



NORWICH NEW BUILD SNAGGING
Covering all of Norfolk

New Build Snagging Survey

Homeowners Name: Joe Sample
Address: 456 Sample Avenue, Sprowston, Norwich, NR13 6**
Plot Number: 123
Developer Name: Sample Homes
Inspection Number: 1447
Inspection Type: Post completion inspection
Date: 24/04/2026
Issue Count: 146

Property Details Page



Type of Property: 4 Bedroom Detached House

Inspection Type: Post completion inspection

Date of inspection: 24/04/2026

Completion Date: 28/03/2026

Additional Info:

The property has remained empty up to the inspection date.

Guidance Used

The Guidance used to generate this report is from the following:

The Building Regulations
NHBC Standards
Industry Good Practice Guides

Equipment Used

Equipment used while carrying out the inspection are all non destructive and listed below:

Drone (Location and weather permitting)
Thermal Imaging Camera (conditions permitting)
Borescope Camera
Laser Levels/Builders Levels
Laser Measure
Voltage Stick
Plug Tester
Water Flow Rate Jug

Location: Front elevation

Non-Issue

Description:

Photo of the front elevation



Location Detail:

Front elevation

Issue 001

Low Priority

Description:

Entrance door handle is loose, needs tightening



Location Detail:

Front elevation

Regulation/Standard:

NHBC 6.7.11.4 IRONMONGERY

Issue 002

Low Priority

Description:

Protective film needs removing from weather bar



Location Detail:

Front elevation

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER

Location: Front elevation (Continued)

Issue 003

Low Priority

Description:

Entrance door undercoat is showing through paintwork, scuffs and overpaint need removing

Location Detail:

Front elevation

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Issue 004

Low Priority

Description:

Entrance door sill is scuffed from trades, needs repair or paint.

Location Detail:

Front elevation

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Issue 005

Moderate Priority

Description:

Entrance door surround, Mis-cut needs repair on top right reveal. Masking tape needs removing at top. Paint has bubbled on right side return. Screw cover cap missing. Right hand side screw has been tightened too much. Needs releasing.

Location Detail:

Front elevation

Regulation/Standard:

N/A



Location: Front elevation (Continued)

Issue 006

Moderate Priority

Description:

DPM weep holes are blocked with mortar about 20mm in, not functioning, NHBC requires weep holes to be clear.

Location Detail:

Front elevation

Regulation/Standard:

NHBC 6.1.17 WEEP HOLES



Issue 007

Low Priority

Description:

Lower right window protective film needs removing from lintel trim, excess render needs removing

Location Detail:

Front elevation

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Issue 008

Moderate Priority

Description:

Render by bay window is coming away, needs repair and excess render needs removing

Location Detail:

Front elevation

Regulation/Standard:

N/A



Location: Front elevation (Continued)

Issue 009

Moderate Priority

Description:

Minor damage to bay window Stone sills.
Chipped, needs repair



Location Detail:

Front elevation

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK

Issue 010

Low Priority

Description:

Protruding nail needs removing from brick face



Location Detail:

Front elevation

Regulation/Standard:

N/A

Issue 011

Low Priority

Description:

Protective film needs removing from upper
window lintel trims



Location Detail:

Front elevation

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK

Location: Front elevation (Continued)

Issue 012

Low Priority

Description:

Debris needs removing from Bay window roof

Location Detail:

Front elevation

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Issue 013

Low Priority

Description:

NHBC requires pre fabricated canopies to be sealed to prevent water passing by

Location Detail:

Front elevation

Regulation/Standard:

Canopies and Flashings NHBC



Issue 014

Significant Priority

Description:

Bay window is visibly out of plumb, NHBC requires windows to be installed plumb. Actual is out of plumb by 20mm per mtr. Needs adjustment

Location Detail:

Front elevation

Regulation/Standard:

NHBC 9.1.4 DOORS AND WINDOW TOLERANCES



Location: Right elevation

Non-Issue

Description:

Photo of the right elevation

Location Detail:

Right elevation



Issue 015

Low Priority

Description:

Lower right window lintel trim has been cut short. Needs adjustment

Location Detail:

Right elevation

Regulation/Standard:

N/A



Issue 016

Low Priority

Description:

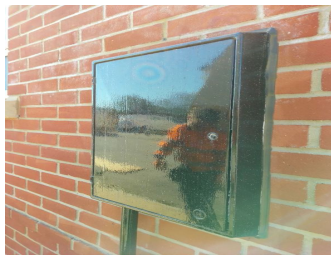
Electric meter box paint has not taken evenly, needs repaint

Location Detail:

Right elevation

Regulation/Standard:

NHBC 9.5.10 COMPLETED PAINTING



Location: Right elevation (Continued)

Issue 017

Low Priority

Description:

Electric meter box holes into cavity need foam or sealing to prevent insect entry, also missed in handover clean.

Location Detail:

Right elevation

Regulation/Standard:

NHBC 8.1.3.2 SERVICE DUCTS SEALED AT BOTH ENDS



Issue 018

Low Priority

Description:

Protective film needs removing from lintel trims

Location Detail:

Right elevation

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK



Issue 019

Moderate Priority

Description:

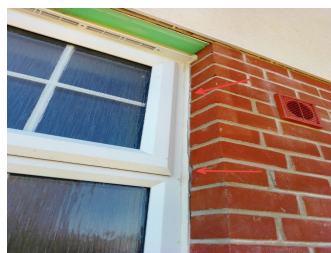
Lower left window seal is not sealed to brickwork, gapping. Needs sealing

Location Detail:

Right elevation

Regulation/Standard:

NHBC 6.1.6.2 RAIN PENETRATION



Location: Right elevation (Continued)

Issue 020

Moderate Priority

Description:

Pointing needed at expansion joint. Gap in mortar.

Location Detail:

Right elevation

Regulation/Standard:

NHBC 6.1.6.2 RAIN PENETRATION



Location: Left elevation

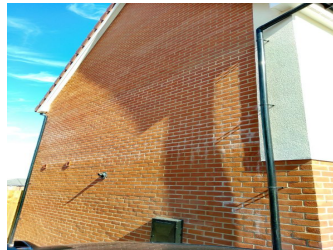
Non-Issue

Description:

Photo of the left elevation

Location Detail:

Left elevation



Issue 021

Low Priority

Description:

Boiler flue shroud needs adjustment to sit flush to wall. Or sealed.

Location Detail:

Left elevation

Regulation/Standard:

N/A



Location: Rear elevation

Non-Issue

Description:

Photo of the rear elevation

Location Detail:

Rear elevation



Issue 022

Low Priority

Description:

Bay area canopy is missing clips, need installing.

Location Detail:

Rear elevation

Regulation/Standard:

N/A



Issue 023

Low Priority

Description:

Bay area French doors trickle vent clip is missing, minor damage to vent.

Location Detail:

Rear elevation

Regulation/Standard:

N/A



Location: Rear elevation (Continued)

Issue 024

Moderate Priority

Description:

Bay area right corner trim is not seated correctly, gapping, needs adjustment or sealing.



Location Detail:

Rear elevation

Regulation/Standard:

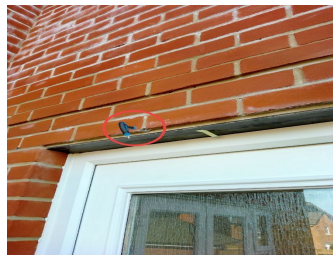
NHBC 6.1.6.2 RAIN PENETRATION

Issue 025

Moderate Priority

Description:

Utility door weep hole is blocked with mortar about 20mm in, not functioning



Location Detail:

Rear elevation

Regulation/Standard:

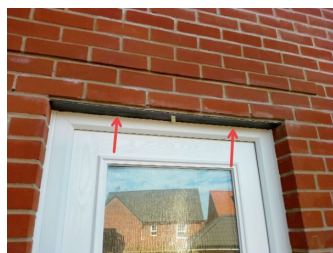
NHBC 6.1.17 WEEP HOLES

Issue 026

Moderate Priority

Description:

Utility door frame needs sealing at top.



Location Detail:

Rear elevation

Regulation/Standard:

NHBC 6.1.6.2 RAIN PENETRATION

Location: Rear elevation (Continued)

Issue 027

Low Priority

Description:

Utility door handle is loose, needs tightening

Location Detail:

Rear elevation

Regulation/Standard:

NHBC 6.7.11.4 IRONMONGERY



Issue 028

Low Priority

Description:

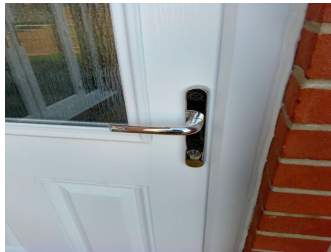
Utility door handle has premature discolouration. May need replacing

Location Detail:

Rear elevation

Regulation/Standard:

NHBC 6.7.11.4 IRONMONGERY



Issue 029

Low Priority

Description:

Utility door weather bar end caps are missing, need installing

Location Detail:

Rear elevation

Regulation/Standard:

N/A



Location: Rear elevation (Continued)

Issue 030

Low Priority

Description:

Unnecessary joint at lounge French doors lintel trim. Could be one length.

Location Detail:

Rear elevation

Regulation/Standard:

N/A



Issue 031

Moderate Priority

Description:

Lounge French doors header trim has large gap and screw visible. Needs adjustment to remove gap.

Location Detail:

Rear elevation

Regulation/Standard:

N/A



Issue 032

Low Priority

Description:

Lounge French doors hinge cover cap is missing, needs installing

Location Detail:

Rear elevation

Regulation/Standard:

N/A



Location: Rear elevation (Continued)

Issue 033

Low Priority

Description:

Protective film needs removing from lintel trims

Location Detail:

Rear elevation

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK



Issue 034

Moderate Priority

Description:

Bay area roof weep holes have sealant blocking them. Need clearing.

Location Detail:

Rear elevation

Regulation/Standard:

NHBC 6.1.17 WEEP HOLES



Issue 035

Significant Priority

Description:

Upper right window has not been sealed in. Needs sealing

Location Detail:

Rear elevation

Regulation/Standard:

NHBC 6.1.6.2 RAIN PENETRATION



Location: Roof and gutters

Issue 036

Significant Priority

Description:

All fascias have joint trims missing. Large gaps. Trims need installing.

Location Detail:

Roof and gutters

Regulation/Standard:

N/A



Issue 037

Low Priority

Description:

Rear elevation gutter end cap is not seated correctly, needs adjustment

Location Detail:

Roof and gutters

Regulation/Standard:

N/A



Issue 038

Low Priority

Description:

Gutter clip not secured correctly at front elevation.

Location Detail:

Roof and gutters

Regulation/Standard:

N/A



Location: Paths drive garden

Issue 039

Moderate Priority

Description:

Multiple loose slabs under foot need re-bedding, please check all of them

Location Detail:

Paths drive garden

Regulation/Standard:

N/A



Issue 040

Low Priority

Description:

Excess mud needs removing from inspection covers. Please check all of them

Location Detail:

Paths drive garden

Regulation/Standard:

N/A



Issue 041

Low Priority

Description:

Gate is missing stop beads, need installing.

Location Detail:

Paths drive garden

Regulation/Standard:

N/A



Location: Paths drive garden (Continued)

Issue 042

Moderate Priority

Description:

Water meter frost protection is missing, needs installing

Location Detail:

Paths drive garden

Regulation/Standard:

N/A



Issue 043

Low Priority

Description:

Multiple shrubs are looking dead, please check all shrubs and replace if needed

Location Detail:

Paths drive garden

Regulation/Standard:

N/A



Location: Garage

Issue 044

Low Priority

Description:

Staining needs removing from garage door and lintel trim.

Location Detail:

Garage

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Location: Garage (Continued)

Issue 045

Moderate Priority

Description:

Blown brickwork from garage door fixings needs repair. Also unseated brick needs resetting.



Location Detail:

Garage

Regulation/Standard:

N/A

Issue 046

Low Priority

Description:

Protruding wall ties need removing if a pier is not required. If pier is required then please install it.



Location Detail:

Garage

Regulation/Standard:

N/A

Issue 047

Significant Priority

Description:

Separating wall sheathing has multiple areas of damage. Will need repair to bring it up to fire resistance standards.



Location Detail:

Garage

Regulation/Standard:

N/A

Location: Garage (Continued)

Issue 048

Low Priority

Description:

Hold down strap has not been secured correctly, needs adjustment



Location Detail:

Garage

Regulation/Standard:

N/A

Location: Entrance

Issue 049

Moderate Priority

Description:

Large gapping in entrance door frame sealant. Needs sealing



Location Detail:

Entrance

Regulation/Standard:

NHBC 9.1.9 SEALANT FINISHES

Issue 050

Low Priority

Description:

Minor damage to door frame here, chipped, needs repair



Location Detail:

Entrance

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER

Location: Entrance (Continued)

Issue 051

Low Priority

Description:

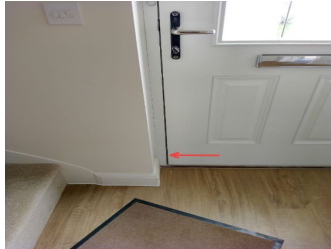
2mm gap between draught excluder and door, needs adjustment

Location Detail:

Entrance

Regulation/Standard:

N/A



Issue 052

Low Priority

Description:

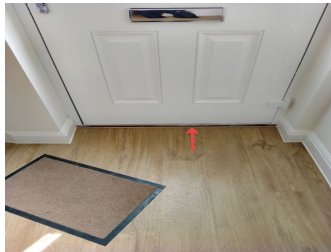
Entrance door sill is scuffed, needs repair or paint.

Location Detail:

Entrance

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Issue 053

Low Priority

Description:

Minor damage to flooring here, scratch. Needs repair. Previously reported.

Location Detail:

Entrance

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK



Location: Entrance (Continued)

Issue 054

Low Priority

Description:

Making good maybe required, minor imperfections, filler needed by entrance. Debris under paintwork, screw head pop.

Location Detail:

Entrance

Regulation/Standard:

NHBC 9.5.10 COMPLETED PAINTING



Issue 055

Low Priority

Description:

Cupboard door is loose in keep, rattling, needs adjustment

Location Detail:

Entrance

Regulation/Standard:

N/A



Issue 056

Low Priority

Description:

Caulking needed around fascia inside cupboard

Location Detail:

Entrance

Regulation/Standard:

N/A



Location: Entrance (Continued)

Issue 057

Significant Priority

Description:

Heating control panel is heating up master bedroom and En-suite radiators, and vice versa, zone valves need switching.



Location Detail:

Entrance

Regulation/Standard:

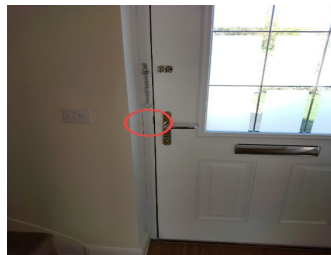
N/A

Issue 058

Low Priority

Description:

Door is not catching in keep easily, needs adjustment



Location Detail:

Entrance

Regulation/Standard:

NHBC 6.7.11.4 IRONMONGERY

Location: Study

Non-Issue

Description:

Room measurements for homeowner reference



Location Detail:

Study

Location: Study (Continued)

Issue 059

Low Priority

Description:

Opening handle will not engage in night latch mode, needs adjustment

Location Detail:

Study

Regulation/Standard:

N/A



Issue 060

Low Priority

Description:

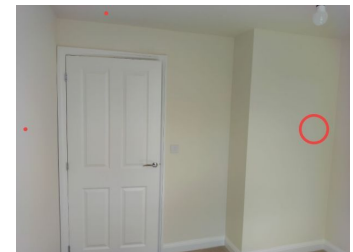
Making good maybe required, minor imperfections, previous repair is visible on wall, filler needed and debris under paintwork. Settling cracks at corners.

Location Detail:

Study

Regulation/Standard:

NHBC 9.5.7.2 PAINTING PLASTERBOARD



Issue 061

Low Priority

Description:

Light rose is not flush on ceiling, needs adjustment.

Location Detail:

Study

Regulation/Standard:

N/A



Location: Wc

Non-Issue

Description:

Room measurements for homeowner reference

Location Detail:

Wc



Issue 062

Moderate Priority

Description:

Pipe entry hole needs making good behind pedestal, pipe collar will not cover hole.

Location Detail:

Wc

Regulation/Standard:

N/A



Issue 063

Low Priority

Description:

Making good maybe required, minor imperfections, settling crack at corner and debris under paintwork

Location Detail:

Wc

Regulation/Standard:

NHBC 9.5.7.2 PAINTING PLASTERBOARD



Location: Lounge

Non-Issue

Description:

Room measurements for homeowner reference

Location Detail:

Lounge



Issue 064

Low Priority

Description:

French doors protective film needs fully removing

Location Detail:

Lounge

Regulation/Standard:

N/A



Issue 065

Low Priority

Description:

French doors glazing beads are not seated correctly, needs adjustment

Location Detail:

Lounge

Regulation/Standard:

N/A



Location: Lounge (Continued)

Issue 066

Low Priority

Description:

French doors window opening is visibly out of square. Needs adjustment. Also handle will not engage in night latch mode



Location Detail:

Lounge

Regulation/Standard:

N/A

Issue 067

Moderate Priority

Description:

Scratches in sealed units above the NHBC tolerance of no more 25mm, actual is over 100mm. Previously reported, I believe this is already in hand.



Location Detail:

Lounge

Regulation/Standard:

NHBC 9.1.6 GLAZING TOLERANCES

Issue 068

Low Priority

Description:

Minor damage to French doors frame, cracked, needs repair



Location Detail:

Lounge

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER

Location: Lounge (Continued)

Issue 069

Low Priority

Description:

Right French door is catching, needs adjustment

Location Detail:

Lounge

Regulation/Standard:

NHBC 6.7.11.4 IRONMONGERY



Issue 070

Low Priority

Description:

Making good maybe required, minor imperfections, screw head pops in ceiling, debris under paintwork and filler needed. Settling crack in corner and previous touch up visible on wall to left of French doors

Location Detail:

Lounge

Regulation/Standard:

NHBC 9.5.10 COMPLETED PAINTING



Location: Kitchen dining

Non-Issue

Description:

Room measurements for homeowner reference

Location Detail:

Kitchen dining



Location: Kitchen dining (Continued)

Issue 071

Low Priority

Description:

Door is slightly sprung, needs force to catch in keep, needs adjustment

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Issue 072

Low Priority

Description:

Multiple scratches on flooring, needs repair, please check all flooring

Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Issue 073

Low Priority

Description:

Centre opening is catching here, needs adjustment

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Location: Kitchen dining (Continued)

Issue 074

Low Priority

Description:

Centre and right opening handles will not engage in night latch mode. Needs adjustment

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Issue 075

Moderate Priority

Description:

Scratches in sealed units above the NHBC tolerance of no more than 25mm, actual is over 150mm. Previously reported

Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 9.1.6 GLAZING TOLERANCES



Issue 076

Moderate Priority

Description:

Large gaps at French doors sills. Draught coming through. Needs sealing.

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Location: Kitchen dining (Continued)

Issue 077

Low Priority

Description:

Minor damage to French door here, Stanley knife cut mark. Needs repair.



Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK

Issue 078

Low Priority

Description:

Opening is visibly out of square, needs adjustment



Location Detail:

Kitchen dining

Regulation/Standard:

N/A

Issue 079

Low Priority

Description:

French door hinges are noisy, need adjustment.



Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 6.7.11.4 IRONMONGERY

Location: Kitchen dining (Continued)

Issue 080

Moderate Priority

Description:

Scratches in sealed units above the NHBC tolerance of no more than 25mm, actual is 100mm



Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 9.1.6 GLAZING TOLERANCES

Issue 081

Low Priority

Description:

Making good maybe required, minor imperfections, sealant smear by French doors sill, scuffs and debris under paintwork, filler needed in areas.

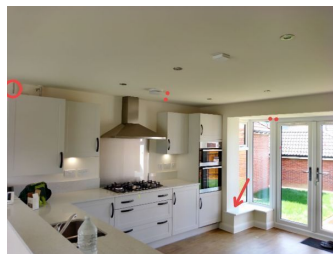


Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 9.5.7.2 PAINTING PLASTERBOARD



Issue 082

Low Priority

Description:

Over oven door is rubbing, needs adjustment

Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 9.1.8 FITTED FURNITURE FINISH



Location: Kitchen dining (Continued)

Issue 083

Low Priority

Description:

No gas hob heat shield installed

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Issue 084

Low Priority

Description:

Sink unit drip tray has excessive staining. Needs removing.

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Issue 085

Low Priority

Description:

Dishwasher door is noisy, needs adjustment.

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Issue 086

Low Priority

Description:

Minor damage to shelf, dent

Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK



Location: Kitchen dining (Continued)

Issue 087

Low Priority

Description:

Sealant needed under worktop at end panel.

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Issue 088

Low Priority

Description:

Sealant needed under worksurface. Daylight visible through gaps.

Location Detail:

Kitchen dining

Regulation/Standard:

N/A



Issue 089

Low Priority

Description:

Doors and drawers need aligning

Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 9.1.8 FITTED FURNITURE FINISH



Issue 090

Low Priority

Description:

Rubbish needs removing from under units.

Location Detail:

Kitchen dining

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Location: Kitchen dining (Continued)

Issue 091

Urgent Priority

Description:

Leak detected above utility door on ceiling. Moisture reading level is at 35%. Thermal camera has detected the leak by the heating pipes. Needs investigating.



Location Detail:

Kitchen dining

Regulation/Standard:

N/A

Issue 092

Low Priority

Description:

End panel is not installed plumb. Needs adjustment. Previously reported



Location Detail:

Kitchen dining

Regulation/Standard:

N/A

Location: Utility

Non-Issue

Description:

Room measurements for homeowner reference



Location Detail:

Utility

Location: Utility (Continued)

Issue 093

Low Priority

Description:

Door has excessive bowing. NHBC tolerance is no more than 5mm deviation, actual is 8mm

Location Detail:

Utility

Regulation/Standard:

NHBC 9.1.4 DOORS AND WINDOW TOLERANCES



Issue 094

Moderate Priority

Description:

Door frame fillers are not seated correctly, gapping. Needs adjustment.

Location Detail:

Utility

Regulation/Standard:

N/A



Issue 095

Low Priority

Description:

Gap at utility door weather bar, needs adjustment

Location Detail:

Utility

Regulation/Standard:

N/A



Location: Utility (Continued)

Issue 096

Low Priority

Description:

Security bolts are stiff to, needs adjustment

Location Detail:

Utility

Regulation/Standard:

NHBC 6.7.11.4 IRONMONGERY



Issue 097

Moderate Priority

Description:

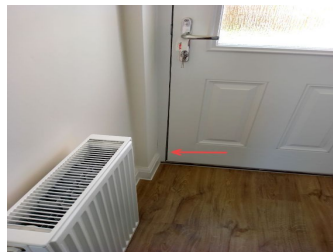
5mm gap between draught excluder and door, needs adjustment

Location Detail:

Utility

Regulation/Standard:

N/A



Issue 098

Low Priority

Description:

No door stop provided, good practice to install these where possible to prevent damages. Door clashes with appliance.

Location Detail:

Utility

Regulation/Standard:

N/A



Location: Utility (Continued)

Issue 099

Low Priority

Description:

Previous water and brazing damage to back panel is visible.

Location Detail:

Utility

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK



Issue 100

Low Priority

Description:

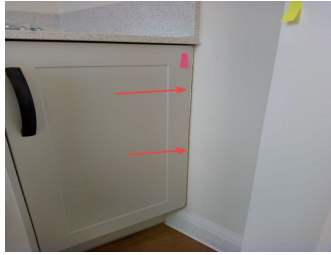
Sealant needs removing from door

Location Detail:

Utility

Regulation/Standard:

N/A



Issue 101

Low Priority

Description:

Sealant has been removed from here, needs resealing.

Location Detail:

Utility

Regulation/Standard:

N/A



Location: Utility (Continued)

Issue 102

Low Priority

Description:

Cam cover cap stickers are missing on wall units.

Location Detail:

Utility

Regulation/Standard:

N/A



Issue 103

Low Priority

Description:

Making good maybe required, minor imperfections, damage to wall by door and filler needed, overpaint on sill. Also on door edge.

Location Detail:

Utility

Regulation/Standard:

NHBC 9.5.10 COMPLETED PAINTING



Location: Stairs and landing

Issue 104

Low Priority

Description:

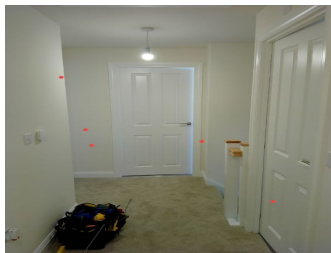
Making good maybe required, minor imperfections, board joint visible on wall, settling crack at stringer.

Location Detail:

Stairs and landing

Regulation/Standard:

NHBC 9.5.7.2 PAINTING PLASTERBOARD



Issue 105

Low Priority

Description:

Woodwork on handrail needs sanding and re-oiling. Inconsistent finish.

Location Detail:

Stairs and landing

Regulation/Standard:

NHBC 9.1.10 PAINTED SURFACES FINISH



Issue 106

Moderate Priority

Description:

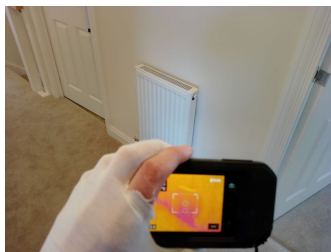
Radiator is not heating up when called to, needs adjustment

Location Detail:

Stairs and landing

Regulation/Standard:

N/A



Location: Stairs and landing (Continued)

Issue 107

Urgent Priority

Description:

Water storage tank has a considerable Leak from here, signs that it has been a prolonged leak, carpet is sodden. This is the reason for leak detected at ceiling in kitchen. Repair work needed.



Location Detail:

Stairs and landing

Regulation/Standard:

N/A

Location: Front left bedroom

Non-Issue

Description:

Room measurements for homeowner reference



Location Detail:

Front left bedroom

Issue 108

Low Priority

Description:

Door is sprung, has bowing at top. Needs adjustment



Location Detail:

Front left bedroom

Regulation/Standard:

N/A

Location: Front left bedroom (Continued)

Issue 109

Low Priority

Description:

No door stop provided, door clashes with wardrobes.



Location Detail:

Front left bedroom

Regulation/Standard:

N/A

Issue 110

Low Priority

Description:

Cupboard door is loose in keep, rattling, needs adjustment



Location Detail:

Front left bedroom

Regulation/Standard:

N/A

Issue 111

Moderate Priority

Description:

Scratches in sealed units above the NHBC tolerance of no more 25mm



Location Detail:

Front left bedroom

Regulation/Standard:

NHBC 9.1.6 GLAZING TOLERANCES

Location: Front left bedroom (Continued)

Issue 112

Low Priority

Description:

Sealant around small window has been stopped short here, needs sealing

Location Detail:

Front left bedroom

Regulation/Standard:

NHBC 9.1.9 SEALANT FINISHES



Issue 113

Low Priority

Description:

Door stop needs removing from inside wardrobe. No longer required.

Location Detail:

Front left bedroom

Regulation/Standard:

N/A



Issue 114

Low Priority

Description:

Making good maybe required, minor imperfections, multiple score marks on ceiling.

Location Detail:

Front left bedroom

Regulation/Standard:

N/A



Location: Master bedroom

Non-Issue

Description:

Room measurements for homeowner reference

Location Detail:

Master bedroom



Issue 115

Moderate Priority

Description:

Scratches in sealed units above the NHBC tolerance of no more 25mm.

Location Detail:

Master bedroom

Regulation/Standard:

NHBC 9.1.6 GLAZING TOLERANCES



Issue 116

Low Priority

Description:

Making good maybe required, minor imperfections, score marks on ceiling, debris under paintwork

Location Detail:

Master bedroom

Regulation/Standard:

NHBC 9.5.7.2 PAINTING PLASTERBOARD



Location: Master bedroom (Continued)

Issue 117

Moderate Priority

Description:

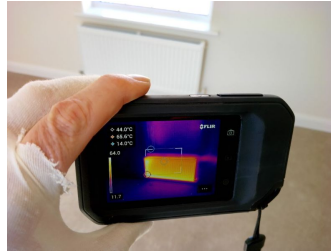
Radiator is not heating up when fully when called to. Needs adjustment

Location Detail:

Master bedroom

Regulation/Standard:

N/A



Location: En-suite

Non-Issue

Description:

Room measurements for homeowner reference

Location Detail:

En-suite



Issue 118

Low Priority

Description:

NHBC requires exposed copper pipes to be painted

Location Detail:

En-suite

Regulation/Standard:

NHBC 9.5.9 PAINTED COPPER PIPES



Location: En-suite (Continued)

Issue 119

Low Priority

Description:

Basin sealant failing, needs resealing

Location Detail:

En-suite

Regulation/Standard:

NHBC 9.1.9 SEALANT FINISHES



Issue 120

Moderate Priority

Description:

Manufacturing flaw on cistern lid, needs repair or replace

Location Detail:

En-suite

Regulation/Standard:

N/A



Issue 121

Low Priority

Description:

Pencil mark needs removing from grout. Overpaint on architrave

Location Detail:

En-suite

Regulation/Standard:

NHBC 9.5.10 COMPLETED PAINTING



Location: En-suite (Continued)

Issue 122

Low Priority

Description:

Minor damage to the top of the pedestal, chipped. Needs repair.



Location Detail:

En-suite

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK

Issue 123

Low Priority

Description:

Making good maybe required, minor imperfections, settling crack above door and caulking needed at tile trim



Location Detail:

En-suite

Regulation/Standard:

N/A

Location: Back left bedroom

Non-Issue

Description:

Room measurements for homeowner reference



Location Detail:

Back left bedroom

Location: Back left bedroom (Continued)

Issue 124

Moderate Priority

Description:

Scratches in sealed units above the NHBC tolerance of no more 25mm.

Location Detail:

Back left bedroom

Regulation/Standard:

NHBC 9.1.6 GLAZING TOLERANCES



Issue 125

Low Priority

Description:

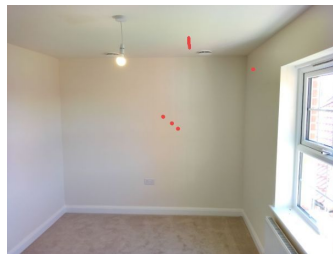
Making good maybe required, minor imperfections, score mark in ceiling, debris under paintwork and filler needed. Caulking needed around socket fascia.

Location Detail:

Back left bedroom

Regulation/Standard:

NHBC 9.5.7.2 PAINTING PLASTERBOARD



Location: Front right bedroom

Non-Issue

Description:

Room measurements for homeowner reference

Location Detail:

Front right bedroom



Location: Front right bedroom (Continued)

Issue 126

Low Priority

Description:

Door is catching here, needs adjustment

Location Detail:

Front right bedroom

Regulation/Standard:

N/A



Issue 127

Low Priority

Description:

Opening handle will not engage in night latch mode, needs adjustment

Location Detail:

Front right bedroom

Regulation/Standard:

N/A



Issue 128

Moderate Priority

Description:

Scratches in sealed units above the NHBC tolerance of no more 25mm

Location Detail:

Front right bedroom

Regulation/Standard:

NHBC 9.1.6 GLAZING TOLERANCES



Location: Front right bedroom (Continued)

Issue 129

Low Priority

Description:

Radiator cover cap will not seat correctly, needs adjustment

Location Detail:

Front right bedroom

Regulation/Standard:

N/A



Issue 130

Low Priority

Description:

Making good maybe required, minor imperfections, score marks on ceiling, jointing scrim visible on wall.

Location Detail:

Front right bedroom

Regulation/Standard:

NHBC 9.5.7.2 PAINTING PLASTERBOARD



Location: Bathroom

Non-Issue

Description:

Room measurements for homeowner reference

Location Detail:

Bathroom



Location: Bathroom (Continued)

Issue 131

Low Priority

Description:

Door will not catch in keep correctly, needs adjustment

Location Detail:

Bathroom

Regulation/Standard:

N/A



Issue 132

Low Priority

Description:

Overpaint on flooring needs removing, also sealant smear around toilet pan and pedestal

Location Detail:

Bathroom

Regulation/Standard:

NHBC 9.5.10 COMPLETED PAINTING



Issue 133

Low Priority

Description:

Missing flooring behind pedestal is very noticeable.

Location Detail:

Bathroom

Regulation/Standard:

N/A



Location: Bathroom (Continued)

Issue 134

Low Priority

Description:

NHBC requires copper pipes to be painted.

Location Detail:

Bathroom

Regulation/Standard:

NHBC 9.5.9 PAINTED COPPER PIPES



Issue 135

Moderate Priority

Description:

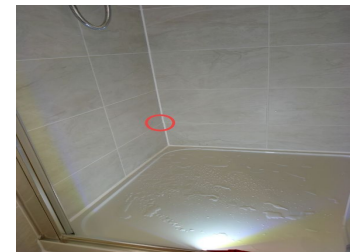
Micro holes in shower enclosure grout need filling,

Location Detail:

Bathroom

Regulation/Standard:

N/A



Issue 136

Low Priority

Description:

Large gap in grout, needs filling.

Location Detail:

Bathroom

Regulation/Standard:

N/A



Location: Bathroom (Continued)

Issue 137

Low Priority

Description:

Hole in grout over bath, by towel radiator and door stop, need filling.

Location Detail:

Bathroom

Regulation/Standard:

N/A



Issue 138

Low Priority

Description:

Gapping in sealant by toilet pan. Needs resealing.

Location Detail:

Bathroom

Regulation/Standard:

NHBC 9.1.9 SEALANT FINISHES



Issue 139

Low Priority

Description:

Copper pipe behind toilet needs painting.

Location Detail:

Bathroom

Regulation/Standard:

NHBC 9.5.9 PAINTED COPPER PIPES



Location: Bathroom (Continued)

Issue 140

Low Priority

Description:

Pedestal has minor damage, chipped and marked.

Location Detail:

Bathroom

Regulation/Standard:

NHBC 6.7.12 COMPLETED WORK



Issue 141

Low Priority

Description:

Making good maybe required, minor imperfections, excess grout on ceiling in shower enclosure, debris under paintwork and filler needed

Location Detail:

Bathroom

Regulation/Standard:

NHBC 9.5.7.2 PAINTING PLASTERBOARD



Issue 142

Low Priority

Description:

Bath panel is loose at top, needs securing

Location Detail:

Bathroom

Regulation/Standard:

N/A



Location: Bathroom (Continued)

Issue 143

Low Priority

Description:

Debris needs removing from under the bath

Location Detail:

Bathroom

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Issue 144

Low Priority

Description:

Holes and gaps under bath need foam or sealing for air tightness and to prevent potential draughts

Location Detail:

Bathroom

Regulation/Standard:

N/A



Location: Loft

Issue 145

Low Priority

Description:

Excess plasterboard needs removing from loft.

Location Detail:

Loft

Regulation/Standard:

NHBC 9.4.8 PROTECTION AND HANDOVER



Location: Loft (Continued)

Issue 146

Moderate Priority

Description:

One of the purge ventilation flexible ducting is not connected. Needs connecting.

Location Detail:

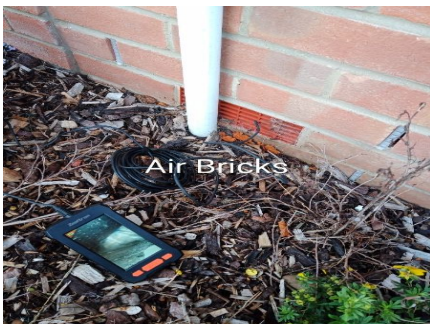
Loft

Regulation/Standard:

N/A



Checks Carried Out



Limitations

None provided

Additional Information and Guidance

Regulation Tolerance Photos

Canopies and Flashings NHBC

Technical guidance - 7.2/15

Canopy flashings

(May 2024) (Second issue – supersedes December 2024)

The Technical Guidance Notes are produced by NHBC as guidance solely for our builder customers as to how to interpret the technical requirements in relation to the warranty cover provided by NHBC under its Buildmark, Buildmark Choice, Buildmark Link, Buildmark Solo, Buildmark Connect or any similar product from time to time. It has not been created or intended for distribution or use outside of that purpose. The information contained in this Technical Guidance Note does not constitute advice and is not to be relied upon by any third party. Nothing in this Technical Guidance Note is intended to, nor should it be taken to, create any legal or contractual relationship. Any third party who chooses to rely upon the information contained in the Technical Guidance Notes shall do so entirely at their own risk and NHBC accepts no duty of care or liability, however caused, in connection with its use or reliance by any third party.

Question

Should flashings be provided to canopy roofs?

Considerations

- NHBC Standards clause 7.2.20 says, 'where a roof abuts a vertical surface, cover flashings, stepped flashings, soakers and back or parapet gutters should be provided as necessary'.
- NHBC Standards clause 7.2.20 says, 'where a roof is over an enclosed area, the wall construction should include cavity trays linked to the flashings'.
- Seepage of rainwater between the canopy and wall may cause damage to the canopy structure.

Answer

Canopy roofs constructed on site should be provided with flashings at the abutment with the wall, regardless of whether there is an enclosed or an open space below. Where there is an enclosed space below, the flashing should be linked to a cavity tray.

Prefabricated (GRP) canopies located over an open space can be installed without flashings but should be sealed back to the wall with a suitable sealant such as silicone, to minimise rainwater ingress. Prefabricated canopies located over an enclosed space should be provided with flashings linked to cavity trays.

NHBC 6.1.17 WEEP HOLES

6.1 External masonry walls

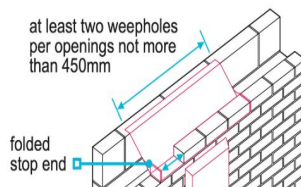
Weepholes

Weepholes in cavity walls should be the equivalent of a full brick perpend joint, eg 65mm x 10mm, where exposed within the cavity. The size of the discharge opening in proprietary weepholes may be smaller, provided it is designed to discharge any water collected, safely. The end of the weephole within the cavity should be kept clear of mortar droppings.

Weepholes to cavity walls should be provided:

- to cavity trays above openings and penetrations through the wall (such as sub-floor vents, ducts or flues), at least two per opening at not more than 450mm centres
- at least one to the bottom tray in a series of stepped cavity trays, eg at pitched roof abutments
- on cavity trays in parapet walls or at horizontal roof abutments at not more than 1m centres

Figure 31: Weepholes to inset gas meter box



NHBC 6.1.6.2 RAIN PENETRATION

6.1 External masonry walls

6.1.6.2 Rain penetration

In prolonged periods of driving rain, water will penetrate the outer leaf of a masonry wall. The following should be taken into account:

- site-specific exposure to wind-driven rain
- suitability of the wall construction and insulation method
- design detailing for the local exposure, and the likely quality of workmanship on site
- single skin garage walls (additional care needs to be taken to ensure this type of structure does not allow for water penetration prematurely)
- wall tie drips should be located in the centre of the clear cavity
- cavity trays, DPCs, weepholes and perpend ventilators should be installed in accordance with this guidance.

Exposed parts of the building should be given particular attention when selecting a suitable construction method, as this may affect the choice for the whole building.

Complete resistance can only be achieved with an impervious cladding. However, the following approaches can reduce the risk of rain penetration:

- providing cladding to the wall
- increasing the clear cavity width (minimum 50mm) for partial fill insulation or the width of full fill cavity insulation (increasing the cavity width for full fill cavity insulation greatly reduces the risk of rain passing through the cavity)
- rendering the wall and specifying crack-resistant backing material
- designing protective features to keep the wall dry, eg projecting sills and deep overhanging eaves and verges
- ensuring mortar joints are full of mortar (where full fill cavity insulation is proposed, recessed joints should not be used)
- following the recommendations of any assessment of the insulation and the manufacturer's recommendations
- ensuring that cavities are not bridged.

[Cookie Settings](#)

NHBC 6.7.11.4 IRONMONGERY

6.7 Doors, windows and glazing

- hang square within the frame or lining
- fit neatly with minimum gaps.

Where a standard flush door is reduced in height, the bottom rail should be replaced where necessary.

6.7.11.4 General ironmongery

Hinges and other ironmongery should be:

- housed neatly and flush with the surface
- supplied with a full set of matching screws.

Locks should:

- turn easily
- not be fitted in mortises too tightly
- have keyholes which are properly aligned.

NHBC 6.7.12 COMPLETED WORK

6.7.12 Completed work

Completed work shall be free from damage.

Work should be to an appropriate level of finish for other trades. Finishing trades should not be relied upon to correct untidy work.

Completed work should be protected as follows:

- internal doors should be kept covered with polyethylene or original wrapping
- door frames and linings should be protected with timber strips or plywood by a minimum of 1m above skirting level
- thresholds and window sills should be covered
- scaffolding and walkways should be kept away from frames
- joinery should be protected from paint splashes and other damage
- temporary coverings should be removed after all other work has been completed and before handover.

< 6.7.11 Installation

6.7.13 Further information >

Last updated: 2nd January 2024

[Back to top](#)

NHBC 8.1.3.2 SERVICE DUCTS SEALED AT BOTH ENDS

8.1 Internal services

8.1.3.2 Adequate supply

The design and installation of the water services supply should:

- be in accordance with relevant Building Regulations, statutory requirements and the recommendations of the water supplier
- ensure drinking water is provided at the kitchen sink direct from the supply pipe or, where this is impracticable, from a storage cistern containing an adequate supply of drinking water
- be based on a minimum 1.5 bar dynamic pressure at the stop valve inside the home
- ensure that a minimum of 20L/min flow rate is available at the stop valve inside the home
- account for pressure and flow rate reductions (a wider supply pipe may be required inside the home)
- account for pressure fluctuations and surges, which may occur within the system and potentially damage fittings (surge arresters may be required)
- ensure that stop valves within the curtilage and outside the home are protected by a shaft or box
- ensure that service pipes are a minimum of 750mm below the ground surface – where this is not possible, adequate precautions should be taken against frost and mechanical damage
- ensure that underground ducts are sealed at both ends to prevent the entry of fluids, vermin and insects
- be of materials which are safe and minimise the risk of corrosion
- be in accordance with the recommendations of the water supplier, including compatibility of the supply with the materials and fittings
- ensure that the water system is capable of being drained (hot and cold services separately).

NHBC 9.1.10 PAINTED SURFACES FINISH

9.1.10 Paint finishes

Painted and varnished surfaces shall be even in appearance and free from conspicuous runs and prominent brush marks.

Painted and varnished surfaces should:

- be reasonably smooth and free from nail holes, cracks and splits
- be reasonably uniform in colour, texture and finish
- have joints filled

Also note:

- surfaces should be viewed in daylight from a distance of 2m and not by shining artificial light on the surface. Wall lights and/or uplighters should be switched off
- where painted surfaces are touched up, minor colour variations may occur
- external finishes will dull over time, depending on a number of factors such as exposure to sunlight, rain and pollutants
- timber surfaces may show limited raised grain, and the colour and texture may also vary
- resin can exude from knots, causing discoloration of paintwork, even though modern primers contain a compound to limit this
- drying shrinkage of timber may cause cracking of the paint finish, particularly where joints occur in plaster and woodwork
- site-decorated trim, such as architrave and skirting, may have a different finished appearance from factory-finished components, such as doors.

< 9.1.9 Joint sealants 9.1.11 Sanitary ware >

Last updated 2nd January 2024

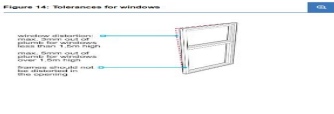
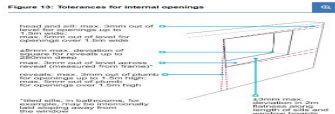
Back to top ↑

NHBC 9.1.4 DOORS AND WINDOW TOLERANCES

9.1.4 Doors and windows

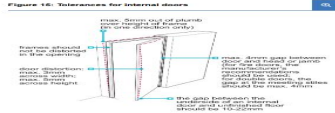
Doors and windows shall be installed to appropriate tolerances, including openings in walls and external openings viewed from the inside.

- Internal openings in walls should:
- be set along the length of lintel and window sills, with a maximum deviation of 3mm in height
- have a maximum deviation of 3mm from level for openings up to 1.5m high and 3mm vertical height for openings over 1.5m high, and 3mm vertical height
- Window frames should not be distorted in the opening, and a maximum deviation of:
- 3mm vertical height
- 3mm vertical height



Internal doors

- Internal doors and frames should be installed in accordance with the manufacturer's recommendations, not be distorted in the opening, and:
- have a maximum deviation of 3mm from level for openings up to 1.5m high, and 3mm vertical height for openings over 1.5m high
- have a maximum deviation of 3mm from level for openings up to 1.5m high, and 3mm vertical height for openings over 1.5m high



Fire doors

Fire doors should be installed in accordance with the manufacturer's recommendations. The tolerances in this clause are without prejudice to satisfactory performance for ventilation and fire resistance.

External doors

- External doors and frames should be installed in accordance with the manufacturer's recommendations, not be distorted in the opening, and:
- have a maximum deviation of 3mm from level for openings up to 1.5m high, and 3mm vertical height for openings over 1.5m high
- have a maximum deviation of 3mm from level for openings up to 1.5m high, and 3mm vertical height for openings over 1.5m high

< 9.1.3 Internal walls and ceilings 9.1.4 Floors >

Back to top ↑

NHBC 9.1.6 GLAZING TOLERANCES

9.1.6 Glazing

Glass shall be free of undue defects.

Glass should be checked in daylight, from within the room and from a minimum distance of 2m (3m for toughened, laminated or coated glass). The following are acceptable where they are not obtrusive or bunched:

- bubbles or blisters
- hairlines or blobs
- fine scratches not more than 25mm long
- minute particles

The above does not apply to areas within 6mm of the edge of the pane, where minor scratching may occur.

< 9.1.5 Floors

9.1.7 Ceramic, concrete, terrazzo and similar tile finishes >

Last updated: 2nd January 2024

[Back to top](#)

NHBC 9.1.8 FITTED FURNITURE FINISH

9.1.8 Fitted furniture

Fitted furniture shall have an appropriate appearance.

Fitted furniture, including doors and drawers, should:

- be visually aligned (vertically, horizontally and in plan), and there should not be significant differences in level at the intersection of adjacent worktops
- operate as intended by the manufacturer
- have uniform gaps between adjacent doors and/or drawers where appropriate
- not have conspicuous abrasions or scratches on factory-finished components when viewed in daylight from a distance of 0.5m.

Also note:

- no dimensional tolerance has been set for gaps between adjacent doors and/or drawers or for their alignment, because some variation will be necessary to take account of adjustments as part of the fitting process
- no dimensional tolerance has been set for the abutment of adjacent worktops, due to the variety of materials available and because minor variations, even with manufactured products, are inevitable and small differences in height may be unavoidable
- fitted furniture should be viewed from a distance of 0.5m
- conspicuous surface abrasions caused during installation should be removed in accordance with the manufacturer's recommendations, which may include filling, polishing out, respraying or painting as appropriate
- in rooms or areas where there is no daylight, scratches should be viewed in artificial light from fixed wall or ceiling outlets and not from portable equipment
- kitchen units should not delaminate, including those located near hobs and extractor fans.

< 9.1.7 Ceramic, concrete, terrazzo and similar tile finishes

9.1.9 Joint sealants >

Last updated: 26th April 2024

[Back to top](#)

NHBC 9.1.9 SEALANT FINISHES

9.1.9 Joint sealants

Joint sealants shall have a neat and tidy appearance.

Sealants should be tooled to:

- remove blisters and irregularities
- achieve a compact, smooth neat surface finish.

Also note:

- joints should be viewed from a distance of 2m, where possible, depending on the location (eg showers and baths may make this impossible).

[< 9.1.8 Fitted furniture](#)

[9.1.10 Paint finishes >](#)

Last updated: 2nd January 2024

[Back to top ↑](#)

NHBC 9.4.8 PROTECTION AND HANDOVER

9.4.8 Protection and handover

Finishings and fittings shall be suitably protected during construction, and be undamaged at handover.

Appropriate protection should be provided to finishings and fittings (including to doors, trim, balustrades, fireplace surrounds, panelling and other special features) to ensure they are not damaged. Kitchens, including cupboards, doors, fittings and worktops, should be suitably protected.

Prior to completion and handover:

- work should be left in a clean state
- temporary coverings and protection should be removed, and the fittings and finishings cleaned and dusted.
- decorating should be completed in accordance with Chapter 9.5 Painting and decorating

[< 9.4.7 Ironmongery, prefabricated items and other materials](#)

[9.5 Painting and decorating >](#)

Last updated: 4th December 2024

[Back to top ↑](#)

NHBC 9.5.10 COMPLETED PAINTING

9.5.10 Completed painting and decorating

Completed paintwork shall be to established levels of workmanship and suitably protected.

Painting and decorating should be complete, and:

- surfaces that are not intended to be painted should be free of paintmarks
- where ironmongery has been removed, it should be correctly replaced
- evenly applied, free from conspicuous runs or prominent brush marks, and the background or undercoat should not be visible
- removed and reapplied where spilt, splashed or badly applied
- protected against dirt and damage until handover.

< 9.5.9 Other surfaces

10 External works >

Last updated: 2nd January 2024

[Back to top](#)

NHBC 9.5.7.2 PAINTING PLASTERBOARD

9.5 Painting and decorating

9.5.7.2 Plaster and plasterboard surfaces

A sealing coat should be applied to dry lining, and surfaces prepared for decoration, in accordance with the manufacturer's recommendations.

Plaster and plasterboard surfaces should be prepared in accordance with the manufacturer's recommendations and the design. Where plaster and skim coat is applied to plasterboard:

- surfaces should be visibly sound, without signs of powdering or crumbling
- dirt and loose surface deposits, especially dust from sanding of filled joints, should be removed
- joints should be completed and cracks, nail holes and surface imperfections filled
- surfaces should be stabilised, either with a coat of thinned paint or with a sealant as recommended by the manufacturer
- the surface should be rubbed down with glasspaper and dusted, where necessary
- a minimum of two coats of paint should be applied
- plaster should have adequate time to dry before decorating begins.

Where building boards are used, coatings should be in accordance with the board manufacturer's recommendations.

9.5.9 Other surfaces

Surfaces shall be finished to provide an even and consistent appearance, to established levels of workmanship.

For glazing rebates in windows and doors treated with stains:

- linseed-oil putty should not be specified
- appropriate sealants should be used in accordance with the manufacturer's recommendations.

The insides of metal gutters (other than aluminium) should be painted with a suitable protective paint.

Non-ferrous pipework (eg copper pipes) should be painted with the normal decorative finishes.

[9.5.8 Wallpapering](#)

[9.5.10 Completed painting and decorating](#)