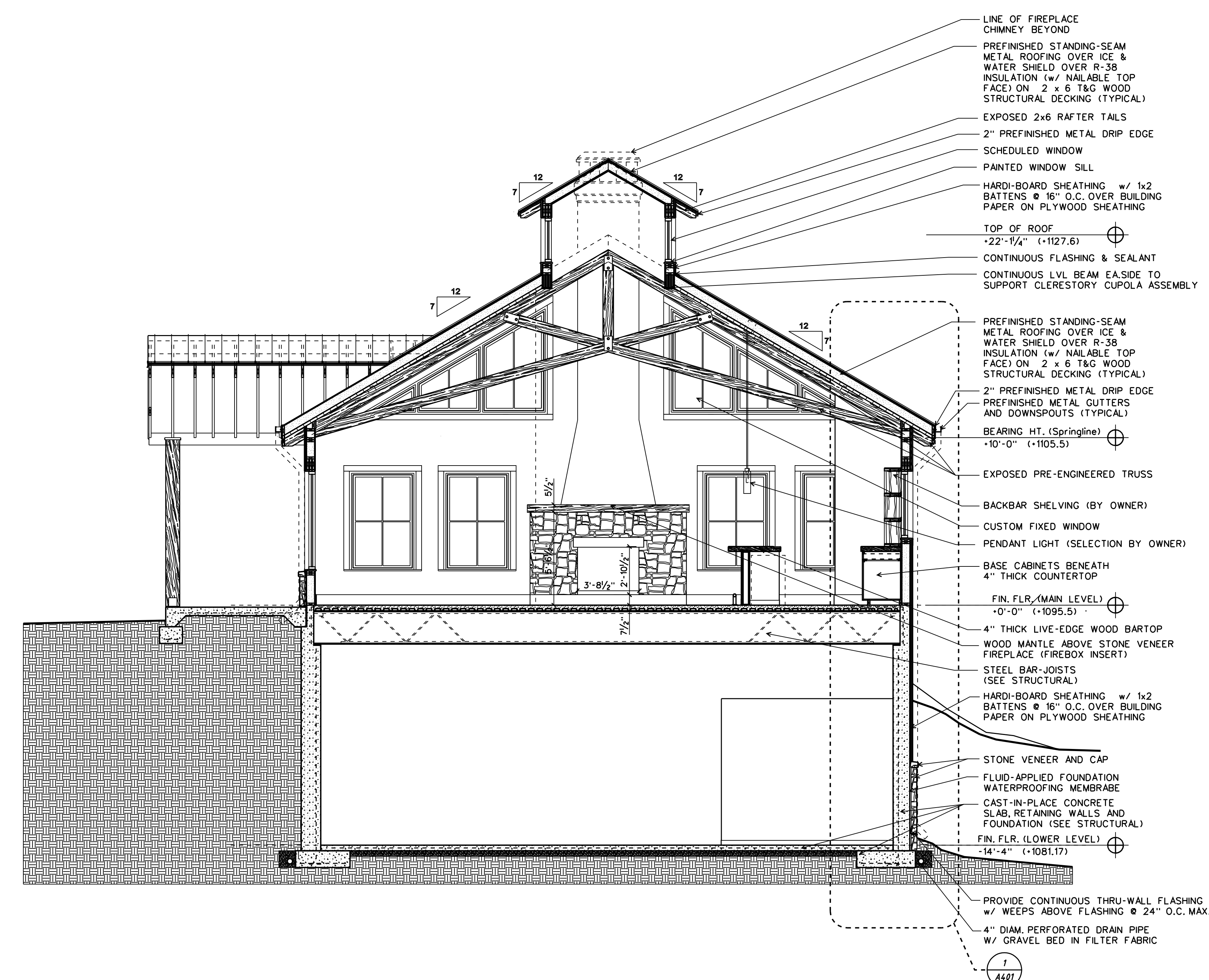


TRANSVERSE BUILDING SECTION

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 email: jeff@earthstationarchitecture.com

DATE: 6/01/24 PROJECT NUMBER: EB1A2208
 DRAWING NUMBER

A306



1 TRANSVERSE SECTION -
 SCALE: 1/4" = 1'-0"

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---	DATE: ---
---	DATE: ---
---	DATE: ---
---	DATE: ---

Mulberry Springs Winery
New Construction
4527 JM Turk Road
Flowerly Branch, GA 30542
(HALL COUNTY)

PROJECT CONTACT:
MARK FAUL 678-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
REVIEWED BY: J. WREN

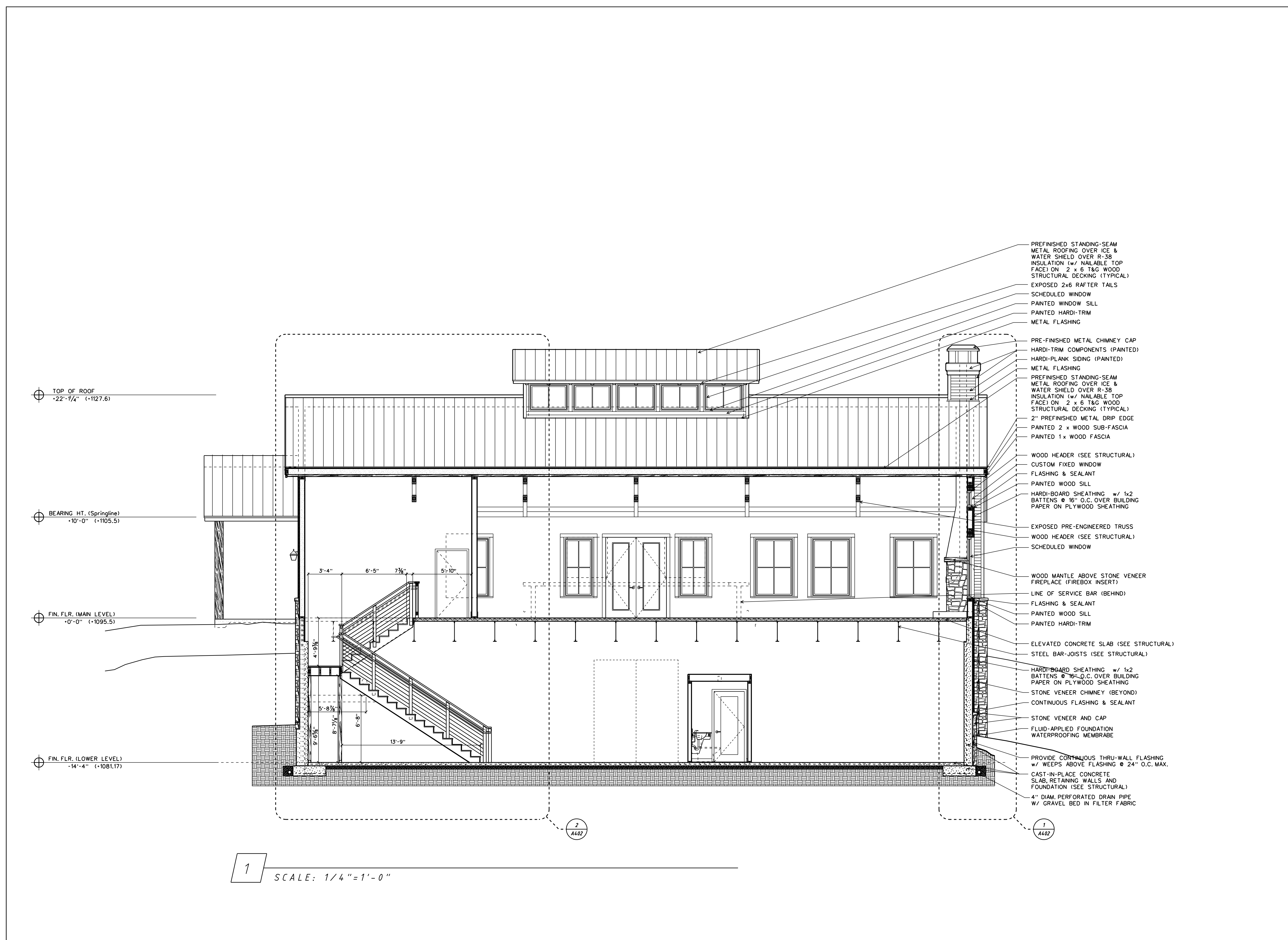


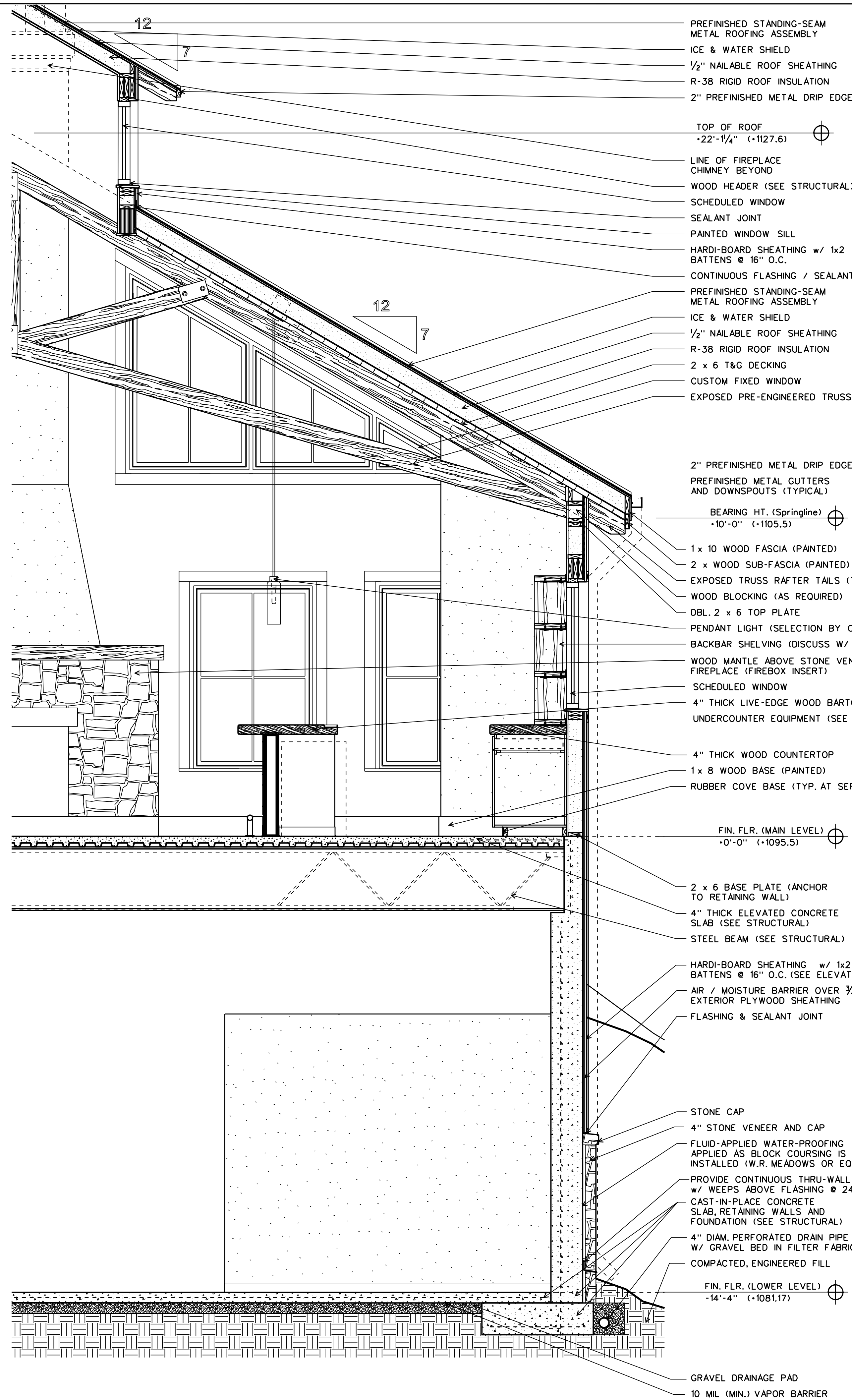
LONGITUDINAL BUILDING SECTION

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Decatur, GA 30030
Tel: 404.998.5993
email: jeff@earthstationarchitecture.com

DATE: 6/01/24 PROJECT NUMBER: EB1A2208
DRAWING NUMBER

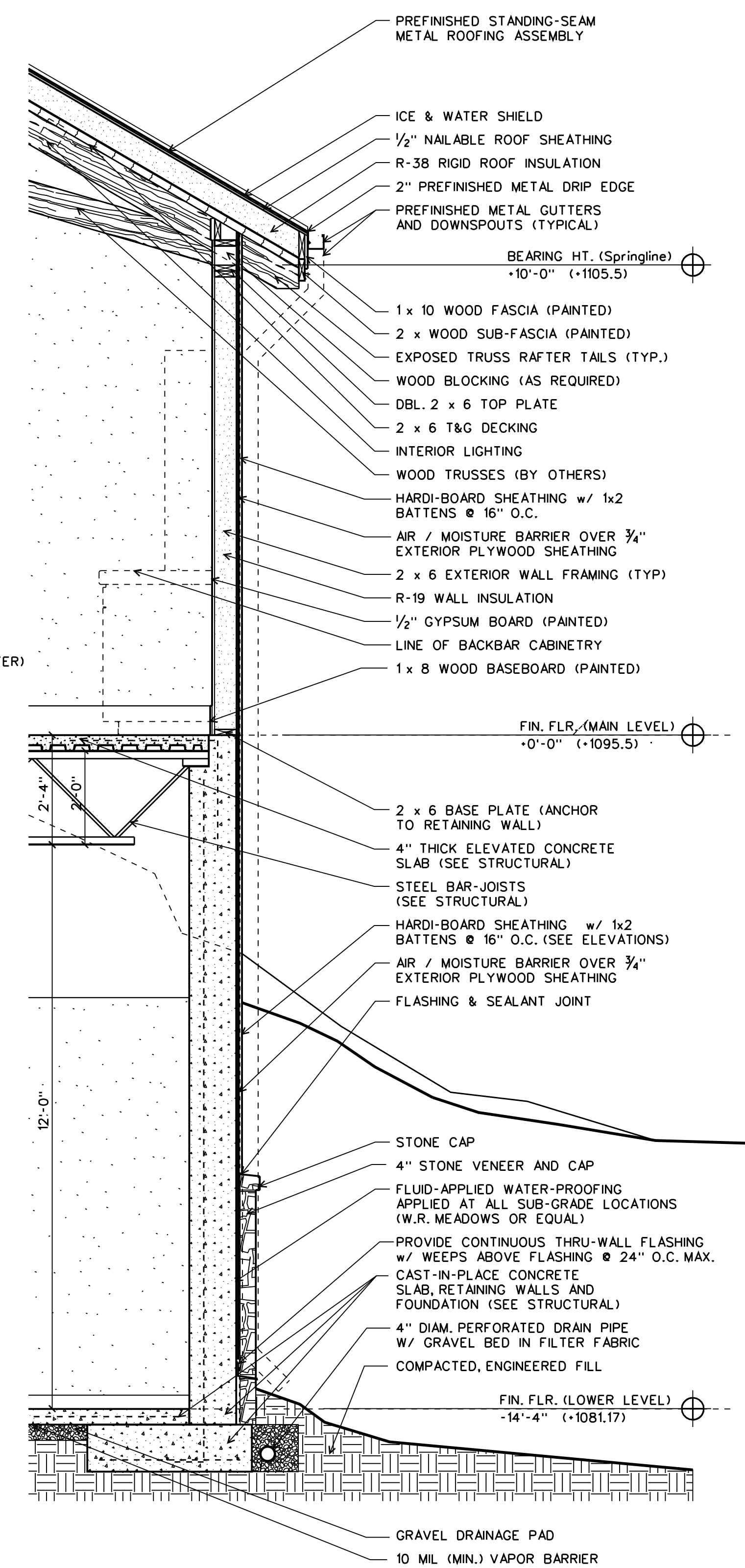
A307





2 WALL SECTION

1/2" = 1'-0"



1 TYPICAL WALL SECTION

1/2" = 1'-0"

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RELEASES / DATES	
DRW	06/01/2024
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Mulberry Springs Winery
 New Construction
 4527 JM Turk Road
 Flowery Branch, GA 30542
 (HALL COUNTY)

PROJECT CONTACT:
MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
REVIEWED BY: J. WREN

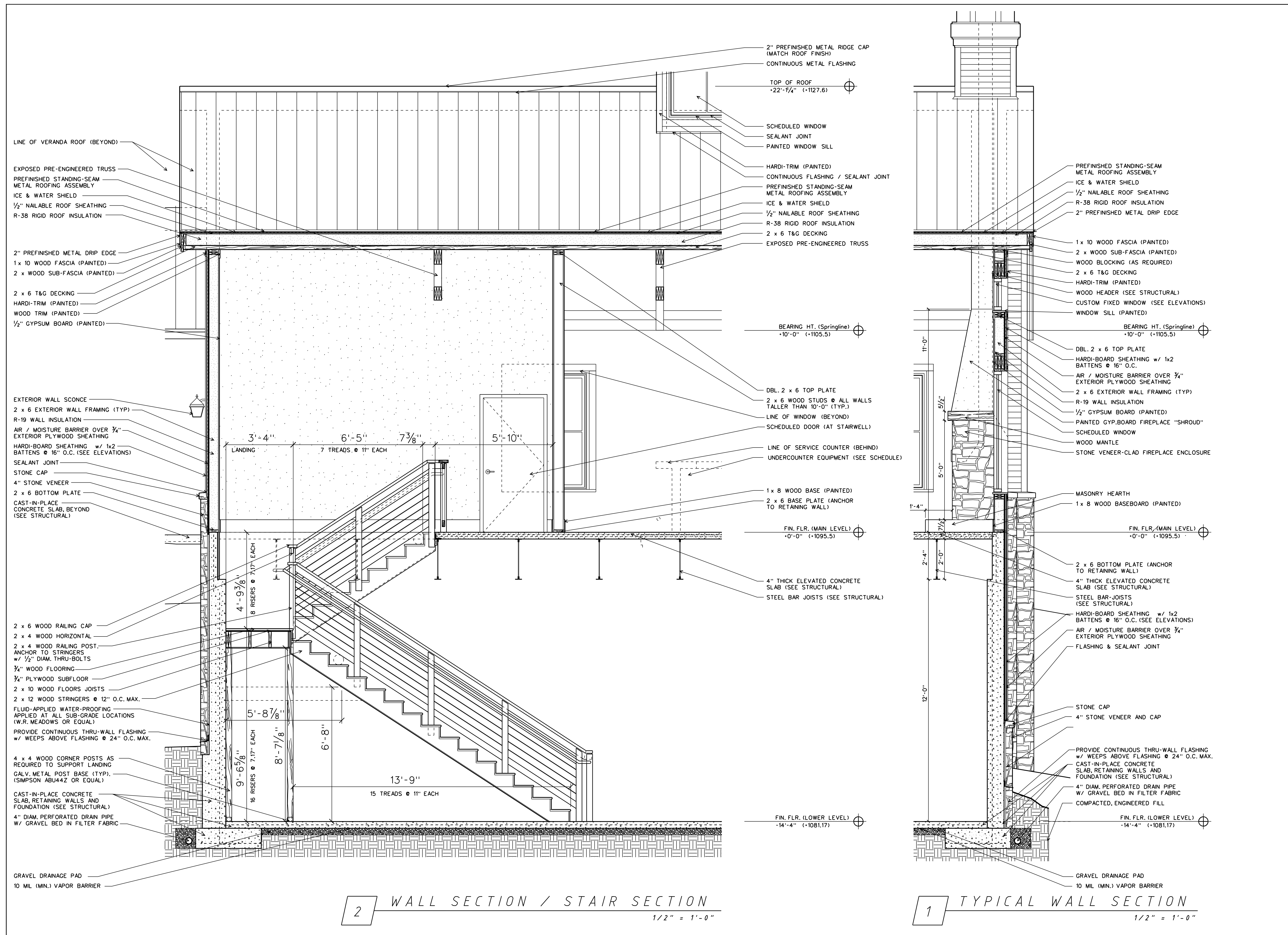


WALL SECTIONS

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 Decatur, GA 30030
 Tel: 404.988.5989
 email: jeff@earthstationarchitecture.com

DATE: 6/01/24 PROJECT NUMBER: EB1A2208
DRAWING NUMBER

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RELEASES / DATES

100% Construction Documents	DATE: 6/15/2024
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Mulberry Springs Winery
New Construction
4527 JM Turk Road
Flowerly Branch, GA 30542
(HALL COUNTY)

PROJECT CONTACT:
MARK FAUL 878-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
REVIEWED BY: J. WREN



WALL SECTION & DETAILS

EarthStation
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Decatur, GA 30030
Tel: 404.988.5989
email: jeff@earthstationarchitecture.com

DATE: 6/07/22 PROJECT NUMBER: EB1A2208
DRAWING NUMBER

A402

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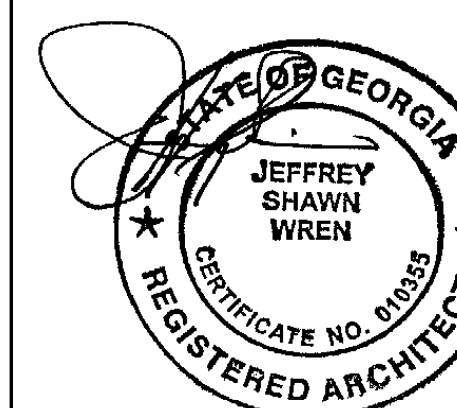
RELEASES / DATES	
100% Construction Documents	DATE: 6/15/2024
---	DATE: ---
---	DATE: ---
---	DATE: ---
---	DATE: ---

Mulberry Springs Winery
New Construction
4527 JM Turk Road
Flowerly Branch, GA 30542
(HALL COUNTY)

PROJECT CONTACT:
MARK FAUL 678-472-6327

ISSUED FOR CONSTRUCTION

DRAWN BY: J. WREN
REVIEWED BY: J. WREN



RESTROOM ACCESSORIES

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DATE: 6/01/22 PROJECT NUMBER: EB1A2208
DRAWING NUMBER

A501

ACCESSORIES SCHEDULE			
<p>A. GRAB BARS 1. (1) 36" FOR EACH RESTROOM MANUF: BRADLEY MODEL #: 8120-001360 2. (1) 42" FOR EACH RESTROOM MANUF: BRADLEY MODEL #: 8120-001420 NOTE: PROVIDE BLOCKING IN WALL</p>	<p>C. TOILET TISSUE DISPENSER 1. (1) FOR EACH RESTROOM MANUF: BRADLEY MODEL #: 5922 RECESSED COMBINATION UNIT DIMENSIONS: 17-1/8" W x 30-5/8" H x 4-1/2" D ROUGH OPENING: 15-3/8" x 28-7/8" H x 4-1/4" D NOTE: PROVIDE BLOCKING IN WALL (AS REQ'D)</p>	<p>E. MIRRORS 1. (1) FOR EACH RESTROOM MANUF: BRADLEY MODEL #: 740-1836 Fixed Tri Mirror DIMENSIONS: 18" x 36" NOTE: PROVIDE BLOCKING IN WALL (AS REQ'D)</p>	
<p>B. CHANGING TABLE 1. (1) FOR EACH RESTROOM MANUF: FOUNDATIONS STAINLESS STEEL DIMENSIONS: 37.5"W x 21.75"H x 4"D (CLOSED), 17.1875"D (OPEN) ASSEMBLED WEIGHT: 45 LBS. NOTE: PROVIDE BLOCKING IN WALL</p>	<p>D. PAPER TOWEL DISPENSER 1. (1) FOR EACH RESTROOM MANUF: BRADLEY MODEL #: 244 RECESSED TOWEL DISPENSER DIMENSIONS: 14"W x 28"H x 4"D ROUGH OPENING: 12-1/2"W x 28-5/8"H x 4"D NOTE: PROVIDE BLOCKING IN WALL (AS REQ'D)</p>		
MOUNTING HEIGHTS			
<p>CHANGING TABLE</p>	<p>PAPER TOWEL DISPENSER</p>	<p>ADA WATER CLOSET</p>	<p>VANITY</p>

RESTROOM ACCESSORIES SPECIFICATIONS

N. T. S.