



## Residential Deck Requirements

When is a Permit Required? How do I apply for a Permit? How much will the Permit Cost? What inspections are required? What about Zoning? Foundation Requirements Can your staff deslon it for me?

### **When is a Permit Required?**

A permit is required to build a deck.

### **How do I apply for a Permit?**

A permit application for a residential deck consists of a completed [building permit application](#) form and one set of drawings showing the deck **dimensions** and details of **how** It will be built. An As-Built site plan of the house, showing the location of all proposed decks, must also be provided.

Sufficient drawings need to be provided to show the size, shape and construction of the deck; these would include floor and framing plans, 3 guardrail and or handrail detail, a section, an elevation, and ledger, and bracing details. Ledger board connections to your house, as well as other bolted and nailed connections also need to be detailed. Your drawings should produce a very clear design of the deck. Where there are structural concerns such as cantilever, hot tub, or decks over eight feet in height, structural calculation may be required.

### **How much will the Permit Cost?**

Permit fees are based on the size of the proposed decks. Please see the permit fee schedule or call 260/668-1000 ext 1250

### **What inspections are required?**

Structural inspections are required. The extent of which depends on the overall scope of the project. Electrical and plumbing permits and inspection may also apply if electrical and or plumbing work is planned.

Inspection requests are made by calling 260/668-1000 ext 1260. Please follow the instructions on the recording. You should know your permit number, have a contact name and phone number, the type of inspection you are requesting, and site address, and any special instructions such as a morning or afternoon inspection.

### **What about Zoning?**

All projects have to meet the required setbacks from property lines, and other regulations in the zoning code.

Please call 260/668-1000 ext 1600 find out If there are any restrictions before you start work.

### **Foundation Requirements**

There are several ways to support your deck Including sono-tubes,, and cantilevering it out from

your existing building framing. Each method has benefits, but you need to gather all of the information before you make that decision. Building Safety staff are glad to answer questions regarding code requirements, and your local building supply source is another good place to look.

In general a permanent foundation, such as sono-tubes buried at least 36" In the ground (note that if your soil is susceptible to frost, they may need to be buried deeper) will be required. Other systems, such as wooden posts, driven pipe piles, helical piers, and conventional footings are also acceptable.

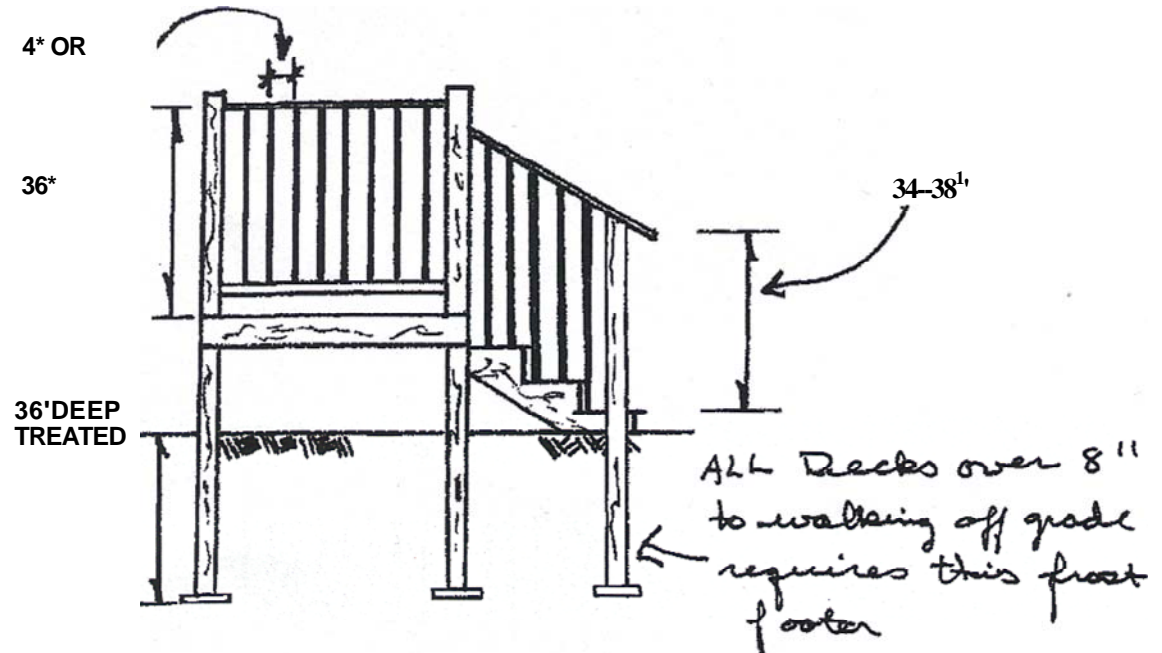
### **Can your staff design it for me?**

No, Building Safety Staff cannot design your deck; however, most of the building supply outlets in the area have automated systems that will assist you in selecting beam sizes, joist sizes, and other connection information. We will check your design, so be sure to submit the calculations that you are provided, so we can verify that required code forces were used.

## **Summary of Steuben County's permit requirements as per interview by James Fuller President VOP 2008-2009 with Frank Charlton, building commissioner and Jonathon Ringle, Steuben County Plan Commission**

0. **EFFECTIVE AUGUST 2008, A COPY OF LOT SURVEYS ARE REQUIRED ON PROPERTY SIZE OF LESS THAN 2 ACRES FOR CONSTRUCTION PERMITS TO BE ISSUED.**
1. Almost any project requires a county planning commission permit, and possibly a building permit
2. A somewhat accurate drawing must be submitted to the Health department for clearance confirmation from existing septic field systems. Many of the newer lots from the mid 1980s are on file at the health department.
3. Included on this drawing should be the location and present sizes of all existing structure(s).
4. Specifically include on the drawing(s) the sizes and placement of the new project on your lot.
5. **A planning commission permit is required for any project to be done on an owner's lot. These permits do not require inspections and are mostly for the purposes of tax assessment adjustments for those affected lots.** This permit requirement also includes the construction of decks on the ground.
6. It should be noted at this point about our restrictive language that states "decks and sheds should be built on blocks above the ground, as no permanent structures are allowed in the valley". The County's position on this state that they have not official position. Structures are not necessarily considered permanent if setting on the ground. As an example, for a person to set a deck on blocks elevates said deck above the 8" height allowed by the current county construction code without needing frost footers
7. It is suggested as a compromise to the restrictive that the blocks be buried to a point that the top of the block is flush with the ground surface as it would be once again costly to remove the language about the usage of blocks in the restrictive language.
8. **SHEDS AND OTHER ENCLOSURES SUCH AS PORCHES**
9. Sheds up to 199 square feet do not need continuous frost footer as per the most recent county language revisions. If a shed extends to the point that the ground drops away and further support is needed, the county has no frost footer requirements for this type of application.
10. It should be noted that sheds up to 199 sq.ft. need only to follow the language of items #1` through #5 as previously written above.
11. **Sheds less than 199 sq.ft. , being built on site or being pre-constructed and delivered for setting in place need to have a plan Steuben Co. plan Commission permit, but not a building permit or inspections.**
12. The act of total exact replacement or refurbishing of a shed or on ground deck in the exact location and dimensions does not constitute the need of a county permit.
13. **PORCHES OF ANY TYPE , SIZE,OR DESIGN** require both plan commission and building department permits and are subject to inspections during construction. The construction of a porch, whether only an open supported roof or fully enclosed style, is totally subject to current structural building codes of Steuben county. The exception to this would be a permit for a pre-engineered enclosure as approved by an appropriate governing body such as the RPTIA association.
14. **STEBEN COUNTY WILL NOT ISSUE ANY SAID PERMITS WITHOUT A COPY OF THE VOP CONSTRUCTION REQUEST APPROVED BY THE BOARD OF DIRECTORS**

## Residential Decks, Guardrails and Stairs



### DECK QUICK TIPS

#### GRADE LEVEL DECKS

Decks placed on the ground where walking surface does not exceed 8 inches above finish grade do not require a building permit. They do require sign offs from the Building Dept, Plan Commission and Health Department.

#### DECKS

Frost-free or deep footing decks are built on posts set on Sakrete or concrete placed 36" deep below grade and framing can be attached to any structure with similar footings. Finished walking surfaces above 30" require guardrails and steps require handrails. This type of deck is the most common.

#### BUILDING MATERIALS

Treated material has changed significantly! Be sure you are building with the correct wood, nails, anchors, bolts and flashings for your project. Code requires: Galvanized joist hangers on all joists 1-1/2" joist hanger nails

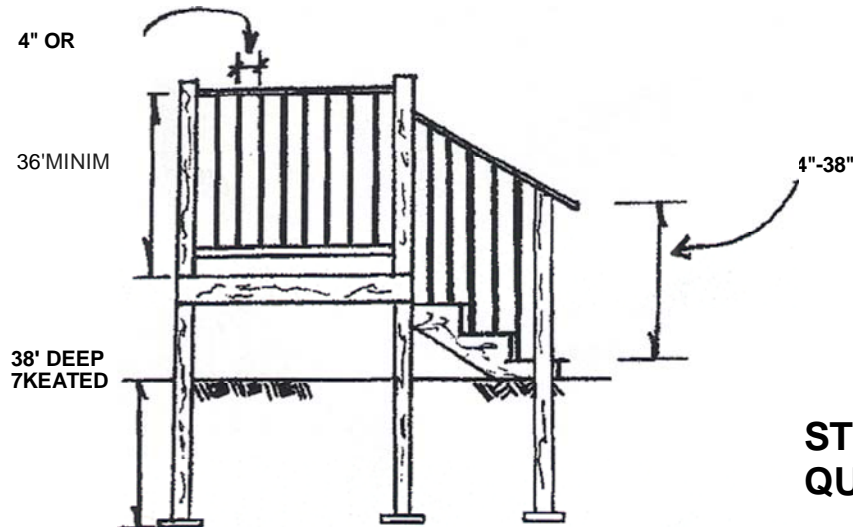
Triple-coated screws (approved for AC2 treated lumber) to screw decking to floor joist  
Girder/header required to be doubled All girder/header to be fastened to posts as follows:

- Galvanized 20 penny 4" pole barn spikes or
  - Galvanized lag bolts or
  - Galvanized carriage bolts.
- Screws are *not allowed* — no shear strength**

## *Residential Decks, Guardrails and Stairs*

4" OR LESS'

## Residential Decks, Guardrails and Stairs



### STAIRWAYS

Must be a minimum 36" clear head room

### TREADS

Minimum tread depth 9" including nosing with variations no greater than 3/8"

Minimum tread depth 11-1/4" for exterior steps with 1 or 2 risers at doors other than **required** exit

### RISERS

Open risers are permitted when the space between treads is less than 4"

Maximum riser height of 8-1/4" tread to tread with variations no greater than 3/8"

### NOSINGS

Minimum of 3/4", Maximum of 1-1/4" on stairs with solid risers

No variations greater than 3/8"

Typical nosing overhand is 1"

Not required where tread depth is 11" or greater

### LANDINGS

Minimum 36" X 36"

Required at top and bottom of each stairway (except at top of interior stairs with door that swings in)

Required inside and outside the **required** exit

Within 1-1/4" of threshold on interior / within 8-1/4" of threshold on exterior

At exterior doors where there are three or more risers

### HANDRAILS ON STAIRWAY

Required on one side of any stairway with four or more risers

34" to 38" high measured vertically from the nosing of the tread

Must be 1-1/2" away from wall and have 1-1/4" to 2-7/8" grip area or diameter

Ends must terminate into wall or newel post

Must not project more than 4-1/2" into the stairway on either side

### GUARDS

Required when more than 30" above grade Set

not less than 36" above a walking surface

Vertical spindles set 4" apart or less

### STAIRWAY QUICK TIPS

wide with minimum 6' 8"