

Proposal Request



Project:
Intermountain Healthcare Lake Park North Level 1 Remodel
2545 College Drive
Murray, Utah 84123

Date: 07/21/2022
Proposal Request
PR # 01

To:

Attn: Ed Saunders, JD Hall

Note: Please submit an itemized proposal for changes in the Contract Sum and Contract Time for the proposed modifications to the Contract Documents described herein. Where applicable, please submit proposals correlating to the item narrative numbers for changes in the Contract Sum and Contract Time for the proposed modifications to the Contract Documents described herein. Please submit proposal within 7 calendar days, or notify the Architect in writing of the date on which you anticipate submitting your proposal.

THIS IS NOT A CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.

Purpose for the Proposal Request: These modifications resulted from sewer district review comments, owner requests and contractor questions/ issues discovered during construction.

Item Narrative:

1. **RFI #01:** Per RFI #01, the question was asked whether new walls on raised access flooring had to extend to the lower concrete floor. The response was that new non-rated walls may be constructed on raised access flooring, but that fire rated walls are to sit directly on concrete floor. Due to this, some additional access flooring needs to be demolished and new concrete needs to be poured in its place in Corridor 107. See the original response to RFI #01, and the revised AD101 and A101 (General Note "DD").
2. **RFI #02:** Per RFI #02, the contractor asked whether fiberglass reinforcing can be used instead of the specified steel reinforcing. The response was that it could be substituted with 3 lbs. / cubic yard. See the original response to RFI #02, and the revised A101 (Sheet Note #14).
3. **RFI #03:** Per RFI #03, there were questions regarding how to fit new ductwork through existing openings in steel beams, whether to raise existing floor cleanouts into the raised concrete floor, and how to treat the ductwork into the security areas. The ducts have been narrowed to fit the beams, the floor cleanouts are to be raised and the ductwork has been clarified. See the original response to RFI #03 and the revised MD101, MH101, and MH601.
4. **RFI #04:** Per RFI #04, there were questions regarding the demolition of the tile in the restrooms, the soffit in conference room 110, the west wall of Breakroom 148, repair of a drain line, and the ceiling of Security #103. The

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tile is to be demolished, the soffit is to be reconstructed, the wall is to be added in Break room #148, the drain line is to be repaired, and the ceiling does not need to be demolished in Security #103. See the original response to RFI #04, the revised AD101 (Sheet Note #10), A101, A151, AI101, AI202, and AP101.

5. **RFI #05:** Per RFI #05, there were questions regarding installing new isolation valves for the water loop, and how to handle existing control wire cabling for the snow melt system. Per Owner direction, the isolation valves are to be added and the control wires are to be rerouted. See the original response to RFI #05 (no drawing changes for this item).
6. **Flooring Changes:** Whereas there were questions on how to maintain warranties on the sheet vinyl system over the raised access floor, various flooring changes have been made. Per Owner direction, some areas of raised access flooring are now being demolished, and some flooring has been changed to a thicker (4mm) version of the originally specified LVT flooring. Storage #139 was changed to LVT, Storage #138, Data Room #143, now won't have any flooring in order to maintain access to the raised access floor, and Utility Room #162 was changed to tile floor and base. Additionally, as part of the flooring submittal review it was determined that the sheet vinyl designations should be Biospec MD rather than FB. See the revised AD101, A101, and AI101.
7. **Exterior Concrete:** It was discovered that the exterior concrete that was noted to be removed and replaced has a snow melt system in it. Per Owner direction, it was decided to leave the existing concrete and to try rework the existing threshold to get as smooth of a transition as possible. See the revised AD101, and A101.
8. **Rated Corridor Ceilings:** It was discovered during construction that the fire rated ceilings that were believed to exist in the Corridor #107 and Corridor #142 are not fire rated. To meet code, it has been determined to demolish the existing ceilings and reconstruct them to maintain a 2 hour fire rating. Wall Type "A" has also been modified to show mineral wool insulation. See the revised AD151, A101, A151, and A501.
9. **Fire Sprinkler Line:** It was discovered during construction that a fire sprinkler line main was directly over the new West wall of Corridor 115. It was determined that the best solution would be to move the line out of the way. Please provide a proposal to move the line. No drawing modifications for this item.
10. **Door Glazing:** Per the door hardware submittal review it was indicated by the supplier that they could not produce a fire rated door with as much glass as was shown in our original Door Type "L". The intent was to match a door across the hall that did have full lite glass. Per Owner direction, if that existing condition can't be met, then revise the size of the glass panes as shown in the revised drawings. Also Door #107 requires a split finish (clear maple on the North side and match existing on the south side. Please provide a credit for the fire rated glazing that was originally designed. See the reviewed door hardware submittal and the revised A601.
11. **Toilet Accessory Modifications:** Per the toilet accessory submittal review, it was determined to change the baby changing stations to a recessed version, and to reduce modify the quantity of coat hangers in the Decon Shower #118, an Anteroom 118.1. See the revised AI201, AI202, and AI203.

Sheet Narrative:

(Attachments)

1. **AD101-** See Item #1, Item #4, Item #6, Item #7.
2. **AD151-** See Item #8.
3. **A101-** See Item #1, Item #2, Item #4, Item #6, Item #7, Item #8.
4. **A151-** See Item #4, Item #8.

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5. **A501**- See Item #8.
6. **A601**- See Item #10.
7. **AI101**- See Item #4, Item #6.
8. **AI201**- See Item #11.
9. **AI202**- See Item #4, Item #11.
10. **AI203**- See Item #11
11. **AP101**- See Item #4.
12. **MD101**- See Item #3.
13. **MH101**- See Item #3.
14. **MH601**- See Item #3.

Issued by:

Jonathan Johnson, AIA, NCARB
Senior Project Architect

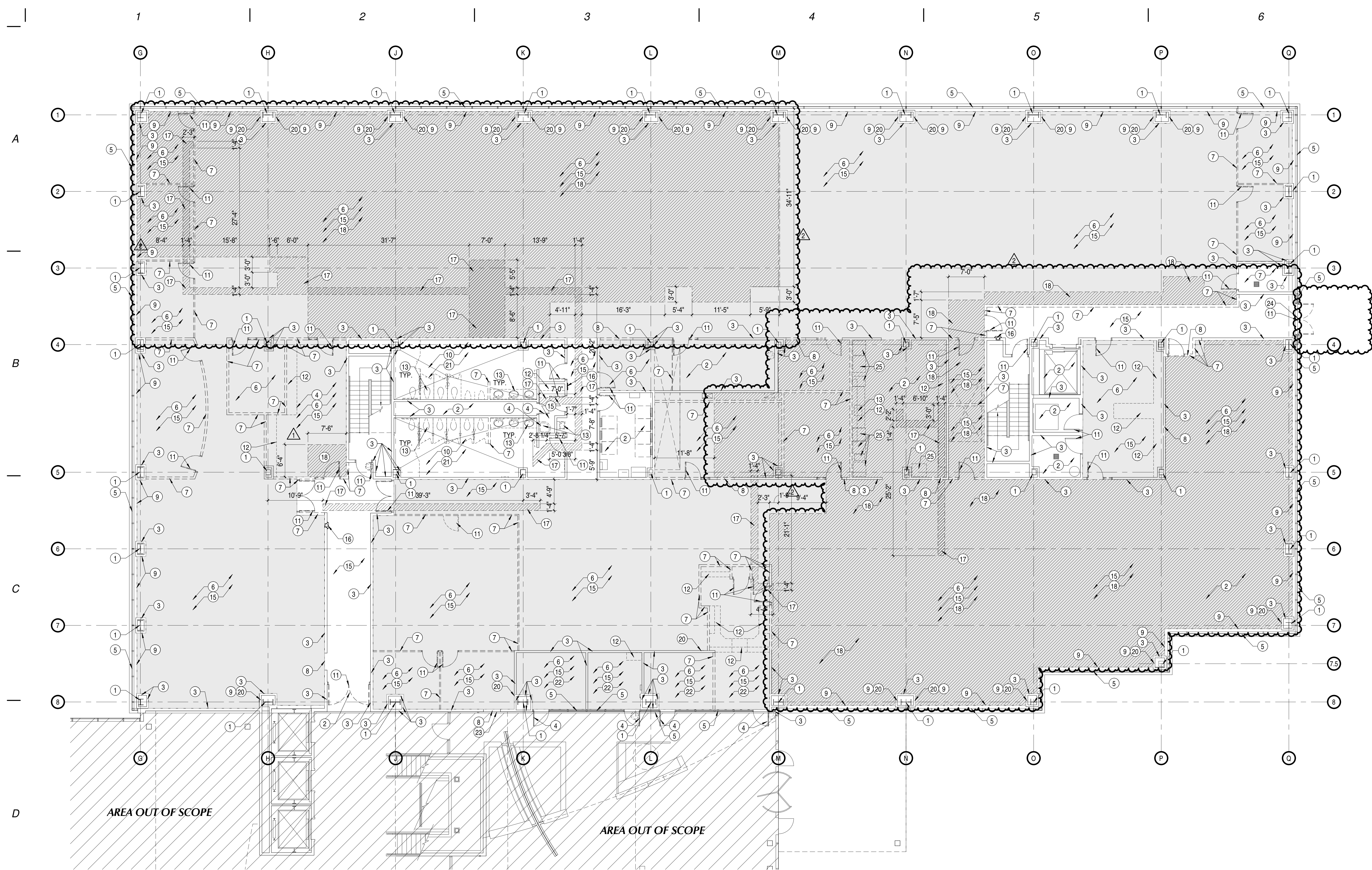
Copy to: Owner, Contractor, Architect, Consultants

**END OF PROPOSAL REQUEST # 01 SUMMARY – INTERMOUNTAIN HEALTHCARE
LAKE PARK NORTH LEVEL 1 REMODEL**

| MARK | REVISION | DATE |
|------|----------------------|----------|
| 1 | ADDENDUM #02 | 05/12/22 |
| 2 | PROPOSAL REQUEST #01 | 07/21/22 |

SHEET NOTES

- EXISTING STRUCTURAL STEEL COLUMN TO REMAIN. PROTECT COLUMN AND FIREPROOFING FROM DAMAGE.
- EXISTING SPACE WITH FINISHES TO REMAIN. UNLESS NOTED OTHERWISE, NO MODIFICATIONS IN THIS AREA.
- EXISTING WALL TO REMAIN. PROTECT DURING CONSTRUCTION. PATCH AND REPAIR WHERE NEEDED.
- EXISTING DOOR TO REMAIN. PROTECT FROM DAMAGE.
- EXISTING WINDOW SYSTEM TO REMAIN. PROTECT FROM DAMAGE.
- DEMOLISH EXISTING WINDOW SHADES / BLINDS WHERE APPLICABLE. SHADED AREA INDICATES EXISTING RAISED ACCESS FLOORING.
- DEMOLISH EXISTING WALL. COORDINATE EXTENT WITH NEW CONSTRUCTION.
- DEMOLISH EXISTING WALL FOR NEW DOOR. COORDINATE EXTENT/ LOCATION WITH NEW CONSTRUCTION.
- DEMOLISH EXISTING GYPSUM BOARD DOWN TO STUDS ON THIS SIDE OF WALL TO ALLOW FOR DEMOLITION OF EXISTING ELECTRICAL AND INSTALLATION OF NEW ELECTRICAL DEVICES AND CONDUIT. SOME AREAS MAY BE ABLE TO REMAIN DUE TO EXISTING CONDITIONS AND LACK OF NEW ELECTRICAL. FIELD VERIFY ALL CONDITIONS AND EXTENT OF ELECTRICAL BID AS THOUGH BEING DEMOLISHED AND REPLACED WHERE INDICATED.
- DEMOLISH ALL TILE IN ENTIRE ROOM IN PREPARATION FOR NEW TILE FINISHES. DEMOLISH DRYWALL / CEMENT BOARD SUBSTRATE AND REPLACE AS PART OF NEW CONSTRUCTION.
- DEMOLISH EXISTING DOOR. DOOR FRAME (SOME FRAMES ARE TO REMAIN - SEE A601 DOOR SCHEDULE - LABELED AS EXISTING), AND ASSOCIATED HARDWARE. SOME HARDWARE WILL BE REUSED. SEE THE HARDWARE SETS FOR SPECIFIC INSTRUCTIONS.
- DEMOLISH EXISTING MILLWORK CABINETS, SHELVING, AND COUNTERTOP (WHERE APPLICABLE).
- DEMOLISH EXISTING PLUMBING FIXTURE. COORDINATE WITH NEW CONSTRUCTION AND PLUMBING.
- DEMOLISH EXISTING WATER HEATER. SEE PLUMBING.
- DEMOLISH EXISTING WALL BASE AND FLOORING IN ENTIRE ROOM DOWN TO EXISTING CONCRETE / ACCESS FLOORING. MOST ROOMS ARE CARPET (TILE IN RESTROOMS). REMOVE ALL FLOOR RESIDUE.
- DEMOLISH EXISTING FIRE EXTINGUISHER CABINET. NEW CABINET TO BE PLACED IN EXISTING LOCATION. ADJUST WALL OPENING AS REQUIRED FOR NEW CABINET AS REQUIRED TO ASSURE ADA COMPLIANCE.
- DASHED LINES AND DIAGONAL SHADED AREA INDICATES A SAW CUT TRENCH IN CONCRETE FLOOR WHERE INDICATED FOR PLUMBING MODIFICATION AS DIMENSIONED AND AS REQUIRED. MINIMUM TRENCH WIDTH SHALL BE 16". SOME SAW CUTTING WILL OCCUR BELOW RAISED ACCESS FLOORING. WHERE APPLICABLE, TEMPORARILY OR PERMANENTLY REMOVE RAISED ACCESS FLOORING TO ALLOW FOR TRENCHING. SEE A101 FOR AND PLUMBING FOR ADDITIONAL INSTRUCTIONS.
- DASHED LINES AND DIAGONAL SHADED AREA INDICATES TO DEMOLISH RAISED ACCESS FLOORING IN THIS AREA. CUT PERIMETER AS REQUIRED TO ALLOW FOR INSTALLATION OF NEW CONCRETE SLAB TO BE POURED BACK IN ITS PLACE.
- NOT USED.
- DEMOLISH ALL EXISTING DATA PANELS IN WALLS. INTENT IS TO REMOVE ALL FROM WITHIN SCOPE OF THE PROJECT (ALL MAY NOT BE NOTED, BUT REMOVE ALL). PULL WIRE BACK TO RACKS. SEE ELECTRICAL.
- DEMOLISH ALL EXISTING TOILET ACCESSORIES IN ROOM INCLUDING TOILET PARTITIONS AND MIRRORS.
- DEMOLISH EXISTING ACOUSTICAL PANEL WALL COVERING IN ENTIRE ROOM. GYPSUM BOARD TO REMAIN (PROTECT FROM DAMAGE).
- DEMOLISH EXISTING ACOUSTICAL PANEL WALL COVERING AS REQUIRED FOR INSTALLATION OF NEW DOOR. THE PANELING WILL NEED TO BE PATCHED AND REPAIRED AROUND THE NEW DOOR OPENING.
- DEMOLISH WINDOW TRANSOM ABOVE DOOR AND WINDOW / DOOR MULLIONS AS REQUIRED TO ALLOW FOR A NEW 8' TALL DOOR. FIELD VERIFY ALL CONDITIONS.
- REMOVE EXISTING EQUIPMENT. SALVAGE TO OWNER AS DIRECTED.



D2 DEMOLITION FLOOR PLAN - LEVEL 1
AD101 | SCALE: 1/8" = 1'-0"

GENERAL NOTES

- ITEMS NOT NOTED ARE EXISTING TO REMAIN. DASHED LINES GENERALLY INDICATE THAT AN ITEM IS TO BE DEMOLISHED. FOLLOW SHEET NOTES CAREFULLY. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- SOME OF THE EXISTING WALLS AND DOORS ARE PRE-MANUFACTURED FURNITURE TYPE.
- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO COMMENCEMENT OF DEMOLITION. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION DURING DEMOLITION AND CONSTRUCTION FOR ALL EXISTING MATERIALS THAT ARE TO REMAIN. THIS MAY INCLUDE PROVIDING TEMPORARY BARRIERS OR PARTITIONS TO PROTECT ADJACENT AREAS FROM DUST AND/OR DAMAGE FOR WALLS, DOORS, FLOORS, CEILINGS, ETC. STRUCTURAL COLUMNS AND BEAMS ARE PROTECTED WITH FIRE RETARDANT SPRAY AND ARE TO REMAIN. SPRAY MUST BE REPLACED IF REMOVED OR DAMAGED TO MAINTAIN EXISTING FIRE RATINGS.
- CLEAN ADJACENT IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS COMMENCED.
- DEMOLISH PORTIONS OF EXISTING WALLS AS NEEDED TO PROVIDE NEW PLUMBING OR ELECTRICAL.
- AREAS WHERE PLUMBING, MECHANICAL, OR ELECTRICAL WORK IS TO BE DONE ARE TO BE PATCHED AND REPAIRED TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES UNLESS OTHERWISE NOTED. EXAMPLES INCLUDE HOLES LEFT BY REMOVAL OF PANELS, PHONES, CONDUITS, THERMOSTATS, PIPING, CONTROLS, ETC. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL FOR EXTENT OF WORK.
- CONTRACTOR SHALL HAVE DEMOLISHED MATERIALS REMOVED FROM PREMISES AND DISPOSED OF LEGALLY.
- THE CONTRACTOR SHALL MODIFY THE EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED FOR MODIFICATIONS ACCORDING TO NFPA 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL DRAWINGS, SPECIFICATIONS AND CALCULATIONS REQUIRED BY THE FIRE MARSHAL. FIELD VERIFY ALL CONDITIONS. SEE PLUMBING DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- REMOVE ALL EXISTING TELEVISIONS, PROJECTORS, SCREENS, OR OTHER SIMILAR ITEMS IN PROJECT AREA. COORDINATE WITH OWNER IF THESE ITEMS ARE TO BE SALVAGED OR DEMOLISHED.
- SOME ADDITIONAL DRYWALL, BEYOND WHAT IS SPECIFIED, MAY NEED TO BE REMOVED IN ORDER TO INSTALL BACKING / BLOCKING FOR VARIOUS ITEMS (SPECIFICALLY SHELVING). THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SCOPES AND EXTENTS OF DEMOLITION AND RECONSTRUCTION.
- PRIOR TO CONSTRUCTION TRENCHING OF EXISTING CONCRETE OR CORE DRILLING, CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH NEW FLOOR PLANS. TRENCHING PLAN IS PROVIDED TO HELP QUANTIFY AMOUNT OF TRENCHING. CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS AND SCOPE PLUMBING LINES AS REQUIRED TO ASSURE TRENCHING SHOWN WILL WORK. FIELD MODIFY AS REQUIRED FOR CONDITIONS. COORDINATE BETWEEN ALL TRADES.
- EXISTING FURNITURE IS NOT SHOWN. FURNITURE IS TO BE DEMOLISHED / REMOVED BY OWNER.

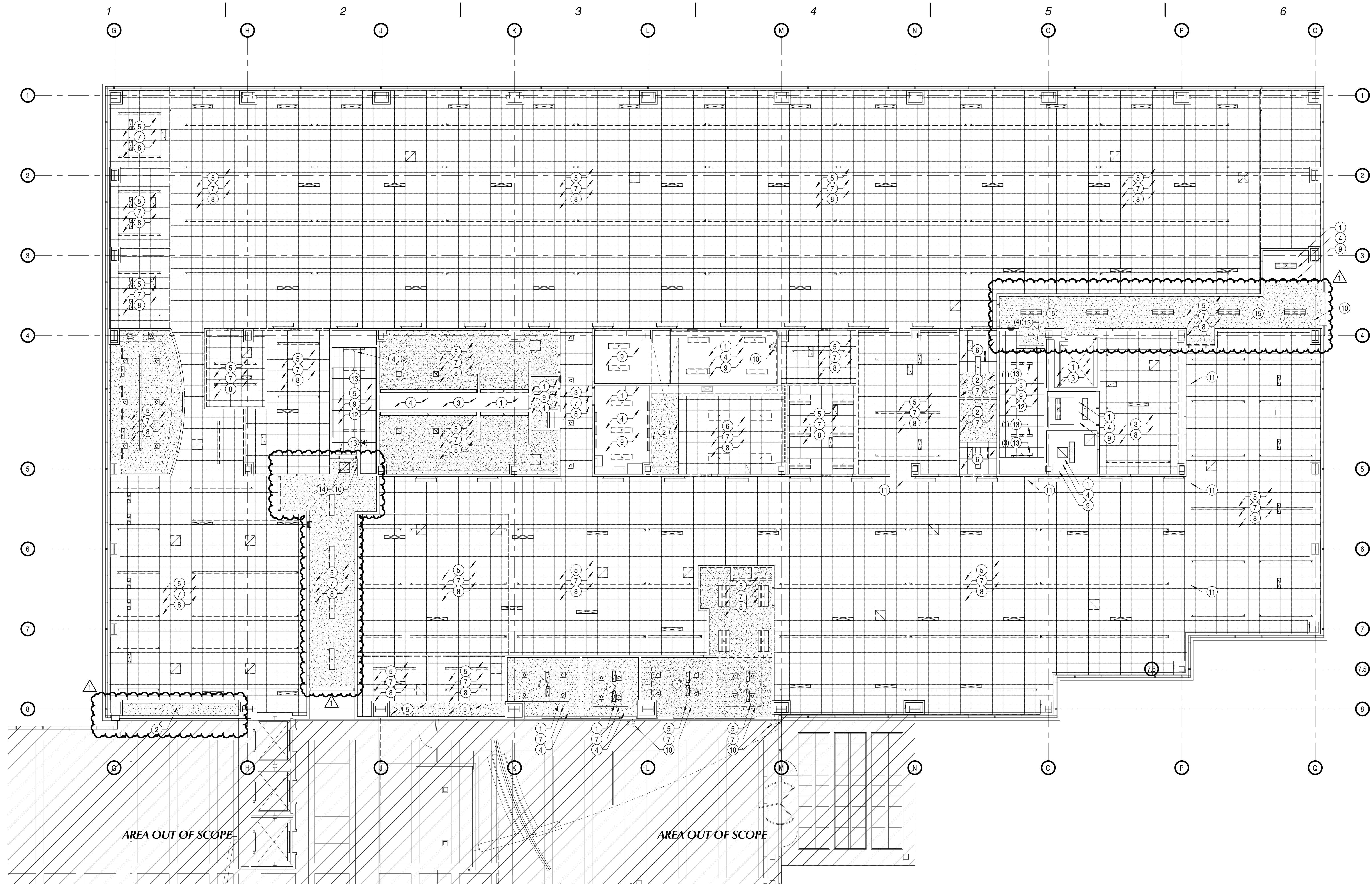
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| | 233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmastah.com | DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT |
| | PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL 4846 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120 | |
| SHEET DESCRIPTION: DEMOLITION FLOOR PLAN - LEVEL 1 | | SHEET: AD101 |

| MARK | REVISION | DATE |
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| 1 | PROPOSAL REQUEST #01 | 07/21/22 |
| | | |
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SHEET NOTES

- EXISTING CEILING TO REMAIN IN ENTIRE ROOM.
- EXISTING CEILING TO REMAIN.
- EXISTING LIGHTING TO REMAIN IN ENTIRE ROOM.
- EXISTING MECHANICAL TO REMAIN IN ENTIRE ROOM.
- DEMOLISH EXISTING CEILING IN ENTIRE ROOM.
- DEMOLISH EXISTING CEILING AS SHOWN (PART OF CEILING IN ROOM TO REMAIN AS NOTED).
- DEMOLISH EXISTING LIGHT FIXTURES, EXIT SIGNS AND ANY OTHER CEILING MOUNTED ELECTRICAL EQUIPMENT IN ENTIRE ROOM. COORDINATE WITH OWNER IF ANY LIGHTING OR EQUIPMENT IS TO BE SALVAGED. IF A NECESSARY ELECTRICAL DEVICE IS REMOVED AND NOT NOTED TO BE REPLACED NEW ON THE ELECTRICAL SHEETS, THE DEVICE IS TO BE REINSTALLED IN A SIMILAR LOCATION.
- DEMOLISH EXISTING MECHANICAL GRILLES IN ENTIRE ROOM. COORDINATE ALL SPECIFICS WITH MECHANICAL DRAWINGS.
- DEMOLISH EXISTING LIGHTING FIXTURES IN ENTIRE ROOM. PREPARE TO REPLACE THE LIGHTS IN THEIR EXISTING LOCATIONS.
- DEMOLISH EXISTING SECURITY CAMERA.
- REMOVE EXISTING CEILING TELEVISION. SALVAGE TO OWNER AS DIRECTED.
- CEILING OCCURS AT TOP LEVEL OF STAIR WELL.
- INTENT IS TO DEMOLISH LIGHT FIXTURES IN ENTIRE STAIRWELL AND REPLACE THEM WITH NEW IN THE SAME LOCATION. THE NUMBER IN (PARENTHESES) INDICATES THE QUANTITY IN THAT APPROXIMATE LOCATION.
- DEMOLISH EXISTING ACCESS PANEL.



DEMOLITION CEILING LEGEND

- A** 2x2 SUSPENDED CEILING SYSTEM.
- B** PAINTED 5/8" TYPE "X" GYPSUM BOARD WITH SMOOTH FINISH.
- C** OPEN TO EXPOSED STRUCTURE ABOVE
- INDICATED CEILING GRID TO BE DEMOLISHED

DEMOLITION ELECT./MECH. SYMBOLS

- LINEAR PENDANT LIGHT
- PENDANT LIGHT FIXTURE
- ⊗ RECESSED DOWNLIGHT
- ⊞ 2X4 LIGHT FIXTURE
- ⊞ WALL MOUNTED LIGHT FIXTURE
- ⊞ LINEAR LIGHT FIXTURE
- ⊞ SUPPLY DIFFUSER
- ⊞ RETURN AIR DIFFUSER
- ⊞ EXHAUST FAN

GENERAL NOTES

- ITEMS NOT NOTED ARE EXISTING TO REMAIN.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- THE CONTRACTOR SHALL MODIFY THE EXISTING FIRE SPRINKLER SYSTEM THROUGHOUT THE REMODELED SPACE(S) IN COMPLIANCE WITH NFPA 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL DRAWINGS, SPECIFICATIONS AND CALCULATIONS REQUIRED BY THE FIRE MARSHAL. WHERE APPLICABLE, FIRE SPRINKLERS TO BE CENTERED ON CEILING TILES. SPRINKLER HEADS TO MATCH CEILING COLOR. SEE PLUMBING DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- SEE ENGINEERING SHEETS FOR ADDITIONAL REQUIREMENTS. MECHANICAL, PLUMBING, ELECTRICAL, FIRE SPRINKLER, AND CEILING SUBCONTRACTORS SHALL COORDINATE THEIR WORK. IN CASE OF CONFLICT, THE REFLECTED CEILING PLAN SHALL TAKE PRECEDENCE.
- SOME AREAS WITHIN THE SCOPE OF THE PROJECT REQUIRE SIGNIFICANT DRYWALL PATCHING. INTENT IS TO PATCH AND REPAIR ALL WALLS AND CEILINGS TO A LEVEL 5 SMOOTH TEXTURE FINISH. FIELD VERIFY EXISTING CONDITIONS AND BID ACCORDINGLY.
- DO NOT SCALE DRAWINGS.

D2 DEMOLITION REFLECTED CEILING PLAN
AD151 | SCALE: 1/8" = 1'-0"

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| | 233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com | DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT |
| | PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL 4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120 | |
| SHEET DESCRIPTION: DEMOLITION REFLECTED CEILING PLAN - LEVEL 1 | | SHEET: AD151 |

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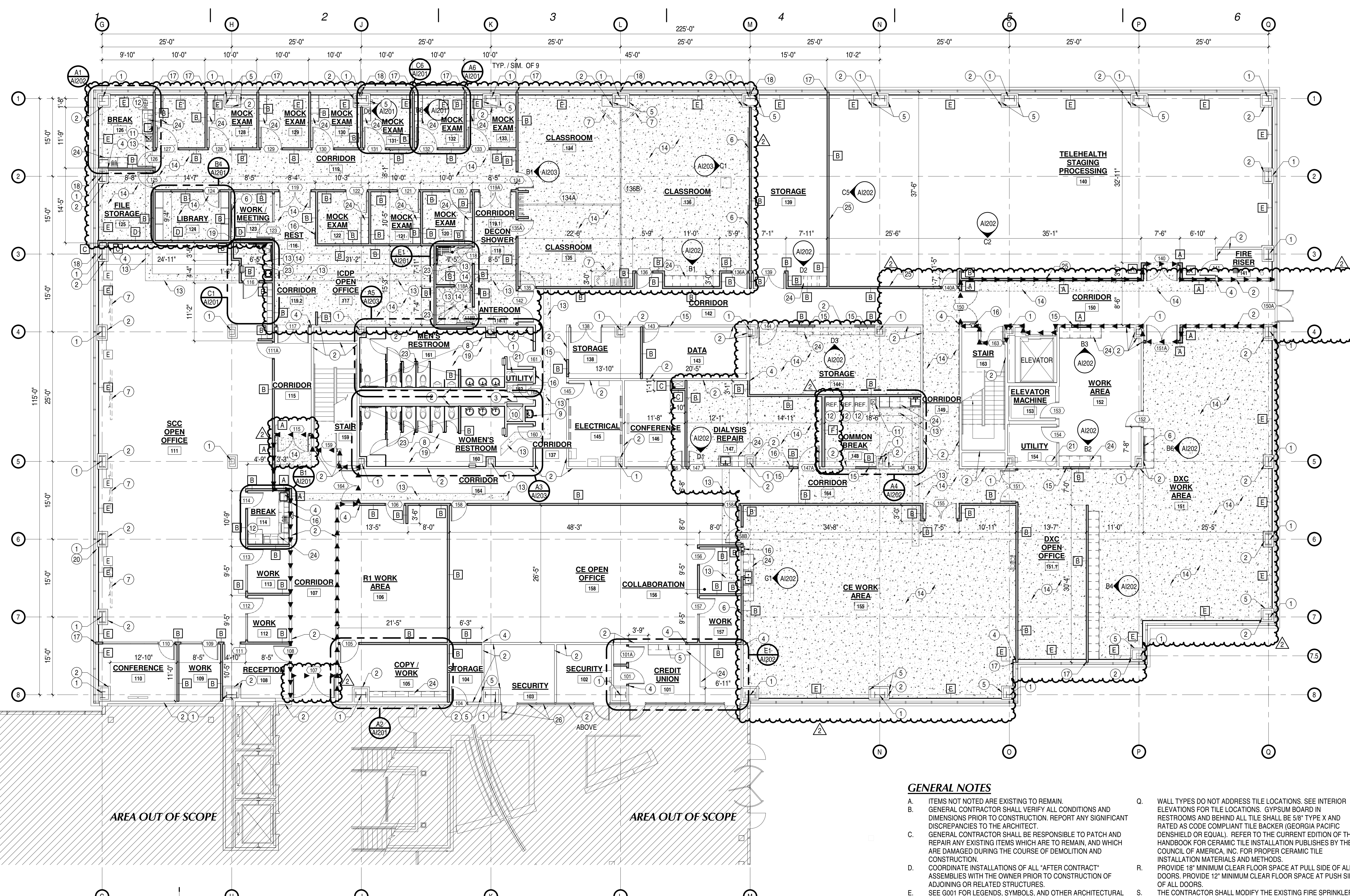
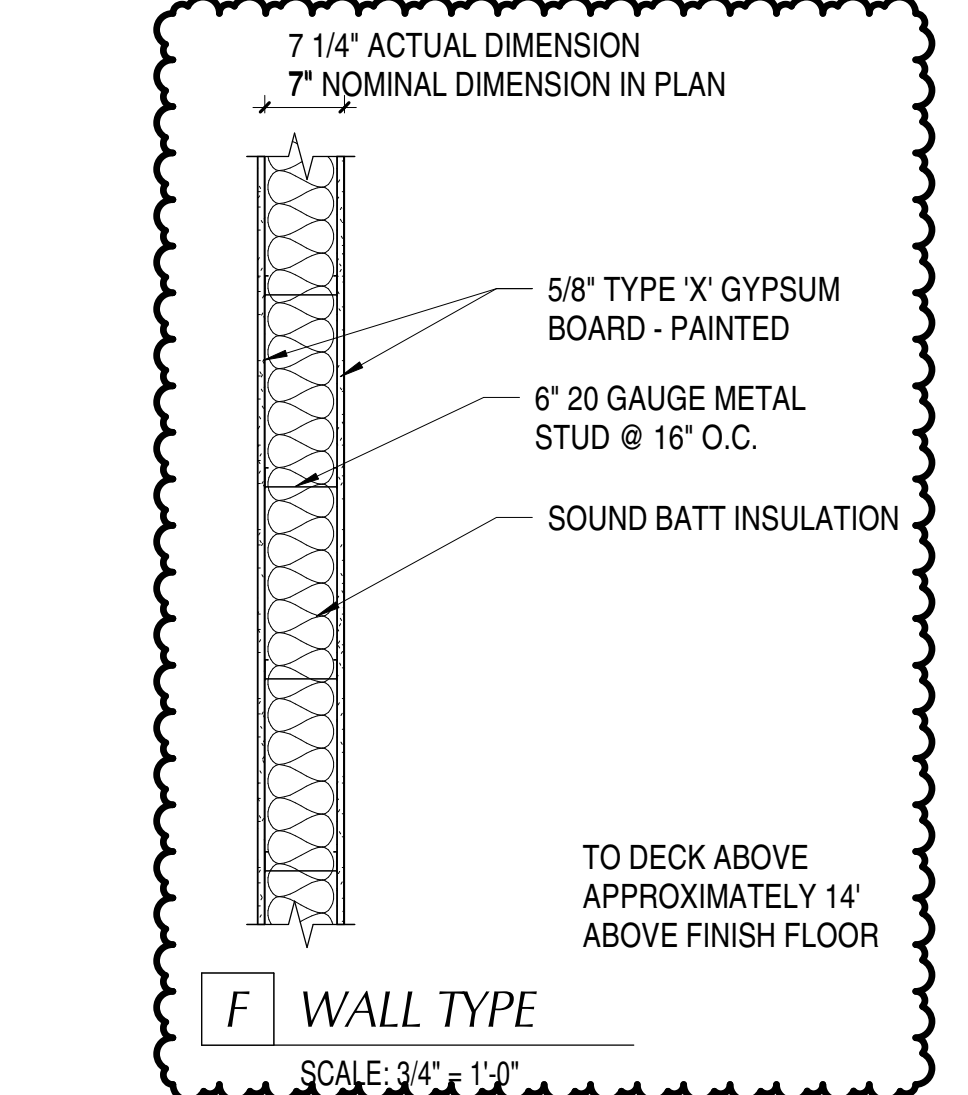
| MARK | REVISION | DATE |
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| 1 | ADDENDUM #01 | 05/09/22 |
| 2 | PROPOSAL REQUEST #01 | 07/21/22 |

SHEET NOTES

- EXISTING STRUCTURAL STEEL COLUMN TO REMAIN. PROTECT COLUMN AND FIREPROOFING FROM DAMAGE.
- EXISTING WALL TO REMAIN. PROTECT DURING CONSTRUCTION. PROVIDE NEW MATERIALS AS INDICATED BY OTHER SHEET NOTES OR AS NOTED WITH WALL TYPES. PATCH AND REPAIR AS REQUIRED.
- EXISTING DOOR TO REMAIN. PROTECT DURING CONSTRUCTION. ALIGN NEW WALL WITH EXISTING. CREATE SMOOTH TRANSITION. REPLACE GYPSUM BOARD WHERE IT WAS REMOVED ONCE ELECTRICAL DEVICES HAVE BEEN INSTALLED WITH 5/8" TYPE X GYPSUM BOARD AS REQUIRED.
- WALL MOUNTED TELEVISION. PROVIDE BACKING IN WALL. SEE AUDIO VISUAL PACKAGE WITHIN ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CEILING MOUNTED TELEVISION. SEE AUDIO VISUAL PACKAGE WITHIN ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW PLUMBING FIXTURES WITHIN ENTIRE ROOM. RELOCATE PLUMBING DIMENSIONS IN ORDER TO PROVIDE ADA COMPLIANCE. SEE PLUMBING.
- NEW DRINKING FOUNTAIN IN EXISTING LOCATION. SEE PLUMBING.
- NEW WOP SINK. SEE PLUMBING AND REFERENCED INTERIOR ELEVATION.
- ICE / WATER DISPENSER - O.F.C.I. PROVIDE WATER SUPPLY AND FLOOR SINK. SEE PLUMBING.
- REFRIGERATOR - O.F.O.I. PROVIDE POWER AS PER ELECTRICAL.
- PATCH CONCRETE FLOOR WHERE TRENCH OCCURRED FOR PLUMBING OR ELECTRICAL MODIFICATIONS.
- CONCRETE PATTERN SHADING REPRESENTS AREA WHERE RAISED ACCESS FLOORING HAS BEEN DEMOLISHED AND CONCRETE NEEDS TO BE FILLED BACK IN TO THE FINISHED FLOOR ELEVATION (APPROXIMATELY 6" THICKNESS). BLOCK EDGES FROM ADJACENT RAISED ACCESS FLOORING AND ALL WITH CONCRETE REINFORCEMENT WITH #4 BARS AT 24" O.C. EACH DIRECTION IN THE MIDDLE OF THE SLAB OR 3 LB. / CY OF FIBERGLASS REINFORCING. PROVIDE SAWCUT CONTROL JOINTS AT INTERVALS NOT TO EXCEED 15 FEET IN BOTH DIRECTIONS. IN AREAS THAT ARE TO RECEIVE TILE (SEE A101), HOLD TOP OF SLAB ELEVATION DOWN 2" FROM THE FINISHED FLOOR TO ALLOW FOR THICKSET TILE.
- INFILL WALL WHERE DOOR / FRAME WAS REMOVED TO MATCH EXISTING CONSTRUCTION. PROVIDE SOUND INSULATION AS REQUIRED.
- NEW SEMI-RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER TO BE INSTALLED IN EXISTING LOCATION. J.L INDUSTRIES COSMOPOLITAN STAINLESS STEEL 1037V10. INTENT IS TO MATCH NEW SOUTH BUILDING STANDARD. SEE DETAIL C4/A501 (INSTALL AT ADA HEIGHT). EXTEND NEW WALL TO WINDOW MULLION PER DETAIL A6/A501. EXISTING WINDOW HAS A RADIANT HEATER SYSTEM ATTACHED. TEMPORARILY REMOVE RADIANT HEATER CAP AT INTERSECTION AND INSTALL ROCK WOOL BATT INSULATION AT WALL INTERSECTION AS REQUIRED TO FILL VOID. REPLACE CAP AND BUILD NEW WALL AROUND THE RADIANT HEATER SYSTEM.
- PROVIDE SOUND ISOLATION INFILL CONNECTION TO VERTICAL WINDOW MULLION PER A4/A501 BEHIND EXISTING COLUMN AS REQUIRED.
- PROVIDE NEW 5/8" TYPE X CODE COMPLIANT TILE BACKER (GEORGIA PACIFIC DENSHIELD OR EQUAL) BEHIND ALL NEW TILE IN ENTIRE ROOM. PATCH ALUMINUM RADIANT HEATER CAP WHERE IT WAS PREVIOUSLY MISSING.
- NEW WATER HEATER. SEE PLUMBING.
- NO USE.
- NEW FLOOR DRAIN. SEE PLUMBING. SLOPE NEW CONCRETE TO DRAIN AS REQUIRED. ALLOW FOR THICK SET TILE WHERE APPLICABLE.
- NEW MILLWORK PER REFERENCED DETAILS.
- DASHED LINE INDICATES TO PROVIDE 1/2" NOMINAL FIRE TREATED PLYWOOD. APPLY DIRECTLY TO STUDS AND ATTACH GYPSUM BOARD ON TOP OF PLYWOOD. EXTEND PLYWOOD TO 6" ABOVE FINISHED CEILING. GYPSUM BOARD TO EXTEND TO DECK.
- ADD WINDOW FILM TO EXISTING GLASS AS DIRECTED BY OWNER (3M OR EQUAL).

SEPARATION LEGEND

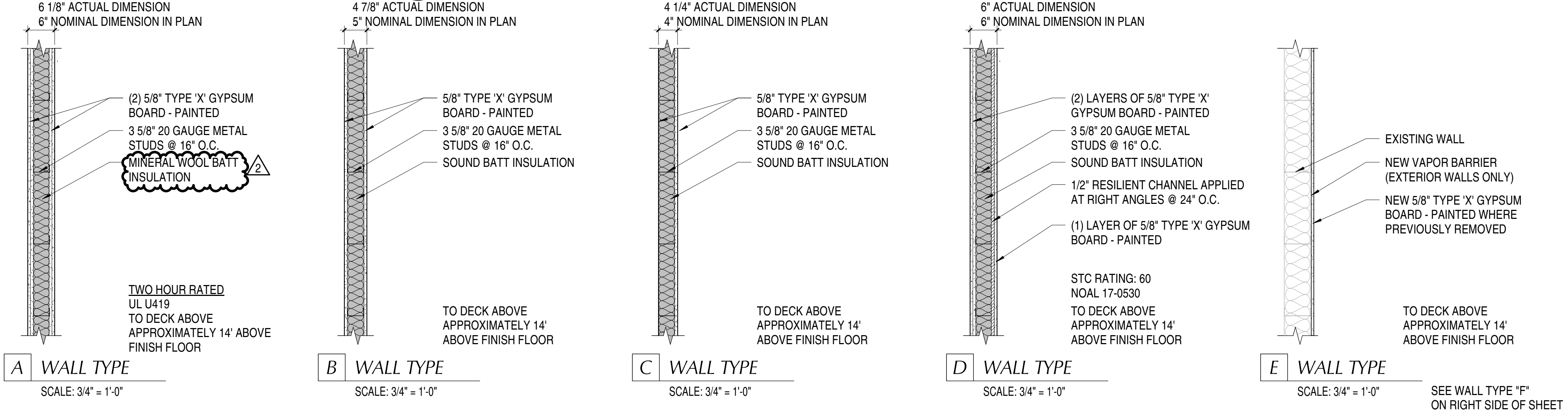
- TWO HOUR FIRE BARRIER
- ONE HOUR FIRE PARTITION



GENERAL NOTES

- ITEMS NOT NOTED ARE EXISTING TO REMAIN.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ANY EXISTING ITEMS WHICH ARE TO REMAIN, AND WHICH ARE DAMAGED DURING THE COURSE OF DEMOLITION AND CONSTRUCTION.
- COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH THE OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- SEE G001 FOR LEGENDS, SYMBOLS, AND OTHER ARCHITECTURAL GENERAL INFORMATION.
- SEE SHEET A151 FOR REFLECTED CEILING PLAN.
- SEE SHEET A600'S FOR DOOR AND WINDOW INFORMATION.
- SEE SHEET A101 FOR FINISH INFORMATION AND A1200'S FOR INTERIOR ELEVATIONS.
- SEE AP101 FOR SPECIFIC ARCHITECTURAL ELECTRICAL AND OTHER INFORMATION.
- SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION. SOME AREAS WITHIN THE SCOPE OF THE PROJECT REQUIRE SIGNIFICANT DRYWALL PATCHING. INTENT IS TO PATCH AND REPAIR ALL WALLS AND CEILINGS TO A LEVEL 5 SMOOTH TEXTURE FINISH. FIELD VERIFY EXISTING CONDITIONS AND BID ACCORDINGLY.
- SOME EXISTING WALLS INTERSECTED WITH THE EXTERIOR WINDOW SYSTEM THAT INCLUDED A RADIANT HEATING SYSTEM. PATCH AND REPAIR THE EXTERIOR WALL / WINDOW AND RADIANT HEATER SYSTEM AS REQUIRED TO MATCH EXISTING ADJACENT CONDITIONS.
- GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- PROVIDE BLOCKING/BACKING PER G002 SHEET. PROVIDE BLOCKING FOR ALL WALL MOUNTED ACCESSORIES AND EQUIPMENT AS REQUIRED. PATCH AND REPAIR EXISTING WALLS AS REQUIRED FOR NEW BLOCKING.
- STRUCTURAL COLUMNS AND BEAMS ARE PROTECTED WITH FIRE RETARDANT SPRAY AND ARE TO REMAIN. SPRAY MUST BE REPLACED IF REMOVED OR DAMAGED TO MAINTAIN EXISTING FIRE RATINGS. PROVIDE SPRAY PROOFING WHERE IT WAS MISSING FROM ORIGINAL CONSTRUCTION - FIELD VERIFY CONDITIONS AND LOCATIONS.
- SEE G002 FOR TYPICAL FIXTURE MOUNTING HEIGHTS.
- WALL TYPES DO NOT ADDRESS TILE LOCATIONS. SEE INTERIOR ELEVATIONS FOR TILE LOCATIONS. GYPSUM BOARD IN RESTROOMS AND BEHIND ALL TILE SHALL BE 5/8" TYPE X AND RATED AS CODE COMPLIANT TILE BACKER (GEORGIA PACIFIC DENSHIELD OR EQUAL). REFER TO THE CURRENT EDITION OF THE HANDBOOK FOR CERAMIC TILE INSTALLATION PUBLISHED BY THE COUNCIL OF AMERICA, INC. FOR PROPER CERAMIC TILE INSTALLATION MATERIALS AND METHODS.
- PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS. PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PULL SIDE OF ALL DOORS.
- THE CONTRACTOR SHALL MODIFY THE EXISTING FIRE SPRINKLER SYSTEM THROUGHOUT THE REMODELED SPACE(S) IN COMPLIANCE WITH NFPA 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL DRAWINGS, SPECIFICATIONS AND CALCULATIONS REQUIRED BY THE FIRE MARSHAL. USE RECESSED HEADS WHERE APPLICABLE. SEE PLUMBING DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- LOCATE DOOR JAMBS 4" FROM WALL UNLESS NOTED OTHERWISE.
- DUE TO NEW ELECTRICAL DEVICES EXISTING WALLS, SOME AREAS WILL HAVE SECTIONS OF THE GYPSUM BOARD THAT WILL NEED TO BE REMOVED. COORDINATE THE EXTENT OF THIS WORK WITH THE ELECTRICAL. PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS THAT ARE TO REMAIN AS REQUIRED FOR NEW ELECTRICAL DEVICES, NEW BACKING OR ANY OTHER REASON. THIS BUILDING IS OF TYPE I (NON-COMBUSTIBLE CONSTRUCTION). COMBUSTIBLE MATERIALS ARE NOT ALLOWED EXCEPT AS IDENTIFIED IN IBC 2018 SECTION 603.
- PATCH AND REPAIR THE ROOF FOR ANY NEW PENETRATIONS AS/ IF REQUIRED BY CODE OR MANUFACTURER.
- UPON COMPLETION OF PROJECT, CLEAN ALL AREAS WITHIN SCOPE OF PROJECT, INCLUDING FLOORS, CEILINGS, AND WINDOWS.
- DO NOT SCALE DRAWINGS.
- SEE DETAIL B5/A501 FOR TYPICAL WALL BRACING.
- WHERE SOUND BATT IS NOTED, FILL CAVITIES WITH FIBERGLASS BATT INSULATION TO MATCH THICKNESS OF WALL.
- FIRE RATED WALLS THAT EXTEND TO DECK SHALL HAVE FLUTED DECK CAVITIES FILLED WITH MINERAL AND FIRE CAULK. GYPSUM BOARD TO DECK AS REQUIRED.
- IN NON-RATED WALL THAT EXTEND TO DECK, PROVIDE SOUND SEALANT.
- WHEREAS MUCH OF THE EXISTING FLOOR SYSTEM IS ON RAISED ACCESS FLOORING, NEW NON-FIRE RATED WALLS MAY BE CONSTRUCTED ON TOP OF THE RAISED ACCESS FLOORING. FIRE RATED WALLS SHALL SIT DIRECTLY ON CONCRETE.

D2 FLOOR PLAN - LEVEL 1
A101 SCALE: 1/8" = 1'-0"



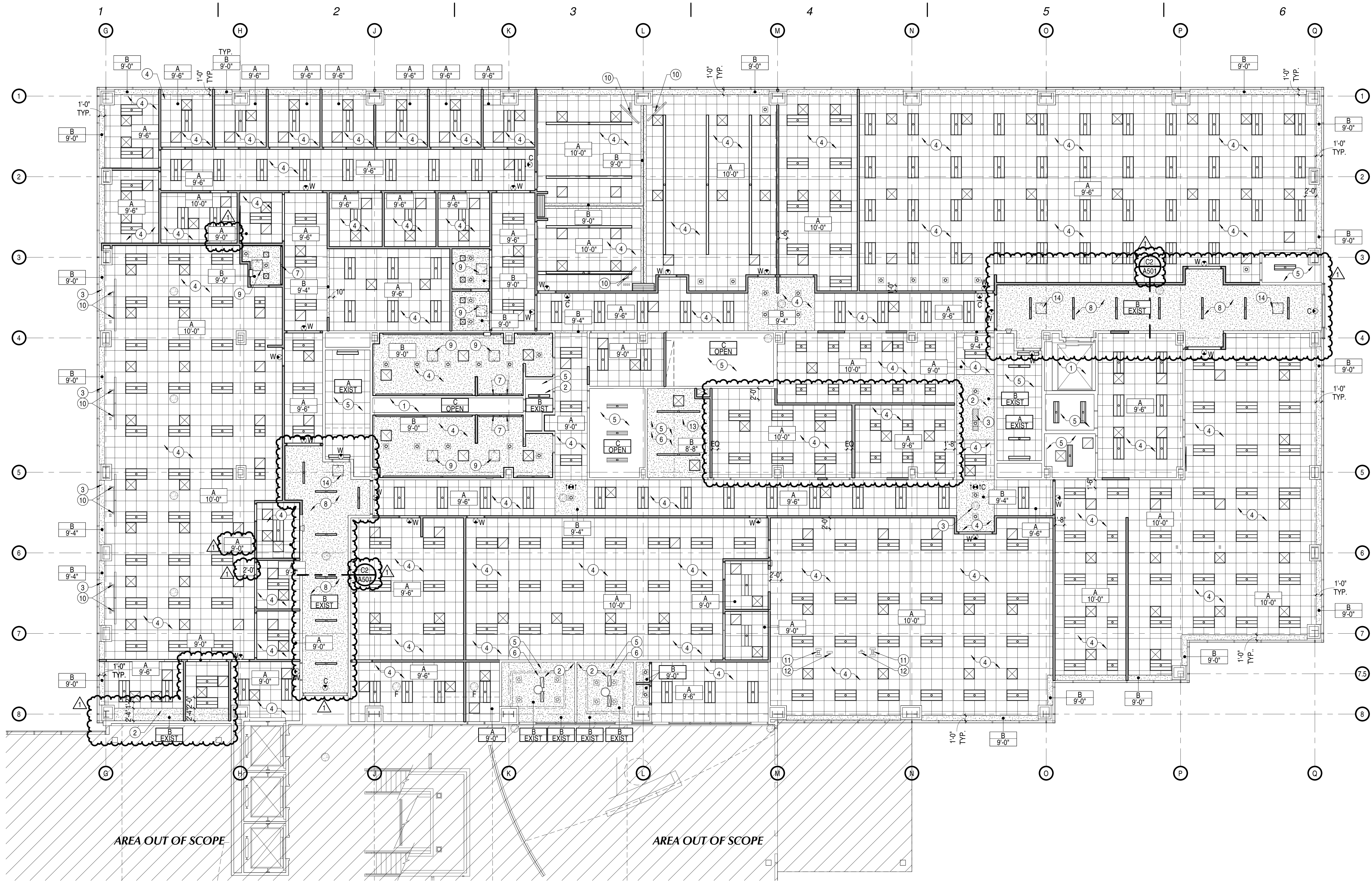
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| <p>233 SOUTH PLEASANT GROVE BLVD. PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@curtisminer.com</p> | DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT |
| | PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL |
| SHEET DESCRIPTION: FLOOR PLAN - LEVEL 1 | SHEET: A101 |

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| 1 | PROPOSAL REQUEST #01 | 07/21/22 |

SHEET NOTES

- EXISTING CEILING, LIGHTS, AND MECHANICAL GRILLES TO REMAIN (NO WORK IN THIS AREA).
- EXISTING GYPSUM BOARD CEILING TO REMAIN. PATCH AND REPAIR WHERE LIGHTS / MECHANICAL GRILLES, ETC. WERE REMOVED AS REQUIRED.
- EXISTING GYPSUM BOARD CEILING TO BE PATCH AND REPAIRED (WHERE SHADED) TO MATCH EXISTING CONSTRUCTION WHERE LIGHT, OR OTHER, WAS REMOVED AS REQUIRED. CEILING IN THIS AREA HAS A 2 HOUR FIRE RATING THAT NEEDS TO BE MAINTAINED. EXISTING CONSTRUCTION LIKELY INCLUDES UP TO (4) LAYERS OF 5/8" TYPE X GYPSUM BOARD AND METAL STUD FRAMING. FIELD VERIFY ALL CONDITIONS AND BID ACCORDINGLY.
- NEW CEILING, LIGHTING AND NEW MECHANICAL GRILLES AS SPECIFIED IN ENTIRE ROOM. SEE ELECTRICAL AND MECHANICAL.
- NEW LIGHTS IN ENTIRE ROOM. SEE ELECTRICAL.
- NEW MECHANICAL GRILLES IN ENTIRE ROOM. SEE MECHANICAL.
- NEW WALL MOUNTED VERTICAL LIGHT FIXTURE WITH TOP OF FIXTURE AT 7'-9" A.F.F. INTENT IS TO MATCH MIRROR HEIGHT. VERIFY ALL CONDITIONS.
- NEW 24"X24" CEILING ACCESS PANEL- GLASS FIBER REINFORCED GYPSUM (GFRG) TYPE (INTEX FORMS OR EQUAL).
- CEILING MOUNTED TELEVISION. SEE AUDIO VISUAL PACKAGE WITHIN ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CEILING MOUNTED MED GAS OUTLETS - SEE AP101 AND PLUMBING.
- CEILING MOUNTED ELECTRICAL REEL. PROVIDE UNISTRUT SUPPORT AS REQUIRED AND CEILING MOUNTED OUTLET. SEE ELECTRICAL.
- EXTEND NEW CEILING TO MATCH EXISTING ELEVATION. CREATE SMOOTH TRANSITION.
- NEW PAINTED METAL 2 HOUR FIRE RATED ACCESS PANEL.



CEILING LEGEND

- A** 2x2 SUSPENDED CEILING SYSTEM. CEILING GRID: CHICAGO METALLIC 1200 SERIES 15/16" (COLOR-WHITE). CEILING TILE: ROCKFON ARTIC WITH SQUARE EDGE (COLOR - WHITE). SEE A501 DETAILS.
- B** PAINTED 5/8" TYPE "X" GYPSUM BOARD WITH SMOOTH FINISH. SEE DETAIL E1/A501.
- C** OPEN TO EXPOSED STRUCTURE ABOVE

ELECTRICAL/MECHANICAL SYMBOLS

- 24' x 48' LIGHT FIXTURE
- 24' x 24' LIGHT FIXTURE
- LINEAR LIGHT FIXTURE
- RECESSED DOWNLIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- EXIT SIGN
- SUPPLY DIFFUSER
- RETURN AIR DIFFUSER
- EXHAUST FAN
- 24'x24' ACCESS PANEL
- WRAPAROUND LIGHT
- SECURITY CAMERA

GENERAL NOTES

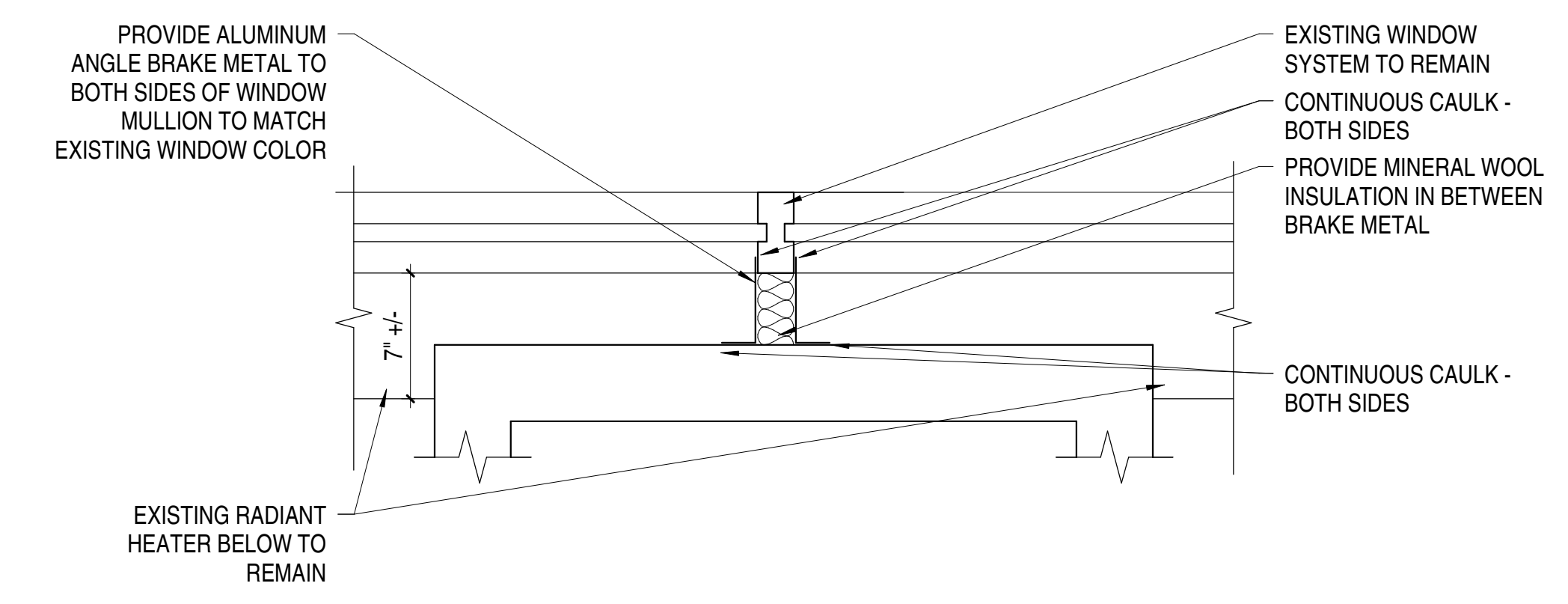
- ITEMS NOT NOTED ARE EXISTING TO REMAIN.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- THE CONTRACTOR SHALL MODIFY THE EXISTING FIRE SPRINKLER SYSTEM THROUGHOUT THE REMODELED SPACE(S) IN COMPLIANCE WITH NFPA 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL DRAWINGS, SPECIFICATIONS AND CALCULATIONS REQUIRED BY THE FIRE MARSHAL WHERE APPLICABLE. FIRE SPRINKLERS TO BE CENTERED ON CEILING TILES. HEADS TO BE CONCEALED MOUNTED WHERE POSSIBLE. SEE PLUMBING DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- SEE ENGINEERING SHEETS FOR ADDITIONAL REQUIREMENTS. MECHANICAL, PLUMBING, ELECTRICAL, FIRE SPRINKLER, AND CEILING SUBCONTRACTORS SHALL COORDINATE THEIR WORK. IN CASE OF CONFLICT, THE REFLECTED CEILING PLAN SHALL TAKE PRECEDENCE.
- SEE DETAIL D1/A501, D2/A501, AND E2/A501 FOR TYPICAL SEISMIC BRACING.
- CEILING HEIGHTS SHOWN ARE ABOVE FINISH FLOOR IN WHICH THEY ARE CALLED.
- SOME AREAS WITHIN THE SCOPE OF THE PROJECT REQUIRE SIGNIFICANT DRYWALL PATCHING. INTENT IS TO PATCH AND REPAIR ALL WALLS AND CEILINGS TO A LEVEL 5 SMOOTH TEXTURE FINISH. FIELD VERIFY EXISTING CONDITIONS AND BID ACCORDINGLY.
- SEE ELECTRICAL TM SHEETS FOR SOUND MASKING INFORMATION.
- PROVIDE CODE COMPLIANT SEISMIC SEPARATION JOINTS FOR CEILING AREAS OVER 2500 SF.
- DO NOT SCALE DRAWINGS.

D2 REFLECTED CEILING PLAN - LEVEL 1
A151 | SCALE: 1/8" = 1'-0"

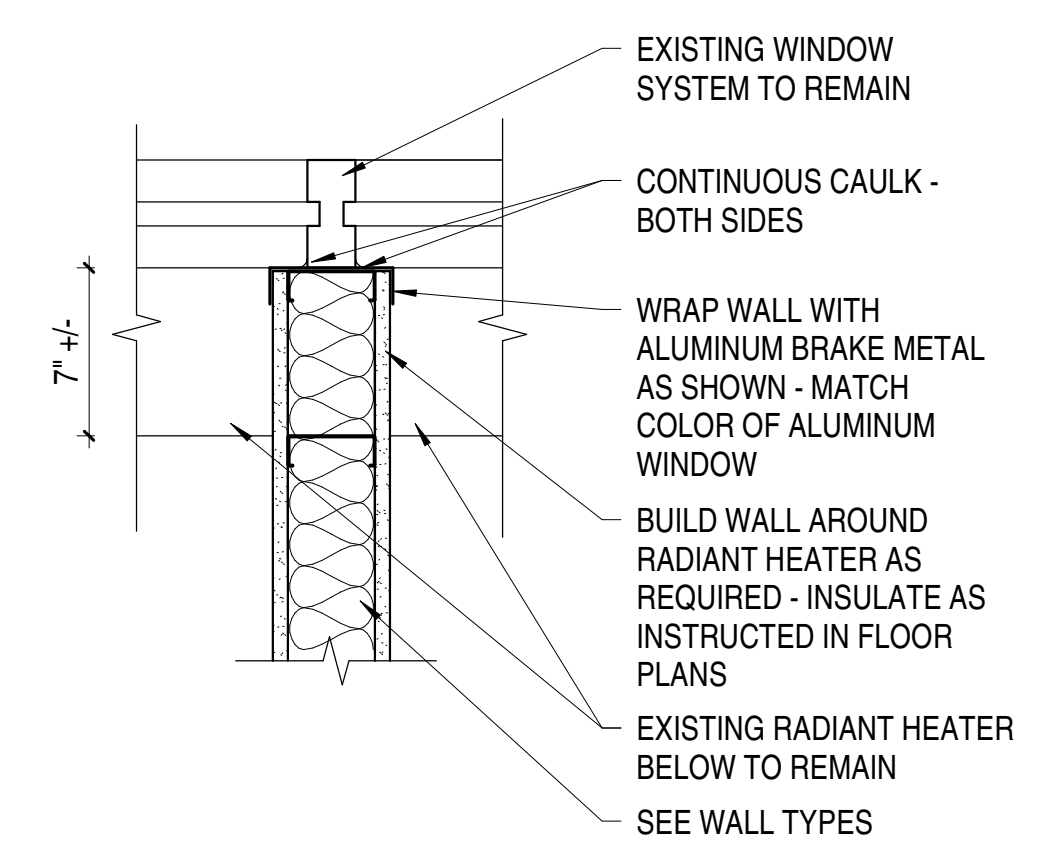
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| <p>233 SOUTH PLEASANT GROVE BLVD. PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p> | <p>DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWJ</p> |
| | <p>PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL</p> <p>4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120</p> |
| <p>SHEET DESCRIPTION: REFLECTED CEILING PLAN - LEVEL 1</p> | <p>SHEET: A151</p> |

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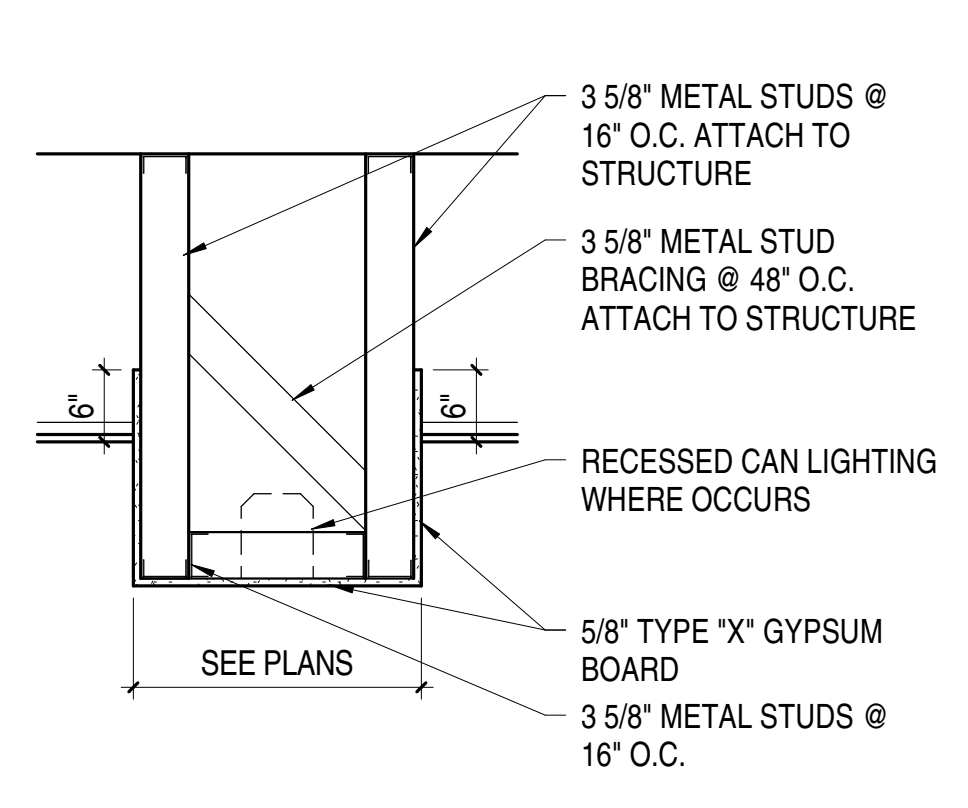
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| 1 | PROPOSAL REQUEST #01 | 07/21/22 |
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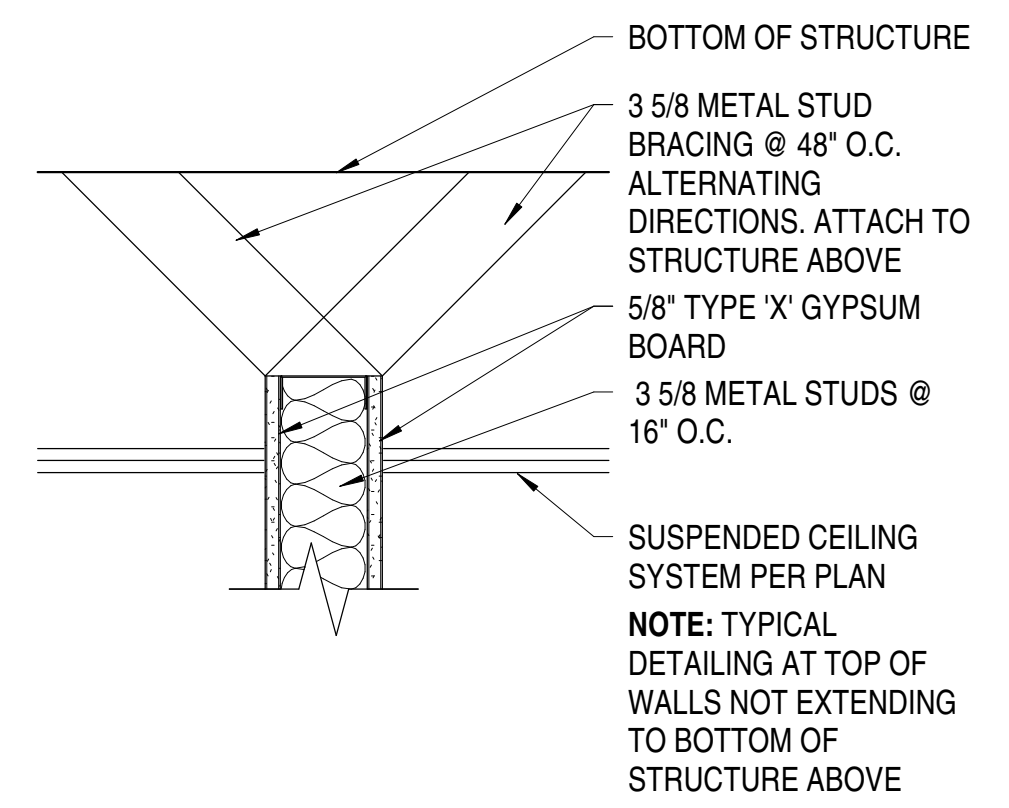
A4 COLUMN TO MULLION
A501 | SCALE: 1 1/2" = 1'-0"



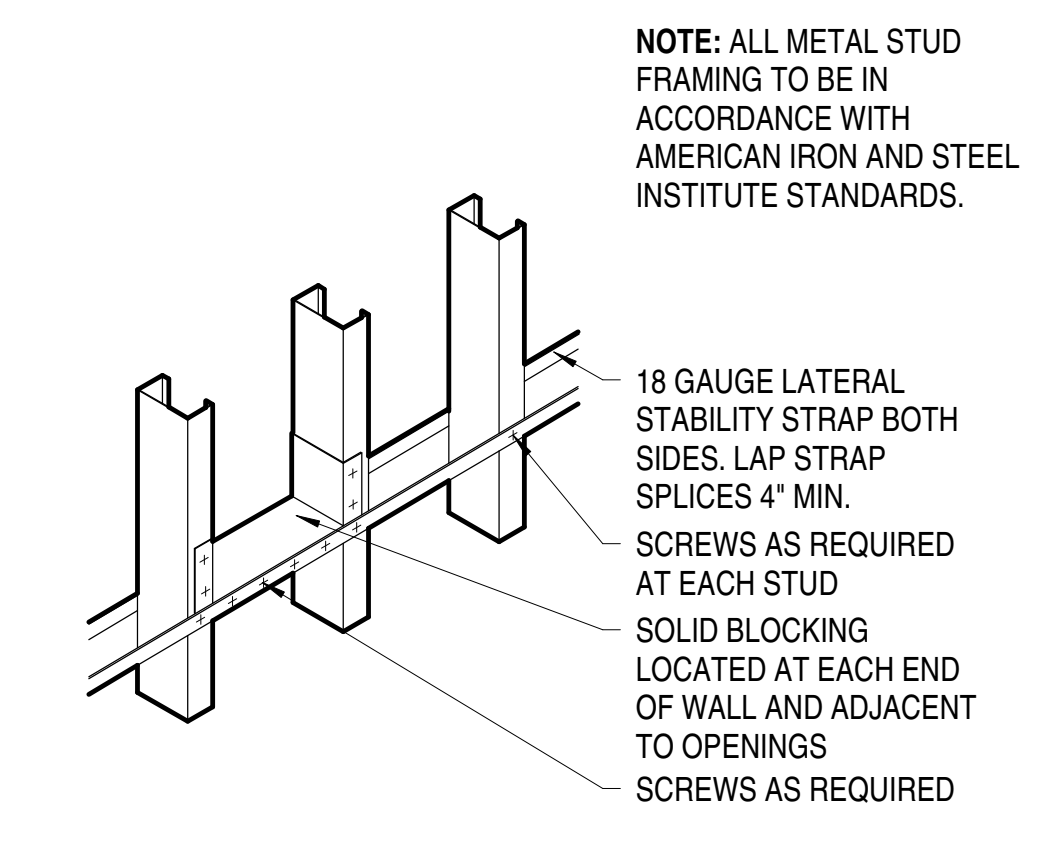
A6 WALL TO MULLION DETAIL
A501 | SCALE: 1 1/2" = 1'-0"



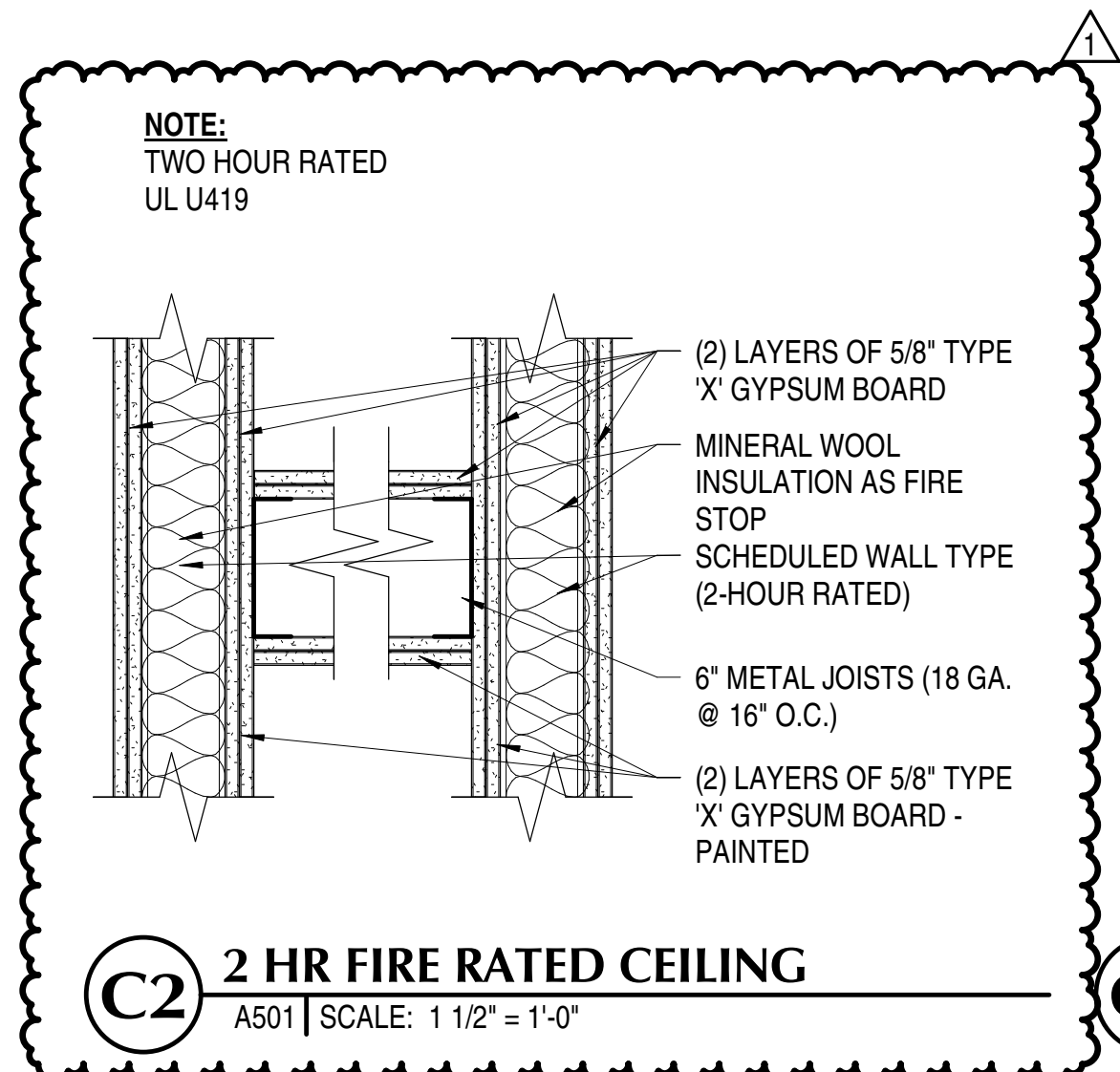
B4 GYPSUM BOARD CEILING DETAIL
A501 | SCALE: 3/4" = 1'-0"



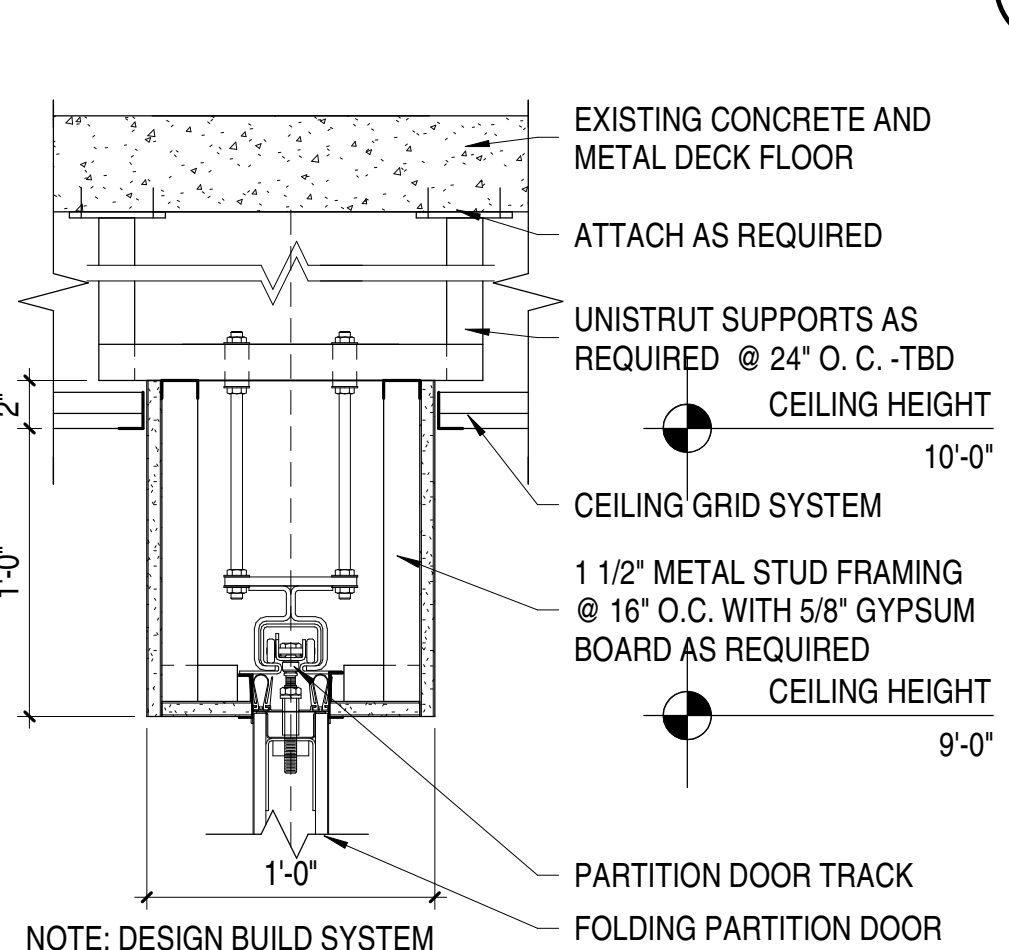
B5 WALL BRACING DETAIL
A501 | SCALE: 1 1/2" = 1'-0"



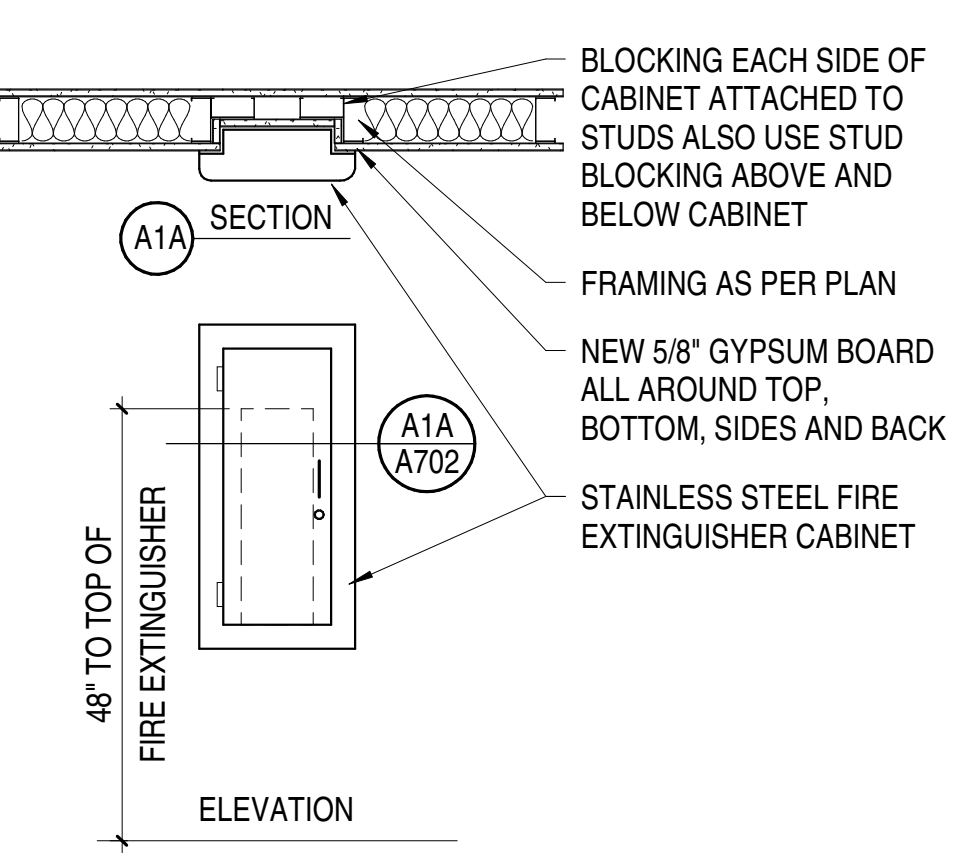
B6 METAL STUD BLOCKING DETAIL
A501 | SCALE: NOT TO SCALE



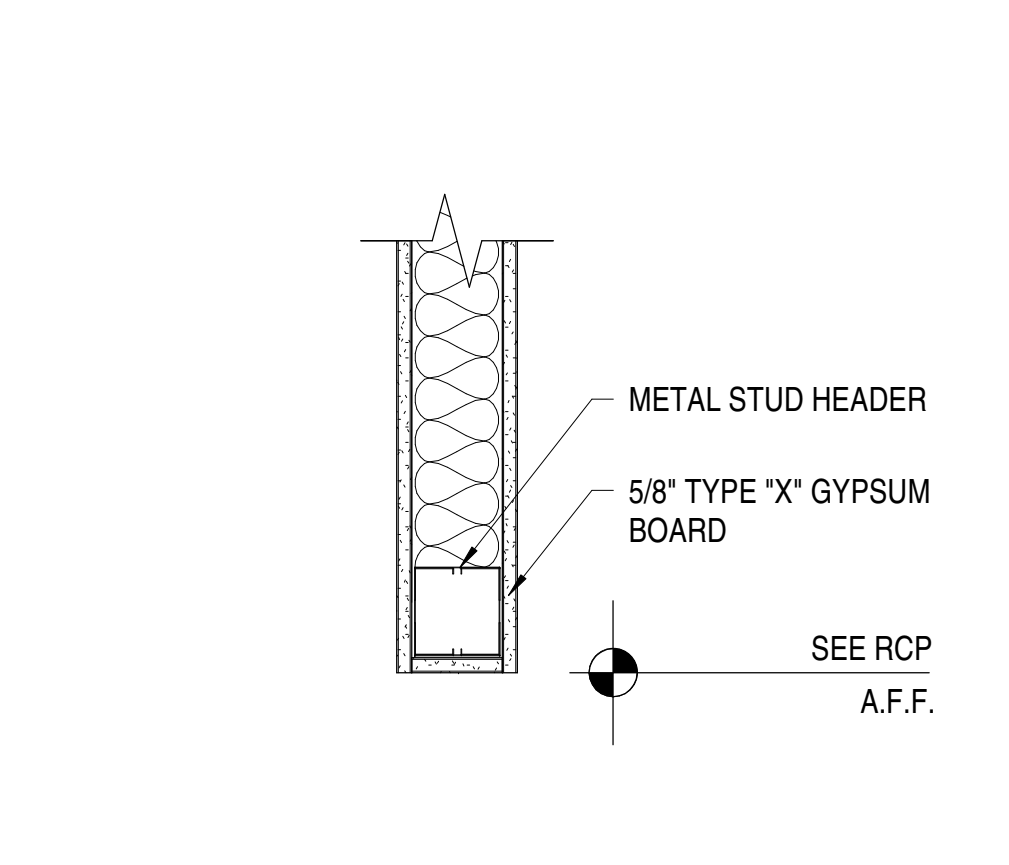
C2 2 HR FIRE RATED CEILING
A501 | SCALE: 1 1/2" = 1'-0"



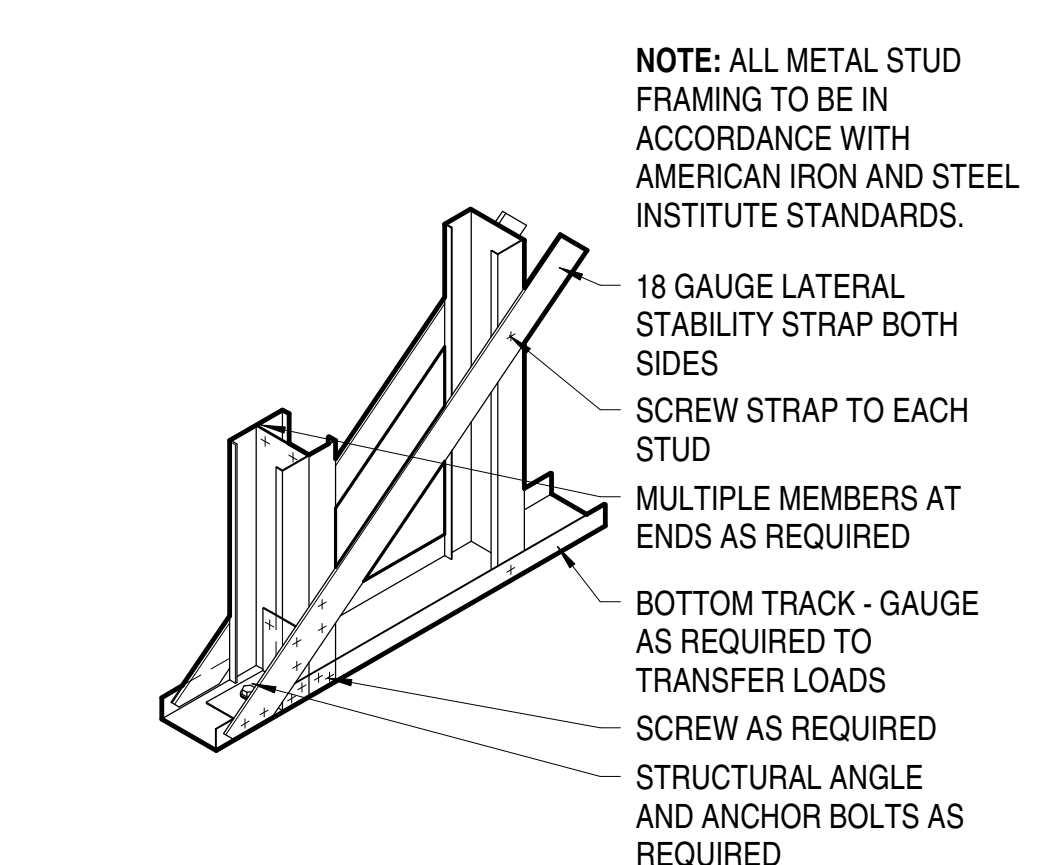
C3 FOLDING PARTITION DOOR HEAD
A501 | SCALE: 1 1/2" = 1'-0"



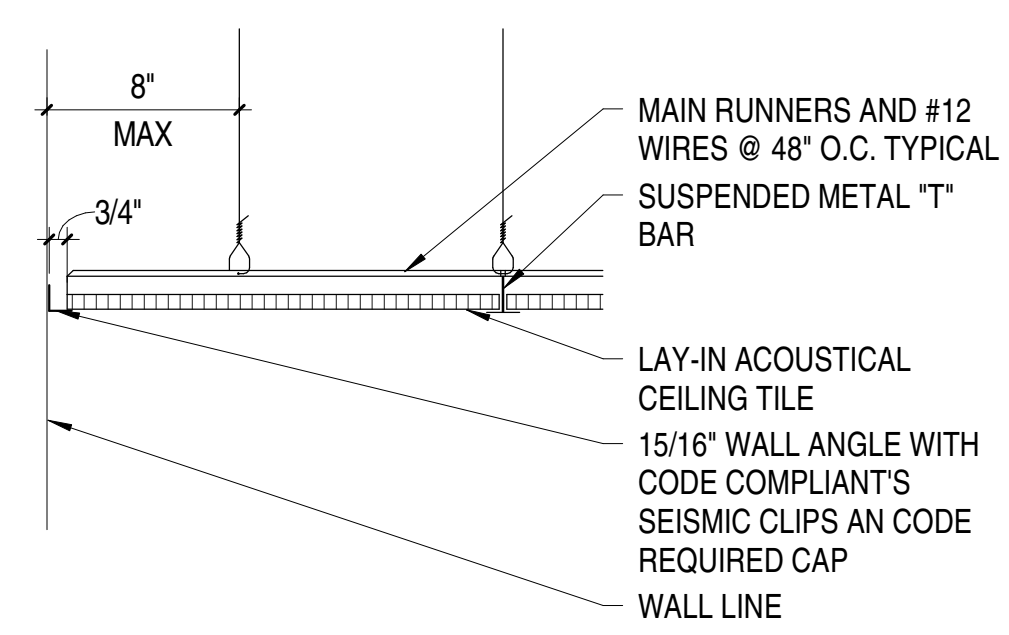
C4 SEMI RECESSED FIRE EXTINGUISHER
A501 | SCALE: 3/4" = 1'-0"



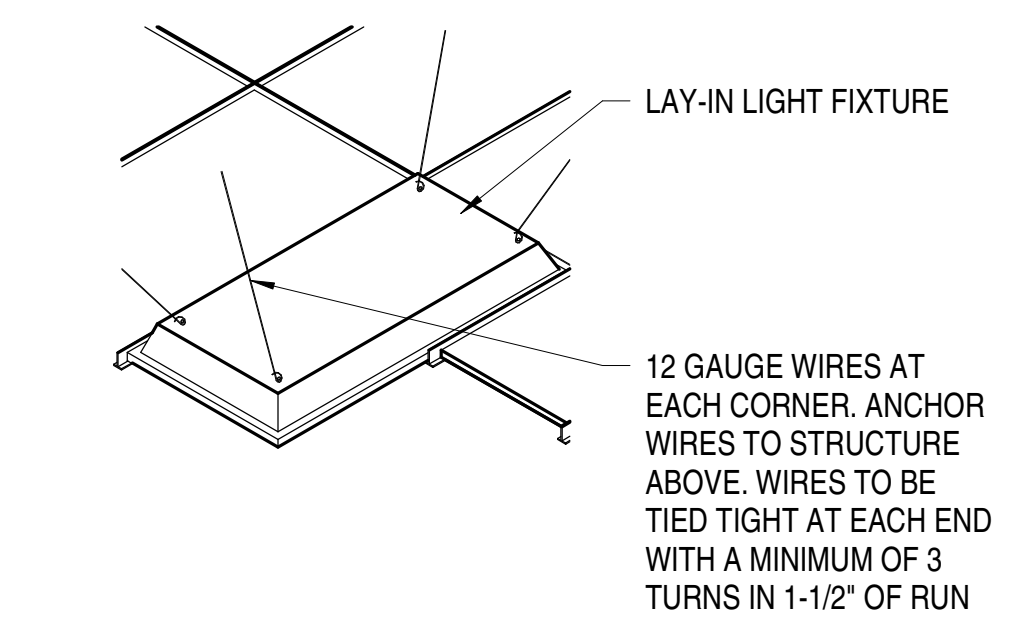
C5 HEADER DETAIL
A501 | SCALE: 1 1/2" = 1'-0"



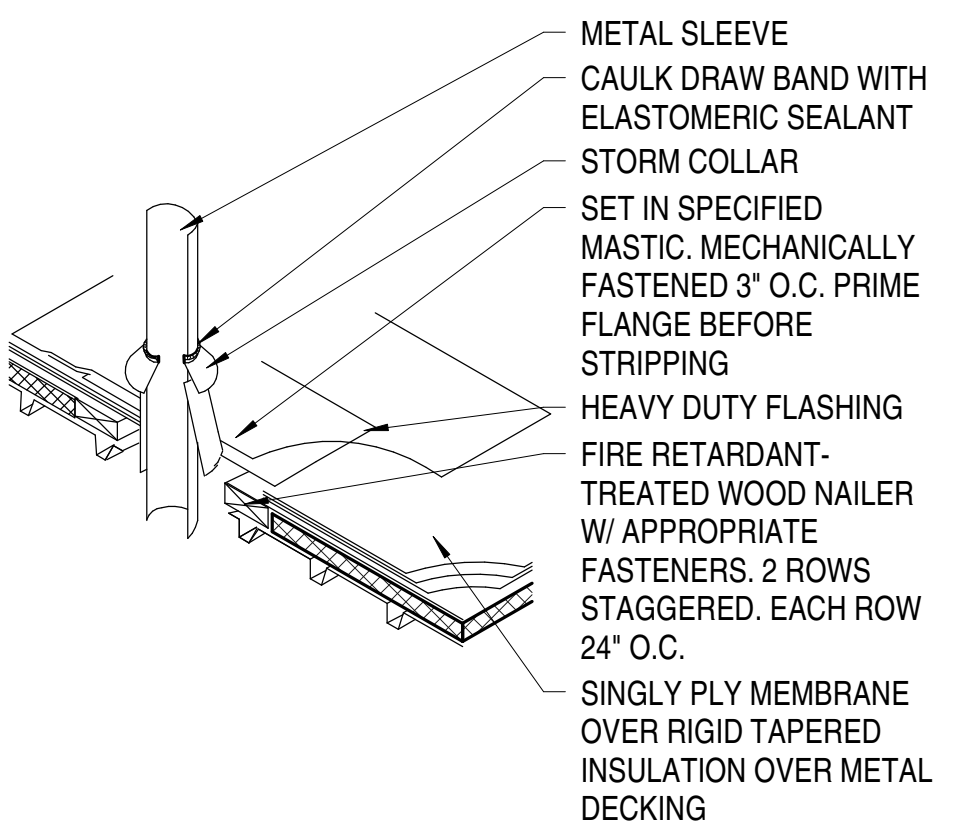
C6 METAL STUD STRAP DETAIL
A501 | SCALE: NOT TO SCALE



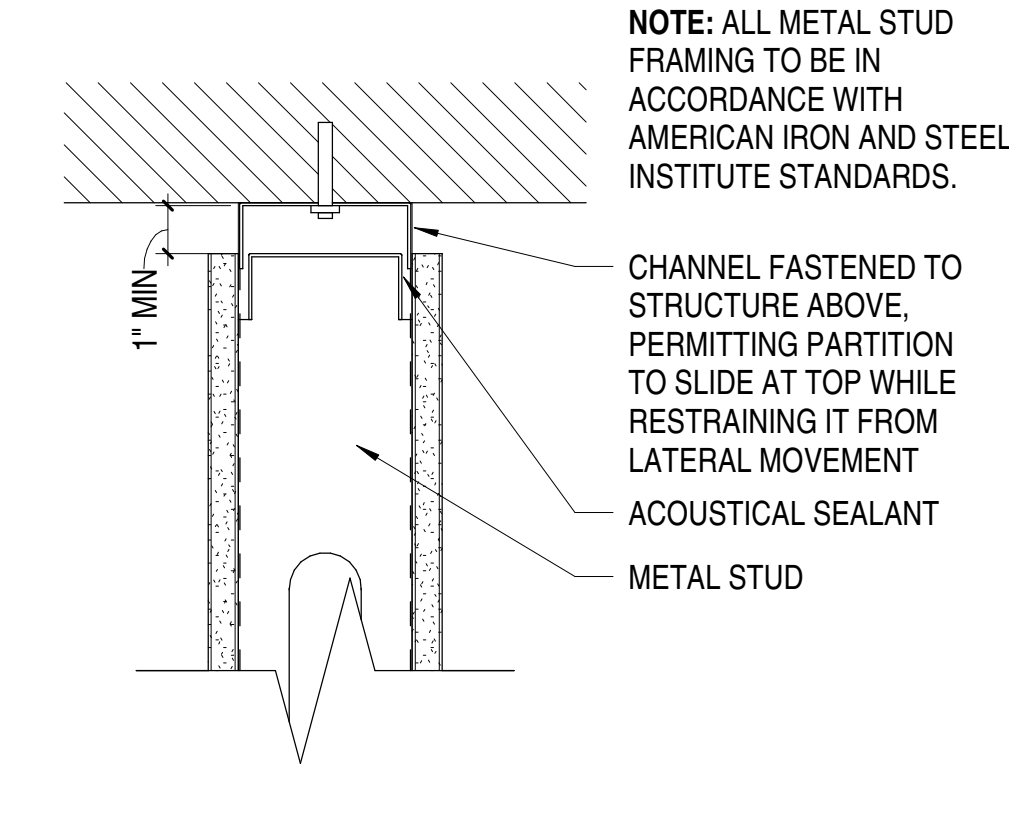
D1 ACOUSTICAL CEILING DETAIL
A501 | SCALE: 1 1/2" = 1'-0"



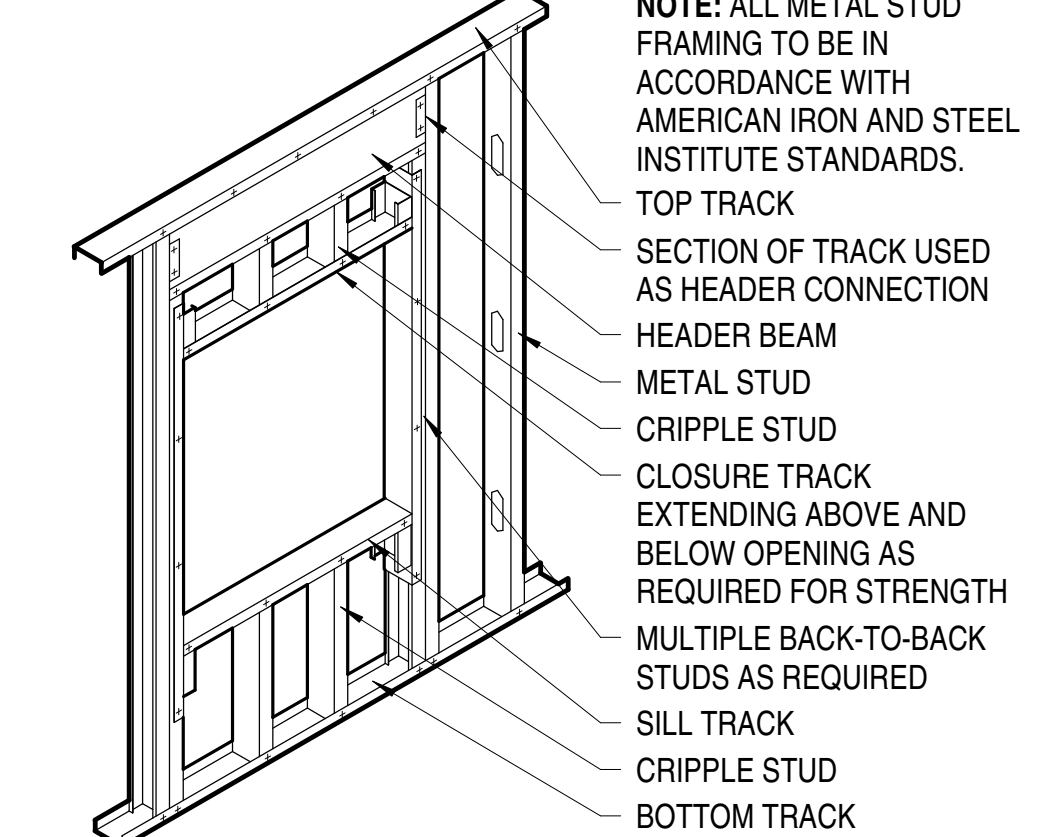
D2 SEISMIC LIGHT DETAIL
A501 | SCALE: 1" = 1'-0"



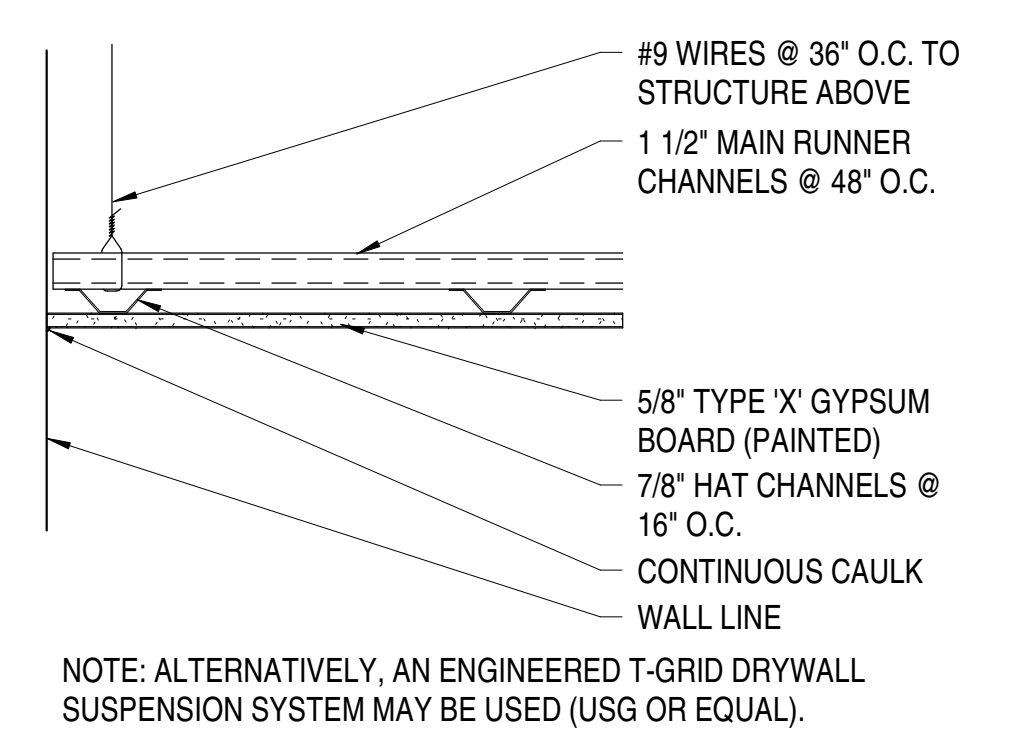
D4 HOT PLUMBING VENT DETAIL
A501 | SCALE: 3/4" = 1'-0"



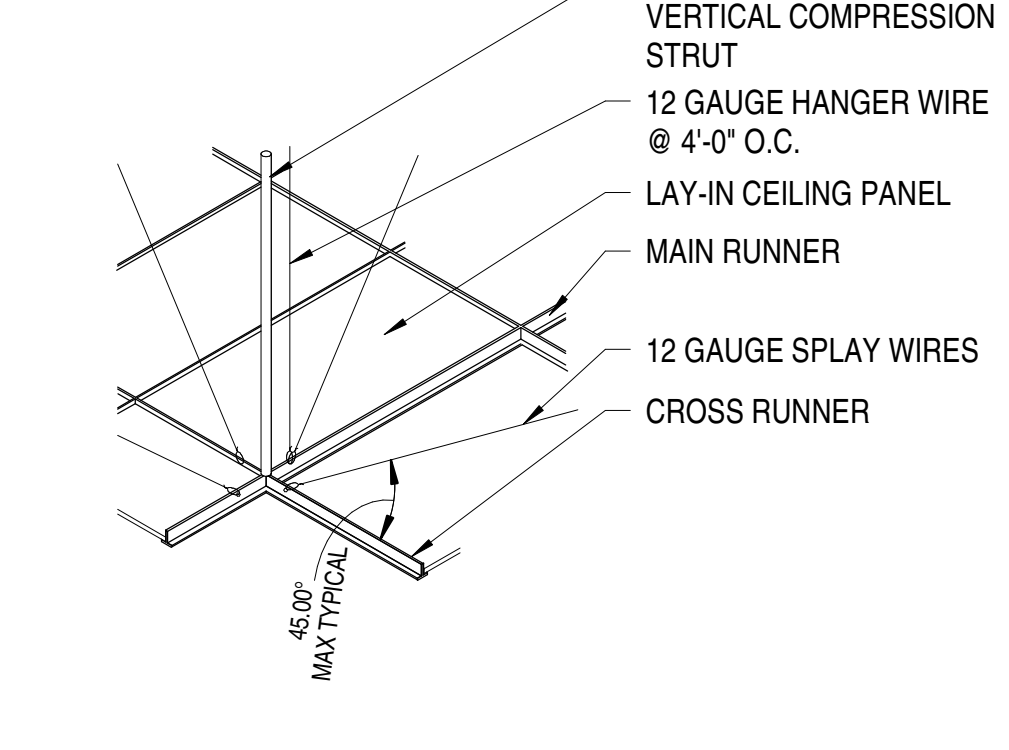
D5 WALL DEFLECTION DETAIL
A501 | SCALE: 3" = 1'-0"



D6 METAL STUD FRAMING WINDOW DETAIL
A501 | SCALE: NOT TO SCALE



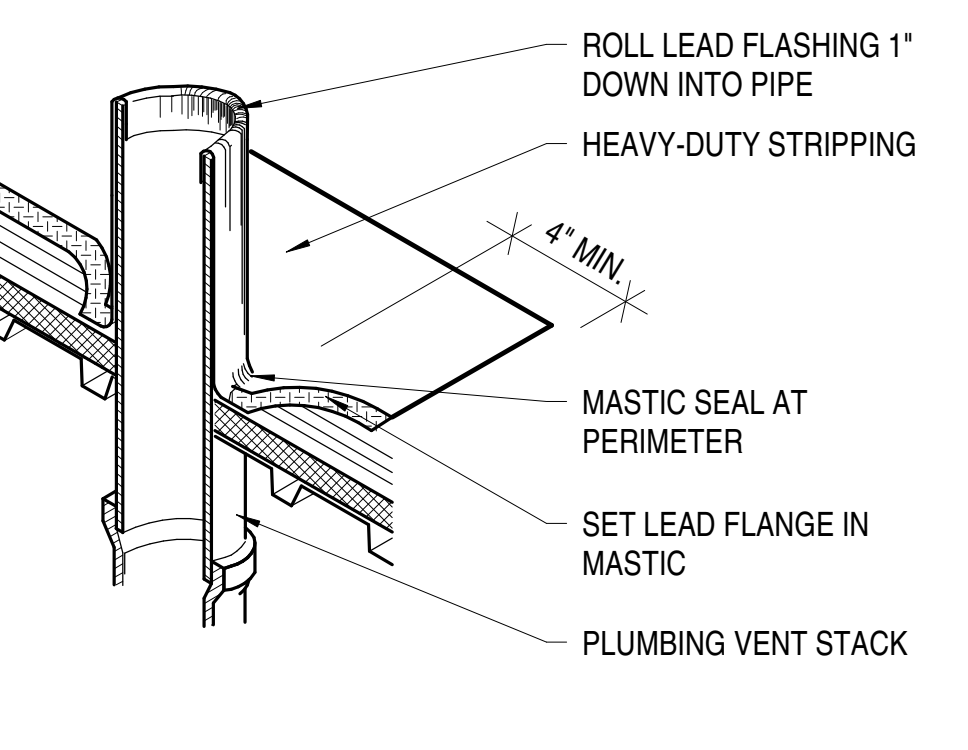
E1 SUSPENDED GYP BOARD CEILING
A501 | SCALE: 1 1/2" = 1'-0"



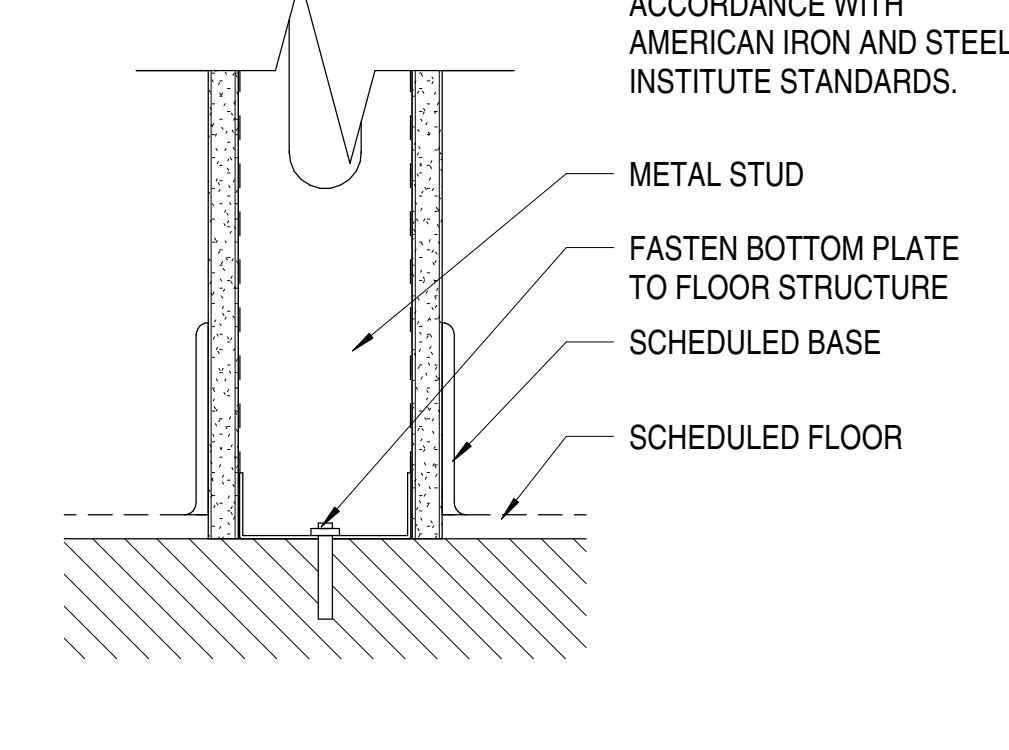
E2 SEISMIC CEILING DETAIL
A501 | SCALE: 1" = 1'-0"

- SUSPENDED CEILING SYSTEM NOTES:**
- SUSPENDED CEILING SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH IBC 808.1.1.1, ASTM C635/636, ASCE 7, AND CISCA 3-4.
 - ALL CEILINGS ARE TO HAVE VERTICAL COMPRESSION STRUTS, SEISMIC BRACING, HANGERS, ETC., AS REQUIRED BY IBC, ASCE 7, AND CISCA 3-4.
 - HEAVY DUTY T-BAR SYSTEM WITH PERIMETER SUPPORTING CLOSURE ANGLE AND CODE COMPLIANT SEISMIC CLIPS IS REQUIRED. ATTACHED ONE END OF THE CEILING GRID TO THE CLOSURE ANGLE IN EACH DIRECTION. THE OTHER END IN EACH HORIZONTAL DIRECTION SHALL HAVE 3/4" CLEARANCE FROM THE WALL AND SHALL REST UPON THE BE FREE TO SLIDE ON THE CLOSURE ANGLE. SPLAY WIRES AS REQUIRED BY IBC, ASCE 7, AND CISCA 3-4. ALL SPLAY WIRES ARE TO BE IN LINE WITH ATTACHED COMPONENT AND ARE TO BE TIED TIGHT AT EACH END WITH A MINIMUM OF 3 TURNS IN 1-1/2' OF RUN.
 - ANCHOR WIRES ONLY TO STRUCTURAL MEMBERS AND DECKING IN AN APPROVED MANNER PER CISCA 3-4 DO NOT ANCHOR TO BRIDGING. WIRES SHALL NOT ATTACH TO OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT. NOT SHALL THEY BE LESS THAN 6" TO ANY UNBRACED HORIZONTAL PIPING OR DUCTWORK. A TRAPEZE OR SIMILAR DEVICE SHALL BE USED WHERE OBSTRUCTIONS OCCUR.
 - SUPPORT ALL RUNNERS AT 8" MAXIMUM FROM WALL OR CEILING DISCONTINUITY.
 - FOUR-WAY DIAGONAL BRACING AND COMPRESSION STRUTS 12'-0" O.C. EACH WAY.
 - PROVIDE CEILING HORIZONTAL RESTRAINT TO THE STRUCTURE ABOVE FOR CEILING AREAS GREATER THAN 1,000 SQUARE FEET TO MINIMIZE DIAPHRAGM LOADS.
 - PROVIDE SEISMIC SEPARATION JOINTS OR FULL HEIGHT PARTITIONS FOR CEILING AREAS GREATER THAN 2,500 SQUARE FEET.
 - CHANGES IN CEILING PLANE ELEVATION SHALL BE PROVIDED WITH POSITIVE BRACING.
 - CABLE TRAYS AND ELECTRICAL CONDUITS SHALL BE SUPPORTED AND BRACED INDEPENDENT FROM THE SUSPENDED CEILING SYSTEM.
 - PROVIDE 2" OVERSIZE RINGS, SLEEVES OR ADAPTERS THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT FOR AT LEAST 1" MOVEMENT IN ALL DIRECTIONS FOR FIRE SPRINKLER HEADS AND OTHER SIMILAR PENETRATIONS.
 - SPECIAL INSPECTION REQUIRED OF SUSPENDED CEILING SYSTEMS.

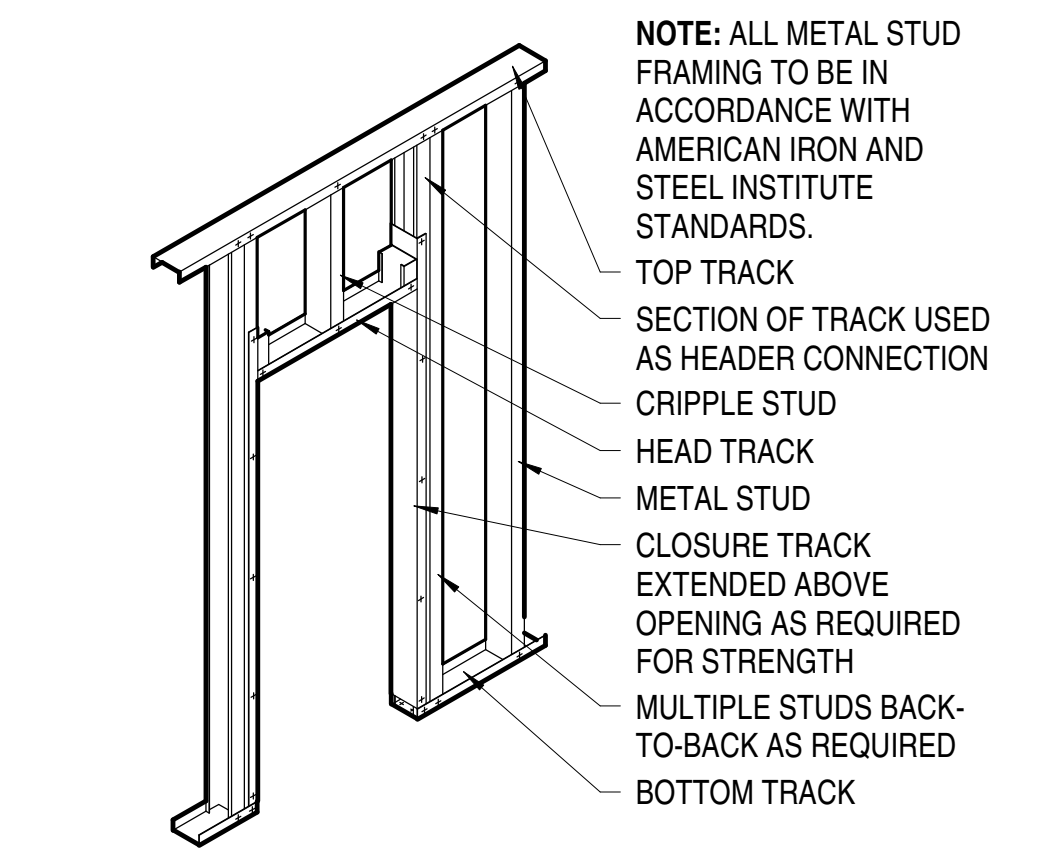
E3 SUSPENDED CEILING NOTES
A501 | SCALE: 1 1/2" = 1'-0"



E4 PLUMBING VENT DETAIL
A501 | SCALE: 3/4" = 1'-0"



E5 WALL TO FLOOR DETAIL
A501 | SCALE: 3" = 1'-0"



E6 METAL STUD FRAMING DOOR DETAIL
A501 | SCALE: NOT TO SCALE

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| | 233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmastah.com | DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT |
| | PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL | |
| 4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120 | | SHEET: A501 |
| SHEET DESCRIPTION: MISCELLANEOUS DETAILS - METAL | | |

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| 1 | ADDENDUM #02 | 05/12/22 |
| 2 | PROPOSAL REQUEST #01 | 07/21/22 |

SHEET NOTES

- PAINTED HOLLOW METAL (STEEL) DOOR FRAME. SEE A101 FOR COLOR. MATCH EXISTING BUILDING STANDARD FRAME DIMENSIONS AND PROFILES. CONTRACTOR TO FIELD VERIFY. VERIFY FRAME TYPE WITH DOOR SCHEDULE.
- HOLLOW METAL (STEEL) DOOR FRAME - STAINLESS STEEL FOR SHOWER ROOM(S). WHERE APPLICABLE, PAINT CORRIDOR SIDE TO STOP, SHOWER ROOM SIDE TO REMAIN AS EXPOSED STAINLESS STEEL.
- SOLID CORE WOOD DOOR TO MATCH EXISTING SOUTH TOWER STANDARD. BID AS CLEAR WHITE MAPLE, PLAIN SAW, BOOK MATCH TO MATCH EXISTING FINISH.
- PRE-FINISHED ALUMINUM DOOR FRAME SYSTEM 2" NOMINAL SIGHT LINE (KAWNEER 451 OR EQUAL - INTENT IS TO MATCH EXISTING SYSTEM ON SOUTH TOWER). COLOR: CLEAR ANODIZED. VERIFY FRAME TYPE WITH DOOR SCHEDULE.
- NEW EXTERIOR ALUMINUM DOOR WITH THERMAL BREAK TO MATCH EXISTING. KAWNEER WIDE STYLE 500 - VERIFY.
- REPLACE EXISTING ALUMINUM DOOR / WINDOW FRAME MULLIONS AND GLASS AS REQUIRED FOR INSTALLATION OF NEW TALLER DOOR.
- NEW FOLDING PARTITION DOOR. BASIS OF DESIGN: MODERCO EXCEL 742 PAIRED PANEL (STC 50 OR GREATER) WITH SOUND SEALS, VINYL ORLEANS, COLOR: BEIGNET 921-01. PROVIDE UNISTRUT STRUCTURE SUPPORT CONNECTED TO CONCRETE / STEEL DECK ABOVE AS REQUIRED. BID AS U-SHAPED UNISTRUT AT 24" O.C. FOR THE LENGTH OF THE DOOR - DESIGN BUILD SYSTEM. COORDINATE ALL DETAILS WITH DOOR REPRESENTATIVE. FOR MODERCO REPRESENTATIVE, CONTACT TANNER HART (801) 663-4921 AT INTRIQUE ARCHITECTURAL SYSTEMS.
- SILICON GLASS BUTT JOINT (COLOR: BLACK).
- SHADING INDICATES TO PROVIDE A TRANSLUCENT WINDOW FILM TO MATCH EXISTING (3M OR EQUAL). VERIFY WITH OWNER PRIOR TO PROVIDING.
- PAINTED SOLID CORE FIBERGLASS DOOR (SHOWER ROOMS). SEE A101 FOR COLOR.

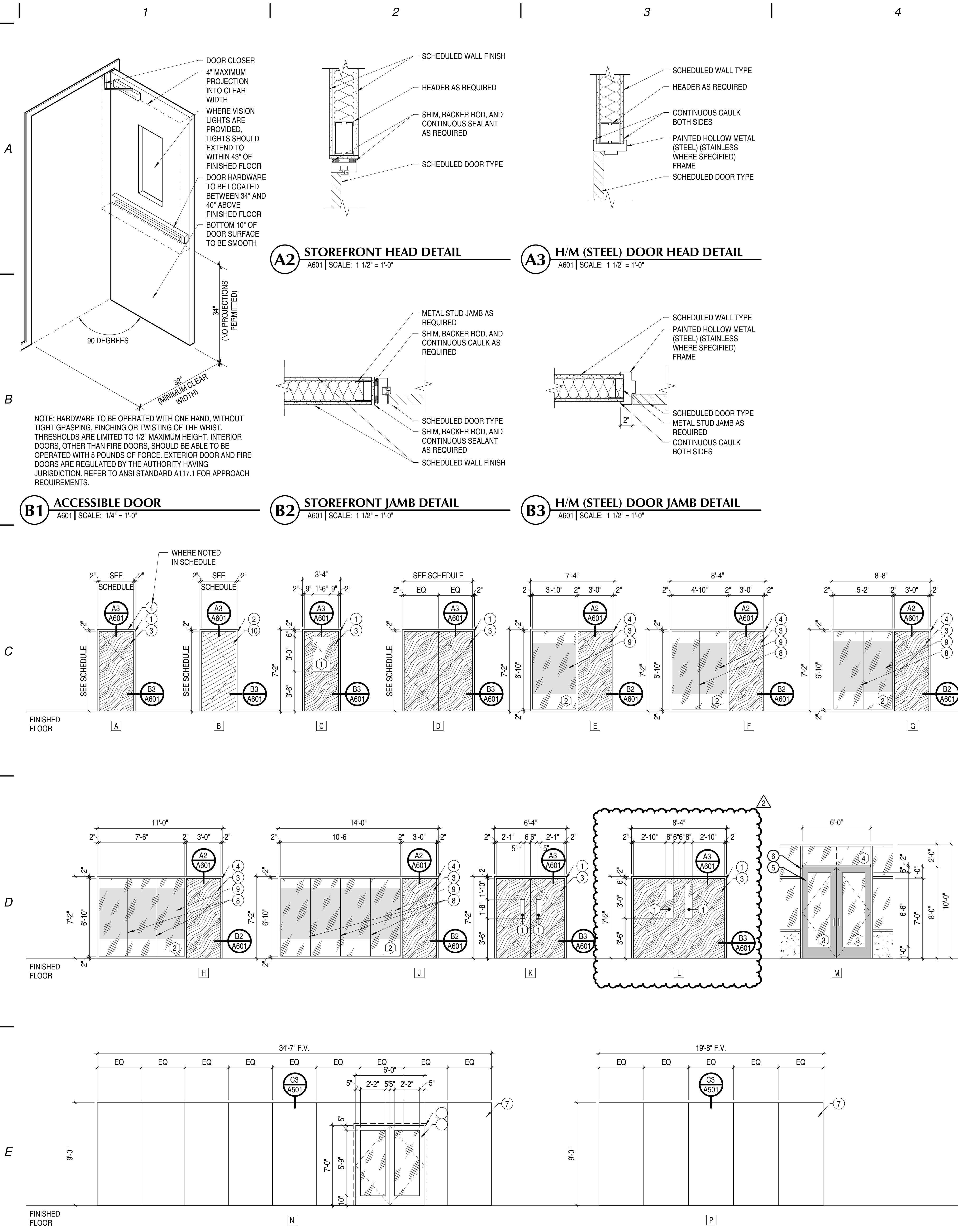
GLAZING SCHEDULE

- 1/4" TEMPERED CLEAR GLASS. FIRE RATE GLASS WHERE INDICATED IN THE DOOR SCHEDULE TO THE LEVEL REQUIRED BY THE SIZE AND RATING OF THE DOOR PER IBC REQUIREMENTS (SEE DOOR SCHEDULE COMMENTS FOR SPECIFIC FIRE RATINGS PER DOOR).
- 1/2" TEMPERED CLEAR GLASS.
- 1" INSULATED TEMPERED LOW-E GLASS FOR DOOR. U-FACTOR OF .76 OR LESS. SHGC OF .27 OR LESS.
- 1" INSULATED LOW-E TEMPERED CLEAR GLASS IN STOREFRONT SYSTEM WITH A TOTAL ASSEMBLY U-FACTOR OF .37 OR LESS AND SHGC OF .27 OR LESS. MATCH EXISTING GLASS COLOR AND TINTING IF ANY (CONTRACTOR TO FIELD DETERMINE).

GENERAL NOTES

- THE CONTRACTOR IS TO VERIFY THE DIMENSIONS OF ALL OPENINGS PRIOR TO THE FABRICATION OF ALL DOORS AND FRAMES.
- DUE TO MULTIPLE USE, SOME OF THE DETAILS REFERRED TO ON THE DOOR SCHEDULE ARE REVERSED OR TURNED FROM THE DIRECTION SHOWN ON THE FLOOR PLANS. THE INTENT OF THE DETAILS IS TO BE FOLLOWED.
- ALL OPERABLE DOOR HARDWARE SHALL BE ADA COMPLIANT. ALL EXIT ACCESS DOORS AND EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT. USE OF MANUAL FLUSH BOLTS, EDGE BOLTS, TOP OR BOTTOM BOLTS, ETC., IS PROHIBITED.
- ALL OPERABLE DOOR HARDWARE SHALL BE ADA COMPLIANT. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES WILL BE 5 SECONDS MINIMUM.
- SEE SPECIFICATIONS FOR DOOR HARDWARE. WHERE THE DOOR SCHEDULE INDICATES "ELECTRIFIED HARDWARE", ELECTRICAL COORDINATION IS REQUIRED (SEE HARDWARE SETS), WHERE INDICATED IN THE HARDWARE SETS AS "BY ACCESS CONTROL", THE OWNER'S INTEGRATOR (ACCESS AUTOMATICS) WILL PROVIDE AND INSTALL THE HARDWARE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE DOOR PREPARATION AND TO COORDINATE ALL DOOR RELATED ELECTRICAL REQUIREMENTS BETWEEN ALL NECESSARY TRADES (INCLUDING OWNER'S INTEGRATOR) AND PROVIDE CONDUIT AS REQUIRED FOR CARD READERS.
- CONTRACTOR SHALL PROVIDE ALL KEYING FOR NEW DOORS OR EXISTING DOORS WITH NEW OR MODIFIED HARDWARE. COORDINATE ALL KEYING WITH THE OWNER.
- FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE REQUIRED FORCE FOR PUSHING OPEN OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE 5 POUNDS. THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC DOORS, POWER ASSISTED DOORS, AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHEN NARROW STILE AND RAIL DOORS ARE USED, A 10" MINIMUM, SMOOTH PANEL, EXTENDING THE FULL WIDTH OF THE DOOR, SHALL BE INSTALLED ON THE PUSH SIDE(S) OF THE DOOR WHICH ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. CAVITIES CREATED BY KICK PLATES SHALL BE CAPPED.
- CAULK HEAD, JAMBS, AND SILLS OF ALL DOORS AND WINDOWS WITH SEALANT CONTINUOUSLY APPLIED TO BOTH SIDES OF THE FRAMES.
- GLAZING CONTRACTOR SHALL BE RESPONSIBLE TO ENGINEER GLAZING SYSTEMS TO ASSURE THE STRUCTURAL INTEGRITY OF THE SYSTEM(S).
- EXISTING METAL (STEEL) DOORS AND FRAMES (WITHIN THE SCOPE OF WORK THAT ARE TO REMAIN SHALL BE PATCHED AND REPAIRED TO LIKE NEW CONDITION AND PREPARED AS REQUIRED FOR NEW HARDWARE AS /IF REQUIRED AND PAINTED AS PER A101 (CONTRASTING COLOR FROM WALL).

| MARK | TYPE | DOOR SIZE | | | MATERIAL | | HARDWARE | COMMENTS |
|------|------|-----------|--------|--------|------------|-------|----------|---|
| | | WIDTH | HEIGHT | THICK | DOOR | FRAME | | |
| 101 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 10.0 | |
| 101A | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 9.0 | |
| 104 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 11.0 | |
| 105 | A | 3'-6" | 7'-0" | 1 3/4" | WOOD | STEEL | 14.0 | |
| 106 | A | 3'-6" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | |
| 107 | L | 8'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 1.3 | 90 MINUTE RATING, GLAZING > 100 SI - D-H-W-90, ELECTRIFIED HARDWARE |
| 108 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | 90 MINUTE RATING, ELECTRIFIED HARDWARE |
| 109 | E | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 110 | J | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 111 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 111A | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | ELECTRIFIED HARDWARE |
| 112 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 113 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 114 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 22.1 | |
| 115 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 1.0 | 90 MINUTE RATING, ELECTRIFIED HARDWARE |
| 116 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 19.0 | ELECTRIFIED HARDWARE |
| 117 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 2.0 | ELECTRIFIED HARDWARE |
| 118 | B | 3'-0" | 7'-0" | 1 3/4" | FIBERGLASS | STEEL | 18.0 | |
| 118A | B | 3'-0" | 7'-0" | 1 3/4" | FIBERGLASS | STEEL | 18.0 | |
| 118B | B | 3'-0" | 7'-0" | 1 3/4" | FIBERGLASS | STEEL | 18.0 | |
| 119 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 1.2 | |
| 119A | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 1.1 | |
| 120 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 121 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 122 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 123 | G | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 124 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.2 | |
| 125 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 16.0 | |
| 126 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 22.0 | |
| 127 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 128 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 129 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 130 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 131 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 132 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 133 | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.0 | |
| 134 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.1 | |
| 134A | P | 19'-8" | 9'-0" | 2" | - | - | 24.0 | FOLDING PARTITION DOOR ELECTRIFIED HARDWARE |
| 135 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | |
| 135A | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.1 | |
| 136 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 4.0 | ELECTRIFIED HARDWARE |
| 136A | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 4.0 | ELECTRIFIED HARDWARE |
| 136B | N | 34'-7" | 9'-0" | 2" | - | - | 24.0 | FOLDING PARTITION DOOR ELECTRIFIED HARDWARE |
| 138 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 6.0 | |
| 139 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 7.0 | |
| 140 | D | 6'-0" | 8'-0" | 1 3/4" | WOOD | STEEL | 12.0 | 90 MINUTE RATING, ELECTRIFIED HARDWARE |
| 140A | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | EXISTING FRAME TO REMAIN. PATCH AND REPAIR AS NEEDED. NEW DOOR SLAB |
| 141 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 3.0 | ELECTRIFIED HARDWARE |
| 142 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | EXISTING FRAME TO REMAIN. PATCH AND REPAIR AS NEEDED. NEW DOOR SLAB, ELECTRIFIED HARDWARE |
| 143 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 15.0 | ELECTRIFIED HARDWARE |
| 144 | A | 3'-6" | 7'-0" | 1 3/4" | WOOD | STEEL | 11.0 | EXISTING FRAME TO REMAIN. PATCH AND REPAIR AS NEEDED. NEW DOOR SLAB |
| 145 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 20.1 | |
| 146 | H | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 147 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | ELECTRIFIED HARDWARE |
| 147A | A | 4'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 17.0 | ELECTRIFIED HARDWARE |
| 148 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 22.0 | |
| 150 | K | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 8.0 | 90 MINUTE RATING, GLAZING < 100 SI - D-H-W-90, ELECTRIFIED HARDWARE |
| 150A | M | 6'-0" | 8'-0" | 1 3/4" | ALUM | ALUM | 13.0 | ELECTRIFIED HARDWARE |
| 151 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 5.0 | ELECTRIFIED HARDWARE |
| 151A | D | 6'-0" | 8'-0" | 1 3/4" | WOOD | STEEL | 5.0 | 90 MINUTE RATING, ELECTRIFIED HARDWARE |
| 152 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | ELECTRIFIED HARDWARE |
| 153 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 11.0 | EXISTING FRAME TO REMAIN. PATCH AND REPAIR AS NEEDED. NEW DOOR SLAB |
| 154 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 11.0 | EXISTING FRAME TO REMAIN. PATCH AND REPAIR AS NEEDED. NEW DOOR SLAB |
| 155 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 12.0 | ELECTRIFIED HARDWARE |
| 156 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 157 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | ALUM | 20.1 | |
| 158 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | ELECTRIFIED HARDWARE |
| 158A | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 23.0 | ELECTRIFIED HARDWARE |
| 158B | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 22.0 | |
| 159 | C | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 4.0 | 90 MINUTE RATING, GLAZING > 100 SI - D-H-W-90, ELECTRIFIED HARDWARE |
| 160 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 21.0 | |
| 161 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 21.0 | EXISTING FRAME TO REMAIN. PATCH AND REPAIR AS NEEDED. NEW DOOR SLAB |
| 162 | A | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 4.0 | 90 MINUTE RATING, GLAZING > 100 SI - D-H-W-90, ELECTRIFIED HARDWARE |
| 163 | C | 3'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 1.0 | |
| 164 | D | 6'-0" | 7'-0" | 1 3/4" | WOOD | STEEL | 1.0 | 90 MINUTE RATING, ELECTRIFIED HARDWARE |



E1 DOOR TYPES

A601 | SCALE: 1/4" = 1'-0"

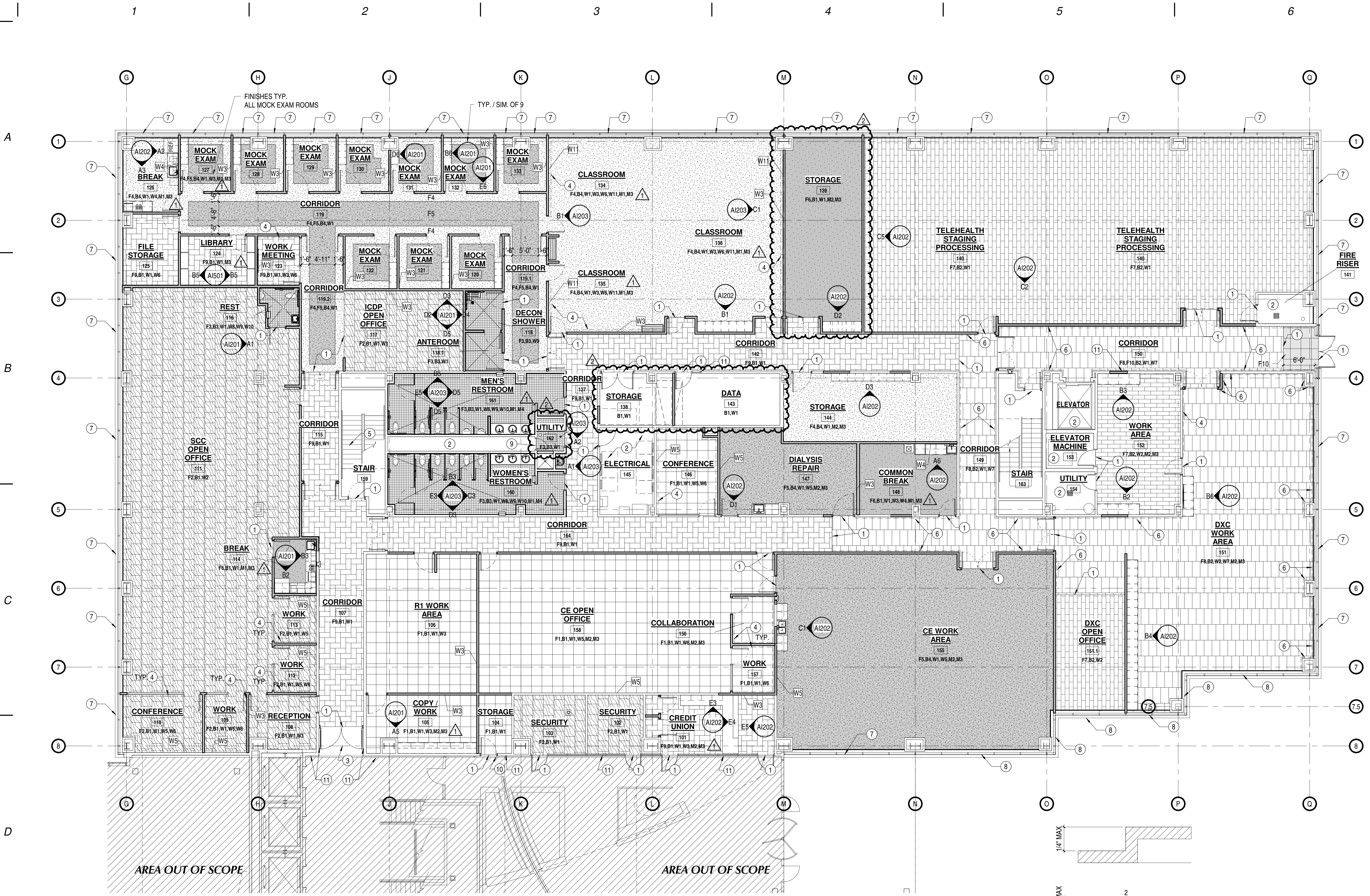
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|---|---|--|
| | 233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com | DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWJ |
| | PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL | 4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120 |
| SHEET DESCRIPTION: DOOR AND WINDOWS | | |

| MARK | REVISION | DATE |
|------|----------------------|----------|
| 1 | ADDENDUM #02 | 05/12/22 |
| 2 | PROPOSAL REQUEST #01 | 07/21/22 |

SHEET NOTES

- CONTRACTOR TO ASSURE ADA TRANSITION BETWEEN FLOORING MATERIALS.
- UNLESS NOTED OTHERWISE, EXISTING FINISHES TO REMAIN IN THIS ROOM / AREA.
- EXISTING FLOORING TO REMAIN.
- DASHED LINE REPRESENTS WOOD CHAIR RAIL. BID AS CLEAR FINISHED MAPLE PER DETAIL C1/A1501.
- FINISH W6 STAIRWELL.
- DASHED LINE INDICATES NEW BUMPER RAIL AND WALL PROTECTION AS PER DETAIL B1/A1501 AND B2/A1501 AT EXTERIOR WALL CONDITION. SEE FINISH W7.
- PROVIDE WINDOW SHADE PER GENERAL NOTE "G". APPROXIMATELY 8'-0" TALL. FIELD VERIFY ALL CONDITIONS.
- PROVIDE WINDOW SHADE PER GENERAL NOTE "G". APPROXIMATELY 8'-0" TALL. FIELD VERIFY ALL CONDITIONS.
- PAINT EXISTING DOOR AND FRAME.
- PATCH AND REPAIR DECORATIVE WALL PANEL AND BASE WHERE REMOVED FOR NEW DOOR AS REQUIRED TO MATCH EXISTING CONDITIONS.
- PATCH, REPAIR AND REPAINT WALL TO MATCH EXISTING COLOR.

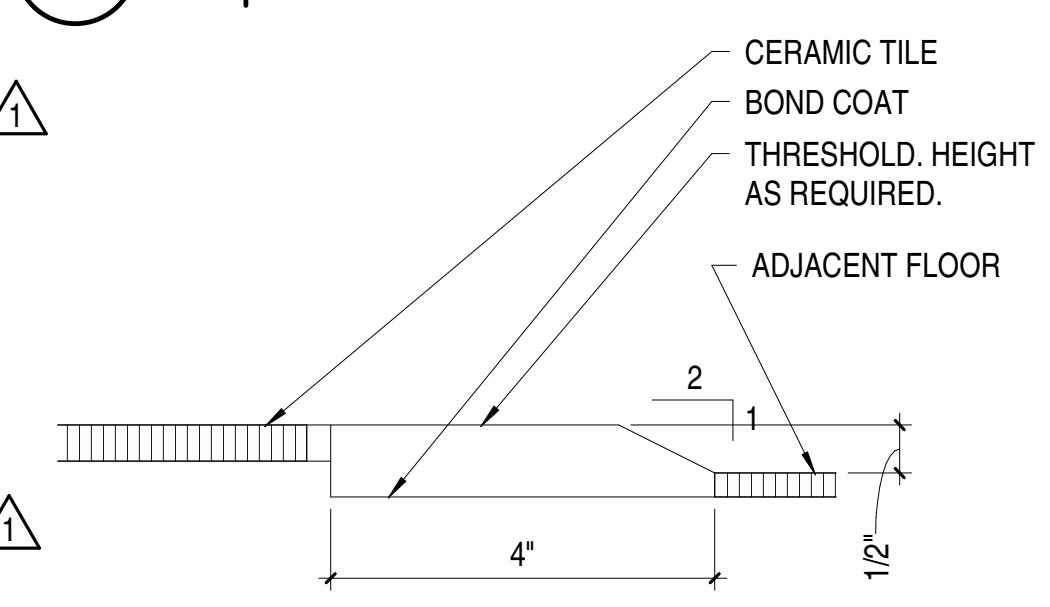


D2 INTERIOR FINISH PLAN - LEVEL 1
A1101 | SCALE: 1/8" = 1'-0"

| FINISH SCHEDULE / LEGEND | |
|--|--|
| NOTE: SEE INTERIOR ELEVATIONS FOR EXTENT OF FINISHES | |
| CODE | MATERIAL |
| F1 | 24" x 24" CARPET TILES - SHAW CONTRACT, ALTERNATURE, EARTH TONE 59338, ASH 38595, QUARTER TURN |
| F2 | 24" x 24" CARPET TILES - SHAW CONTRACT, NOBLE MATERIALS, FORM TILE 51136, CORNERSTONE COPPER 33555, ASHLAR |
| F3 | CROSSVILLE MOSAIC TILE - NOTORIOUS NTROS, LEADING MAN 11212MOS, QUARTER TURN |
| F4 | SHEET VINYL FLOORING - MANNINGTON, BIOSPEC MD, SANDRIFT 15203 |
| F5 | SHEET VINYL FLOORING - MANNINGTON, BIOSPEC MD, BEDROCK 15369 |
| F6 | 7.25' x 48" LUXURY VINYL TILE (4MM) - MANNINGTON, SPACIA COLLECTION, WOOD, SMOKED CEDAR S55W2536 |
| F7 | 9" x 36" CARPET TILES - SHAW CONTRACT, THE PARK, DRIFT 51142, HIKE 38751, ASHLAR PATTERN |
| F8 | 17.5' x 35" RUBBER TILE - MANNINGTON COMMERCIAL, TELLS, SPANISH MESA 900TC, ASHLAR INSTALL |
| F9 | 18" x 36" CARPET TILES - SHAW CONTRACT, HAND DRAWN, STIPPLE TILE 51116, SLATE 13585, HERRINGBONE PATTERN |
| F10 | 24" x 24" ENTRY WALK OFF CARPET TILE - MANNINGTON, RUFFIAN II, EBONY EARTH |
| B1 | 4" RUBBER BASE - ROPPE, PINNACLE BASE, 123 CHARCOAL |
| B2 | 4" RUBBER BASE - ROPPE, PINNACLE BASE, 194 BURNT LUMBER |
| B3 | 6" CERAMIC TILE BASE - CROSSVILLE, NTROS.10612CBS LEADING MAN |
| B4 | 4" SHEET VINYL COVE BASE TO MATCH ADJACENT SHEET VINYL FLOORING |
| W1 | PAINTED GYPSUM BOARD - FIELD COLOR SHERWIN WILLIAMS, PURE WHITE SW 7005 EGG SHELL FINISH |
| W2 | PAINTED GYPSUM BOARD - FIELD COLOR SHERWIN WILLIAMS, WORLDLY GRAY SW 7043 EGG SHELL FINISH |
| W3 | PAINTED GYPSUM BOARD - ACCENT COLOR 1 SHERWIN WILLIAMS, DISTANCE SW 6243 EGG SHELL FINISH |
| W4 | TILE BACKSPLASH - CROSSVILLE, NOTORIOUS NTRO1, FEMME FATALE 3'X15" HONED FINISH (IGROUT - MAPEI 14 BISCUIT) |
| W5 | PAINTED GYPSUM BOARD - ACCENT COLOR 3 SHERWIN WILLIAMS, PWTWER TANKARD SW 0023 EGG SHELL FINISH |
| W6 | CHAIR RAIL - MAPLE FINISH TO MATCH DOORS |
| W7 | WALL PROTECTION - COLOR: BEIGE RANGE TBD, TEXTURE: MESA ACROWN CO-8 - 4" VINYL CRASH RAIL AND CONTINUOUS ALUMINUM RETAINER AND ACROWN 4000 RIGID SHEET .040" THICK SOLID PROTECTIVE WALLCOVERING |
| W8 | 12" x 24" RESTROOM WALL TILE - CROSSVILLE, NOTORIOUS NTROS, FEMME FATALE 11224UPS, (IGROUT - MAPEI 14 BISCUIT) |
| W9 | RESTROOM MOSAIC TILE ACCENT - CROSSVILLE, NOTORIOUS NTROS, FEMME FATALE 10412BNS, (IGROUT - MAPEI 14 BISCUIT) |
| W10 | 4" x 12" RESTROOM WALL TILE TRIM - CROSSVILLE, NOTORIOUS NTROS, FEMME FATALE 10412BNS, (IGROUT - MAPEI 14 BISCUIT) |
| W11 | KOROSEAL PERFORMANCE SERIES ACOUSTIC PANELS - SEE GENERAL NOTE "I" |
| M1 | SOLID SURFACE COUNTERTOP - DUPONT, CORIAN, WHITE JASMINE |
| M2 | PLASTIC LAMINATE COUNTERTOP - WILSON-ART, BEIGE PAMPAS 4170-60 |
| M3 | PLASTIC LAMINATE MILLWORK - LAMIN-ART, MYSTIC WOOD 3056-VT |
| M4 | TOILET PARTITIONS - METPAR, FRENCH GRAY 710 - TO RUN VERTICALLY, 1/4" MAXIMUM GAPS |

NOTE: CHANGES IN LEVEL GREATER THAN 1/2" MUST BE RAMPED WITH 1:12 MAXIMUM SLOPE. CHANGES IN LEVEL IN CLEAR FLOOR SPACE, MANEUVERING CLEARANCES, WHEELCHAIR TURNING SPACE AND ACCESS AISLES ARE PROHIBITED.

E2 FLOOR TRANSITIONS
A1101 | SCALE: 1/4" = 1'-0"



E3 FLOOR TRANSITIONS
A1101 | SCALE: 6" = 1'-0"

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- PAINTED GYPSUM BOARD CEILINGS SHALL BE W1. PAINTED HOLLOW METAL DOOR FRAMES SHALL BE BID AS A CONTRASTING COLOR AND SHEEN (COLOR TO BE DETERMINED DURING SUBMITTALS). SEE FINISH SCHEDULE, MILLWORK AND COUNTERTOPS.
- MILLWORK AND COUNTERTOPS.
- PROVIDE SUBMITTALS FOR ALL FINISHES.
- CONTRACTOR TO VERIFY TRANSITION STRIP DIMENSIONS WITH MATERIAL THICKNESS. ALL TRANSITIONS SHALL BE ADA COMPLIANT. SEE DETAILS E2/A1101 AND E3/A1101.
- PROVIDE 4" TALL STAINLESS STEEL CORNER GUARDS WITH CONCEALED FASTENERS ON ALL EXTERIOR CORNERS TO MATCH SOUTH TOWER STANDARD THROUGHOUT SCOPE OF PROJECT.
- PROVIDE NEW WINDOW SHADES ON ALL IN-SCOPE EXTERIOR WINDOWS AS REQUIRED. HUNTER DOUGLAS SHADE OR EQUAL TO MATCH SOUTH TOWER STANDARD. SHADES SHALL BE MANUAL CHAIN OPERATED WITH A TOP ENCLOSURE AND ARE TO BE BROKEN AT EACH VERTICAL MULLION (TYPICAL SPACING AT 5' O.C.).
- GYPSUM BOARD WALLS AND CEILINGS SHALL HAVE A SMOOTH LEVEL 5 FINISH (EXISTING AND NEW). DRYWALL CORNERS ARE TO BE SQUARE.
- SEE SHEET A1203 FOR TILE PATTERN DETAILS.
- ACOUSTICAL PANEL SYSTEM - THICKNESS = 1 1/2"; EDGE = SQUARE, ORIENTATION = HORIZONTAL (AS SHOWN IN INTERIOR ELEVATIONS). ATTACHMENT = ROTOFAST FASTENERS AS REQUIRED, MATERIAL FABRIC (SUBMIT PHYSICAL SAMPLES OF BLUE OPTIONS).

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| <p>233 SOUTH PLEASANT GROVE BLVD. PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p> | <p>DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT</p> |
| | <p>PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL</p> <p>4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120</p> |
| <p>SHEET DESCRIPTION: INTERIOR FINISH PLAN - LEVEL 1</p> | <p>SHEET: A1101</p> |

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| MARK | REVISION | DATE |
|------|----------------------|----------|
| 1 | PROPOSAL REQUEST #01 | 07/21/22 |
| | | |
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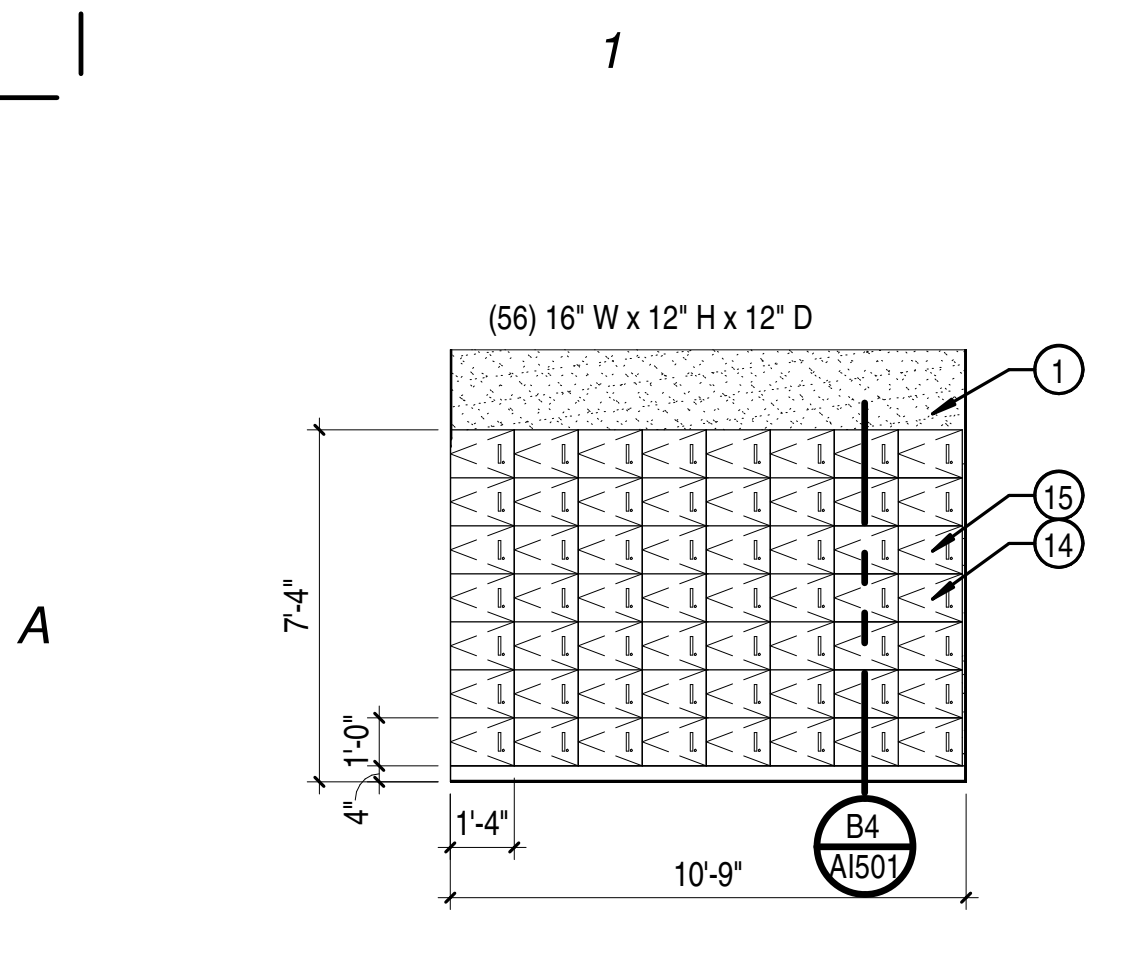
SHEET NOTES

- PAINTED GYPSUM BOARD. SEE A1101 FOR COLORS.
- SCHEDULED DOOR SYSTEM. SEE FLOOR PLANS AND DOOR TYPES (A601).
- SCHEDULED BASE. SEE A1101.
- ADA COMPLIANT SINK. SEE PLUMBING.
- ADA COMPLIANT TOILET. SEE PLUMBING.
- ADA COMPLIANT URINAL. SEE PLUMBING.
- STANDARD HEIGHT URINAL. SEE PLUMBING.
- REFRIGERATOR - O.F.O.I. VERIFY SIZING WITH OWNER.
- ICE AND WATER DISPENSER - O.F.C.I. CONTRACTOR TO PROVIDE WATER SUPPLY AND FLOOR SINK AS REQUIRED.
- ADA COMPLIANT DRINKING FOUNTAIN(S). WHEELCHAIR ADA HEIGHT FOUNTAIN TO INCLUDE BOTTLE FILLER. SEE PLUMBING.
- LIGHT FIXTURE. SEE ELECTRICAL.
- MOP SINK. SEE PLUMBING.
- SCHEDULED COUNTERTOP. SEE A1101.
- SCHEDULED PLASTIC LAMINATE MILLWORK. SEE A1101.
- PROVIDE LOCKS ON CUBBIES - (1) PER CUBBY - DIGILOCK RANGE KEYPAD LOCK.
- WALL TILE AS SHOWN. SEE A1101 AND A1501. PROVIDE SCHLUTER TRIM PIECES ON EXPOSED OUTSIDE CORNERS.
- ADA COMPLIANT VERTICAL 18" GRAB BAR. BOBRICK B-6806 x 18. PROVIDE (1) PER ADA RESTROOM STALL, AND (2) PER AMBULATORY STALL.
- ADA COMPLIANT HORIZONTAL 36" GRAB BAR. B-6806 x 36. PROVIDE (1) PER ADA RESTROOM STALL.
- ADA COMPLIANT HORIZONTAL 42" GRAB BAR. BOBRICK B-6806 x 42. PROVIDE (1) PER ADA RESTROOM STALL, AND (2) PER AMBULATORY STALL.
- ADA COMPLIANT TOILET PAPER DISPENSER. BOBRICK B-2888. PROVIDE (1) RESTROOM STALL.
- ADA COMPLIANT WALL MIRROR. BOBRICK B-290 2448. TILE BEHIND MIRROR. COUNTERMOUNTED ADA COMPLIANT SOAP DISPENSER. BOBRICK B-824. PROVIDE HARDWIRED KIT AS REQUIRED. COORDINATE ALL DETAILS WITH ELECTRICAL CONTRACTOR. PROVIDE (1) PER COUNTERTOP SINK.
- ADA COMPLIANT SANITARY NAPKIN DISPOSAL. BOBRICK B-270. PROVIDE (1) PER FEMALE RESTROOM STALL.
- ADA COMPLIANT SEMI-RECESSED PAPER TOWEL DISPENSER / WASTE RECEPTACLE (AUTOMATIC PAPER TOWEL DISPENSER). PROVIDE POWER AS REQUIRED. BOBRICK B-3974.
- ADA COMPLIANT TOILET COVER DISPENSER. BOBRICK B-221. PROVIDE (1) PER TOILET.
- ADA COMPLIANT POWDER COATED STEEL TOILET PARTITIONS AS REQUIRED TO MATCH SOUTH TOWER STANDARD (1/4" MAXIMUM GAP).
- ADA COMPLIANT RECESSED BABY CHANGING STATION. BOBRICK KB510-SSRE.
- COAT HANGER. BOBRICK B-7672. PROVIDE (1) PER TOILET STALL AND (3) IN DECON SHOWER ROOM AND (3) IN ANTEROOM. MOUNT TOP AT 48" ABOVE FLOOR FOR ADA STALLS (SHOWER AND ANTEROOM - WHERE NOTED IN PLAN), AND AT 60" FOR NON-ADA LOCATIONS.
- ADA MOVEABLE CHANGING ROOM BENCH. SALSBURY ALUMINUM 77771-AD. LOCKER BENCH. 42" LONG X 20" WIDE X 48" HIGH. PROVIDE (2) IN ANTEROOM.
- MOP HOLDER AND SHELF. BOBRICK B-224 X 36.
- PAPER TOWEL DISPENSER. BOBRICK B-262.
- SOAP DISPENSER. BOBRICK B-2111 OR O.F.C.I. (VERIFY - BID AS C.F.C.I.).
- ADA COMPLIANT FIRE EXTINGUISHER CABINET. SEE AD101 AND A101 FOR ADDITIONAL INSTRUCTIONS.
- MISC. EQUIPMENT - O.F.O.I.
- NOT USE.
- ELECTRICAL DEVICE. SEE AP101 AND ELECTRICAL.
- MED GAS OUTLET. SEE AP101 AND MED GAS (PLUMBING).
- TELEVISION - C.F.C.I. PROVIDE BACKING AS REQUIRED. SEE AUDIO VISUAL (ELECTRICAL).
- DECON SHOWER FAUCET HEADS. SEE PLUMBING.
- ADA COMPLIANT FOLDING SHOWER SEAT. BOBRICK B-5181. PROVIDE BACKING AS REQUIRED.
- SEE A1101 FOR FINISH DESIGNATIONS.
- GYPSUM BOARD WALLS AND CEILINGS SHALL HAVE A SMOOTH LEVEL 5 FINISH (EXISTING AND NEW). DRYWALL CORNERS ARE TO BE SQUARE.
- DO NOT SCALE DRAWINGS.

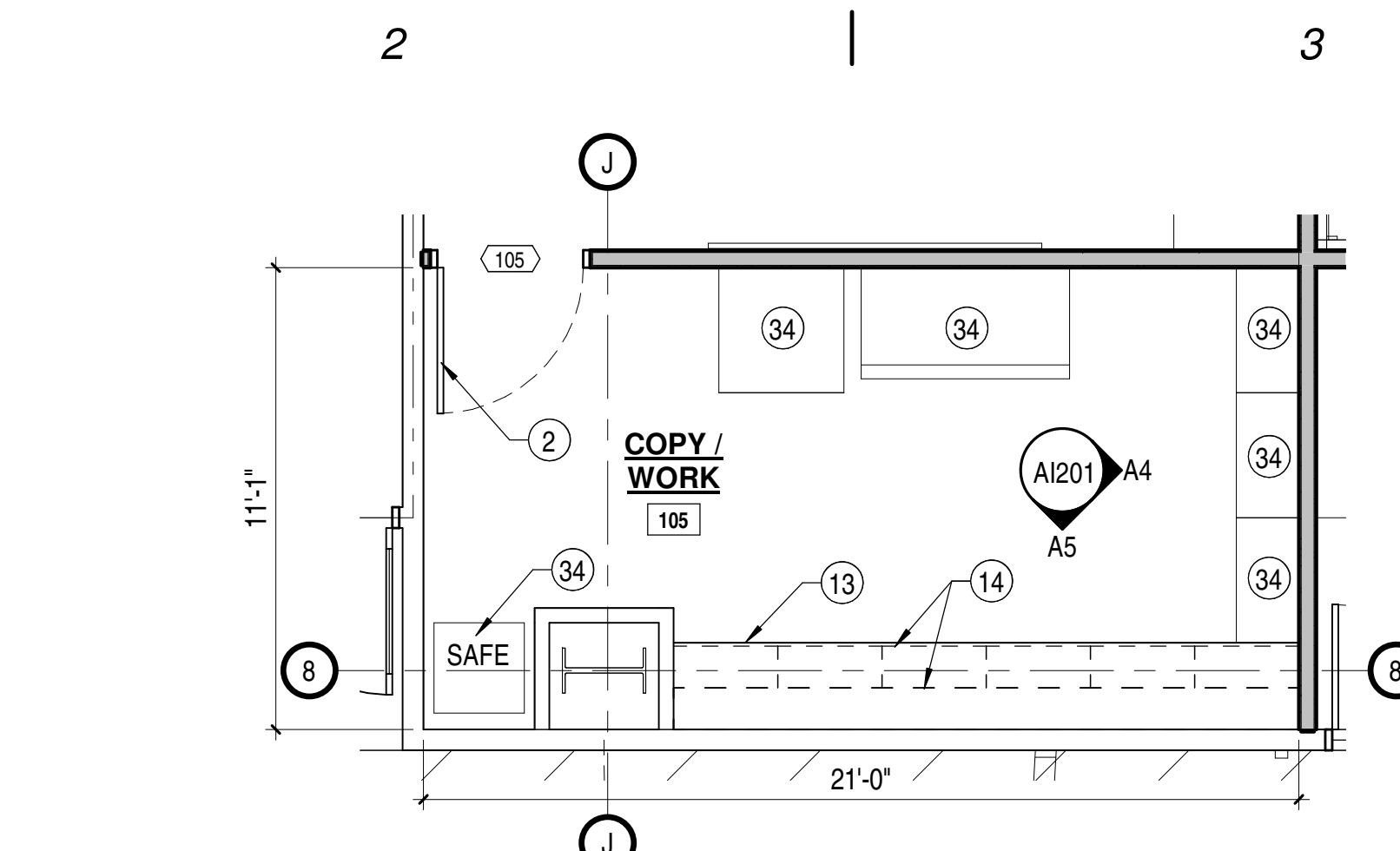
GENERAL NOTES

- NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- SEE FLOOR PLANS AND A601 FOR DOOR INFORMATION.
- GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- SEE A001 FOR WALL TYPES. SEE G001 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION. WALL TYPES SHOWN DO NOT ADDRESS CERAMIC TILE INSTALLATION ON WALL SURFACES AS SHOWN ON THE FLOOR PLANS. REFER TO THE CURRENT EDITION OF THE HANDBOOK FOR CERAMIC TILE INSTALLATION PUBLISHED BY THE TILE COUNCIL OF AMERICA, INC. FOR PROPER INSTALLATION MATERIALS AND METHODS. TILE TO BE INSTALLED OVER TILE BACKER BOARD OR CODE COMPLIANT GYPSUM BOARD (DENSIFIELD) OR EQUIVALENT.
- SEE DETAILS G002 FOR TYPICAL FIXTURE MOUNTING HEIGHTS. PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS INCLUDING GRAB BARS, HANDRAILS, TELEVISIONS, SIGNAGE AND EQUIPMENT AS REQUIRED.
- SEE A1101 FOR FINISH DESIGNATIONS.
- GYPSUM BOARD WALLS AND CEILINGS SHALL HAVE A SMOOTH LEVEL 5 FINISH (EXISTING AND NEW). DRYWALL CORNERS ARE TO BE SQUARE.
- DO NOT SCALE DRAWINGS.

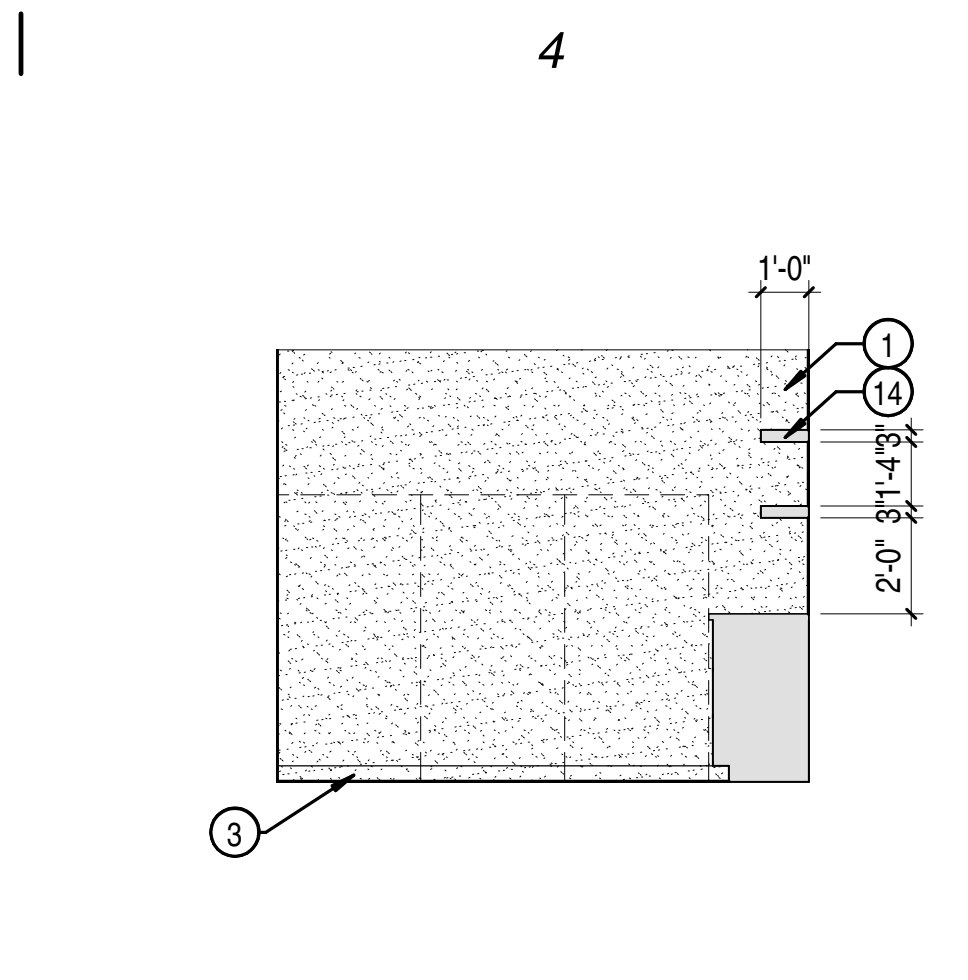
| | |
|--|--|
| <p>233 SOUTH PLEASANT GROVE BLVD. PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p> | <p>DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT</p> |
| | <p>PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL</p> <p>4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120</p> |
| <p>SHEET DESCRIPTION: INTERIOR ELEVATIONS</p> | <p>SHEET: A1201</p> |



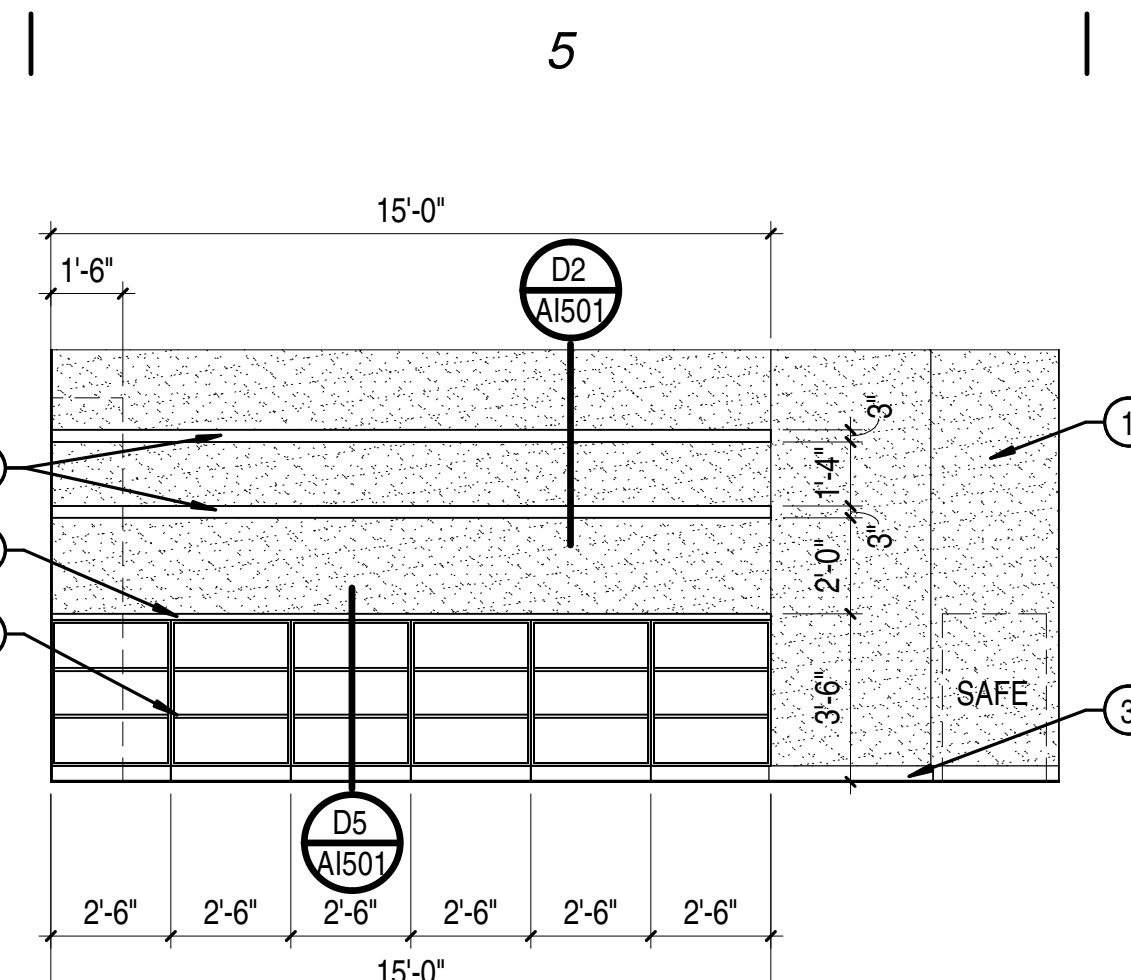
A1 LOCKERS - 111
A1201 | SCALE: 1/4" = 1'-0"



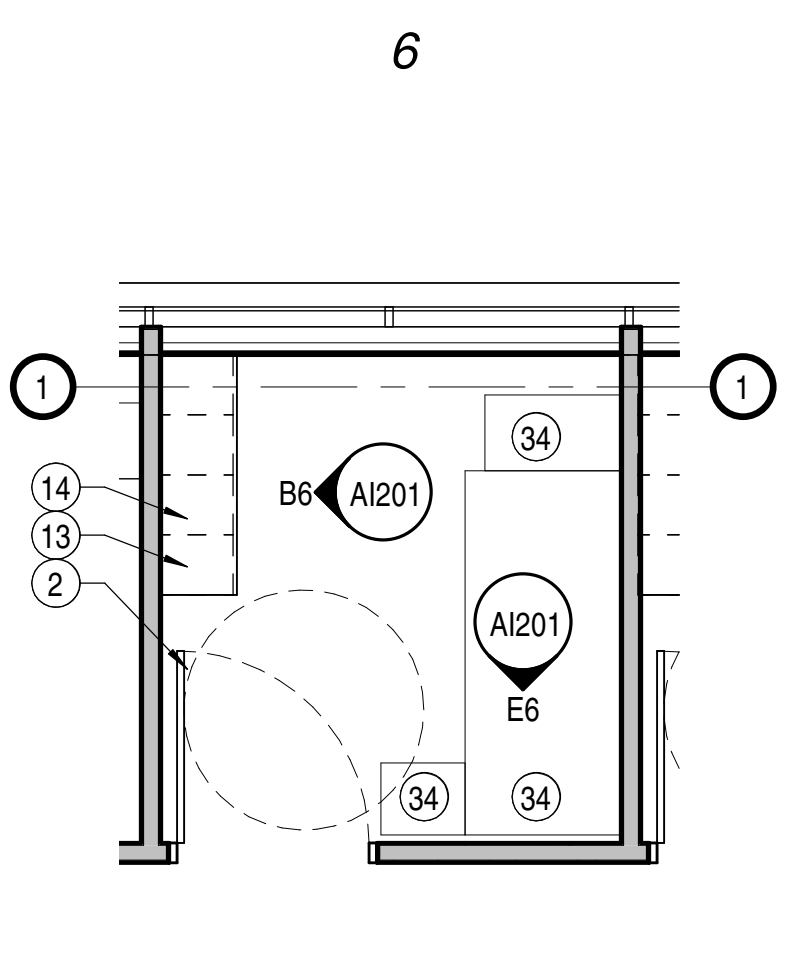
A2 ENLARGED - COPY / WORK - 106
A1201 | SCALE: 1/4" = 1'-0"



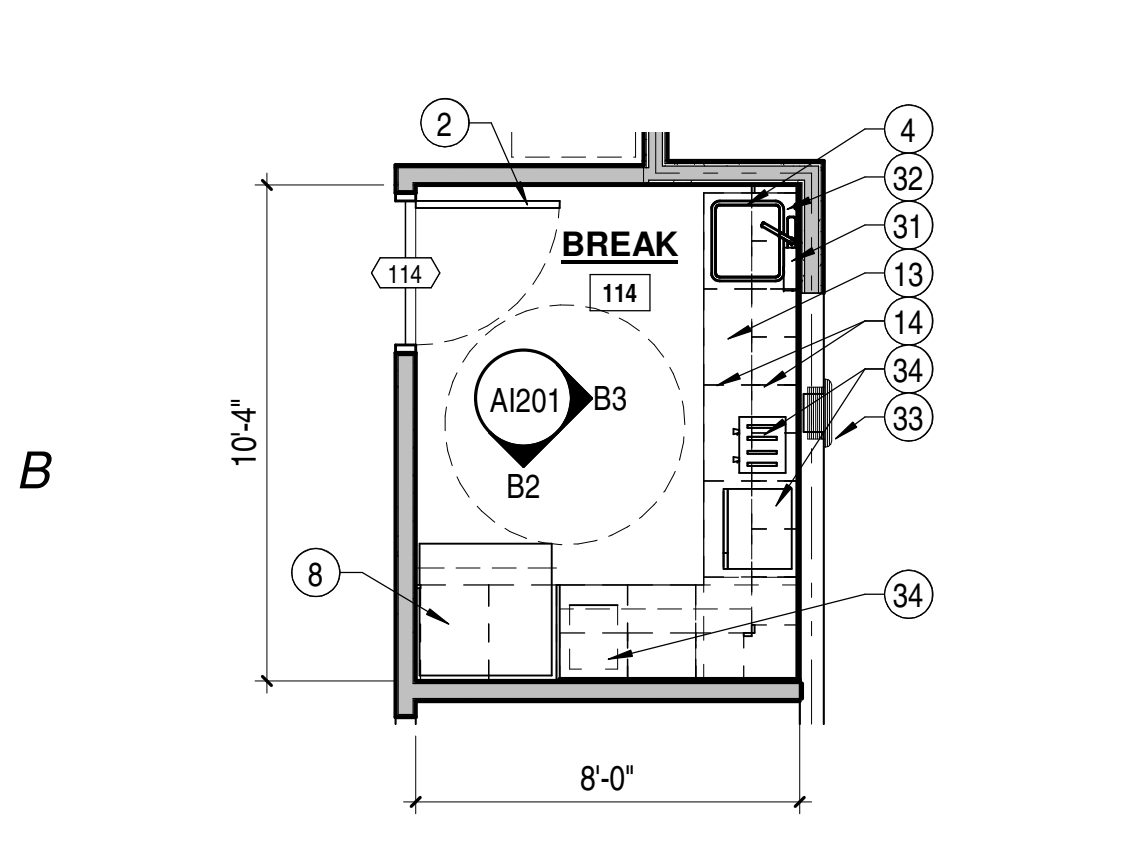
A4 WORK / COPY - 105
A1201 | SCALE: 1/4" = 1'-0"



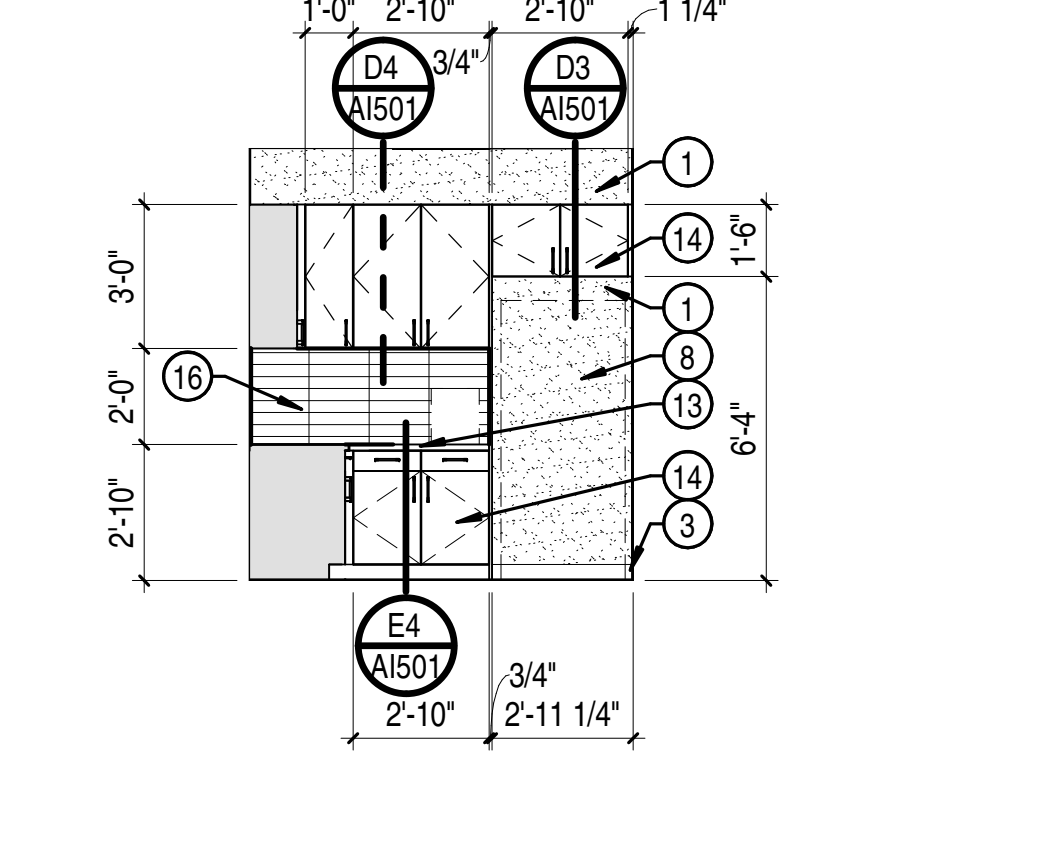
A5 WORK / COPY - 105
A1201 | SCALE: 1/4" = 1'-0"



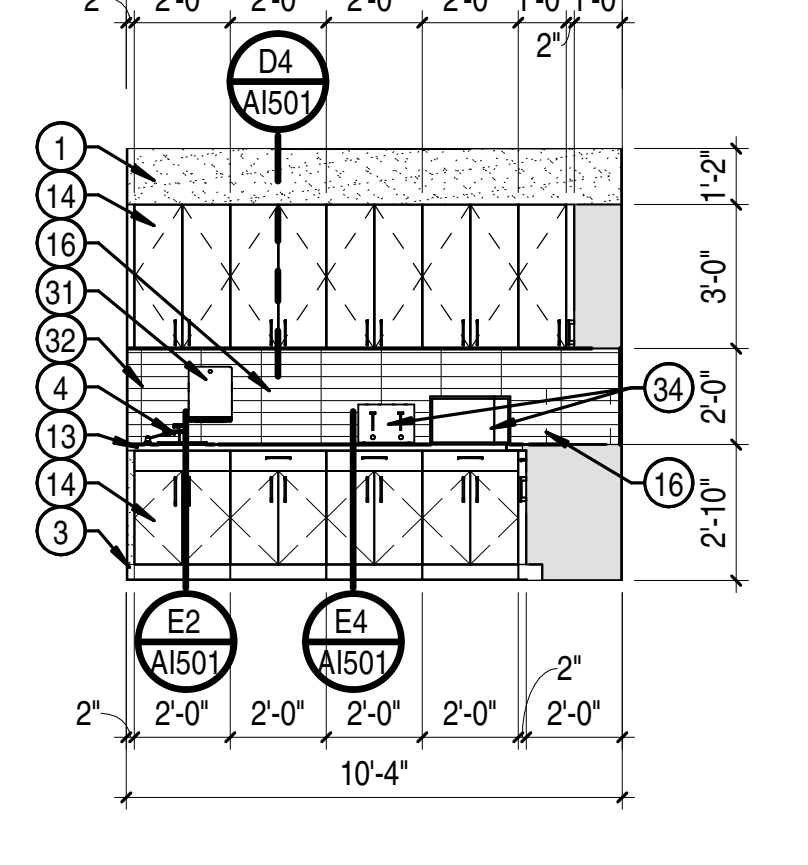
A6 ENLARGED - TYPICAL MOCK EXAM
A1201 | SCALE: 1/4" = 1'-0"



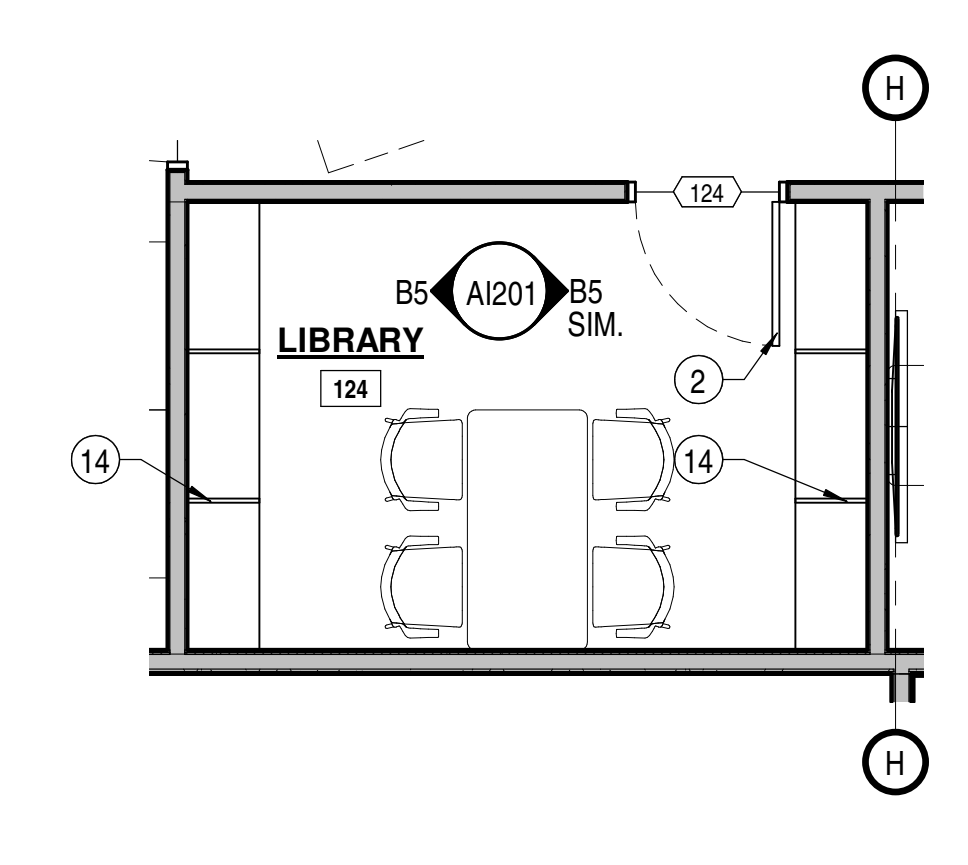
B1 ENLARGED - BREAK ROOM - 114
A1201 | SCALE: 1/4" = 1'-0"



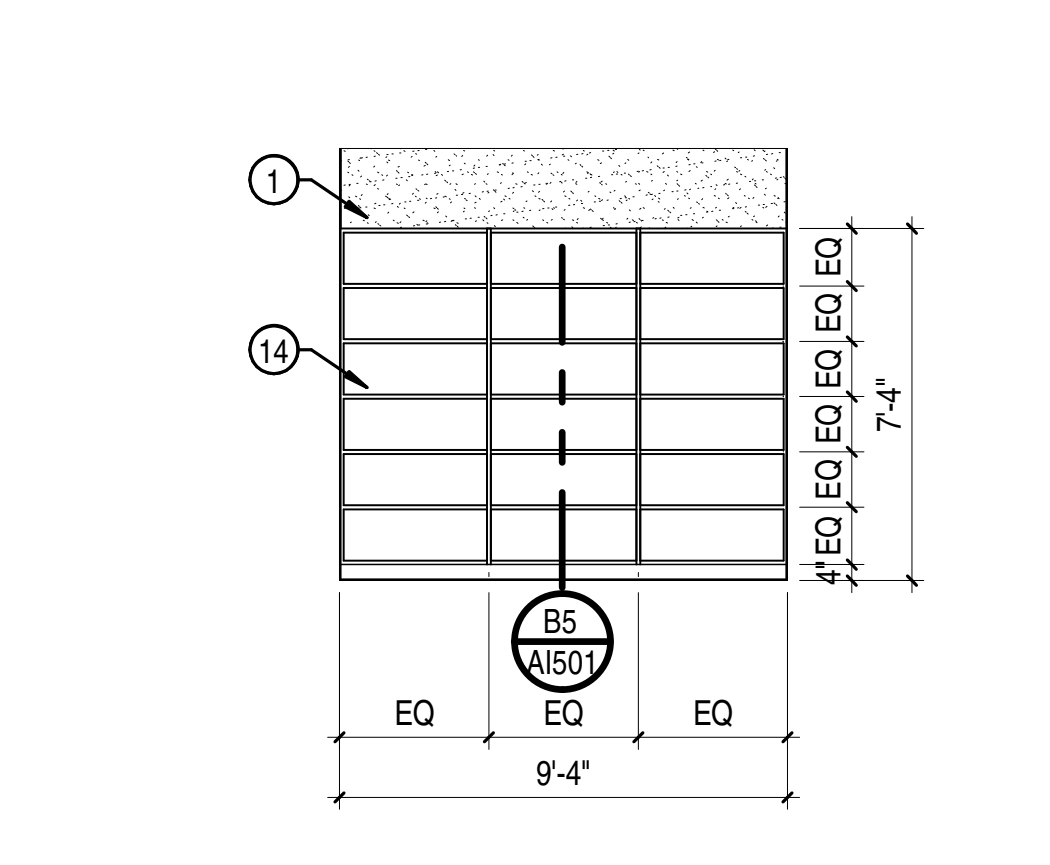
B2 BREAK - 114
A1201 | SCALE: 1/4" = 1'-0"



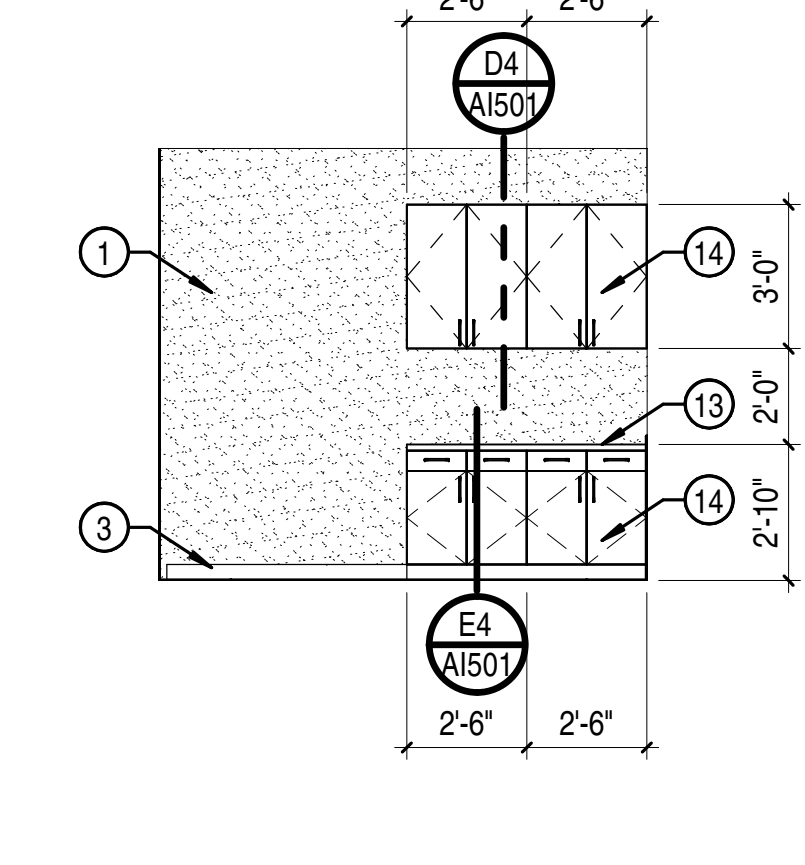
B3 BREAK - 114
A1201 | SCALE: 1/4" = 1'-0"



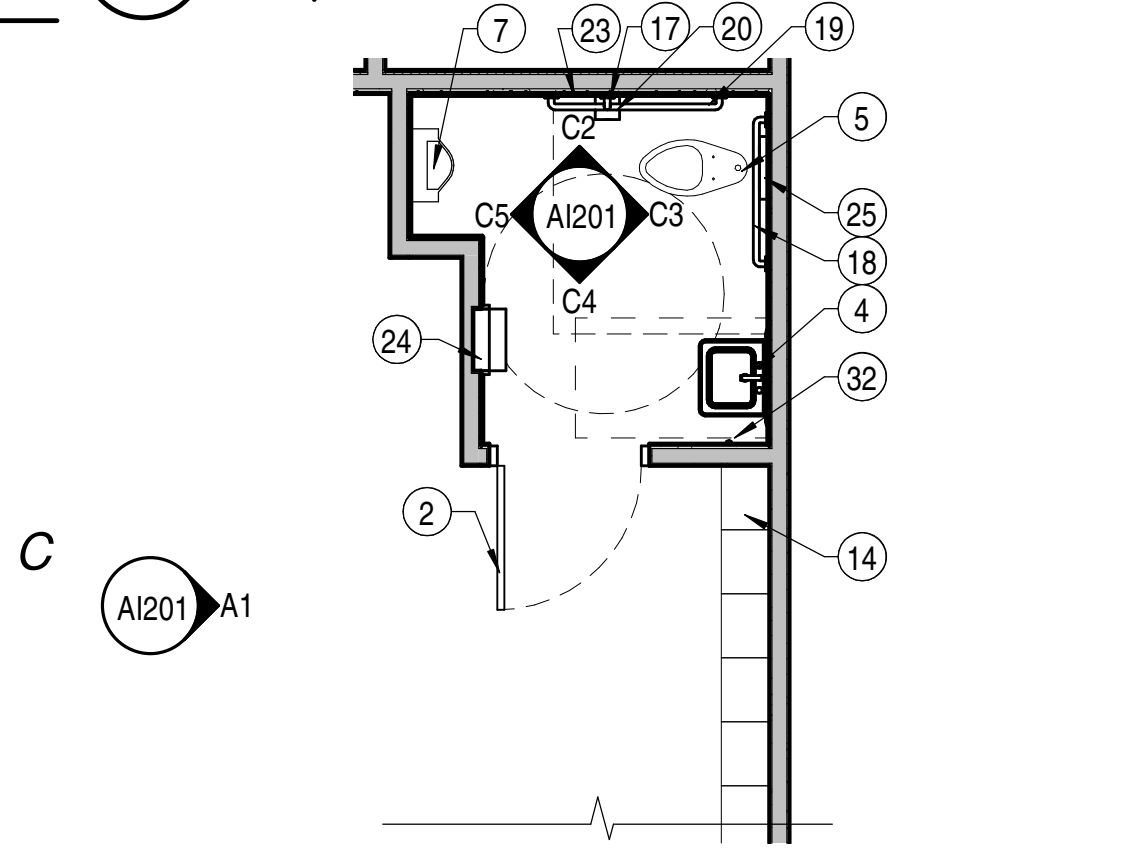
B4 ENLARGED - LIBRARY - 124
A1201 | SCALE: 1/4" = 1'-0"



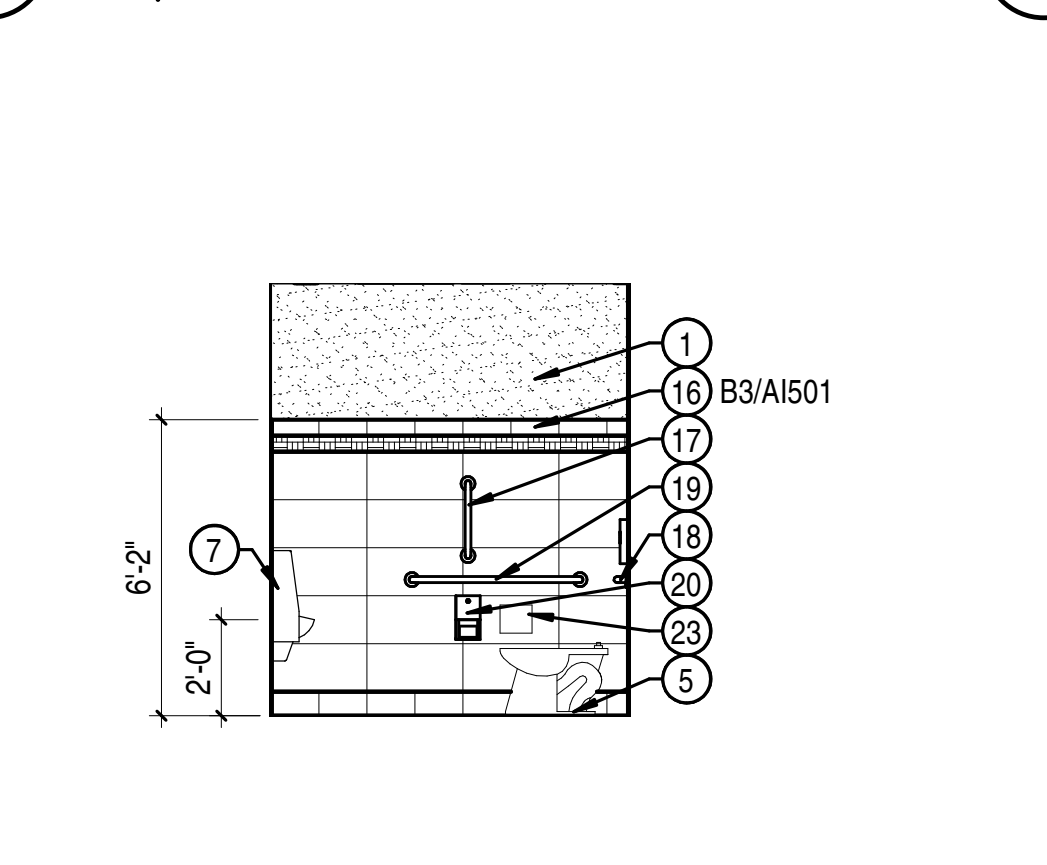
B5 LIBRARY - 124
A1201 | SCALE: 1/4" = 1'-0"



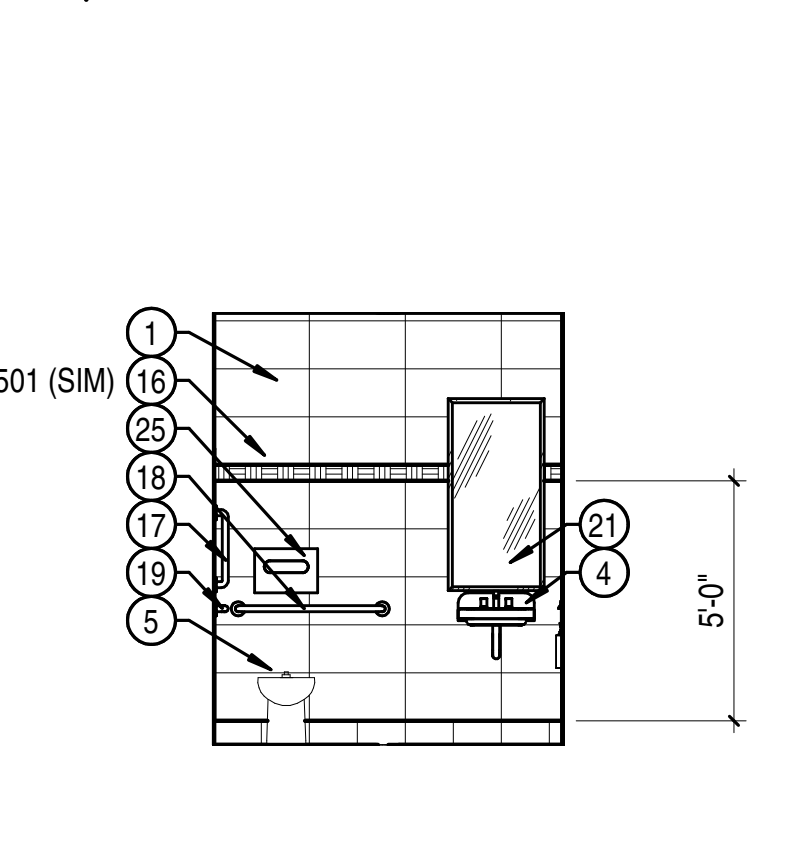
B6 TYPICAL MOCK EXAM
A1201 | SCALE: 1/4" = 1'-0"



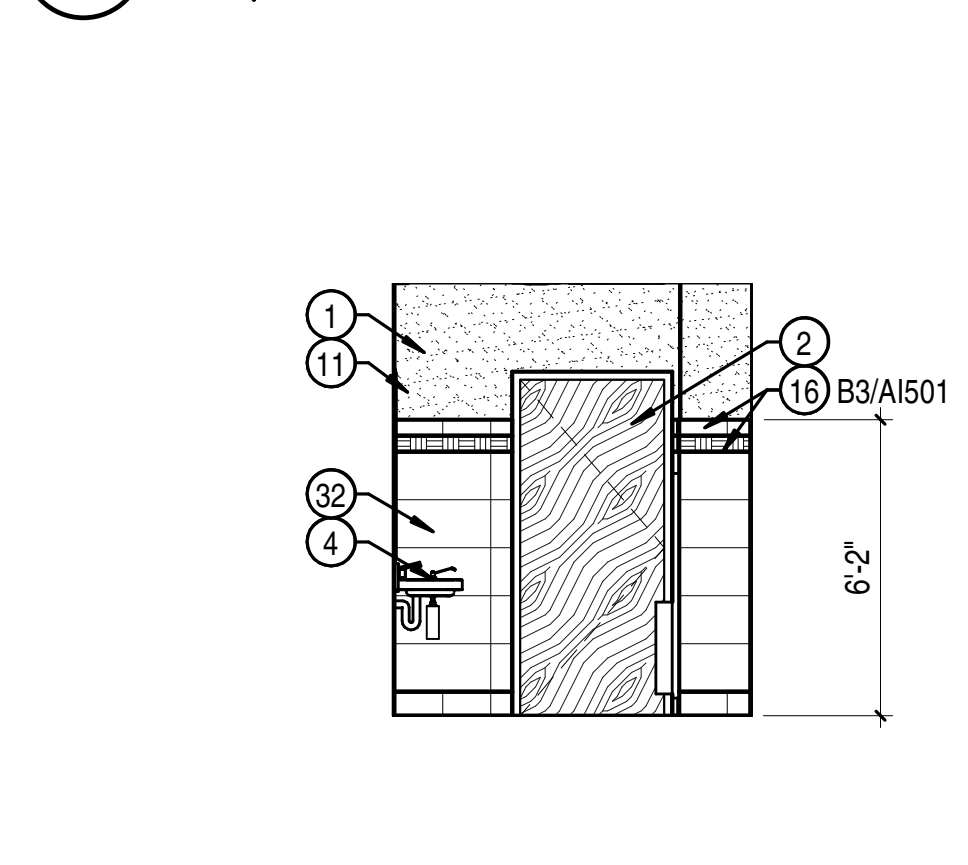
C1 ENLARGED - RESTROOM - 116
A1201 | SCALE: 1/4" = 1'-0"



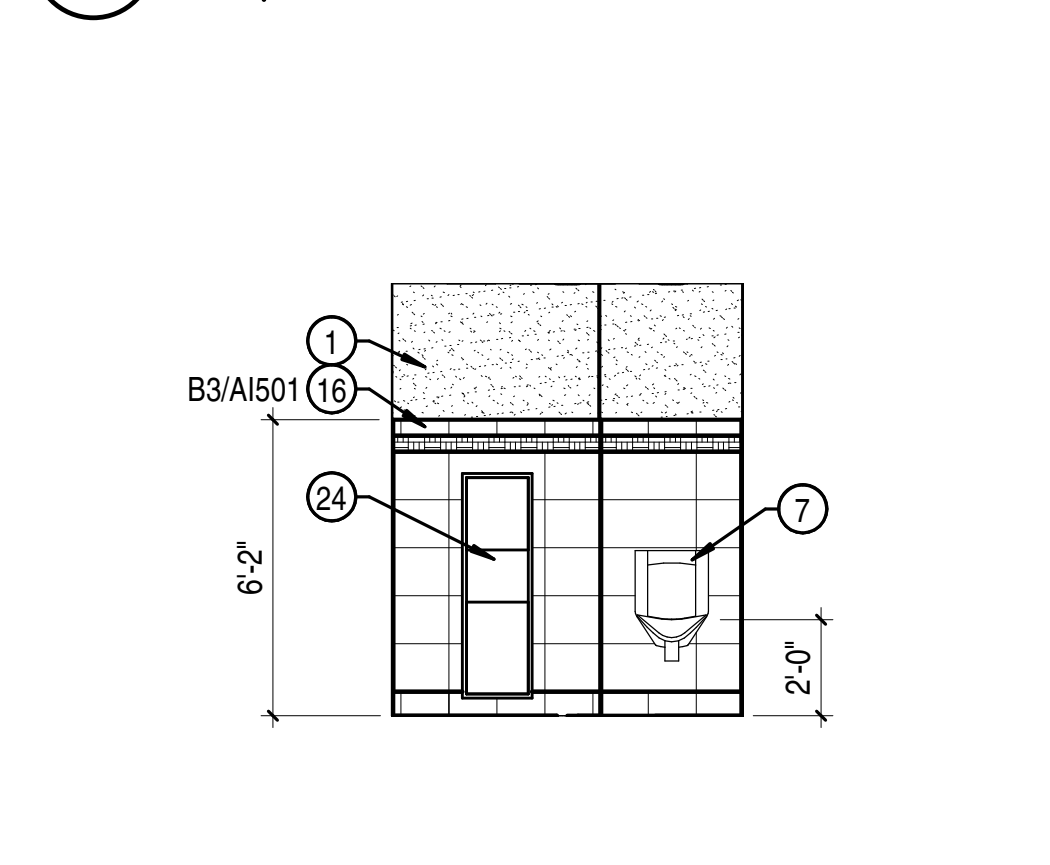
C2 RESTROOM - 116
A1201 | SCALE: 1/4" = 1'-0"



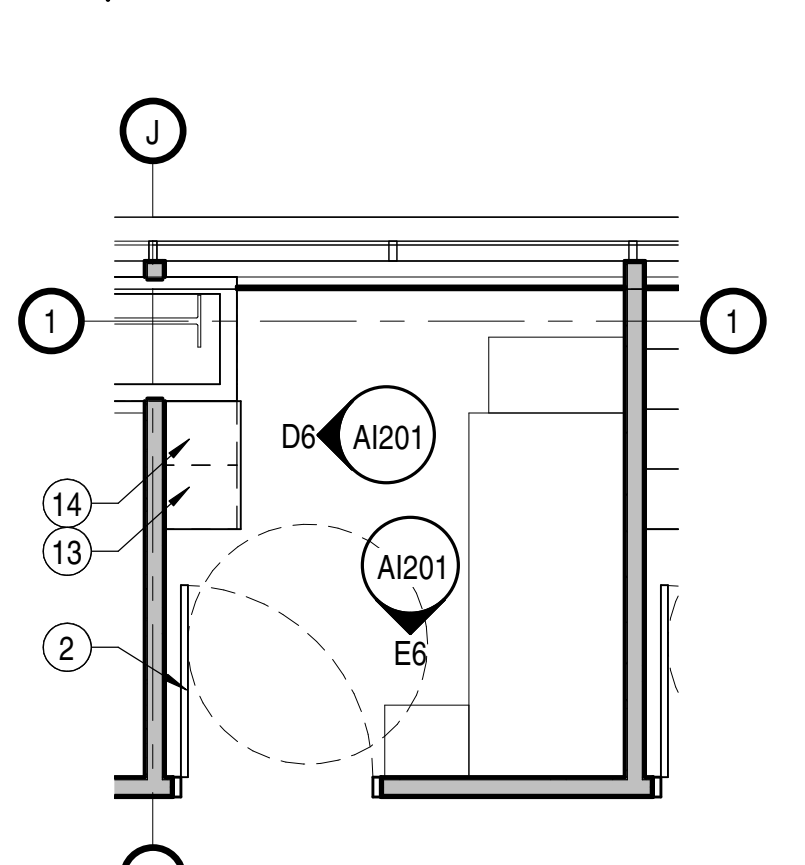
C3 RESTROOM - 116
A1201 | SCALE: 1/4" = 1'-0"



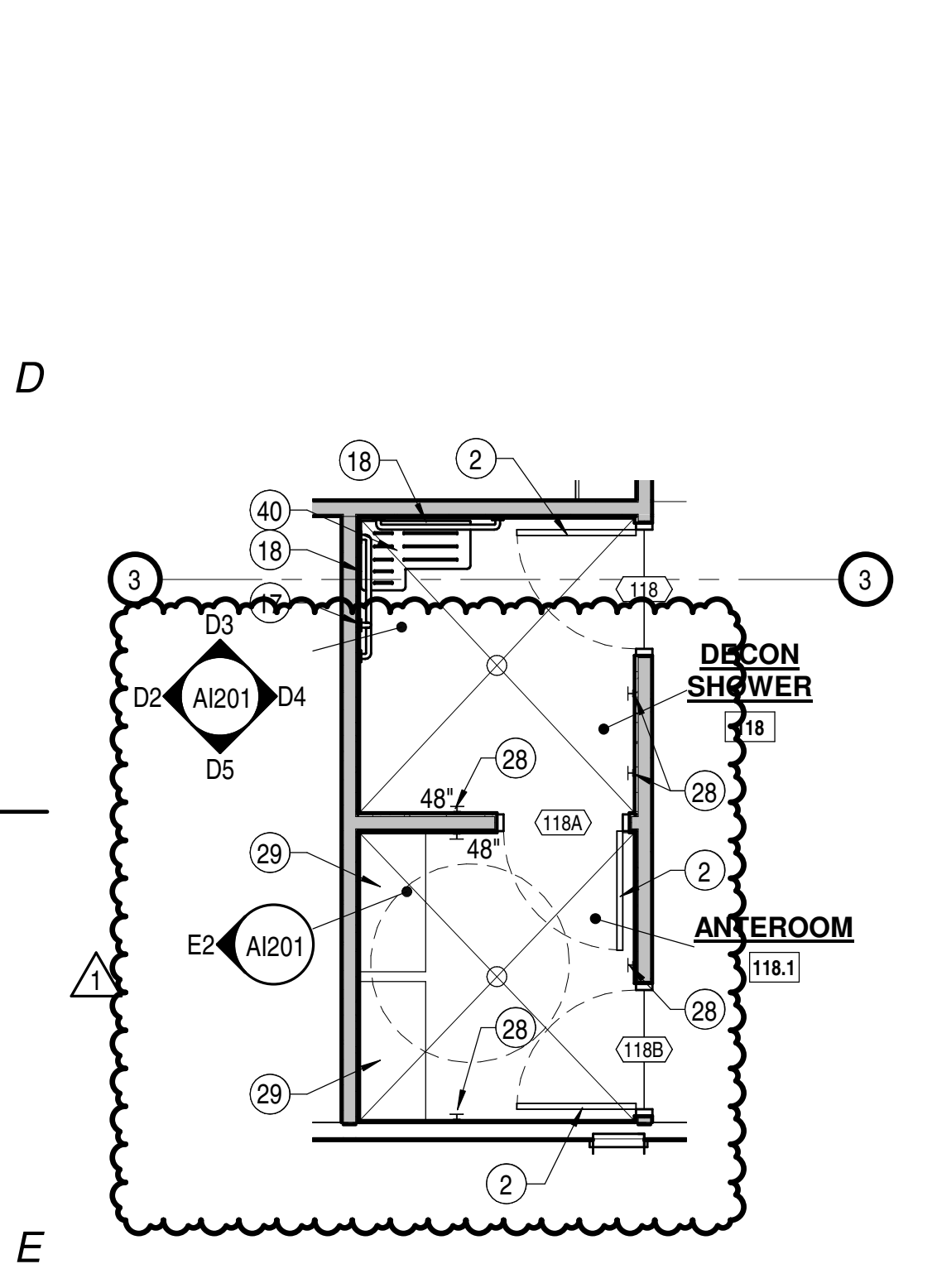
C4 RESTROOM - 116
A1201 | SCALE: 1/4" = 1'-0"



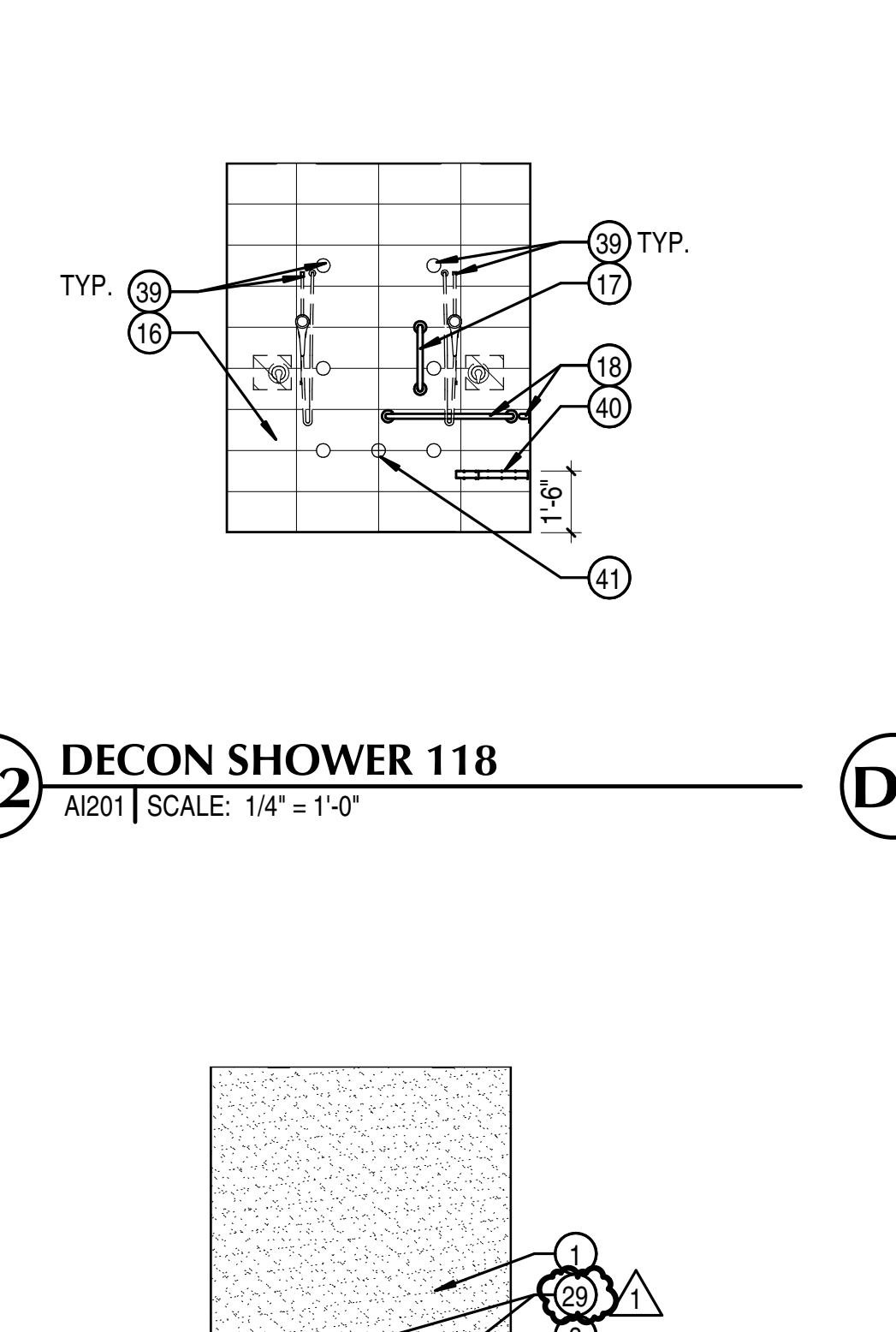
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A1201 | SCALE: 1/4" = 1'-0"



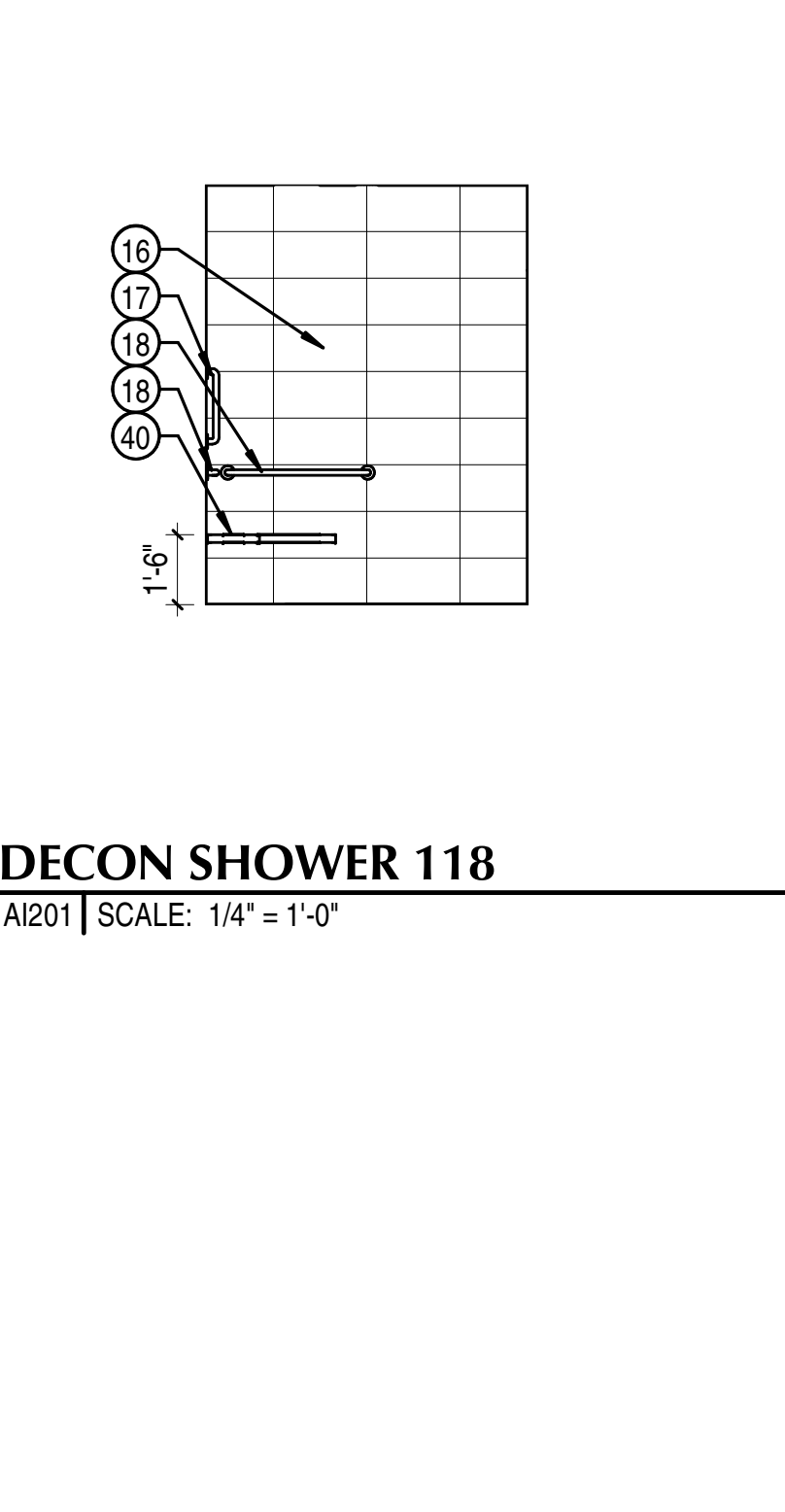
C6 ENLARGED - MOCK EXAM 131
A1201 | SCALE: 1/4" = 1'-0"



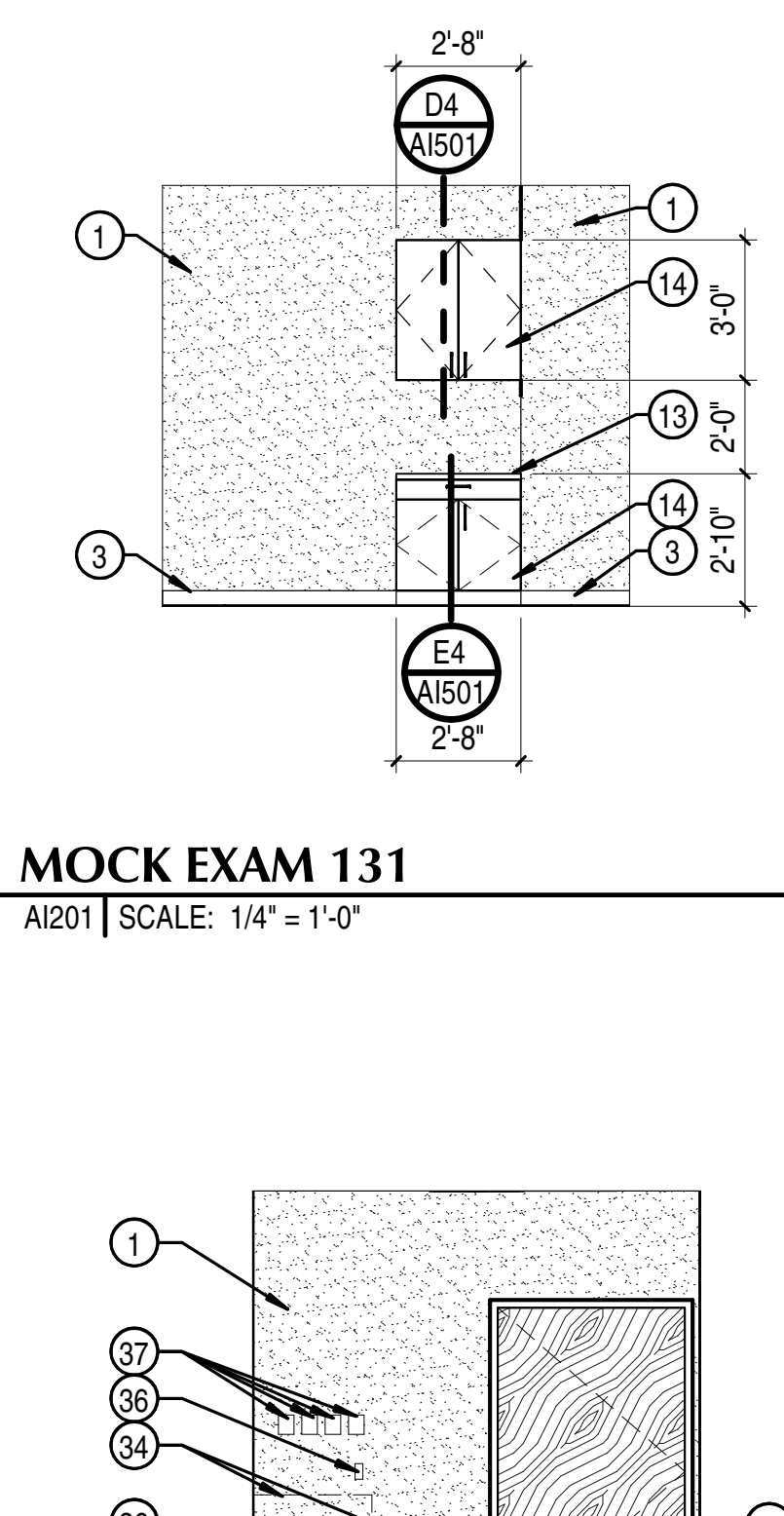
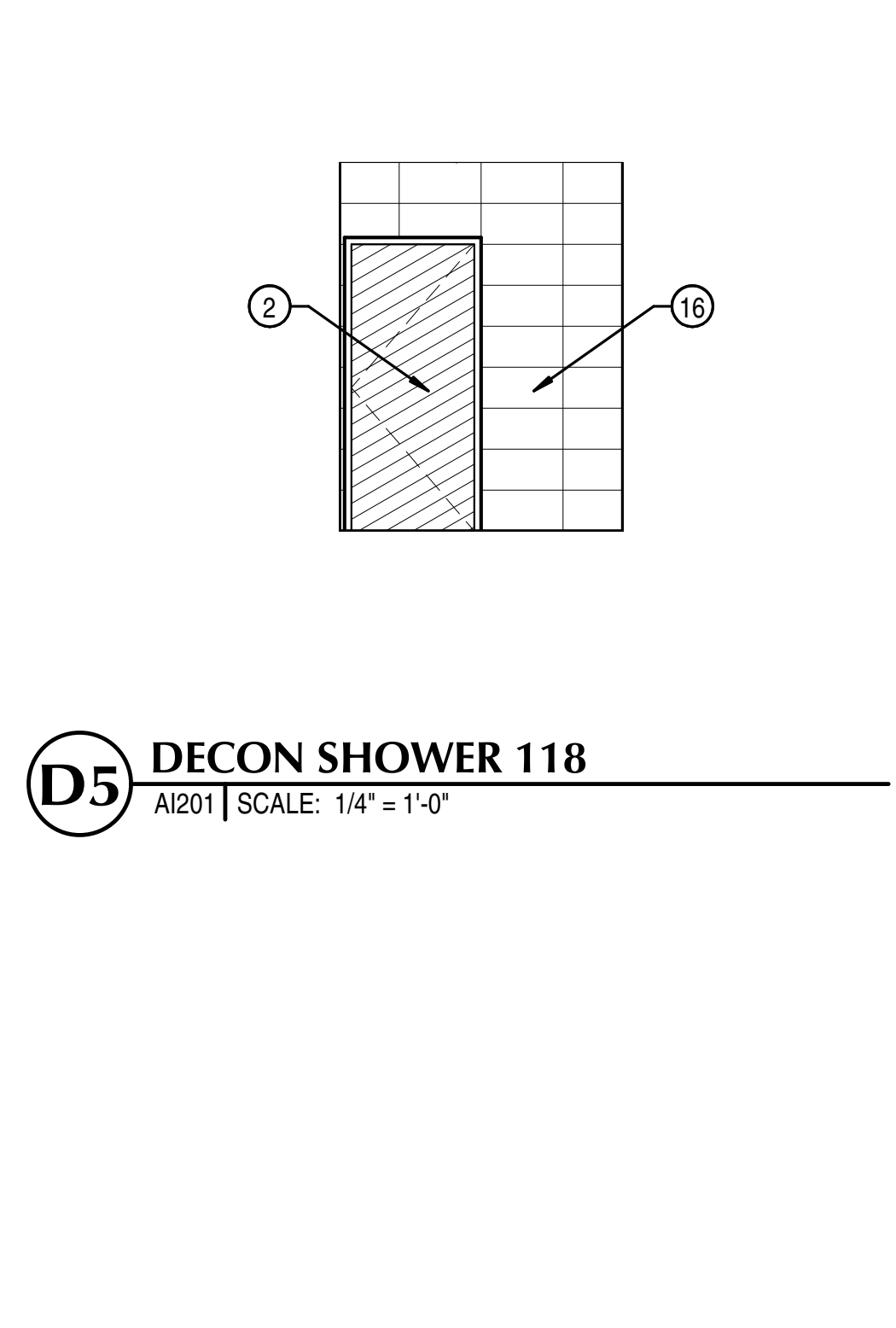
E1 ENLARGED - ROOMS 118 / 118.1
A1201 | SCALE: 1/4" = 1'-0"



E2 ANTEROOM 118.1
A1201 | SCALE: 1/4" = 1'-0"



E6 TYPICAL MOCK EXAM - OUTLETS
A1201 | SCALE: 1/4" = 1'-0"

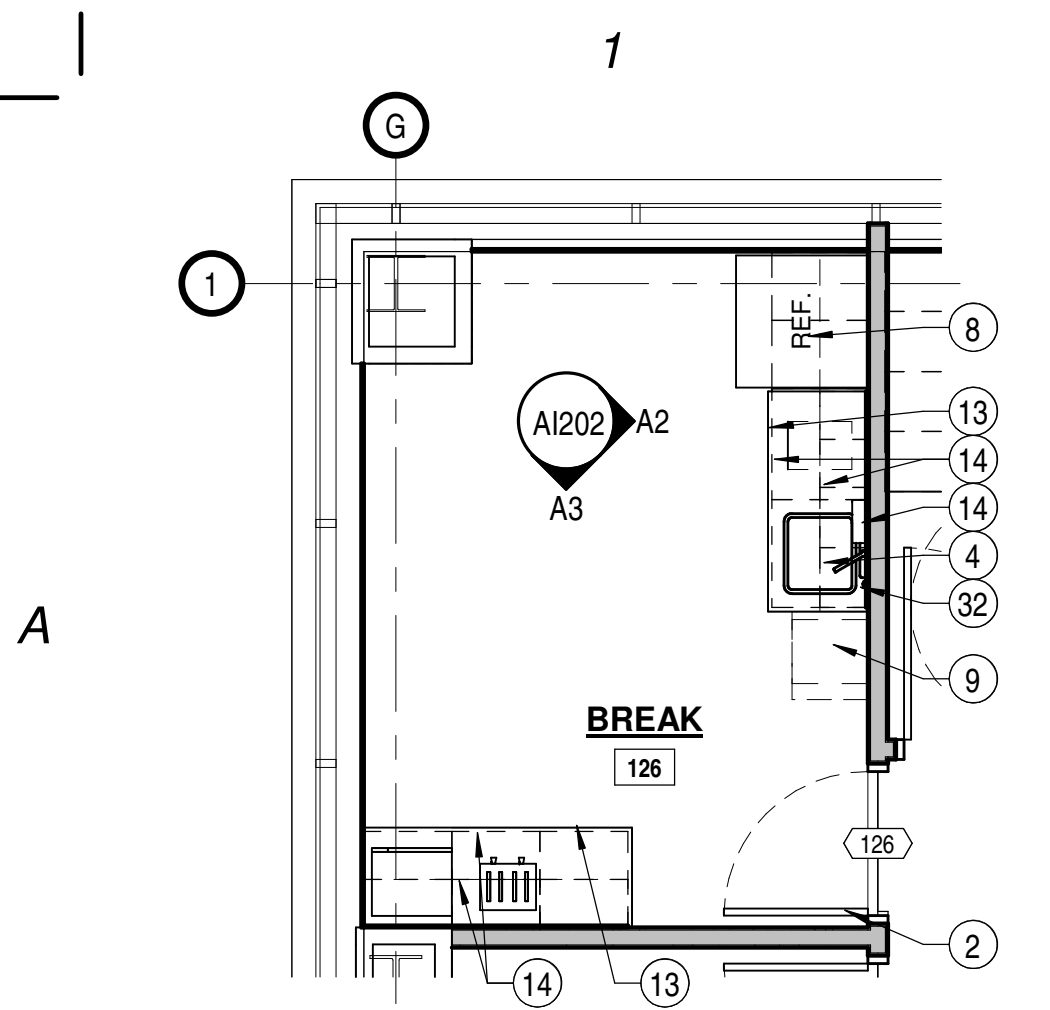


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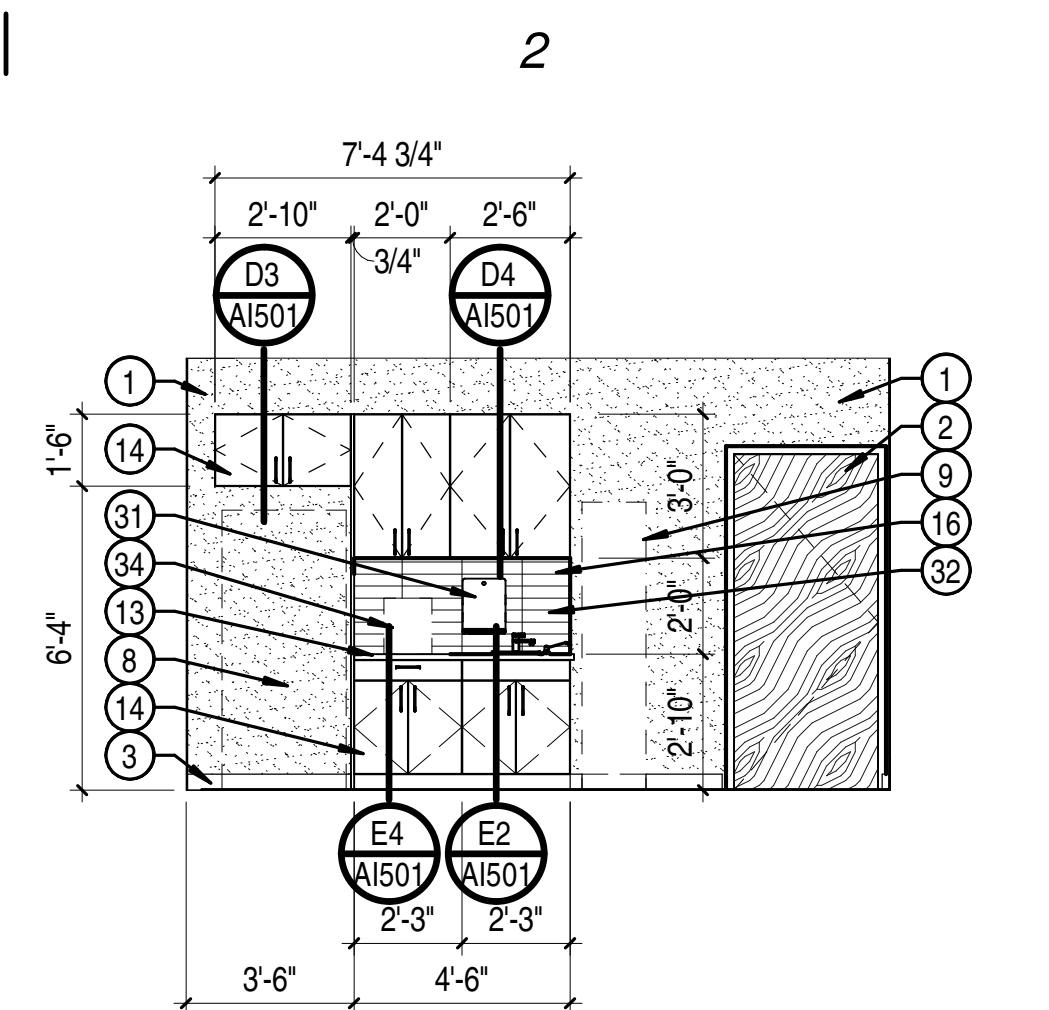
| MARK | REVISION | DATE |
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| 1 | PROPOSAL REQUEST #01 | 07/21/22 |

SHEET NOTES

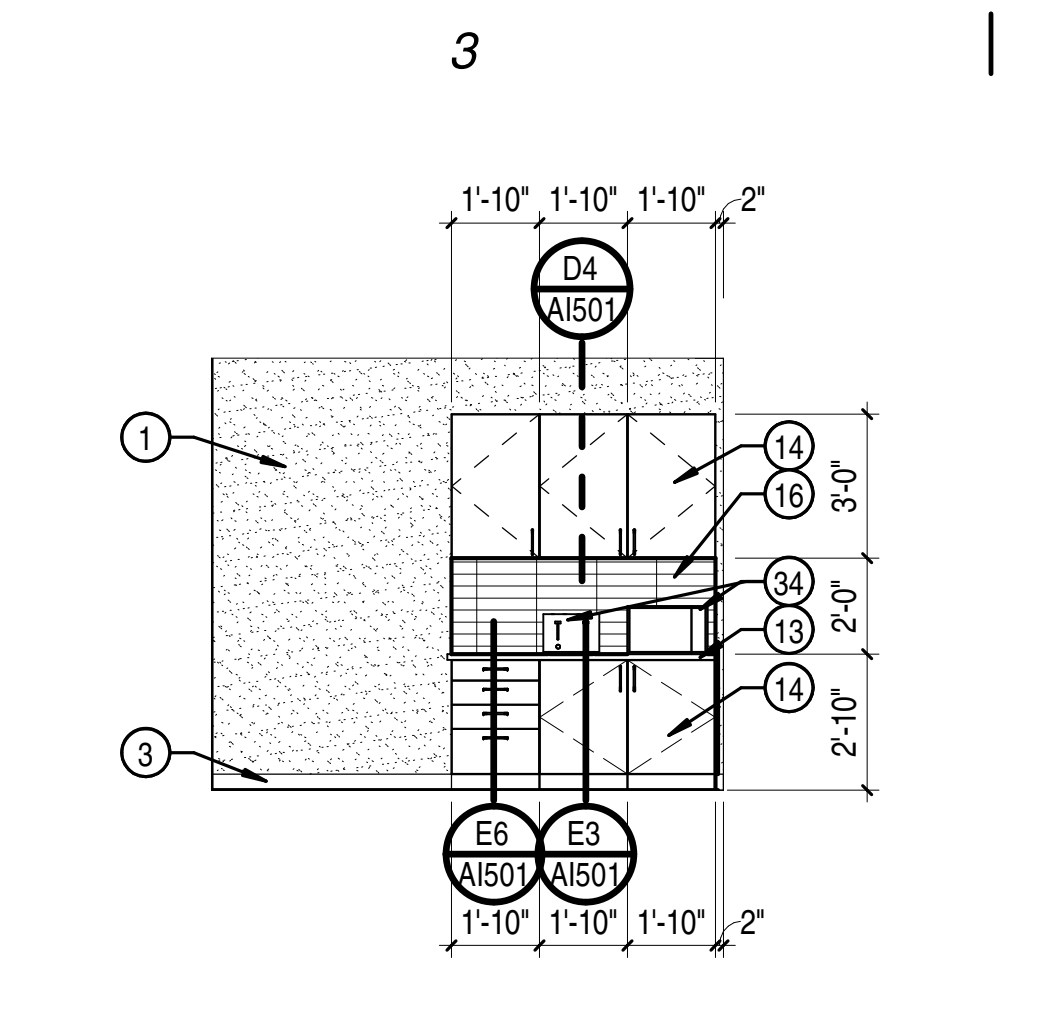
- PAINTED GYPSUM BOARD. SEE A1101 FOR COLORS.
- SCHEDULED DOOR SYSTEM. SEE FLOOR PLANS AND DOOR TYPES (A601).
- SCHEDULED BASE. SEE A1101.
- ADA COMPLIANT SINK. SEE PLUMBING.
- ADA COMPLIANT TOILET. SEE PLUMBING.
- ADA COMPLIANT URINAL. SEE PLUMBING.
- STANDARD HEIGHT URINAL. SEE PLUMBING.
- REFRIGERATOR - O.F.O.I. VERIFY SIZING WITH OWNER.
- ICE AND WATER DISPENSER - O.F.C.I. CONTRACTOR TO PROVIDE WATER SUPPLY AND FLOOR SINK AS REQUIRED.
- ADA COMPLIANT DRINKING FOUNTAIN(S). WHEELCHAIR ADA HEIGHT.
- FOUNTAIN TO INCLUDE BOTTLE FILLER. SEE PLUMBING.
- LIGHT FIXTURE. SEE ELECTRICAL.
- MOP SINK. SEE PLUMBING.
- SCHEDULED COUNTERTOP. SEE A1101.
- SCHEDULED PLASTIC LAMINATE MILLWORK. SEE A1101.
- PROVIDE LOCKS ON CUBBIES - (1) PER CUBBY - DIGILOCK RANGE KEYPAD LOCK.
- WALL TILE AS SHOWN. SEE A1101 AND A1501. PROVIDE SCHLUTER TRIM PIECES ON EXPOSED OUTSIDE CORNERS.
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- ADA COMPLIANT HORIZONTAL 36" GRAB BAR. B-6806 x 36. PROVIDE (1) PER ADA RESTROOM STALL.
- ADA COMPLIANT HORIZONTAL 42" GRAB BAR. BOBRICK B-6806 x 42.
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- ADA COMPLIANT TOILET PAPER DISPENSER. BOBRICK B-2888. PROVIDE (1) RESTROOM STALL.
- ADA COMPLIANT WALL MIRROR. BOBRICK B-290 2448. TILE BEHIND MIRROR. COUNTER MOUNTED ADA COMPLIANT SOAP DISPENSER. BOBRICK B-824. PROVIDE HARDWIRED KIT AS REQUIRED. COORDINATE ALL DETAILS WITH ELECTRICAL CONTRACTOR. PROVIDE (1) PER COUNTERTOP SINK.
- ADA COMPLIANT SANITARY NAPKIN DISPOSAL. BOBRICK B-270. PROVIDE (1) PER FEMALE RESTROOM STALL.
- ADA COMPLIANT SEMI-RECESSED PAPER TOWEL DISPENSER / WASTE RECEPTACLE (AUTOMATIC PAPER TOWEL DISPENSER). PROVIDE POWER AS REQUIRED. BOBRICK B-3974.
- ADA COMPLIANT TOILET COVER DISPENSER. BOBRICK B-221. PROVIDE (1) PER TOILET.
- ADA COMPLIANT POWDER COATED STEEL TOILET PARTITIONS AS REQUIRED TO MATCH SOUTH TOWER STANDARD (1/4" MAXIMUM GAP).
- ADA COMPLIANT RECESSED BABY CHANGING STATION. BOBRICK KB310-SSRE.
- COAT HANGER. BOBRICK B-7672. PROVIDE (1) PER TOILET STALL AND (3) IN DECON SHOWER ROOM AND (3) IN ANTEROOM. MOUNT TOP AT 48" ABOVE FLOOR FOR ADA STALLS (SHOWER AND ANTEROOM - WHERE NOTED IN PLAN), AND AT 60" FOR NON-ADA LOCATIONS.
- ADA MOVEABLE CHANGING ROOM BENCH. SALSBURY ALUMINUM 77771-AD. LOCKER BENCH. 42" LONG X 20" WIDE X 18" HIGH. PROVIDE (2) IN ANTEROOM.
- MOP HOLDER AND SHELF. BOBRICK B-224 X 36.
- PAPER TOWEL DISPENSER. BOBRICK B-262.
- SOAP DISPENSER. BOBRICK B-2111 OR O.F.C.I. (VERIFY - BID AS C.F.C.I.).
- ADA COMPLIANT FIRE EXTINGUISHER CABINET. SEE AD101 AND A101 FOR ADDITIONAL INSTRUCTIONS.
- MISC. EQUIPMENT - O.F.O.I.
- NOTES
- ELECTRICAL DEVICE. SEE AP101 AND ELECTRICAL.
- MED GAS OUTLET. SEE AP101 AND MED GAS (PLUMBING).
- TELEVISION - C.F.C.I.. PROVIDE BACKING AS REQUIRED. SEE AUDIO VISUAL (ELECTRICAL).
- DECON SHOWER FAUCET HEADS. SEE PLUMBING.
- ADA COMPLIANT FOLDING SHOWER SEAT. BOBRICK B-5181. PROVIDE BACKING AS REQUIRED.
- HOSE BIB CONNECTION. SEE PLUMBING.
- WOOD CHAIR RAIL. SEE C/A501 AND A1101.
- ACOUSTICAL PANEL. SEE A1101.



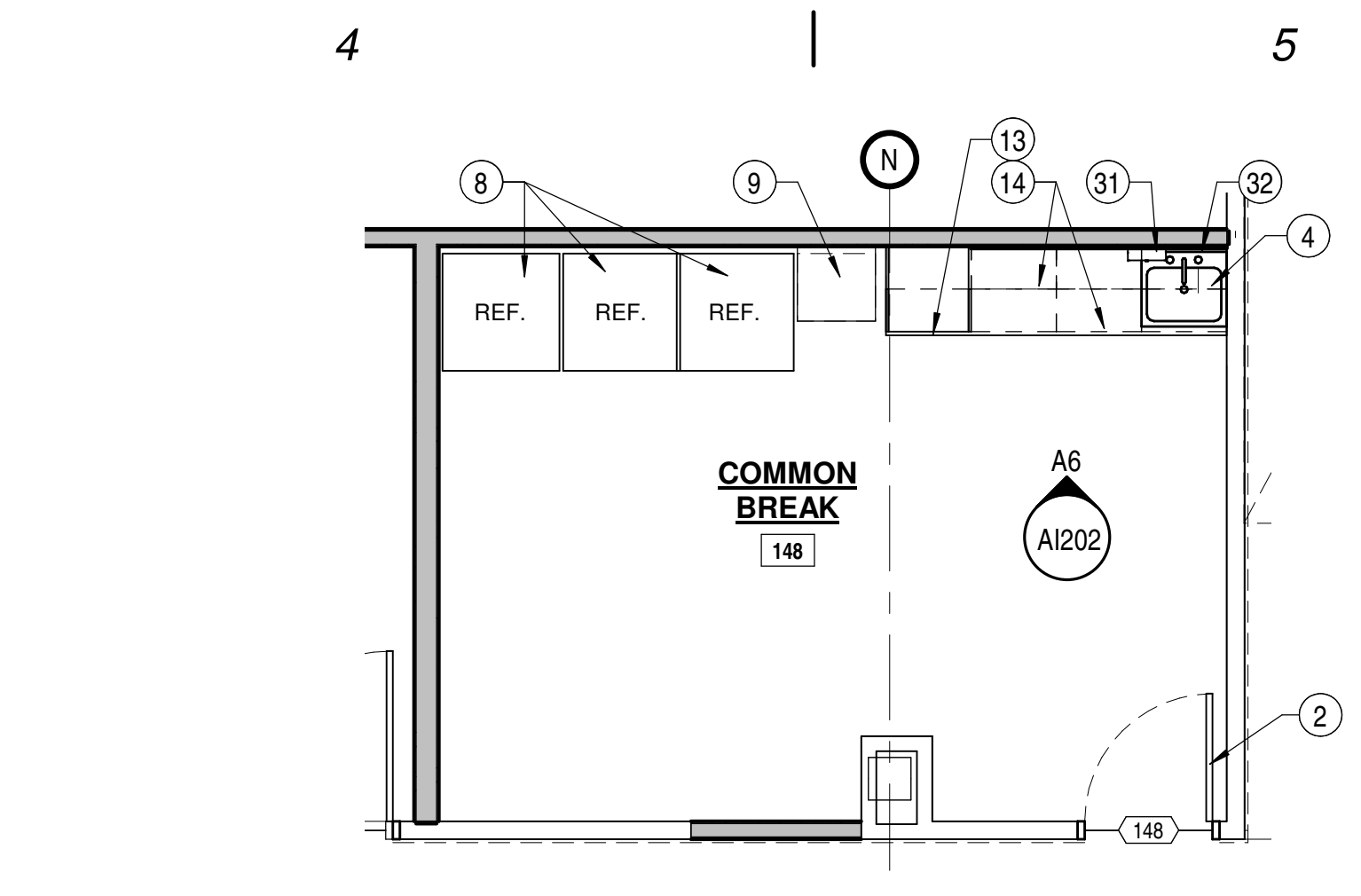
A1 ENLARGED - BREAK ROOM - 126
A1202 | SCALE: 1/4" = 1'-0"



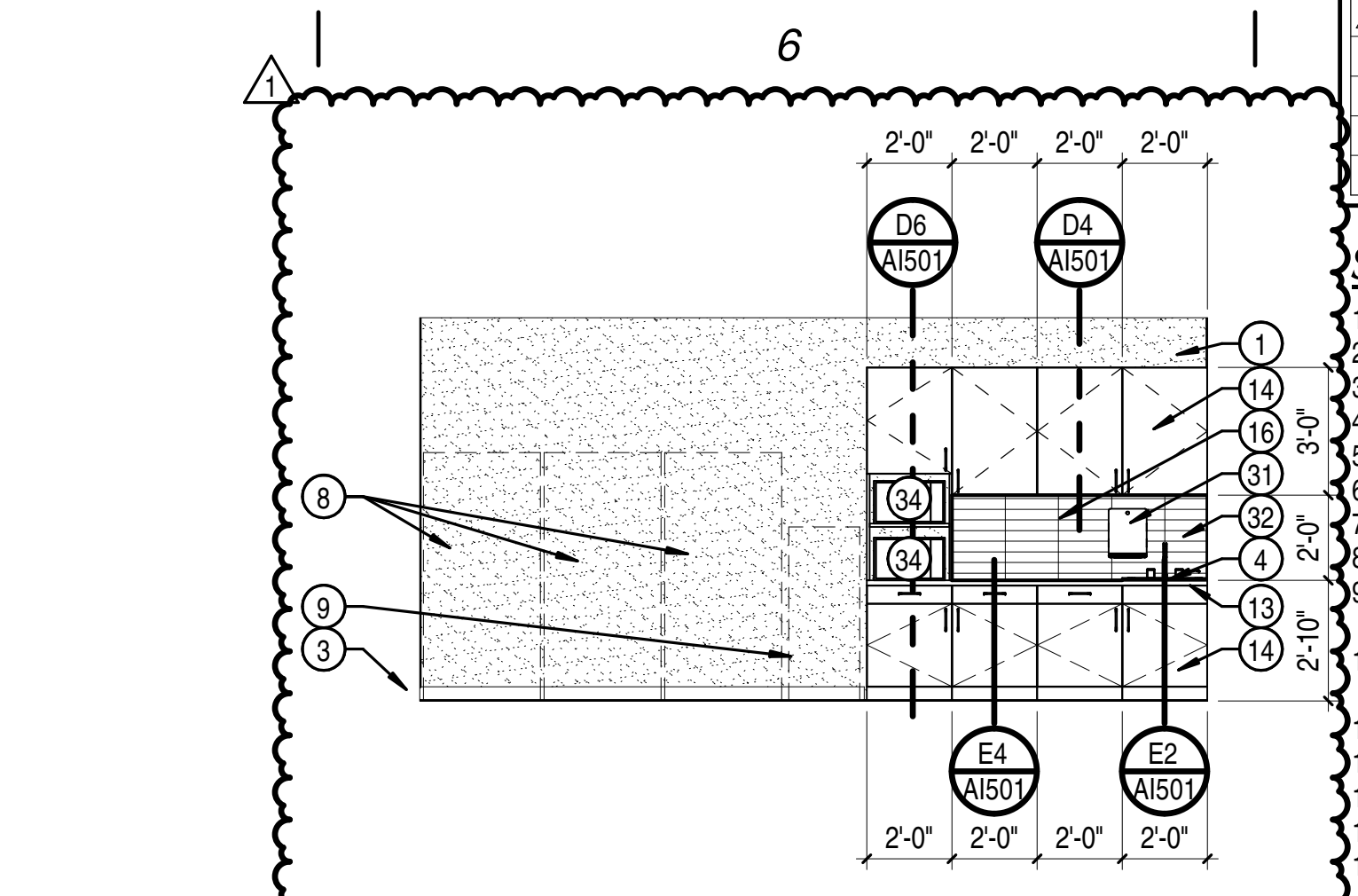
A2 BREAK HOSPITALITY - 126
A1202 | SCALE: 1/4" = 1'-0"



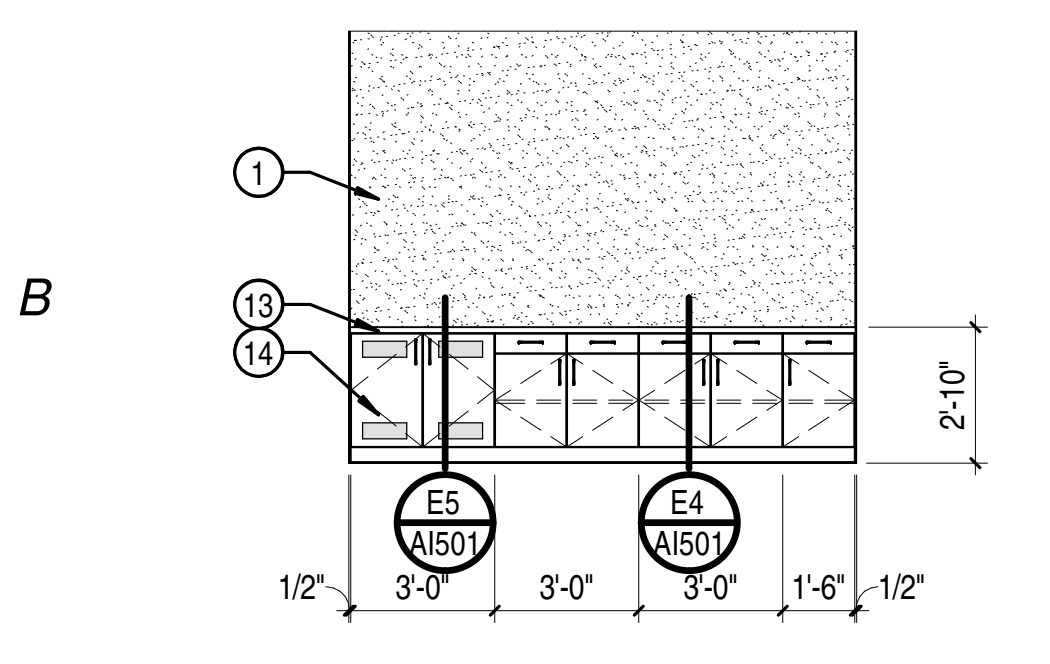
A3 BREAK HOSPITALITY - 126
A1202 | SCALE: 1/4" = 1'-0"



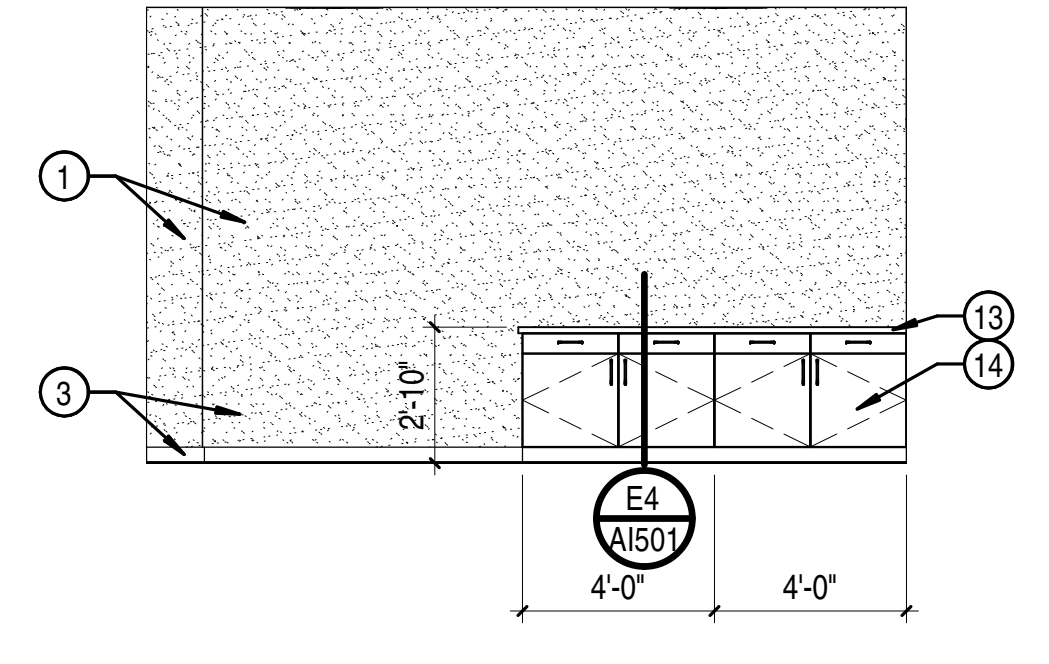
A4 ENLARGED - BREAK ROOM - 148
A1202 | SCALE: 1/4" = 1'-0"



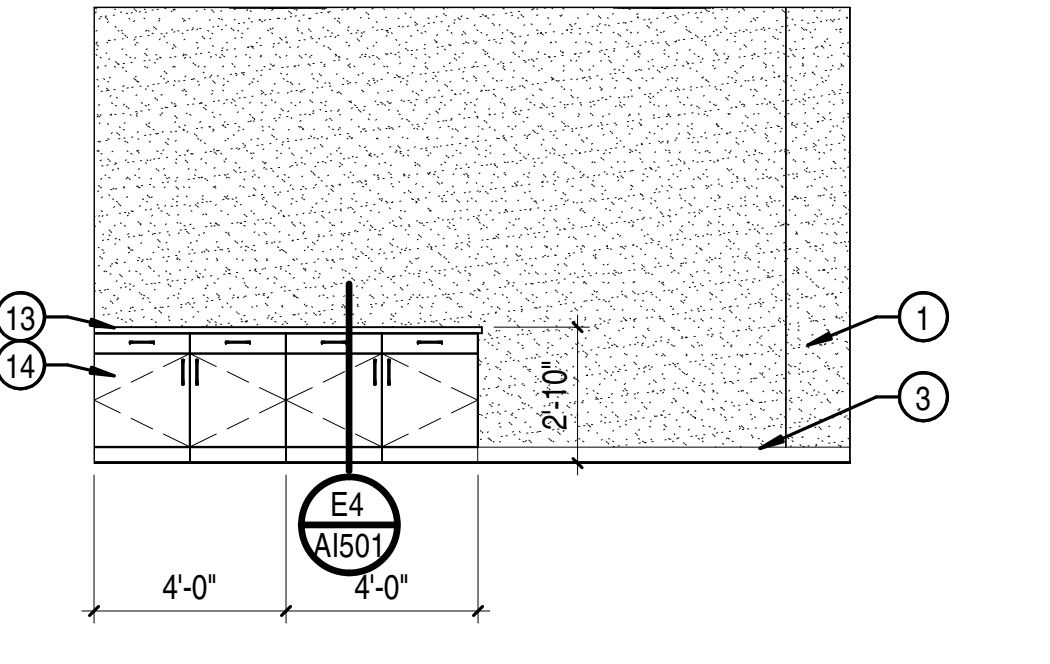
A6 BREAK ROOM - 148
A1202 | SCALE: 1/4" = 1'-0"



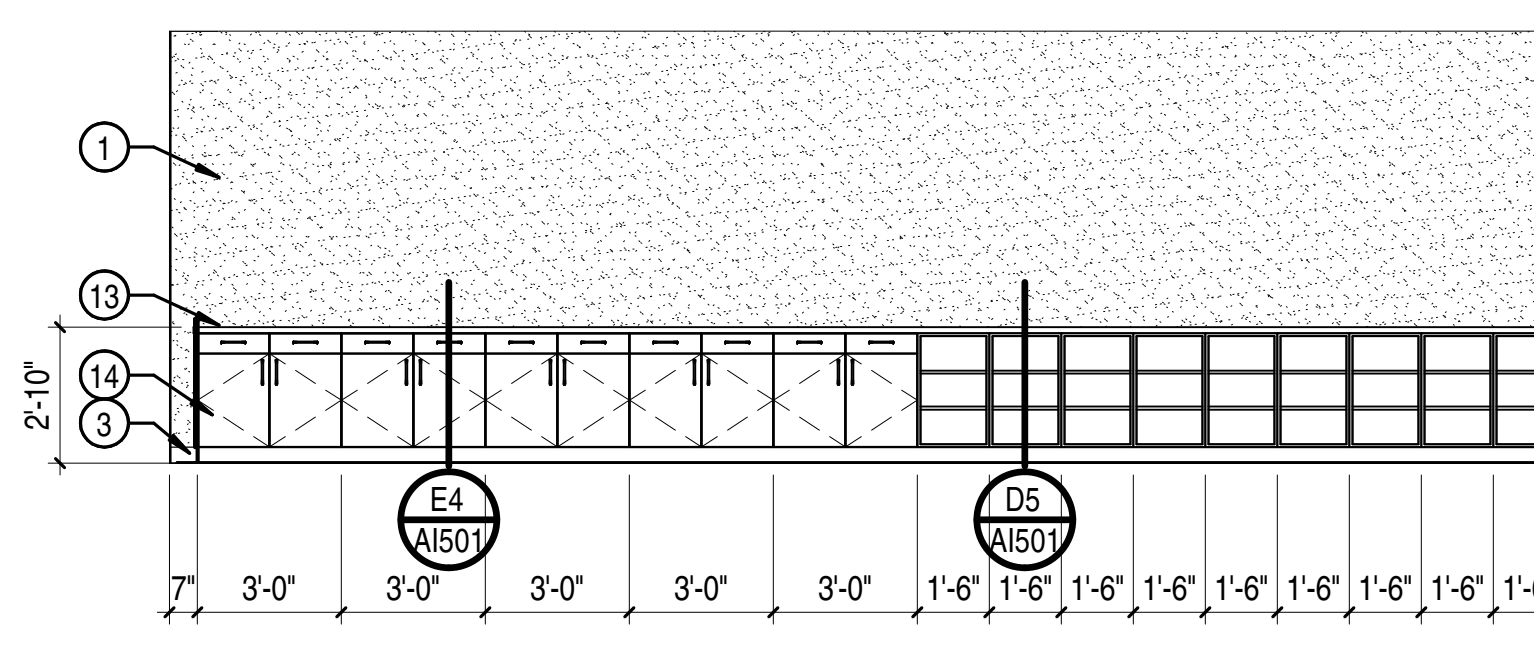
B1 CLASSROOM - 136
A1202 | SCALE: 1/4" = 1'-0"



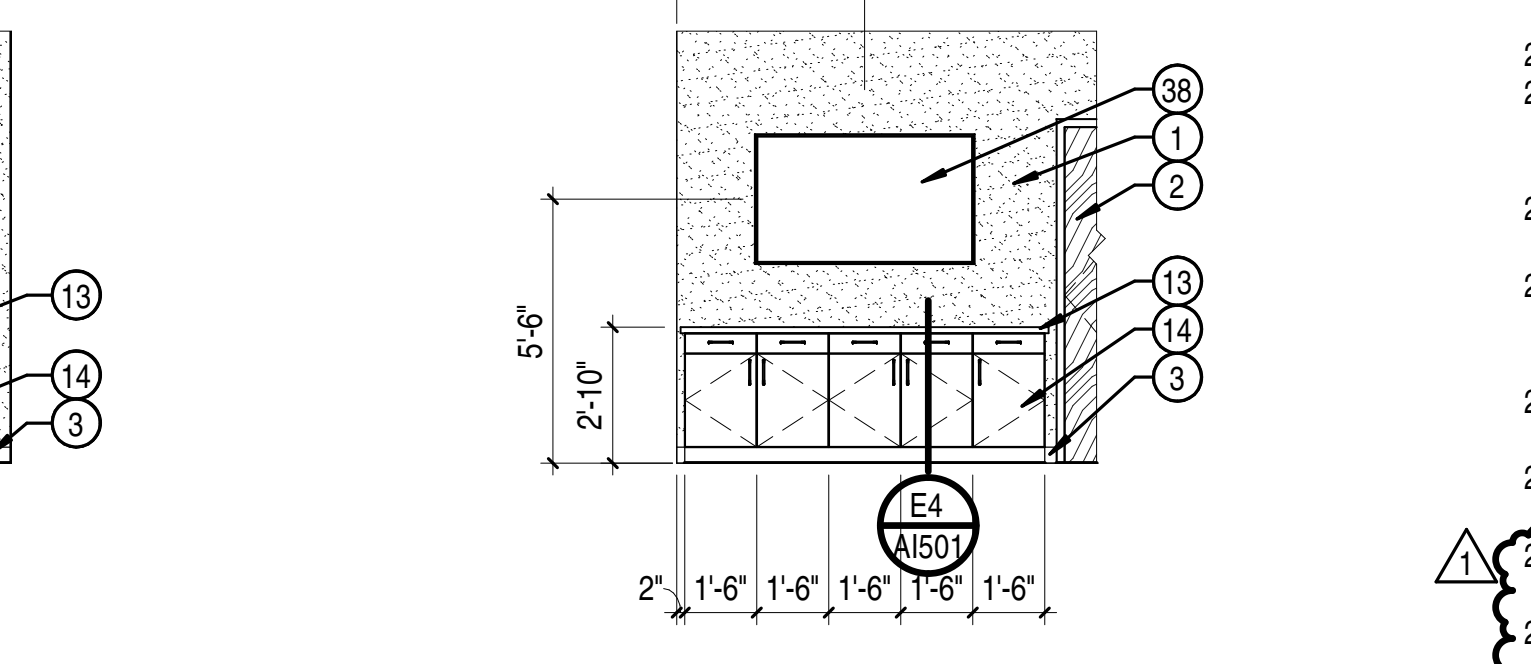
B2 WORK AREA - 152
A1202 | SCALE: 1/4" = 1'-0"



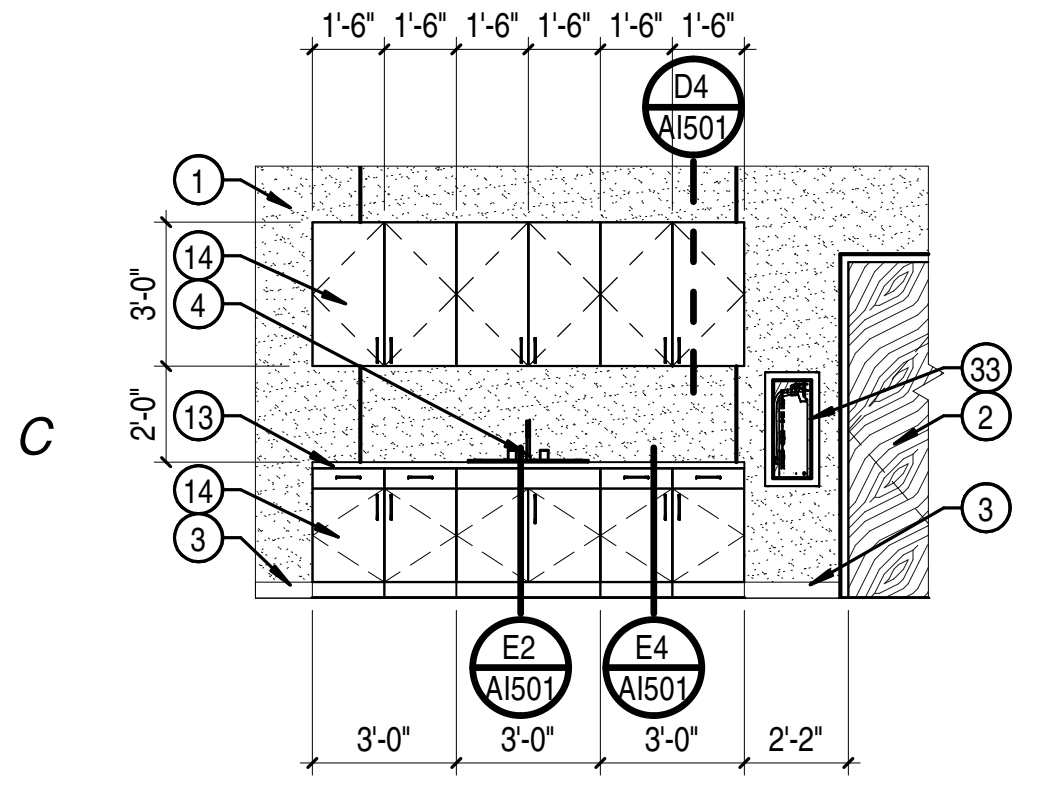
B3 WORK AREA - 152
A1202 | SCALE: 1/4" = 1'-0"



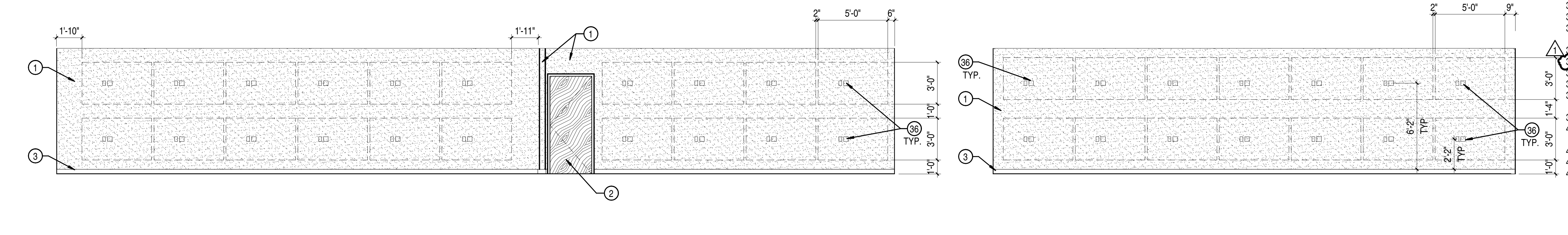
B4 DXC - 151
A1202 | SCALE: 1/4" = 1'-0"



B6 DXC - 151
A1202 | SCALE: 1/4" = 1'-0"



C1 WORK AREA - 155
A1202 | SCALE: 1/4" = 1'-0"

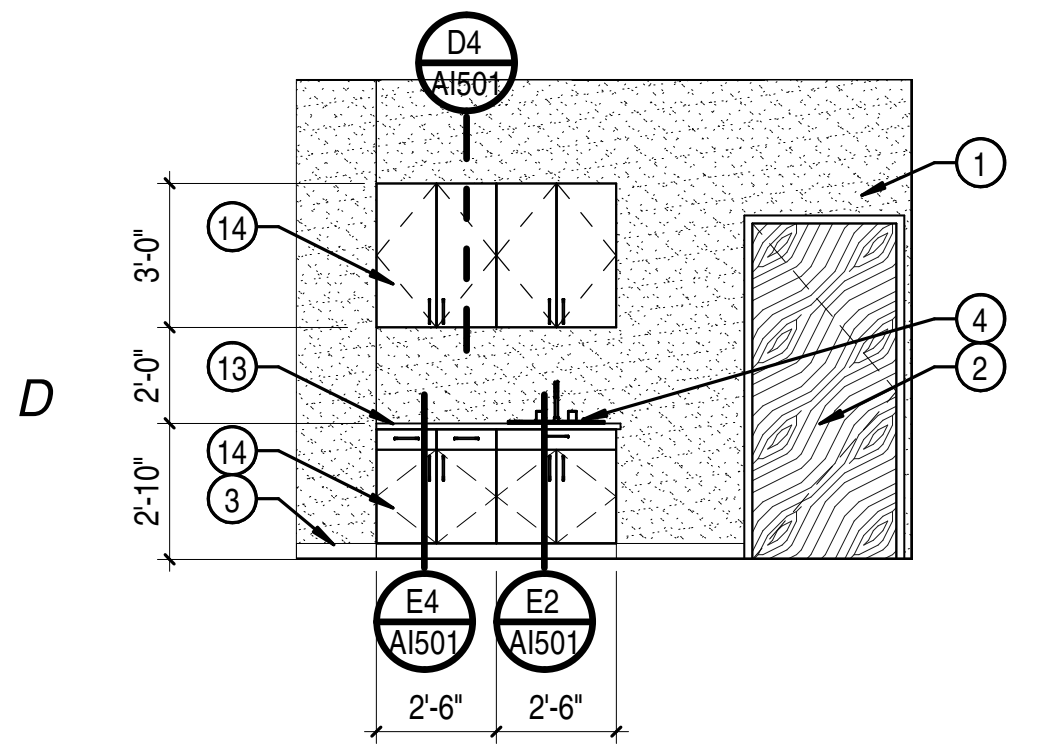


C2 STORAGE STAGING PROCESSING - 140
A1202 | SCALE: 1/4" = 1'-0"

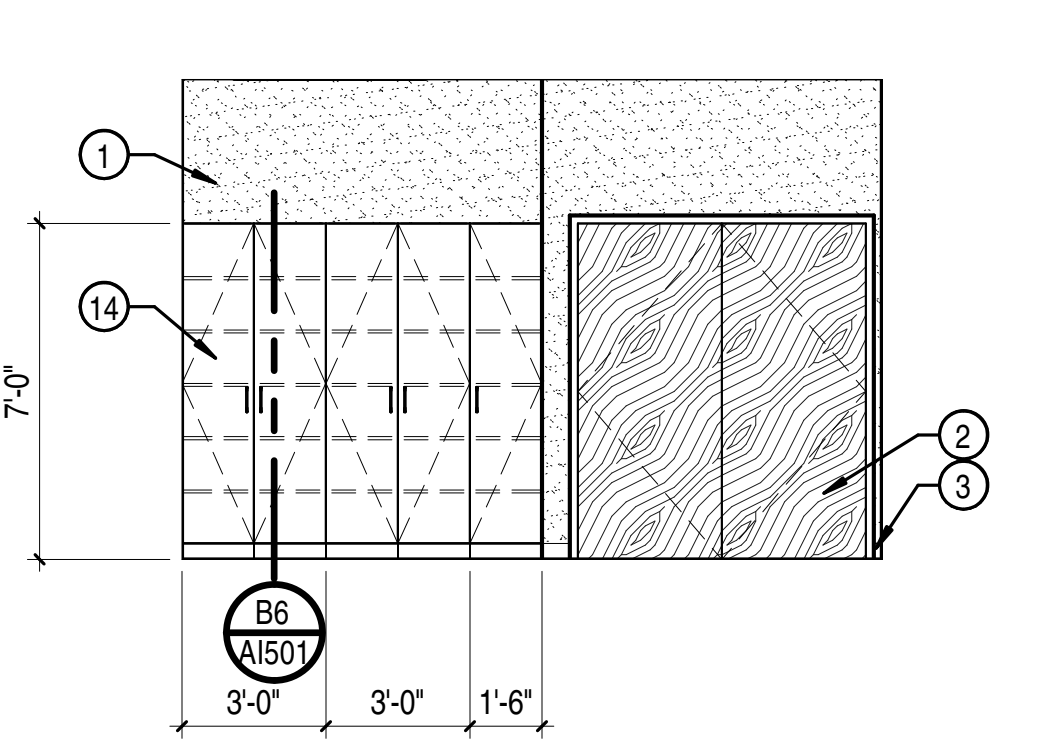
C3 STORAGE STAGING PROCESSING - 140
A1202 | SCALE: 1/4" = 1'-0"

C5 STORAGE STAGING PROCESSING - 140
A1202 | SCALE: 1/4" = 1'-0"

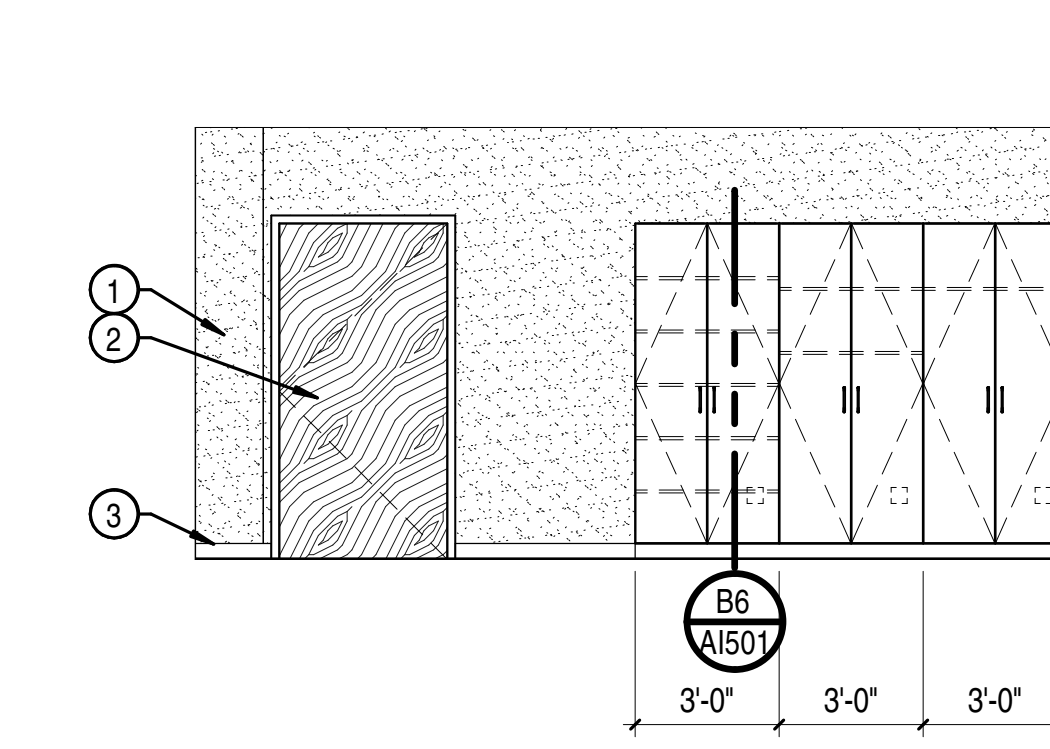
C5 STORAGE STAGING PROCESSING - 140
A1202 | SCALE: 1/4" = 1'-0"



D1 DIALYSIS REPAIR - 147
A1202 | SCALE: 1/4" = 1'-0"



D2 STORAGE 139
A1202 | SCALE: 1/4" = 1'-0"



D3 STORAGE 144
A1202 | SCALE: 1/4" = 1'-0"

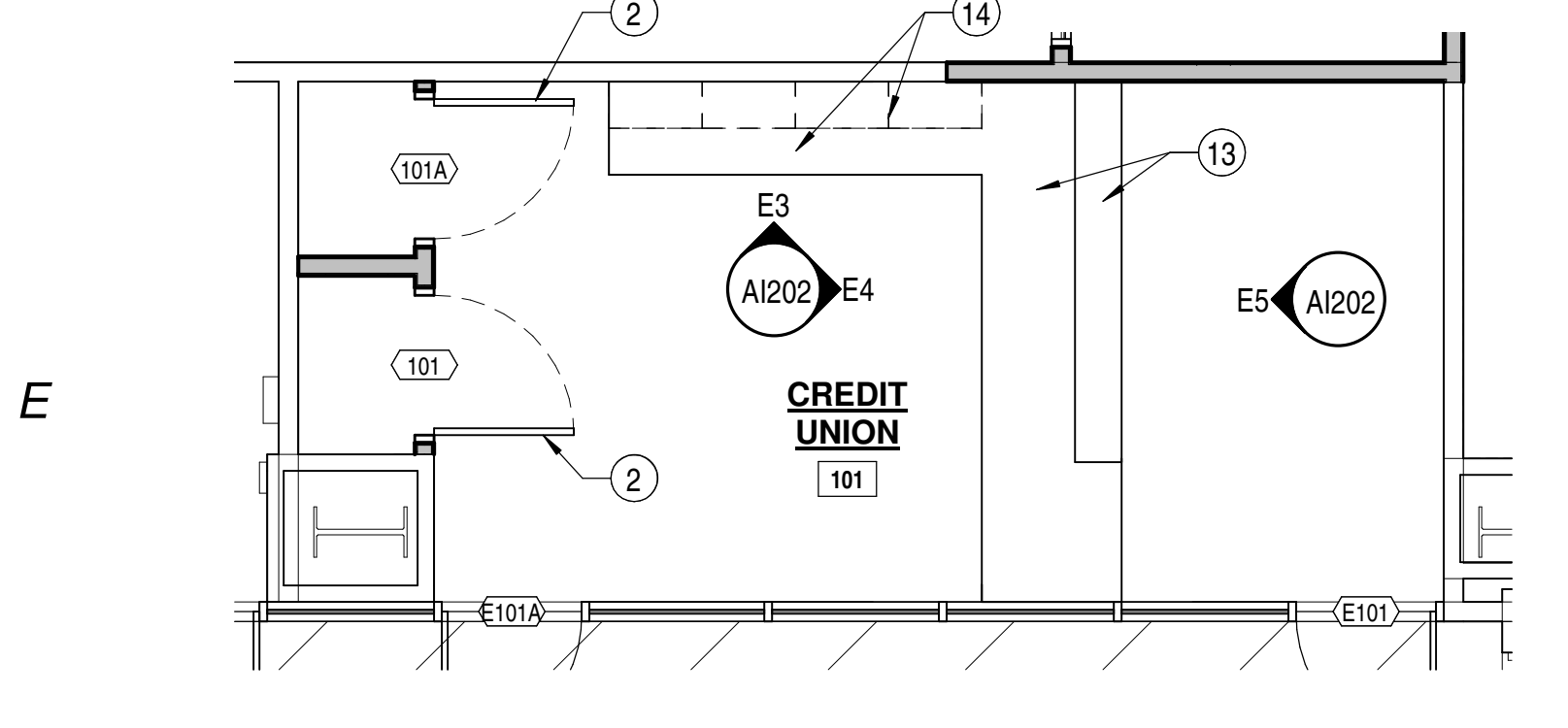


E3 CREDIT UNION
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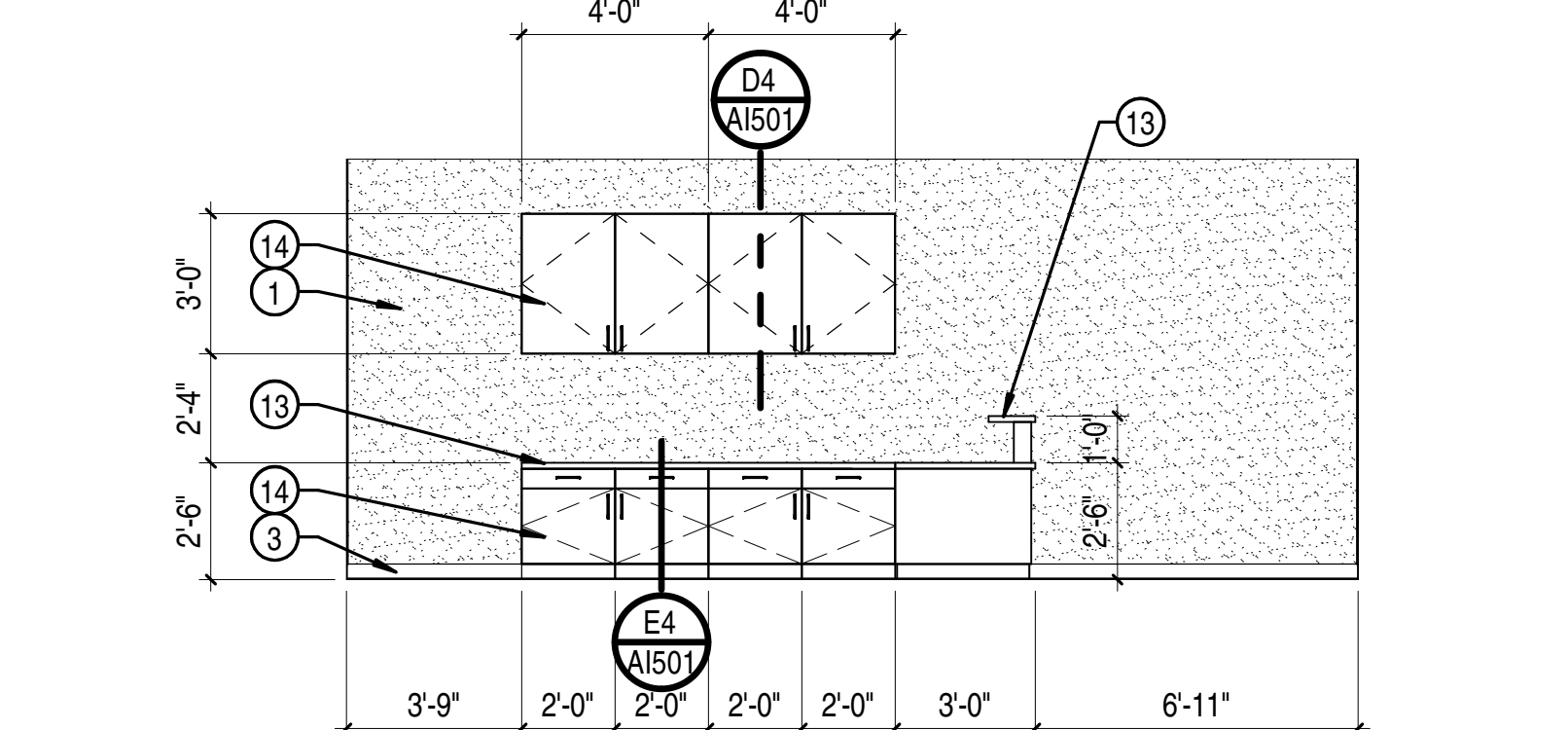
E4 CREDIT UNION
A1202 | SCALE: 1/4" = 1'-0"



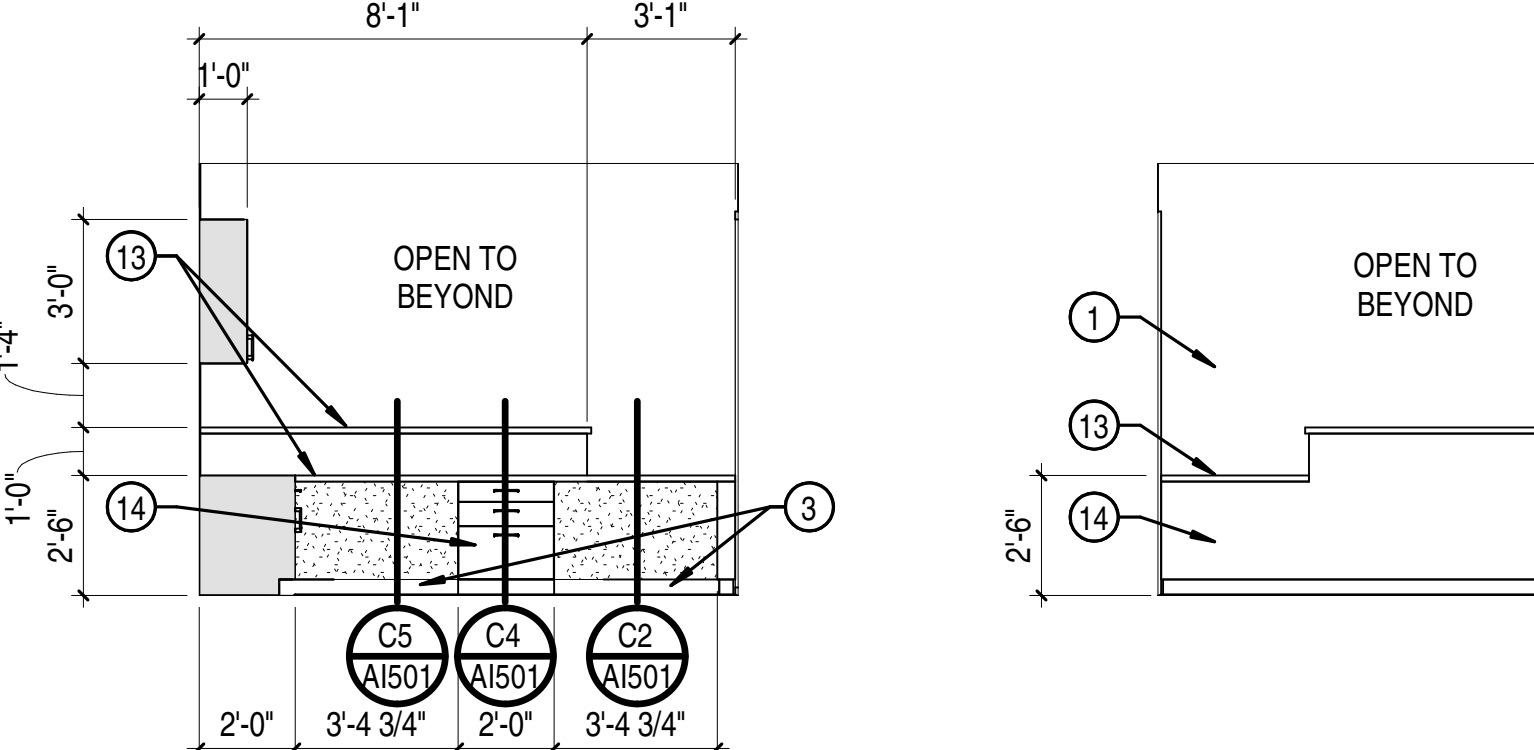
E5 CREDIT UNION
A1202 | SCALE: 1/4" = 1'-0"



E1 ENLARGED - CREDIT UNION - 101
A1202 | SCALE: 1/4" = 1'-0"



E3 CREDIT UNION
A1202 | SCALE: 1/4" = 1'-0"



E4 CREDIT UNION
A1202 | SCALE: 1/4" = 1'-0"



E5 CREDIT UNION
A1202 | SCALE: 1/4" = 1'-0"

GENERAL NOTES

- NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- SEE FLOOR PLANS AND A601 FOR DOOR INFORMATION.
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- DO NOT SCALE DRAWINGS.

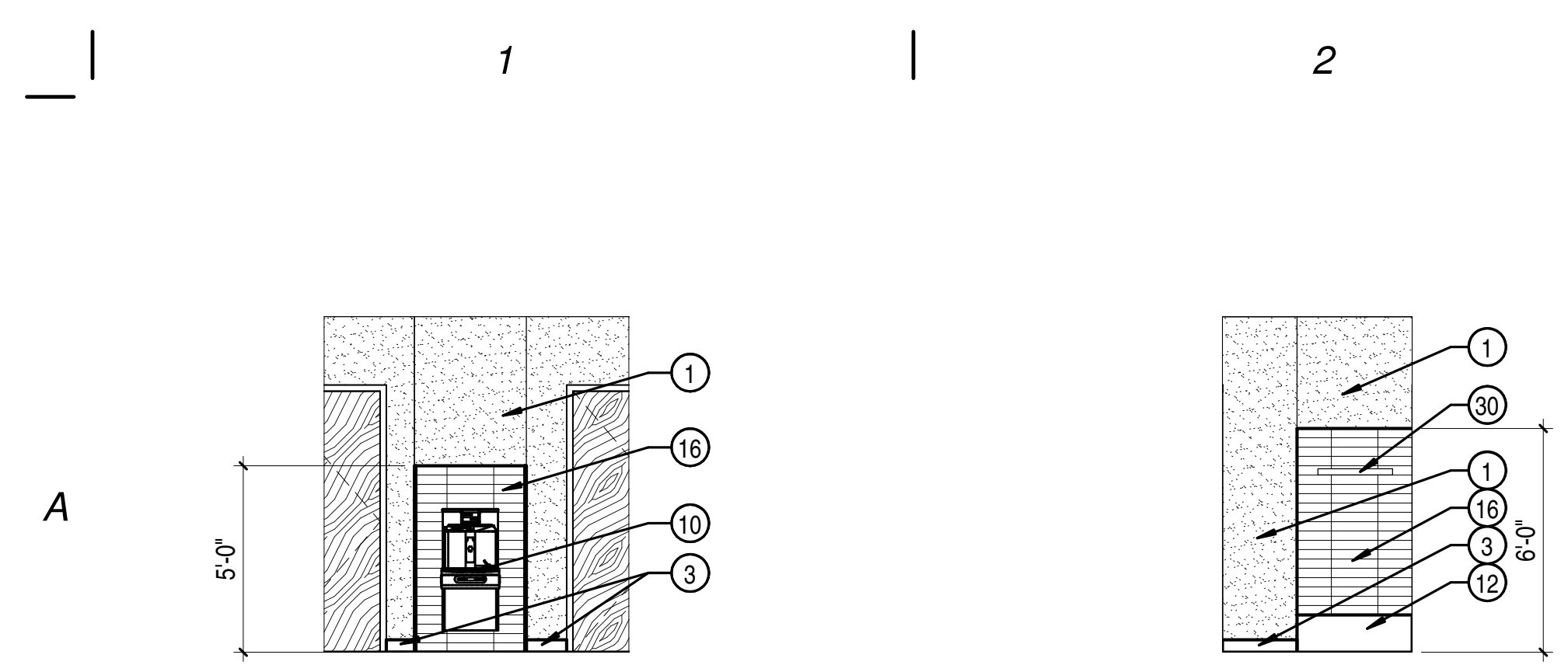
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| <p>233 SOUTH PLEASANT GROVE BLVD. PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p> | <p>DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT</p> |
| | <p>PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL</p> <p>4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120</p> |
| <p>SHEET DESCRIPTION: INTERIOR ELEVATIONS</p> | <p>SHEET: A1202</p> |

BIM 360://21-099 IHC Lake Park Level 1 - North Remodel/01-099 IHC Lake Park North Level 1.rvt
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| 1 | PROPOSAL REQUEST #01 | 07/21/22 |
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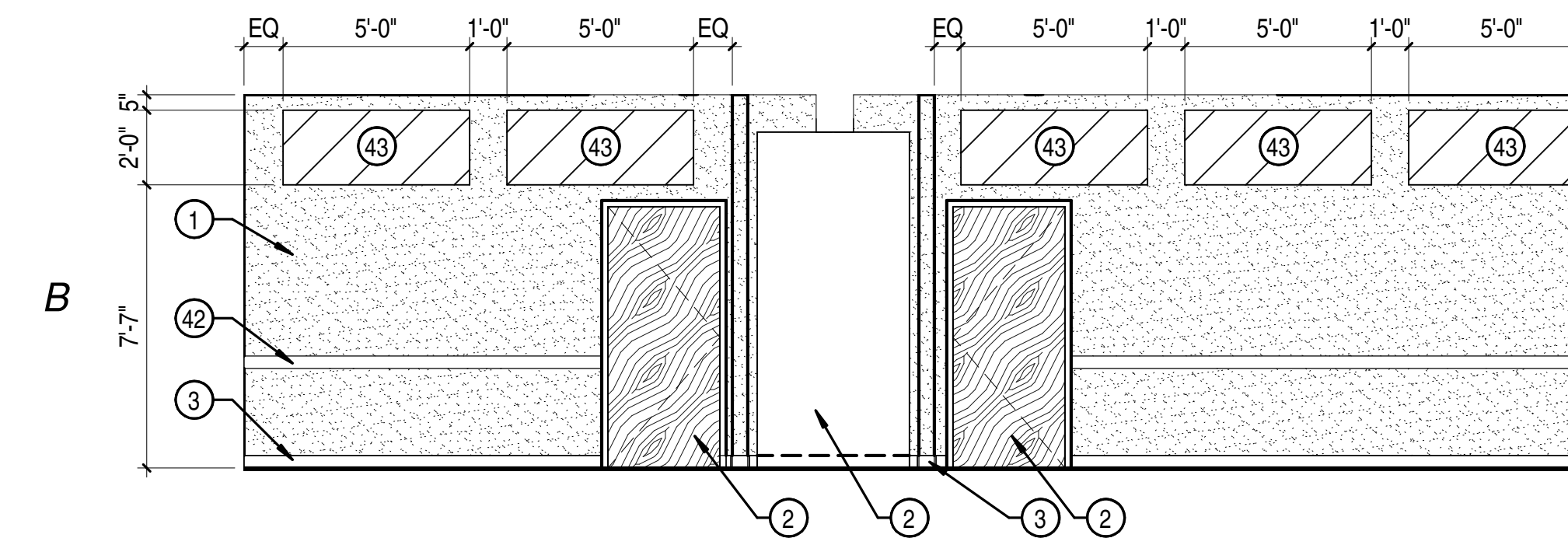
SHEET NOTES

- PAINTED GYPSUM BOARD. SEE A1101 FOR COLORS.
- SCHEDULED DOOR SYSTEM. SEE FLOOR PLANS AND DOOR TYPES (A601).
- SCHEDULED BASE. SEE A1101.
- ADA COMPLIANT SINK. SEE PLUMBING.
- ADA COMPLIANT TOILET. SEE PLUMBING.
- ADA COMPLIANT URINAL. SEE PLUMBING.
- STANDARD HEIGHT URINAL. SEE PLUMBING.
- REFRIGERATOR - O.F.C.I. VERIFY SIZING WITH OWNER.
- ICE AND WATER DISPENSER - O.F.C.I. CONTRACTOR TO PROVIDE WATER SUPPLY AND FLOOR SINK AS REQUIRED.
- ADA COMPLIANT DRINKING FOUNTAIN(S). WHEELCHAIR ADA HEIGHT FOUNTAIN TO INCLUDE BOTTLE FILLER. SEE PLUMBING.
- LIGHT FIXTURE. SEE ELECTRICAL.
- MOP SINK. SEE PLUMBING.
- SCHEDULED COUNTERTOP. SEE A1101.
- SCHEDULED PLASTIC LAMINATE MILLWORK. SEE A1101.
- PROVIDE LOCKS ON CUBBIES - (1) PER CUBBY - DIGILOCK RANGE KEYPAD LOCK.
- WALL TILE AS SHOWN. SEE A1101 AND A1501. PROVIDE SCHLUTER TRIM PIECES ON EXPOSED OUTSIDE CORNERS.
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- ADA COMPLIANT WALL MIRROR. BOBRICK B-290 2448. TILE BEHIND MIRROR. COUNTER MOUNTED ADA COMPLIANT SOAP DISPENSER. BOBRICK B-824. PROVIDE HARDWIRED KIT AS REQUIRED. COORDINATE ALL DETAILS WITH ELECTRICAL CONTRACTOR. PROVIDE (1) PER COUNTERTOP SINK.
- ADA COMPLIANT SANITARY NAPKIN DISPOSAL. BOBRICK B-270. PROVIDE (1) PER FEMALE RESTROOM STALL.
- ADA COMPLIANT SEMI-RECESSED PAPER TOWEL DISPENSER / WASTE RECEPTACLE (AUTOMATIC PAPER TOWEL DISPENSER). PROVIDE POWER AS REQUIRED. BOBRICK B-3974.
- ADA COMPLIANT TOILET COVER DISPENSER. BOBRICK B-221. PROVIDE (1) PER TOILET.
- ADA COMPLIANT POWDER COATED STEEL TOILET PARTITIONS AS REQUIRED TO MATCH SOUTH TOWER STANDARD (14" MAXIMUM GAP).
- ADA COMPLIANT RECESSED BABY CHANGING STATION. BOBRICK KB510-SSRE.
- COAT HANGER. BOBRICK B-7672. PROVIDE (1) PER TOILET STALL AND (3) IN DECON SHOWER ROOM AND (3) IN ANTEROOM. MOUNT TOP AT 48" ABOVE FLOOR FOR ADA STALLS (SHOWER AND ANTEROOM - WHERE NOTED IN PLAN), AND AT 60" FOR NON-ADA LOCATIONS.
- ADA MOVEABLE CHANGING ROOM BENCH. SALSBURY ALUMINUM 77771-AD. LOCKER BENCH. 42" LONG X 20" WIDE X 18" HIGH. PROVIDE (2) IN ANTEROOM.
- MOP HOLDER AND SHELF. BOBRICK B-224 X 36.
- PAPER TOWEL DISPENSER. BOBRICK B-262.
- SOAP DISPENSER. BOBRICK B-2111 OR O.F.C.I. (VERIFY - BID AS C.F.C.I.).
- ADA COMPLIANT FIRE EXTINGUISHER CABINET. SEE A1101 AND A101 FOR ADDITIONAL INSTRUCTIONS.
- MISC. EQUIPMENT - O.F.C.I.
- NOT USE.
- ELECTRICAL DEVICE. SEE AP101 AND ELECTRICAL.
- MED GAS OUTLET. SEE AP101 AND MED GAS (PLUMBING).
- TELEVISION - C.F.C.I. PROVIDE BACKING AS REQUIRED. SEE AUDIO VISUAL (ELECTRICAL).
- DECON SHOWER FAUCET HEADS. SEE PLUMBING.
- ADA COMPLIANT FOLDING SHOWER SEAT. BOBRICK B-5181. PROVIDE BACKING AS REQUIRED.
- HOSE BIB CONNECTION. SEE PLUMBING.
- WOOD CHAIR RAIL. SEE C/A1501 AND A1101.
- ACOUSTICAL PANEL. SEE A1101.

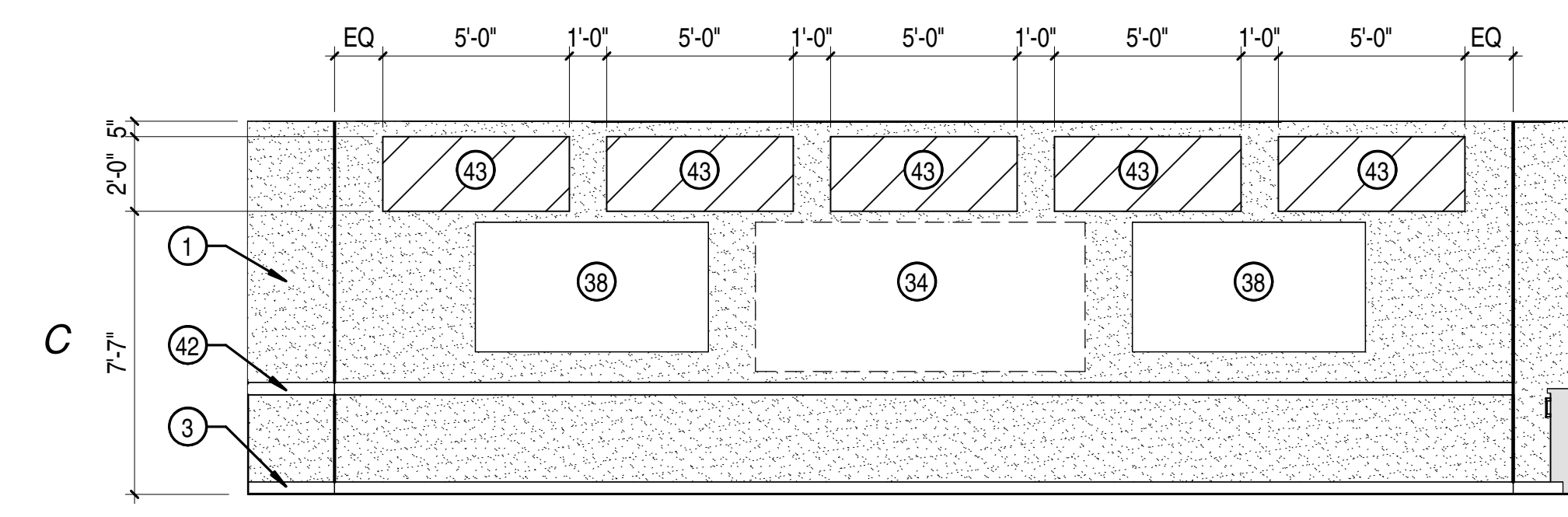


A1 DRINKING FOUNTAIN
A1203 | SCALE: 1/4" = 1'-0"

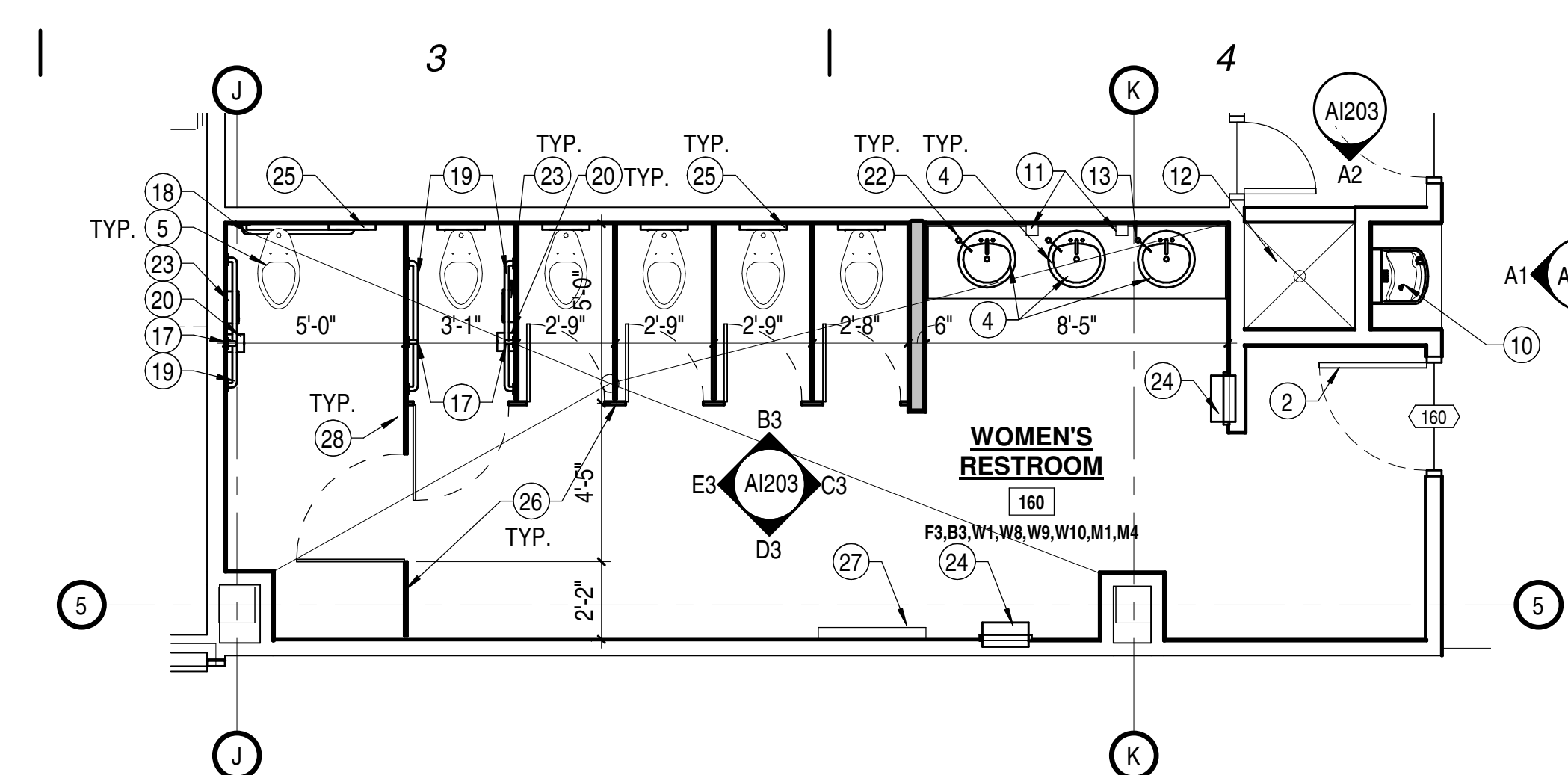
A2 MOP SINK
A1203 | SCALE: 1/4" = 1'-0"



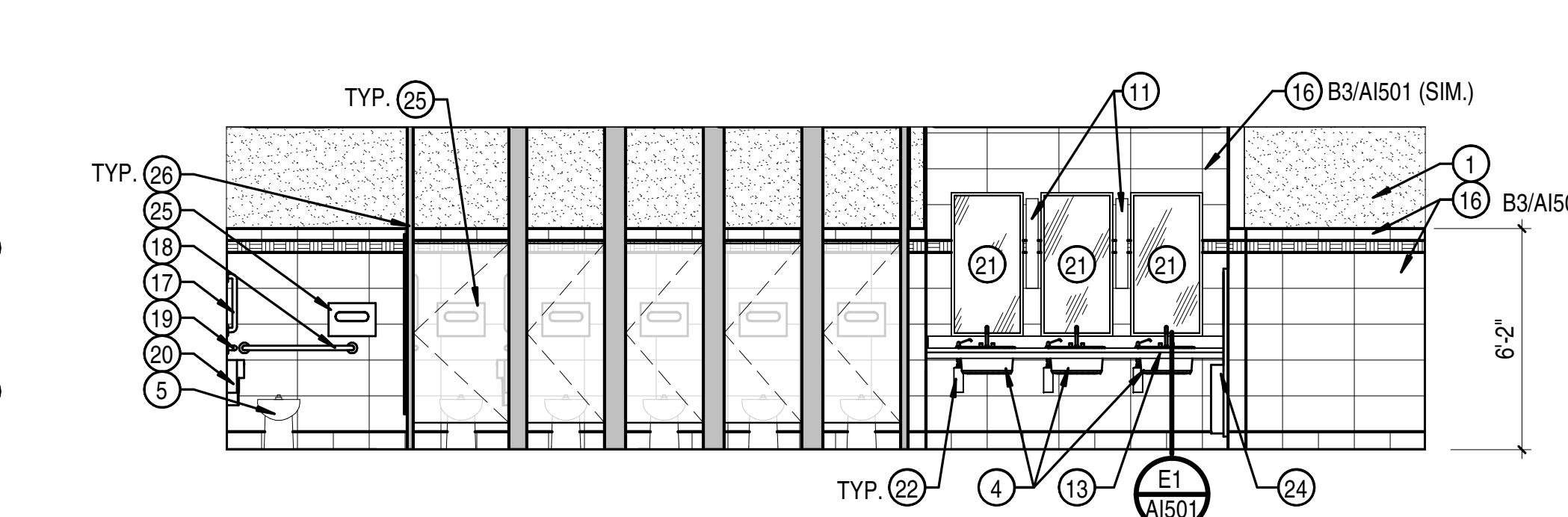
B1 CLASSROOM 134/135
A1203 | SCALE: 1/4" = 1'-0"



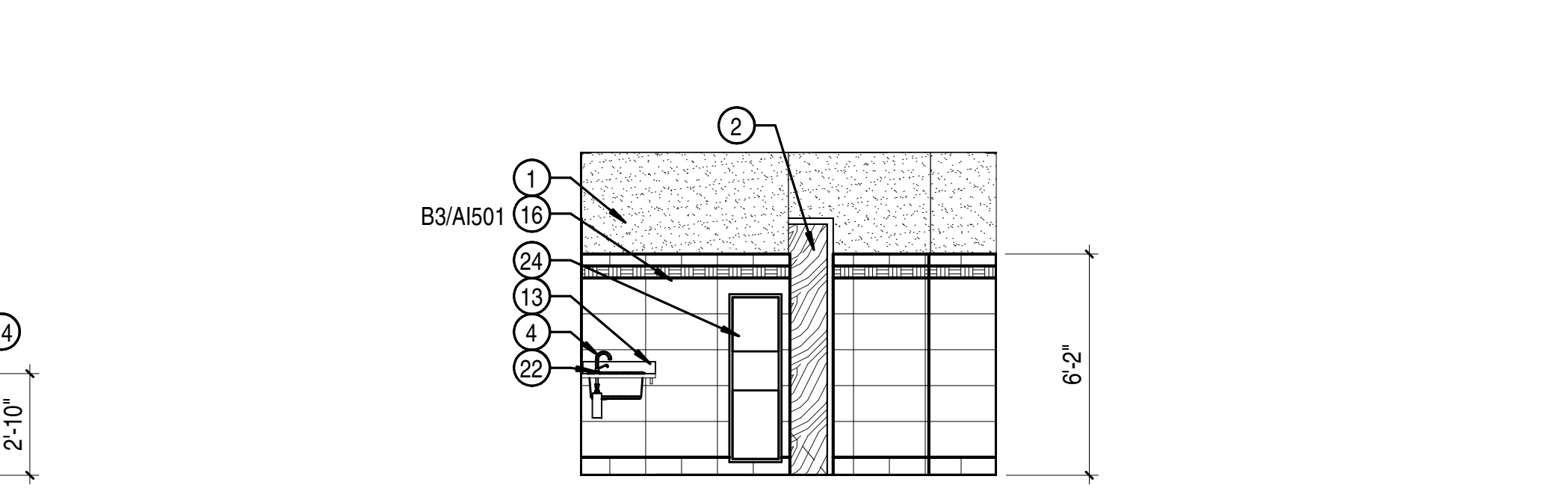
C1 CLASSROOM 136
A1203 | SCALE: 1/4" = 1'-0"



A3 WOMEN'S RESTROOM - 160 / MOP SINK / DRINKING FOUNTAIN
A1203 | SCALE: 1/4" = 1'-0"



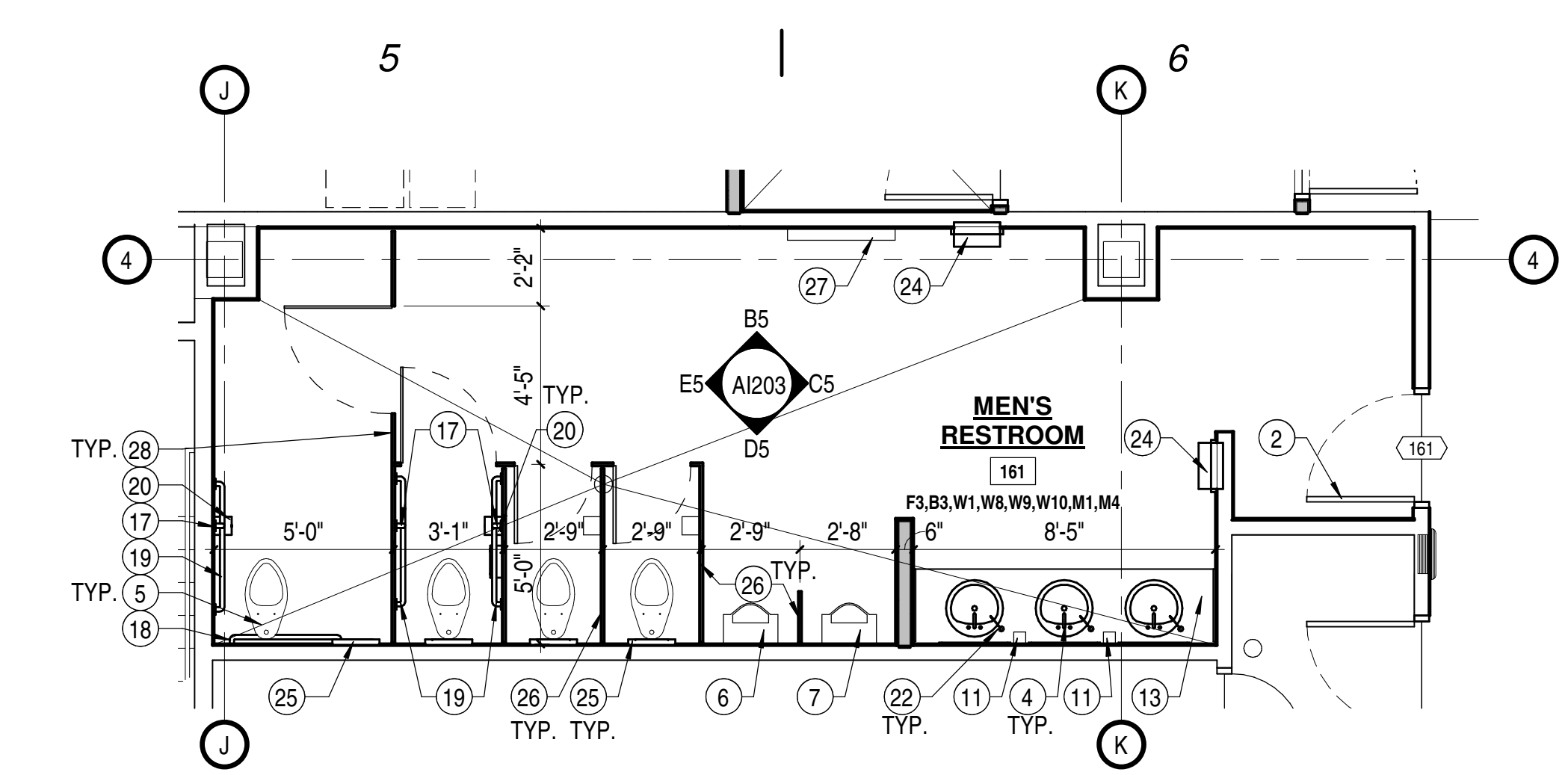
B3 WOMEN'S RESTROOM - 160
A1203 | SCALE: 1/4" = 1'-0"



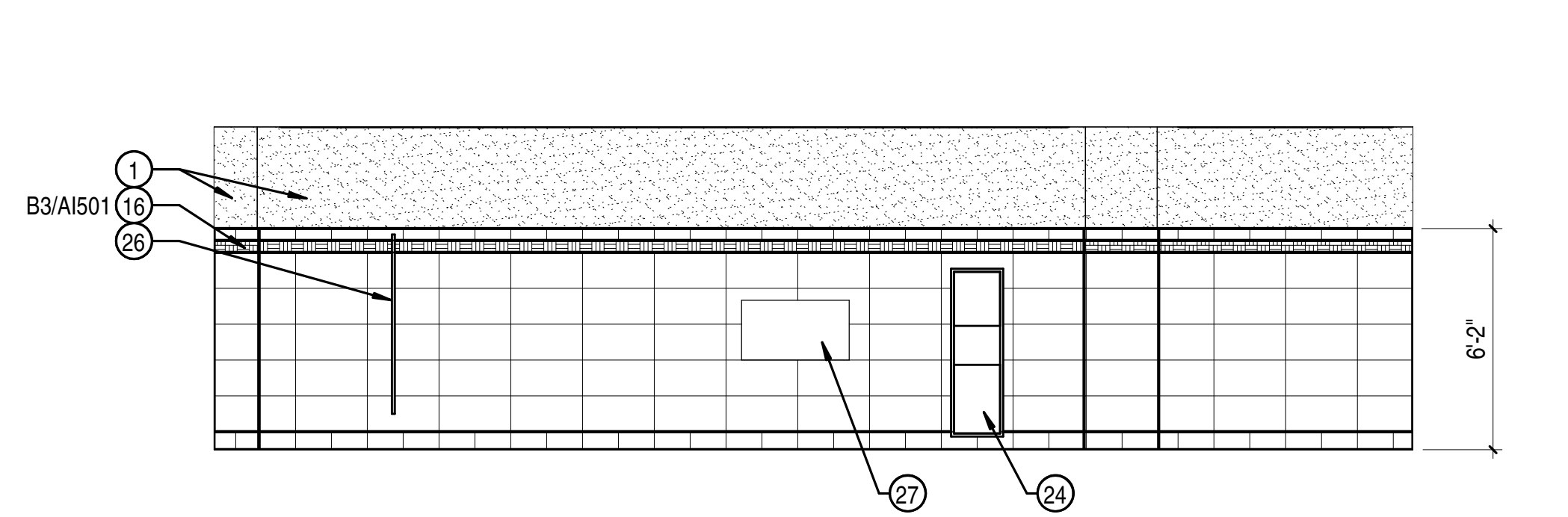
C3 WOMEN'S RESTROOM - 160
A1203 | SCALE: 1/4" = 1'-0"

D3 WOMEN'S RESTROOM - 160
A1203 | SCALE: 1/4" = 1'-0"

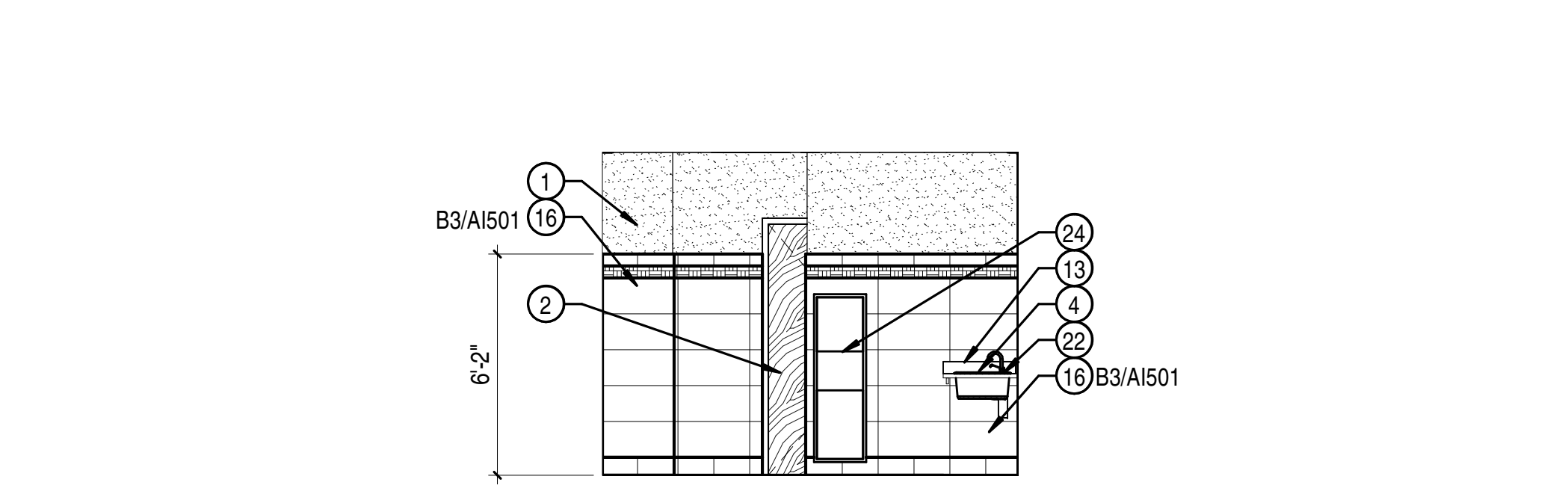
E3 WOMEN'S RESTROOM - 160
A1203 | SCALE: 1/4" = 1'-0"



A5 MEN'S RESTROOM - 161
A1203 | SCALE: 1/4" = 1'-0"



B5 MEN'S RESTROOM - 161
A1203 | SCALE: 1/4" = 1'-0"



C5 MEN'S RESTROOM - 161
A1203 | SCALE: 1/4" = 1'-0"

D5 MEN'S RESTROOM - 161
A1203 | SCALE: 1/4" = 1'-0"

E5 MEN'S RESTROOM - 161
A1203 | SCALE: 1/4" = 1'-0"

GENERAL NOTES

- NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- SEE FLOOR PLANS AND A601 FOR DOOR INFORMATION.
- GENERAL CONTRACTOR SHALL REVIEW AND APPROVE ALL APPLIANCES WITH OWNER PRIOR TO PURCHASING EQUIPMENT AND FABRICATING MILLWORK.
- SEE A001 FOR WALL TYPES. SEE G001 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION. WALL TYPES SHOWN DO NOT ADDRESS CERAMIC TILE INSTALLATION ON WALL SURFACES AS SHOWN ON THE FLOOR PLANS. REFER TO THE CURRENT EDITION OF THE HANDBOOK FOR CERAMIC TILE INSTALLATION PUBLISHED BY THE TILE COUNCIL OF AMERICA, INC. FOR PROPER INSTALLATION MATERIALS AND METHODS. TILE TO BE INSTALLED OVER TILE BACKER BOARD OR CODE COMPLIANT GYPSUM BOARD (DENSIELD) OR EQUIVALENT.
- SEE DETAILS G002 FOR TYPICAL FIXTURE MOUNTING HEIGHTS. PROVIDE BACKING/BLOCKING FOR WALL MOUNTED ITEMS-INCLUDING GRAB BARS, HANDRAILS, TELEVISIONS, SIGNAGE AND EQUIPMENT AS REQUIRED.
- SEE A1101 FOR FINISH DESIGNATIONS.
- GYPSUM BOARD WALLS AND CEILING SHALL HAVE A SMOOTH LEVEL 5 FINISH (EXISTING AND NEW). DRYWALL CORNERS ARE TO BE SQUARE.
- DO NOT SCALE DRAWINGS.

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| <p>233 SOUTH PLEASANT GROVE BLVD. PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p> | <p>DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT</p> |
| | <p>PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL</p> <p>4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120</p> |
| <p>SHEET DESCRIPTION: INTERIOR ELEVATIONS</p> | <p>SHEET: A1203</p> |

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| MARK | REVISION | DATE |
|------|----------------------|----------|
| 1 | ADDENDUM #02 | 05/12/22 |
| 2 | PROPOSAL REQUEST #01 | 07/21/22 |

SHEET NOTES

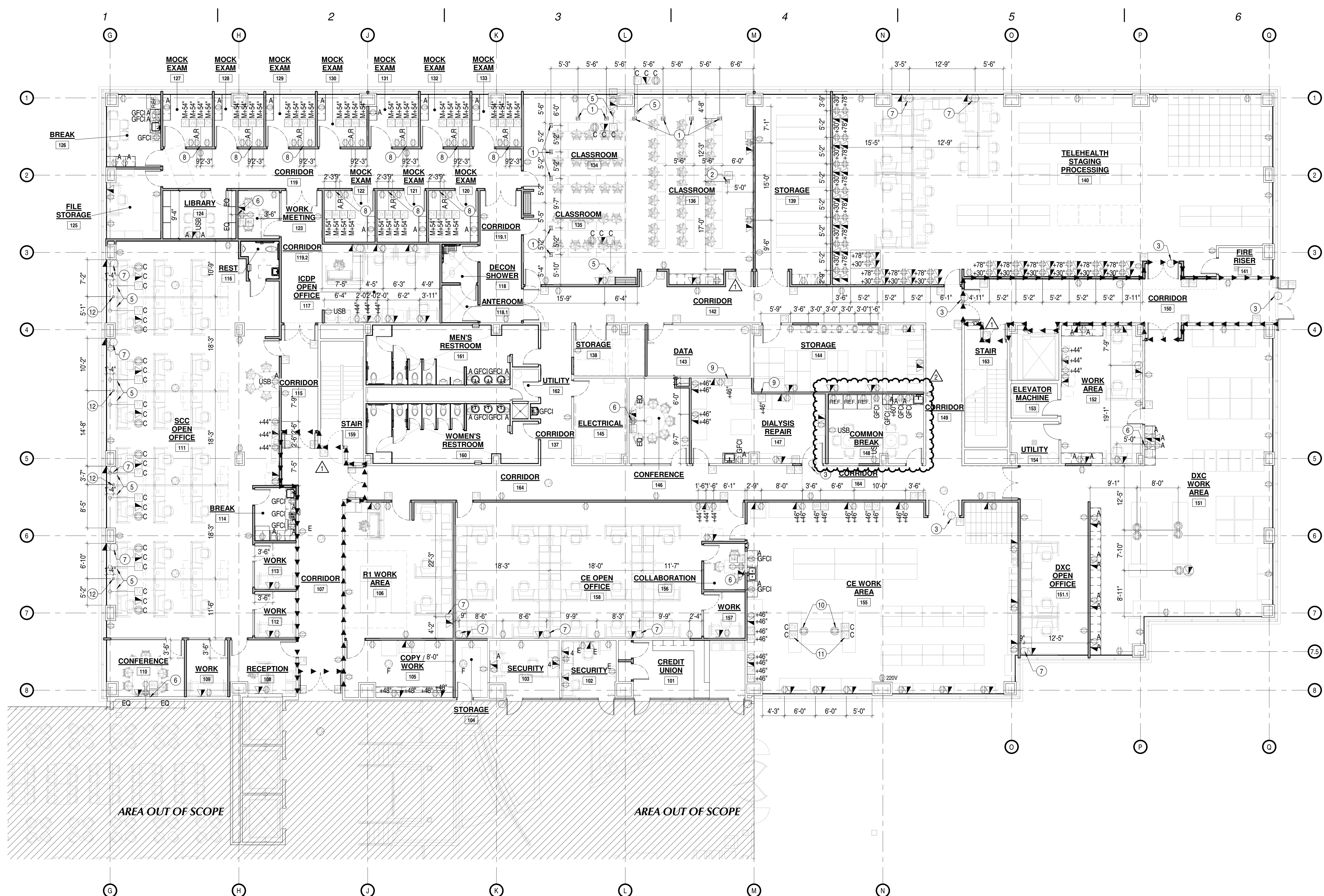
- FLOOR BOX WITH POWER AND DATA WITH NORMAL TERMINATIONS. VERIFY ALL DETAILS WITH ELECTRICAL AND FURNITURE SUPPLIER.
- FLOOR BOX WITH POWER, DATA, AND AUDIO VISUAL CONNECTIONS WITH NORMAL TERMINATIONS. VERIFY ALL DETAILS WITH ELECTRICAL AND FURNITURE SUPPLIER.
- PROVIDE POWER AND ALL INFRASTRUCTURE FOR ADA DOOR OPENER (PB) AND CARD READER (CR) AS REQUIRED. COORDINATE ALL DETAILS BETWEEN TRADES.
- PROVIDE POWER AND DATA ABOVE COPY ROOM WORK SURFACE. ORIENT ELECTRICAL BOXES HORIZONTALLY. COORDINATE ALL DETAILS AND HEIGHT WITH OWNER'S FURNITURE SUPPLIER (MIDWEST).
- CEILING MOUNTED TELEVISION. SEE AUDIO VISUAL DRAWINGS FOR ADDITIONAL INFORMATION.
- WALL MOUNTED TELEVISION. SEE AUDIO VISUAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE POWER FROM WALL WITH FURNITURE WHIPS. VERIFY ALL DETAILS WITH ELECTRICAL AND FURNITURE SUPPLIER.
- PROVIDE MED GAS OUTLETS AS INDICATED. INSTALL MED GAS OUTLETS TIGHT TOGETHER AT THE HEIGHT INDICATED. MED GAS OUTLETS IN MOCK EXAM ROOMS ARE THE OUTLETS ONLY AND DO NOT REQUIRE PLUMBING. SEE MED GAS DRAWINGS IN PLUMBING SERIES.
- DIALYSIS WALL BOX - VERIFY HEIGHT WITH OWNER. SEE PLUMBING.
- PROVIDE CEILING MOUNTED ELECTRICAL REEL. SEE A151 FOR MORE PRECISE POSITIONING WITHIN CEILING SYSTEM AND ELECTRICAL DRAWINGS.
- PROVIDE CEILING MOUNTED MED GAS (REELS). SEE A151 FOR MORE PRECISE POSITIONING WITHIN CEILING SYSTEM AND MED GAS DRAWINGS.
- PROVIDE POKE THROUGH SLEEVE FROM WALL THROUGH RAISED ACCESS FLOOR TO CUBICLE PANEL AS DIMENSIONED AND AS REQUIRED. SEE ELECTRICAL.

SYMBOL LEGEND

- E EXISTING DEVICE
- A ABOVE COUNTER (+42" TO CENTER OF BOX A.F.F.)
- R RED ELECTRICAL DEVICE (MOCK EMERGENCY)-SEE ELECTRICAL
- M MOCK MED GAS OUTLET (NO MED GASES PLUMBED TO OUTLET)
- C INDICATES DEVICE IS BE MOUNTED IN CEILING
- ⊕ DUPLEX RECEPTACLE-SEE ELECTRICAL
- ⊕ FOURPLEX RECEPTACLE-SEE ELECTRICAL
- 220V ⊕ CEILING MOUNTED DUPLEX RECEPTACLE-SEE ELECTRICAL
- ⊕ CEILING MOUNTED DUPLEX RECEPTACLE-SEE ELECTRICAL
- GFCI ⊕ GFCI PROTECTED RECEPTACLE
- ⏏ LIGHT SWITCH-SEE ELECTRICAL
- ☎ PHONE
- ▼ DATA-SEE ELECTRICAL FOR QUANTITIES AND ADDITIONAL DETAILS
- CR CARD READER-SEE DOOR HARDWARE
- MO MAG HOLD OPEN -REQUIRES LINE VOLTAGE
- MS MOTION SENSOR FOR ADA DOOR OPENER
- TV TELEVISION CONNECTIONS - SEE AUDIO VISUAL
- MO MED GAS (OXYGEN) OUTLET - SEE PLUMBING
- MA MED GAS (MEDICAL AIR) OUTLET - SEE PLUMBING
- MB MED GAS (VACUUM) OUTLET - SEE PLUMBING
- MC MED GAS (VACUUM CANISTER) BRACKET ATTACHMENT
- MD DIALYSIS BOX WITH WASHER BOX - SEE PLUMBING
- ME FLOOR BOXES - SEE ELECTRICAL
- MA AUDIO VISUAL CONNECTIONS - SEE AUDIO VISUAL
- LV LINE VOLTAGE FOR ADA OPERATOR (PROVIDE POWER ON THE DOOR LEAF DESIGNATED) OR HARDWARE FURNITURE FEED AS REQUIRED
- SC SECURITY CAMERA-BY OWNER LOW VOLTAGE AS PER ELECTRICAL
- * RAISED PANEL POKE THROUGH SLEEVE

GENERAL NOTES

- THE INTENT OF THIS DRAWING IS TO PROVIDE SUPPLEMENTAL LOCATION AND DIMENSIONAL INFORMATION FOR CERTAIN ELECTRICAL AND PLUMBING DEVICES. IT IS NOT INTENDED TO SUPERSEDE ELECTRICAL OR PLUMBING INFORMATION OR SHEETS. REFER TO THE ELECTRICAL AND PLUMBING SHEETS FOR ADDITIONAL INFORMATION.
- SEE G001 DIMENSION NOTES. DIMENSIONS TO FLOOR BOXES AND OTHER ELECTRICAL DEVICES ARE TO THE CENTERLINE OF THE COVER PLATES / BOXES. DIMENSIONS TO NOTIFY ARCHITECT IF MORE THAN A 2" DISCREPANCY IS FOUND. COORDINATE ALL DETAILS WITH FURNITURE SUPPLIER IN THE FIELD.
- PROVIDE GFCI OUTLETS WHERE REQUIRED BY CODE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL DEVICES NEEDING TO BE ACCESSED, SHALL MEET ADA ACCESSIBLE REACH RANGES. SEE G002 FOR STANDARD HEIGHTS.
- PROVIDE LIGHT SWITCHES IN UNIQUE LOCATIONS WHERE REQUIRED AS SHOWN ON THE PLAN.
- FURNITURE AND OTHER EQUIPMENT IS SHOWN WITH LIGHT LINES FOR REFERENCE AND COORDINATION AND, UNLESS NOTED OTHERWISE ELSEWHERE IN THE PLAN SET, IS TO BE CONSIDERED O.F.O.I.
- CAMERAS SHOWN ARE NEW AND ARE TO BE PROVIDED BY OWNER'S VENDOR. PROVIDE DATA TO ALL CAMERAS. SOME LOCATIONS MATCH EXISTING LOCATIONS, BUT NEW CABLING IS REQUIRED TO ALL DEVICES. SEE ELECTRICAL.
- COORDINATE ALL CARD READER AND OPENER DETAILS WITH OWNER'S INTEGRATOR VENDOR. CONTRACTOR TO PROVIDE CONDUIT AS REQUIRED.



D2 ARCHITECTURAL POWER PLAN - LEVEL 1
 AP101 | SCALE: 1/8" = 1'-0"

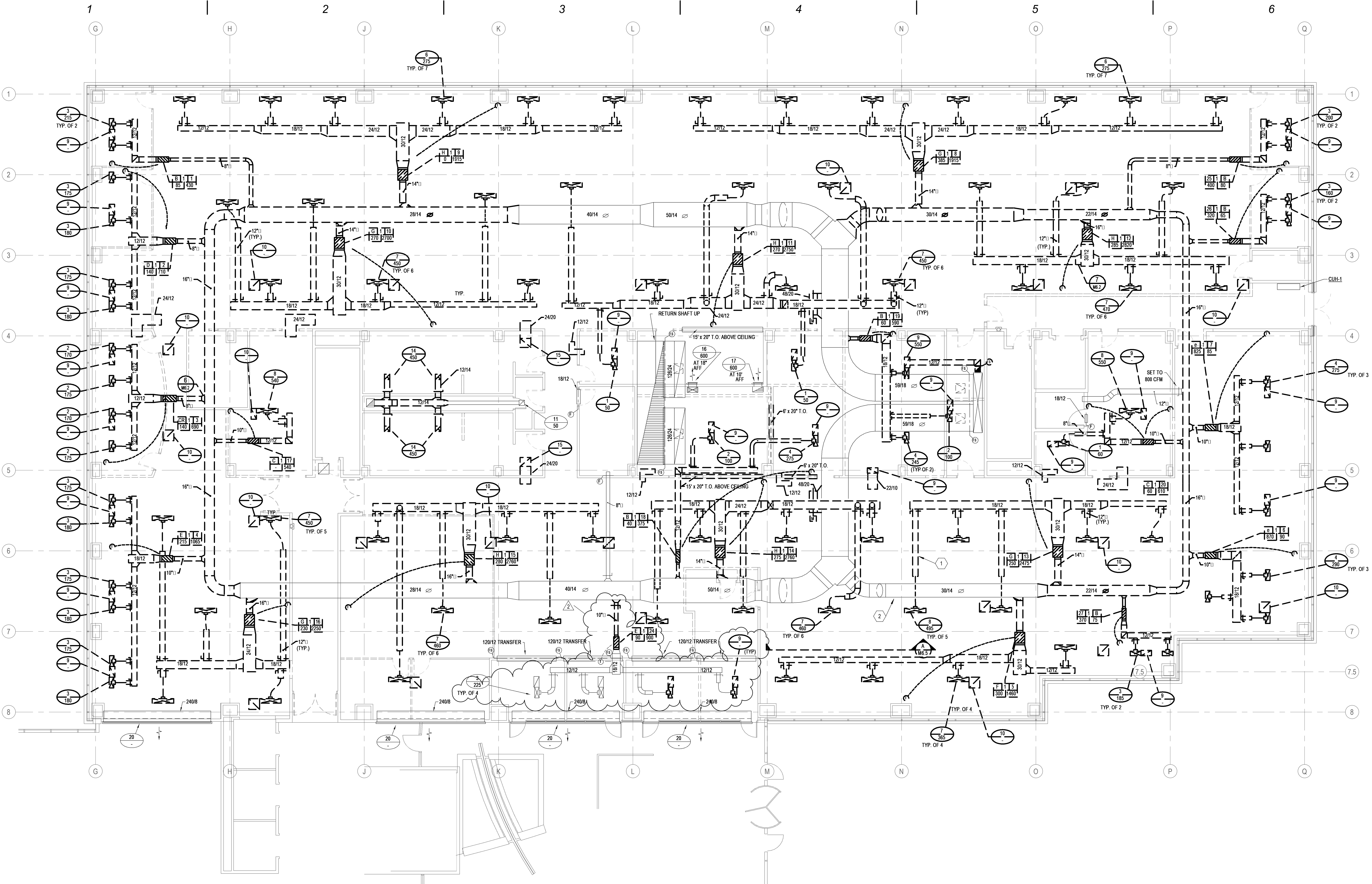
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| <p>233 SOUTH PLEASANT GROVE BLVD. PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p> | DATE: 19 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT |
| | PROJECT: INTERMOUNTAIN LAKE PARK NORTH LEVEL 1 REMODEL 4848 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120 |
| SHEET DESCRIPTION: POWER PLAN - LEVEL 1 | SHEET: AP101 |

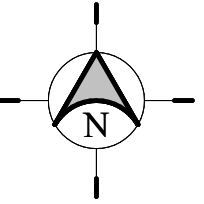
| MARK | REVISION | DATE |
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| 2 | RFI-003 | 07-08-22 |
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| | | |

KEYED NOTES

- EXISTING ELEMENTS SHOWN DARK WITH DASHED LINES TO BE DEMOLISHED, TYPICAL DUCTWORK TO BE PATCHED AND SEALED.
- EXISTING ELEMENTS SHOWN LIGHT TO REMAIN, TYPICAL.



1 MECHANICAL PLAN DEMO LEVEL 1
MD101 | SCALE: 1/8" = 1'-0"

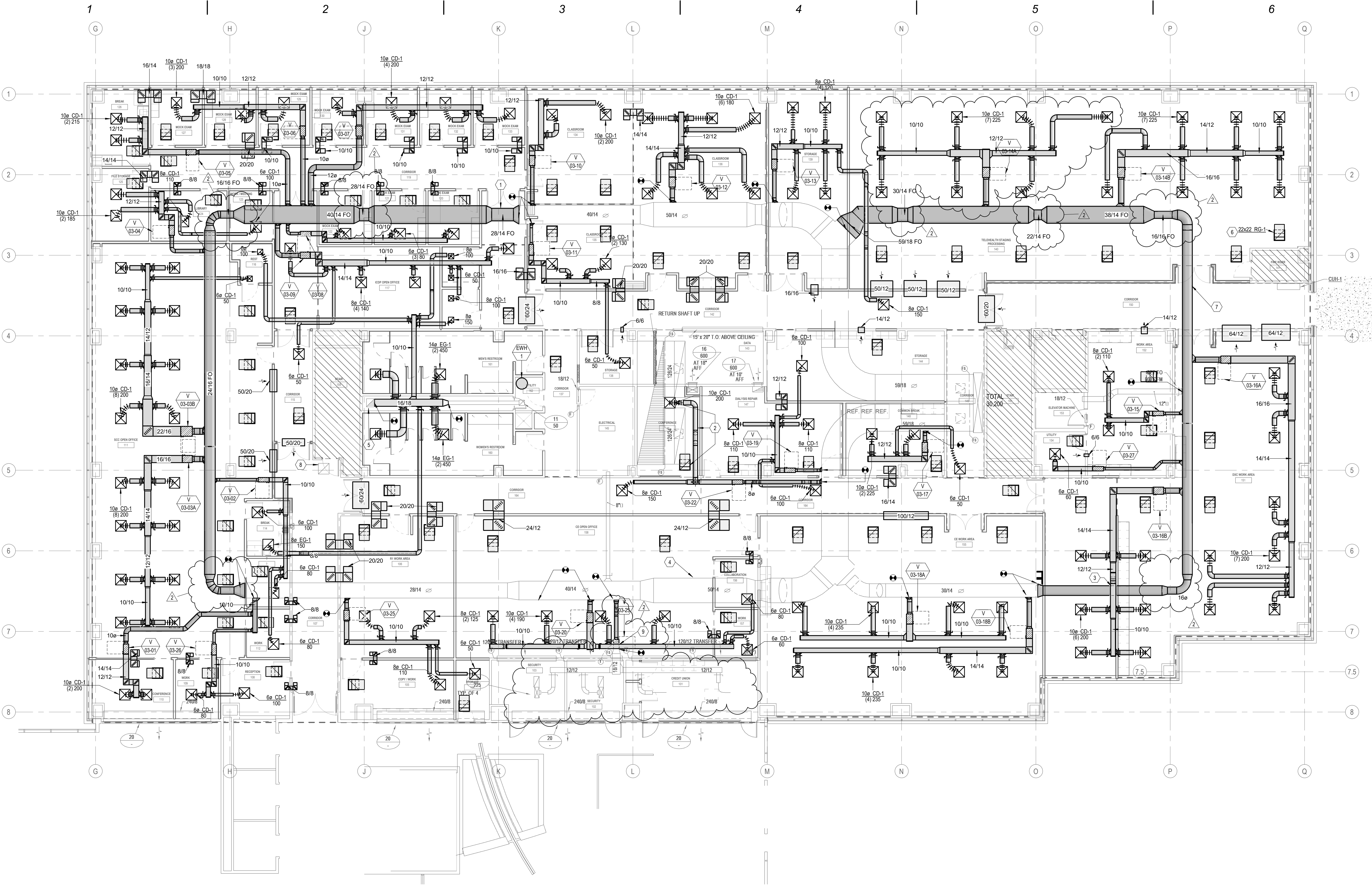


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| <p>233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84402 PHONE: (801) 769-3000 cma@cmautah.com</p> | <p>DATE: 12 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT</p> |
| | <p>PROJECT: INTERMOUNTAIN LAKE PARK LEVEL 1 - NORTH REMODEL</p> <p>4646 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120</p> |
| <p>SHEET DESCRIPTION: MECHANICAL DEMO PLAN LEVEL 1</p> | <p>SHEET: MD101</p> |

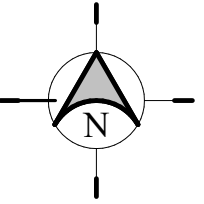
| MARK | REVISION | DATE |
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| 2 | RFI-003 | 07-08-22 |
| | | |
| | | |

KEYED NOTES

- DUCT TO RUN THROUGH EXISTING BEAM OPENING.
- FIELD VERIFY CEILING HEIGHT TO ENSURE PROPER CLEARANCE FOR MECHANICAL EQUIPMENT IN THIS AREA.
- INSTALL OFFSETS AS NECESSARY TO ACCOMMODATE EXISTING ELEMENTS.
- EXISTING ELEMENTS SHOWN LIGHT, TYPICAL.
- EXISTING EXHAUST FAN (EF-3) WAS SCHEDULED WITH 7200 CFM @ 0.85 SP; HOWEVER, EXISTING DRAWINGS ONLY SHOW 3800 CFM CONNECTED. TEST AND BALANCE CONTRACTOR SHALL MEASURE EXISTING AIRFLOW AND STATIC AT EF-3 TO DETERMINE IF CHANGES ARE REQUIRED. PROVIDE A NEW FAN OR MOTOR SIZE TO ACCOMMODATE ADDITIONAL AIRFLOWS THAT ARE BEING ADDED ON THIS FLOOR.
- 24x24 PLENUM BOOTED RETURN GRILLES, TYPICAL.
- INSTALL ABOVE FIRE RATED CEILING.
- FIRE SMOKE DAMPER.
- COORDINATE TRANSITION AND ELEVATION WITH HEIGHT OF EXISTING VAV BOX.



1 MECHANICAL PLAN LEVEL 1
MH101 | SCALE: 1/8" = 1'-0"



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| <p>233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p> | <p>DATE: 12 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT</p> |
| | <p>PROJECT: INTERMOUNTAIN LAKE PARK LEVEL 1 - NORTH REMODEL</p> <p>4646 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120</p> |
| <p>SHEET DESCRIPTION: MECHANICAL PLAN LEVEL 1</p> | <p>SHEET: MH101</p> |

| MARK | REVISION | DATE |
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| 1 | Addendum #2 | 05-11-22 |
| 2 | RFI-003 | 07-08-22 |
| | | |

VAV BOX SCHEDULE

| ID | Manufacturer | Inlet Size | Cooling Airflow | Heating Airflow | Min Airflow | Entering Air Temp | Leaving Air Temp | S.P. Loss at Max CFM | Flow Rate | Entering Water Temp | Leaving Water Temp | Working Fluid | Head Loss Feet | Min. Number of Rows/Fins Per Inch | Valve Type | Branch Pipe Diameter | Notes |
|----------|--------------|------------|-----------------|-----------------|-------------|-------------------|------------------|----------------------|-----------|---------------------|--------------------|---------------|----------------|-----------------------------------|-------------|----------------------|-------|
| V-03-01 | TITUS-ESV-3 | 8" | 400 CFM | 400 CFM | 145 CFM | 55 °F | 103 °F | 0.16 | 1.5 GPM | 180 °F | 156 °F | WATER | 0.4775 | 2/10 | 3 Way Valve | 3/4" | 1-5 |
| V-03-02 | TITUS-ESV-3 | 6" | 260 CFM | 240 CFM | 80 CFM | 55 °F | 108 °F | 0.054 | 1.0 GPM | 180 °F | 157 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-03A | TITUS-ESV-3 | 12" | 1600 CFM | 960 CFM | 325 CFM | 55 °F | 99 °F | 0.515 | 2.5 GPM | 180 °F | 149 °F | WATER | 0.95 | 2/10 | 3 Way Valve | 3/4" | 1-5 |
| V-03-03B | TITUS-ESV-3 | 14" | 1650 CFM | 1320 CFM | 450 CFM | 55 °F | 98 °F | 0.285 | 3.0 GPM | 180 °F | 145 °F | WATER | 0.95 | 2/10 | 3 Way Valve | 3/4" | 1-5 |
| V-03-04 | TITUS-ESV-3 | 8" | 580 CFM | 420 CFM | 145 CFM | 55 °F | 102 °F | 0.302 | 1.5 GPM | 180 °F | 156 °F | WATER | 0.4775 | 2/10 | 3 Way Valve | 3/4" | 1-5 |
| V-03-05 | TITUS-ESV-3 | 8" | 430 CFM | 420 CFM | 145 CFM | 55 °F | 102 °F | 0.181 | 1.5 GPM | 180 °F | 156 °F | WATER | 0.4775 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-06 | TITUS-ESV-3 | 8" | 600 CFM | 420 CFM | 145 CFM | 55 °F | 102 °F | 0.32 | 1.5 GPM | 180 °F | 156 °F | WATER | 0.4775 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-07 | TITUS-ESV-3 | 10" | 800 CFM | 660 CFM | 230 CFM | 55 °F | 101 °F | 0.27 | 2.0 GPM | 180 °F | 152 °F | WATER | 0.47 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-08 | TITUS-ESV-3 | 6" | 240 CFM | 240 CFM | 80 CFM | 55 °F | 108 °F | 0.048 | 1.0 GPM | 180 °F | 157 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-09 | TITUS-ESV-3 | 10" | 780 CFM | 660 CFM | 230 CFM | 55 °F | 101 °F | 0.25 | 2.0 GPM | 180 °F | 152 °F | WATER | 0.47 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-10 | TITUS-ESV-3 | 8" | 400 CFM | 400 CFM | 145 CFM | 55 °F | 103 °F | 0.16 | 1.5 GPM | 180 °F | 156 °F | WATER | 0.4775 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-11 | TITUS-ESV-3 | 6" | 310 CFM | 240 CFM | 80 CFM | 55 °F | 108 °F | 0.076 | 1.0 GPM | 180 °F | 157 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-12 | TITUS-ESV-3 | 10" | 1080 CFM | 860 CFM | 230 CFM | 55 °F | 101 °F | 0.472 | 2.0 GPM | 180 °F | 152 °F | WATER | 0.47 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-13 | TITUS-ESV-3 | 8" | 630 CFM | 420 CFM | 145 CFM | 55 °F | 102 °F | 0.347 | 1.5 GPM | 180 °F | 156 °F | WATER | 0.4775 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-14A | TITUS-ESV-3 | 12" | 1575 CFM | 960 CFM | 325 CFM | 55 °F | 99 °F | 0.50125 | 2.5 GPM | 180 °F | 149 °F | WATER | 0.95 | 2/10 | 3 Way Valve | 3/4" | 1-5 |
| V-03-14B | TITUS-ESV-3 | 12" | 1575 CFM | 960 CFM | 325 CFM | 55 °F | 99 °F | 0.50125 | 2.5 GPM | 180 °F | 149 °F | WATER | 0.95 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-15 | TITUS-ESV-3 | 6" | 220 CFM | 220 CFM | 80 CFM | 55 °F | 110 °F | 0.044 | 1.0 GPM | 180 °F | 158 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-16A | TITUS-ESV-3 | 12" | 1400 CFM | 960 CFM | 325 CFM | 55 °F | 99 °F | 0.41 | 2.5 GPM | 180 °F | 149 °F | WATER | 0.95 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-16B | TITUS-ESV-3 | 12" | 1200 CFM | 960 CFM | 325 CFM | 55 °F | 99 °F | 0.315 | 2.5 GPM | 180 °F | 149 °F | WATER | 0.95 | 2/10 | 3 Way Valve | 3/4" | 1-5 |
| V-03-17 | TITUS-ESV-3 | 8" | 500 CFM | 420 CFM | 145 CFM | 55 °F | 102 °F | 0.23 | 1.5 GPM | 180 °F | 156 °F | WATER | 0.4775 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-18A | TITUS-ESV-3 | 10" | 940 CFM | 660 CFM | 230 CFM | 55 °F | 101 °F | 0.358 | 2.0 GPM | 180 °F | 152 °F | WATER | 0.47 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-18B | TITUS-ESV-3 | 10" | 940 CFM | 660 CFM | 230 CFM | 55 °F | 101 °F | 0.358 | 2.0 GPM | 180 °F | 152 °F | WATER | 0.47 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-19 | TITUS-ESV-3 | 6" | 420 CFM | 240 CFM | 80 CFM | 55 °F | 108 °F | 0.132 | 1.0 GPM | 180 °F | 157 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-20 | TITUS-ESV-3 | 10" | 900 CFM | 660 CFM | 230 CFM | 55 °F | 101 °F | 0.33 | 2.0 GPM | 180 °F | 152 °F | WATER | 0.47 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-21 | TITUS-ESV-3 | 6" | 200 CFM | 200 CFM | 80 CFM | 55 °F | 113 °F | 0.04 | 1.0 GPM | 180 °F | 159 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-22 | TITUS-ESV-3 | 6" | 350 CFM | 240 CFM | 80 CFM | 55 °F | 108 °F | 0.1 | 1.0 GPM | 180 °F | 157 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-23 | TITUS-ESV-3 | 8" | 450 CFM | 420 CFM | 145 CFM | 52 °F | 100 °F | 0.195 | 1.5 GPM | 180 °F | 155 °F | WATER | 0.4775 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-25 | TITUS-ESV-3 | 8" | 410 CFM | 410 CFM | 145 CFM | 55 °F | 102 °F | 0.167 | 1.5 GPM | 180 °F | 156 °F | WATER | 0.4775 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-26 | TITUS-ESV-3 | 6" | 180 CFM | 180 CFM | 80 CFM | 55 °F | 116 °F | 0.032 | 1.0 GPM | 180 °F | 160 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |
| V-03-27 | TITUS-ESV-3 | 6" | 60 CFM | 60 CFM | 80 CFM | 55 °F | 146 °F | 0.01 | 1.0 GPM | 180 °F | 170 °F | WATER | 0.12 | 2/10 | 2 Way Valve | 3/4" | 1-5 |

1. MAXIMUM DISCHARGE NC AT BOX DIFFERENTIAL PRESSURE BASED ON ARI STANDARD 880-89
2. COIL HEATING CAPACITY BASED ON HEATING MAXIMUM AIR FLOW (80% OF MAXIMUM COOLING CFM).
3. MINIMUM CFM IS LOWEST CONTROLLABLE CFM SETTING (BASED ON 400 FPM INLET VELOCITY).
4. MAXIMUM STATIC PRESSURE DROP PERMISSIBLE ACROSS BOX AND COIL AT MAXIMUM COOLING CFM.
5. PRESSURE INDEPENDENT TYPE BOX.

DIFFUSERS, REGISTERS, AND GRILLES

| Diffuser Callout | Manufacturer | Model | Max NC | Description |
|------------------|--------------|-------|--------|--|
| CD-1 | PRICE | SPD | 30 | SQUARE PLAQUE FACE CEILING DIFFUSERS: REMOVABLE FACE, FRAME SHALL BE FOR LAY-IN MOUNTING OR SURFACE MOUNT AS REQUIRED BY CEILING TYPE. LAY-IN FRAMES SHALL BE 24"X24" OR 12"X12" AS REQUIRED TO FIT CEILING TILE SPACE AVAILABLE. HARD LID CEILING TO BE 24"X24" OR 12"X12" AS REQUIRED TO FIT CEILING SPACE AVAILABLE WITH LAY-IN PLASTER FRAME. FINISH AS SELECTED BY ARCHITECT. |
| EG-1 | PRICE | PDDR | 30 | PERFORATED GRILLE: FRAME SHALL BE FOR LAY-IN MOUNTING OR SURFACE MOUNT AS REQUIRED BY CEILING TYPE. LAY-IN FRAMES SHALL BE 24"X24" OR 24"X12" TO FIT CEILING SPACE AVAILABLE. HARD LID CEILING TO BE 24"X24" OR 12"X12" AS REQUIRED TO FIT CEILING SPACE AVAILABLE. PROVIDE ROUND/RECTANGULAR NECK SIZE AS INDICATED ON DRAWINGS. FINISH AS SELECTED BY ARCHITECT. |
| RG-1 | PRICE | PDDR | | PERFORATED GRILLE: FRAME SHALL BE FOR LAY-IN MOUNTING OR SURFACE MOUNT AS REQUIRED BY CEILING TYPE. LAY-IN FRAMES SHALL BE 24"X24" OR 24"X12" TO FIT CEILING SPACE AVAILABLE. HARD LID CEILING TO BE 24"X24" OR 12"X12" AS REQUIRED TO FIT CEILING SPACE AVAILABLE. PROVIDE ROUND/RECTANGULAR NECK SIZE AS INDICATED ON DRAWINGS. FINISH AS SELECTED BY ARCHITECT. |

SEQUENCE OF OPERATION

Variable Air Volume - Terminal Unit

Run Conditions - Scheduled:
The unit shall run according to a user definable time schedule in the following modes:

- Occupied Mode: The unit shall maintain
 - A 75°F (adj.) cooling setpoint
 - A 70°F (adj.) heating setpoint.
- Unoccupied Mode (night setback): The unit shall maintain
 - A 85°F (adj.) cooling setpoint.
 - A 55°F (adj.) heating setpoint.

Alarms shall be provided as follows:

- High Zone Temp: If the zone temperature is greater than the cooling setpoint by a user definable amount (adj.).
- Low Zone Temp: If the zone temperature is less than the heating setpoint by a user definable amount (adj.).

Zone Setpoint Adjust:
The occupant shall be able to adjust the zone temperature heating and cooling setpoints at the zone sensor.

Zone Optimal Start:
The unit shall use an optimal start algorithm for morning start-up. This algorithm shall minimize the unoccupied warm-up or cool-down period while still achieving comfort conditions by the start of scheduled occupied period.

Zone Unoccupied Override:
A timed local override control shall allow an occupant to override the schedule and place the unit into an occupied mode for an adjustable period of time. At the expiration of this time, control of the unit shall automatically return to the schedule.

Reversing Variable Volume Terminal Unit - Flow Control:
The unit shall maintain zone setpoints by controlling the airflow through one of the following:

Occupied:

- When zone temperature is greater than its cooling setpoint, the zone damper shall modulate between the minimum occupied airflow (adj.) and the maximum cooling airflow (adj.) until the zone is satisfied.
- When the zone temperature is between the cooling setpoint and the heating setpoint, the zone damper shall maintain the minimum required zone ventilation (adj.).
- When zone temperature is less than its heating setpoint, the controller shall enable heating to maintain the zone temperature at its heating setpoint. Additionally, if warm air is available from the AHU, the zone damper shall modulate between the minimum occupied airflow (adj.) and the maximum heating airflow (adj.) until the zone is satisfied.

Unoccupied:

- When the zone is unoccupied the zone damper shall control to its minimum unoccupied airflow (adj.).
- When the zone temperature is greater than its cooling setpoint, the zone damper shall modulate between the minimum unoccupied airflow (adj.) and the maximum cooling airflow (adj.) until the zone is satisfied.
- When zone temperature is less than its unoccupied heating setpoint, the controller shall enable heating to maintain the zone temperature at the setpoint. Additionally, if warm air is available from the AHU, the zone damper shall modulate between the minimum unoccupied airflow (adj.) and the auxiliary heating airflow (adj.) until the zone is satisfied.


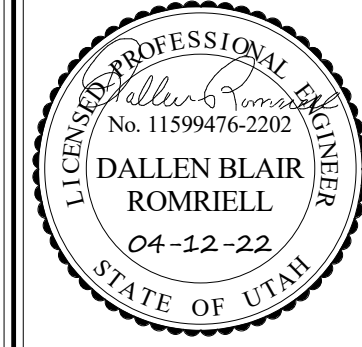
Reheating Coil Valve:
The controller shall measure the zone temperature and modulate the reheating coil valve open on dropping temperature to maintain its heating setpoint.

When cold air is available from the AHU and there is no fan present in the box, the zone damper shall modulate to the minimum occupied airflow (adj.). If more heat is required, the zone damper shall modulate to the auxiliary heating airflow (adj.).

Perimeter Heating Coil Valve:
The controller shall measure the zone temperature and modulate the perimeter heating coil valve open on dropping temperature to maintain its heating setpoint.

CONTROLS POINT LIST

| Point Name | Hardware Points | | | | Software Points | | | | | | Show On Graphic | |
|-------------------------|-----------------|----|----|----|-----------------|----|------|-------|-------|-------|-----------------|---|
| | AI | AO | BI | BO | AV | BV | Loop | Sched | Trend | Alarm | | |
| Airflow | x | | | | | | | | | x | | x |
| Zone Setpoint Adjust | x | | | | | | | | | | | x |
| Zone Temp | x | | | | | | | | | x | | x |
| Perimeter Heating Valve | | x | | | | | | | | x | | x |
| Reheating Valve | | x | | | | | | | | x | | x |
| Zone Damper | | x | | | | | | | | x | | x |
| Zone Override | | | x | | | | | | | x | | x |
| Airflow Setpoint | | | | | x | | | | | x | | x |
| Cooling Setpoint | | | | | x | | | | | x | | x |
| Heating Setpoint | | | | | x | | | | | x | | x |
| Reheat Mode | | | | | | x | | | | x | | |
| Override | | | | | | | | | x | | | |
| High Zone Temp | | | | | | | | | | | x | |
| Low Zone Temp | | | | | | | | | | | x | |

| | |
|---|---|
|  <p>233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p> | DATE: 12 APRIL 2022 PROJECT #: 21-099 PROJ. MAN.: JSJ CHECKED BY: GWT |
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| PROJECT: INTERMOUNTAIN LAKE PARK LEVEL 1 - NORTH REMODEL |  |
| 4646 LAKE PARK BLVD WEST VALLEY CITY, UTAH 84120 | SHEET: MH601 |
| SHEET DESCRIPTION: MECHANICAL SCHEDULES | |