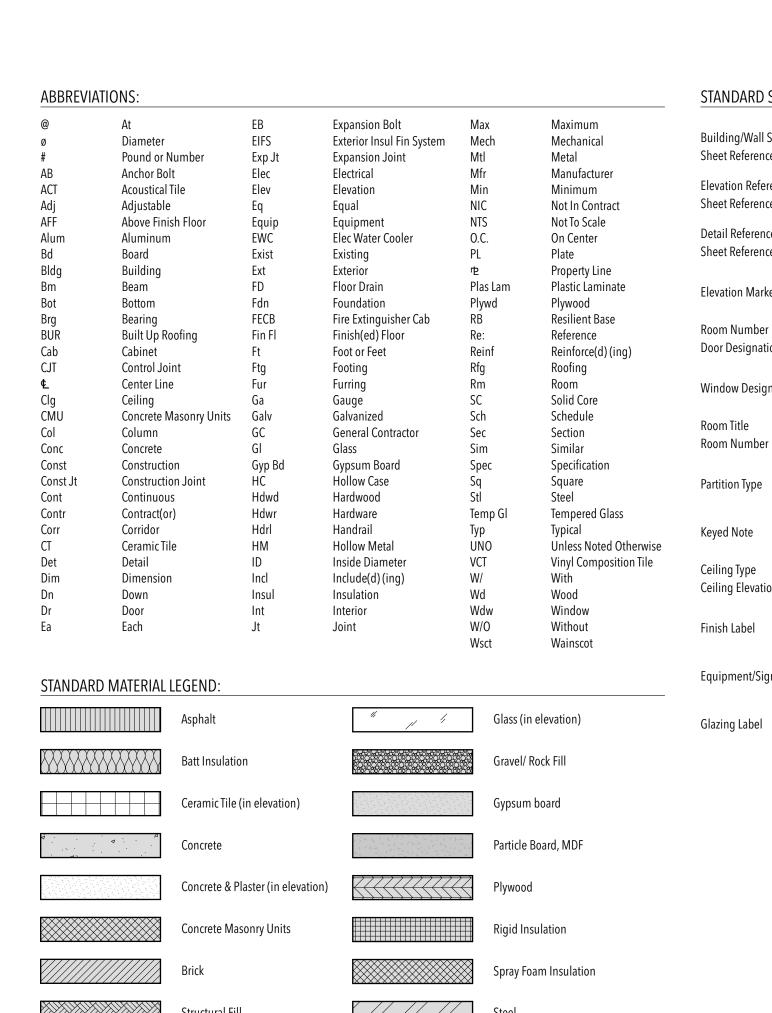
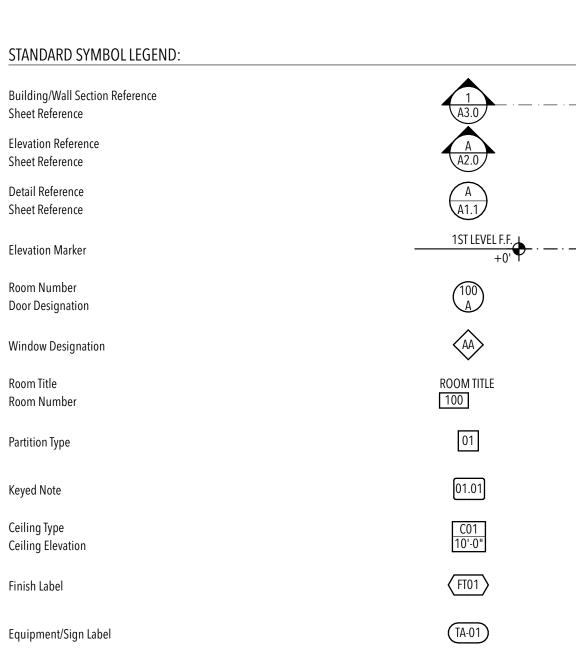
LOGAN YSA CORRIDOR FINISHES

Wood Framing (cont. member)

Wood Framing (interrupted

LOGAN, UT





 $\langle A \rangle$



PROJECT DESCRIPTION:

Interior remodel of existing building including but not limited to replacement of interior finishes and drinking fountains.





VICINITY MAP:

PROJECT LOCATION

PROJECT LOCATION

1000 N

LOGA

STUDIO 333 ARCHITECTS333 24TH STREET
OGDEN, UT 84401
801.394.3033



NOTES TO BIDDERS:

- 1. This sheet contains a list of drawings which comprise a full set of drawings for this project. Any Contractor, Subcontractor, Vendor or any other person participating in or bidding on this project shall be responsible for the information contained on any and all sheets of drawings and specifications. If any person, party or entity elects to submit bids for any portion, or all, of this project, that person, party or entity shall be responsible for any and all information contained in these drawings and specifications, including, but not limited to, any subsequent addendums or clarifications that may be issued.
- regardless of where it shown on the drawings or in the specifications.

 3. Everything specified in these documents shall be "new" and provided by the Contractor, Subcontractor, Vendor or any other person participating in or bidding on this project unless noted otherwise as "existing" (exist), "not in contract" (nic), or for reference only.

These documents describe the design intent. It is the Contractor's responsibility to provide everything specified on the drawings

GENERAL NOTES:

- It is the Contractor's responsibility to review and coordinate the work of all Subcontractors, Trades and Suppliers with the requirements of the Contract Documents before commencing construction, and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the Contract Documents, which might affect the work of that party.
 As part of the Contractor's responsibility to review and coordinate the work of all Subcontractors, Trades and Suppliers, the Contractor shall endeavor to identify and notify the Architect of any conflicts between the work of different parties at the earliest possible date so as to allow reasonable and adequate time for the conflict to be resolved without delaying the work. All deviations from that which is required by the Contract Documents must be approved in advance by the Architect.
 The Architectural drawings establish and coordinate the finished appearance and exact location of all exposed elements of the
- work of all the trades, including that work which is specified primarily on the drawings of other disciplines. Quantities are to be provided as shown on drawings of other disciplines but locations shown on other drawings are schematic. Unless otherwise noted on the architectural drawings, the architectural drawings take precedence for the finished appearance and exact location of all parts of the work.

 4. Except where noted to place items of work at the approximate location shown, do not scale drawings for dimensional
- Except where noted to place items of work at the approximate location shown, do not scale drawings for dimensional information. All elements of the drawings may not be drawn to exact scale. All dimensions required are shown or may be derived from those shown on the floor plans, enlarged plans, elevations, sections, details, schedules and specifications. If dimensions are not present, the Architect is to be notified so that a clarification can be issued.

BID ALTERNATES:

BID ALTERNATE NO. 01: Prepare and paint all existing hollow metal door frames.

LOGAN YSA CORRIDOR FINISHES 1230 NORTH 600 EAST, LOGAN, UT NO. DATE DESCRIPTION

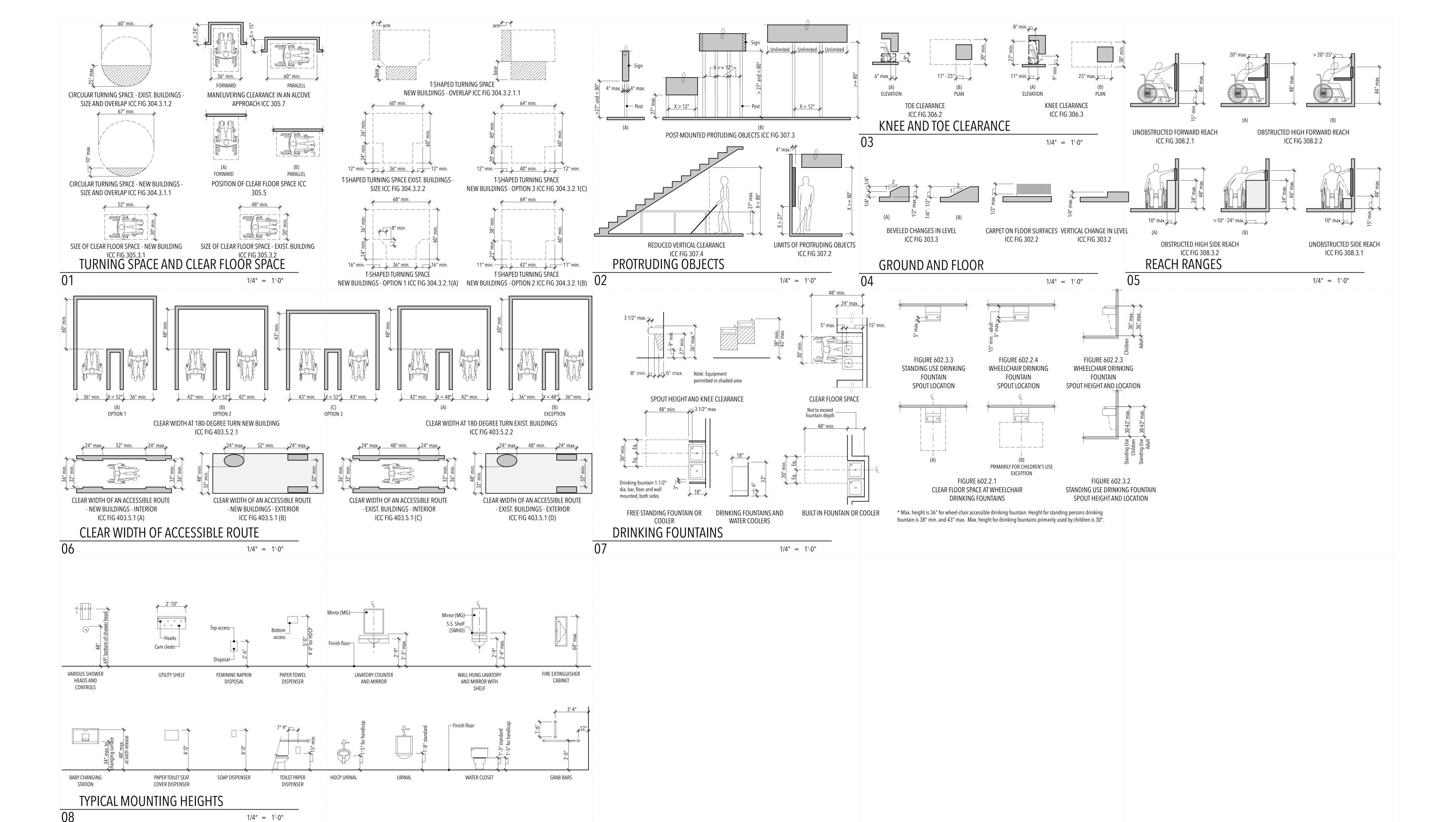
BID SET

DATE: 03.29.24

PROJECT NUMBER: 2404

SCALE: 1' = 1'-0"

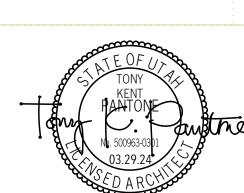




STUDIO 333 ARCHITECTS

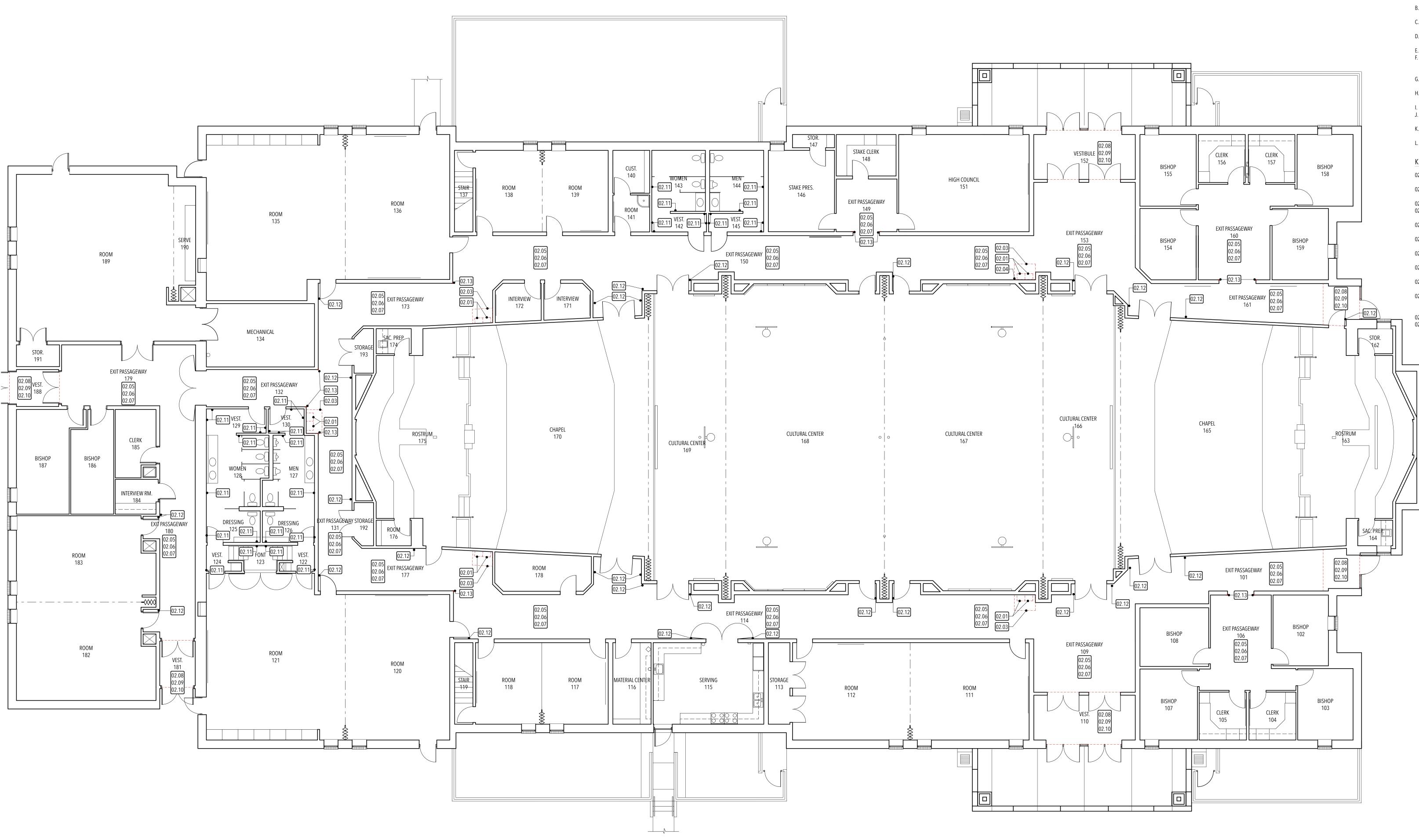
333 24TH STREET OGDEN, UT 84401 801.394.3033

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LOGAN YSA CORRIDOR FINISHES 1230 NORTH 600 EAST, LOGAN, UT





GENERAL DEMOLITION NOTES:

- A. The Contractor shall field verify all dimensions and existing conditions including existing utilities prior to bidding as the locations shown in the construction documents are approximate. All variances not shown in the construction documents shall
- B. Prior to beginning demolition work the Contractor shall coordinate with the Owner on items that shall be demolished, remain or be salvaged.

 All beginning walls and columns to remain unless indicated otherwise. Contractor shall field verify these conditions prior to
- C. All bearing walls and columns to remain, unless indicated otherwise. Contractor shall field verify these conditions prior to
- D. Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within the limitations of governing regulations and as indicated.
- Provide miscellaneous demolition required for new construction, whether specifically defined, or not.
- F. Protect existing construction indicated to remain during the process of demolition. All existing interior finishes, materials, structure, systems, landscaping, site features, etc. not identified to be demolished that are damaged during construction shall be restored to their original condition or replaced to match at the Contractor's expense.
- G. Except for items indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain, remove demolished materials from project site and legally recycle or dispose of them in an EPA approved landfill.
- from project site and legally recycle or dispose of them in an EPA approved landfill.

 H. All existing finished surfaces damaged due to work under this contract shall be patched & finished to match existing adjacent
- I. All noted materials are new, unless indicated otherwise.

be brought to the attention of the Architect prior to bid.

- J. Contractor shall install flexboard over all floor material to remain to protect surfaces from construction debris and demolition
- work. 45 mil. minimum thickness. Tape all joints. Clean carpet if necessary at completion of construction.

 K. Patch and level existing concrete floor slabs as required for new finishes with floor leveling compound as approved by the
- Arcnitect.

 L. All existing art work, display boards, etc. Shall be removed by owner prior to construction.

KEYED NOTES:

- 02.01 Remove existing driinking fountain system, complete. Prepare existing water and electrical lines for new connections
- and modify as required.

 O2.03 Remove existing ceramic floor tile system including perimeter trim, etc. Prepare existing concrete floor slab for new
- O2.04 Carefully cut and remove portion of existing stained hardwood chair rail as required for new wall tile finsih system
 O2.05 Carefully remove existing hardwood chair rail from all walls in this room. Prepare existing gypsum board wall surfaces
- for new finishes.

 O2.06 Carefully remove existing full height vinyl wall covering from all walls in this room. Prepare existing gypsum board wall
- surfaces for new finishes. Protect existing stained hardwood crown molding to remain from damage.

 Remove existing carpet wall base from all walls in this room. Prepare existing gypsum board wall surfaces for new
- finishes.

 O2.08 Remove existing ceramic floor tile system, complete, in this room. Prepare existing concrete floor slab for new floor
- finishes.

 O2.09 Remove existing ceramic tile wall base system on all walls in this room. Prepare existing gypsum board wall surfaces for
- new finishes.

 O2.10 Carefully remove existing full height vinyl wall covering from all walls in this room. Prepare existing gypsum board wall
- surfaces for new finishes.

 O2.11 Carefully remove existing full height vinyl wall covering from this wall. Carefully remove and salvage existing mirrors,
 - wall mounted light fixtures, etc. for reinstallation as required. Prepare existing gypsum board wall surfaces for new
- 02.12 Remove existing wall mounted door stop
- 02.13 Remove existing wall mounted vinyl/plastic corner guard

DEMOLITION LEGEND:

: Building element to be demolished.

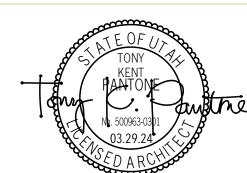
Existing building element to remain (protect from damage).

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333 24TH STREET

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LOGAN YSA CORRIDOR FINISHES 1230 NORTH 600 EAST, LOGAN, UT DATE DESCRIPTION

BID SET

DATE: 03.29.24

PROJECT NUMBER: 2404

SCALE: 1' = 1'-0", 1/8" = 1'-0"



KEYED NOTES:

- 08.01 Install wall mounted door stop in existing location. patch and repair wall as required at location of demolished wall
- stop.
 09.01 Prepare and paint existing hollow metal door frame (Bid Alternate 01) re: finish schedule and legend 09.02 Patch, repair and skim coat all existing wall surfaces in this room at location of demolished wall vinyl, carpet wall base and hardwood chair rail. Install new stained hardwood chair on all walls in this room - re: detail 06/A1.31. In stall sisal wall covering below chair rail on all wall sin this room. Paint all walls in this room above hardwood chair rail- re: finish
- schedule and legend. 09.03 Patch, repair and skim coat all existing wall surfaces in this room at location of demolished wall vinyl and tile wall base.
- Paint wall full height- re: finish schedule and legend.

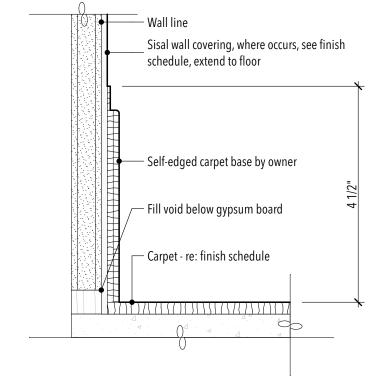
 O9.04 Prepare and level existing concrete floor slab at location of demolished ceramic floor tile system and prepare for new Owner installed walk-off carpet tile flooring system re: finish schedule and legend.

 O9.05 Patch, repair and skim coat all existing wall surfaces in this room at location of demolished wall vinyl. Paint wall full height- re: finish schedule and legend.
- O9.06 Prepare and level existing concrete floor slab at location of demolished ceramic floor tile system and install new ceramic floor and wall tile system system re: interior elevations, finish schedule and legend.
 22.01 Install new electric water cooler at location of demolished water cooler. Connect to existing water and electrical lines. Modify existing water and electrical lines as required and patch and repair wall surfaces.

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				: : : :				FINISH SCH	IEDULE			· · ·		
ROOM#	LEVEL	ROOM NAME	FLOOR	:		BASE			V	WALL T	1	CEILING	HEIGHT	SPECIALTIES REMARKS
		EVIT DACCA CEMAN		N N	E	S	W	N	E	S	W	:		
101	1ST LEVEL F.F.	EXIT PASSAGEWAY BISHOP	F01; F03	B01; B02	B01	B01; B02	B01; B02	W01	W01	W01	W01	-	7'-10 5/8" 7'-10"	\$03 \$02
103	1ST LEVEL F.F.	BISHOP	-	- :	-	-	-	-	-	-	-	-	7'-10"	S02
104	1ST LEVEL F.F.	CLERK	-	-	-	-	-	-	-	-	-	-	7'-10 5/8"	S02
105	1ST LEVEL F.F.	CLERK	-	- :	-	-	-	-	-	-	- W01	- :	7'-10 5/8"	S02
106	1ST LEVEL F.F.	EXIT PASSAGEWAY BISHOP	F01	B01	B01	B01	B01	W01	W01	W01	W01	-	7'-10 5/8" 7'-0"	\$03 \$02
108	1ST LEVEL F.F.	BISHOP	-	- :	-	-	-	-	-	-	-	- :	7'-10 5/8"	S02
109	1ST LEVEL F.F.	EXIT PASSAGEWAY	F01	B01	B01	B01	B01	W01	W01	W01	W01	-	9'-4 5/8"	S03
110	1ST LEVEL F.F.	VEST.	F03	B02	B02	B02	B02	W01	W01	W01	W01	-	7'-10 5/8"	S03
111	1ST LEVEL F.F.	ROOM ROOM	-	- :	-	-	-	-	-	-	-	- :	7'-10 5/8" 7'-10 5/8"	S02 S02
112	1ST LEVELT.T.	STORAGE			<u> </u>	- · · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · · · · ·	<u> </u>		7'-10 5/8"	S02
114	1ST LEVEL F.F.	EXIT PASSAGEWAY	F01; F02	B01	B01	B01	B01	W01	W01	W01; W03	W01; W03	-	7'-10 5/8"	S01; S03
115	1ST LEVEL F.F.	SERVING	-	- :	-	-	-	-	-	-	-	-	7'-10 5/8"	S02
116	1ST LEVEL F.F. 1ST LEVEL F.F.	MATERIAL CENTER ROOM	-	- :	-	-	-	-	-	-	-	- :	7'-10 5/8" 7'-10 5/8"	S02
117	1ST LEVEL F.F.	ROOM	-	- :	-	-	-	-	-	-	-	-	7'-10 5/8"	\$02 \$02
120	1ST LEVEL F.F.	ROOM	-	-	-	-	-	-	-	-	-	-	7'-10 5/8"	S02
121	1ST LEVEL F.F.	ROOM	-	- :	-	-	-	-	-	-	-	-	9'-0"	S02
122	1ST LEVEL F.F.	VEST.	-	- :	-	-	-	W02	W02	W02	W02	-	7'-11 3/8"	
123	1ST LEVEL F.F.	FONT VEST.	-	- :	-	-	-	W02 W02	W02 W02	W02	W02	- :	7'-11 3/8" 7'-11 3/8"	
124	1ST LEVEL F.F.	DRESSING	-		-	-	-	W02	W02	W02	W02	-	7'-11 3/8"	
126	1ST LEVEL F.F.	DRESSING	-	- :	-	-	-	W02	W02	W02	W02	-	7'-11 3/8"	
127	1ST LEVEL F.F.	MEN	-	- :	-	-	-	W02	-	W02	W02	-	7'-11 3/8"	
128	1ST LEVEL F.F.	WOMEN	-	- :	-	-	-	W02	W02	W02	-	-	7'-11 3/8"	
129	1ST LEVEL F.F.	VEST.	-	- :	-	-	-	W02 W02	W02 W02	W02	W02	- :	7'-11 3/8" 7'-11 3/8"	
130	1ST LEVEL F.F.	EXIT PASSAGEWAY	F01; F02	B01	B01	B01	B01	W02 W01; W03	W01; W03	W01	W02	- :	7'-10 5/8"	
132	1ST LEVEL F.F.	EXIT PASSAGEWAY	F01	B01	B01	B01	B01	W01	W01	W01	W01	-	7'-10 5/8"	
134	1ST LEVEL F.F.	MECHANICAL	-	- :	-	-	-	-	-	-	-	-	Varies	S02
135	1ST LEVEL F.F.	ROOM	-	- :	-	-	-	-	-	-	-	-	9'-0"	S02
136	1ST LEVEL F.F.	ROOM ROOM	-	- :	-	-	-	-	-	-	-		7'-10 5/8" 7'-10 5/8"	
139	1ST LEVEL F.F.	ROOM	-	- :	-	-	-	-	-	-	-	-	7'-10 5/8"	
140	1ST LEVEL F.F.	CUST.	-	-	-	-	-	-	-	-	-	-	7'-11 3/8"	
141	1ST LEVEL F.F.	ROOM	-	- :	-	-	-	-	-	-	-	-	7'-11 3/8"	
142	1ST LEVEL F.F.	VEST.	-	- :	-	-	-	W02	W02	W02	W02		7'-11 3/8"	
143	1ST LEVEL F.F.	WOMEN MEN	-		-	-	-	W02	W02	-	W02	- :	7'-11 3/8"	
145	1ST LEVEL F.F.	VEST.	-	- :	-	-	-	W02	W02	W02	W02	- :	7'-11 3/8"	
146	1ST LEVEL F.F.	STAKE PRES.	-	- :	-	-	-	-	-	-	-	-	7'-10"	S02
147	1ST LEVEL F.F.	STOR.	-	- :	-	-	-	-	-	-	-	-	7'-11 3/8"	
148	1ST LEVEL F.F.	STAKE CLERK	-	- :	-	-	-	-	-	-	- W01	- :		
149 150	1ST LEVEL F.F.	EXIT PASSAGEWAY EXIT PASSAGEWAY	F01 F01; F02	B01	B01 B01	B01 B01	B01 B01	W01 W01; W03	W01	W01	W01 W01; W03	-	7'-10 5/8" 7'-10 5/8"	\$02; \$03 \$01; \$03
151	1ST LEVEL F.F.	HIGH COUNCIL	-	- :	-	-	-	-	-	-	-	- :	7'-10"	S02
152	1ST LEVEL F.F.	VESTIBULE	F03	B02	B02	B02	B02	W01	W01	W01	W01	-	7'-10 5/8"	S03
153	1ST LEVEL F.F.	EXIT PASSAGEWAY	F01	B01	B01	B01	B01	W01	W01	W01	W01	-	9'-4 5/8"	S03
154	1ST LEVEL F.F.	BISHOP	-	- :	-	-	-	-	-	-	-	-	7'-10 5/8"	S02
155 156	1ST LEVEL F.F.	BISHOP CLERK	-		-	-	-	-	-	-	-	- :	7'-10" 7'-10 5/8"	\$02 \$02
157	1ST LEVEL F.F.	CLERK	-	-	-	-	-	-	-	-	-	-	7'-10 5/8"	S02
158	1ST LEVEL F.F.	BISHOP	-	- :	-	-	-	-	-	-	-	-	7'-10"	S02
159	1ST LEVEL F.F.	BISHOP	-	- :	-	-	-	-	-	-	-	-	7'-0"	S02
160	1ST LEVEL F.F.	EXIT PASSAGEWAY EXIT PASSAGEWAY	F01 F01; F03	B01 B01; B02	B01 B01	B01 B01; B02	B01 B01; B02	W01	W01	W01	W01	- :	7'-10 5/8" 7'-10 5/8"	\$03 \$03
161	1ST LEVEL F.F. 1ST LEVEL F.F.	STOR.	-	- באם ,ו טע	۱ ا ا ا	- DU 1, DUZ	ا الاط الاط الدور -	-	-			-	7'-10 5/8"	S02 S02
163	1ST LEVEL F.F.	ROSTRUM	-	- :	-	-	-	-	-	-	-	- :	Varies	S02
164	1ST LEVEL F.F.	SAC. PREP.	-	- :	-	-	-	-	-	-	-	-	7'-11 3/8"	S02
165	1ST LEVEL F.F.	CHAPEL	-	- :	-	-	-	-	-	-	-	-	Varies	S02
166	1ST LEVEL F.F.	CULTURAL CENTER CULTURAL CENTER	-	- :	-	-	-	-	-	-	-	-	Varies Varies	\$02 \$02
168	1ST LEVEL F.F.	CULTURAL CENTER	-	- :	-	-	-	-	-	-	-	-	Varies	S02 S02
169	1ST LEVEL F.F.	CULTURAL CENTER	-	- :	-	-	-	-	-		-	-	Varies	S02
170	1ST LEVEL F.F.	CHAPEL	· · · · <u>·</u> · · · · · · · · · · · · · ·								· · · · · · · · · · · · · · · · · · ·		Varies	S02
171	1ST LEVEL F.F.	INTERVIEW	-	- :	-	-	-	-	-	-	-	-	7'-10 5/8"	S02 S02
172	1ST LEVEL F.F.	INTERVIEW EXIT PASSAGEWAY	F01; F02	B01	B01	B01	B01	W01; W03	- W01	- W01	W01; W03	- :	7'-10 5/8" 7'-10 5/8"	
174	1ST LEVEL F.F.	SAC. PREP.	-	- :	-	-	-	-	-	-	-	-	7'-11 3/8"	
175	1ST LEVEL F.F.	ROSTRUM	-	- :	-	-	-	-	-	-	-	-	Varies	S02
176	1ST LEVEL F.F.	ROOM	-	-	-	-	-	-	-	-	-	-	7'-11 3/8"	
177	1ST LEVEL F.F.	EXIT PASSAGEWAY ROOM	F01; F02	B01	B01	B01	B01	W01	W01	W01; W03	W01; W03	-	7'-10 5/8" 7'-10 5/8"	
178	1ST LEVEL F.F. 1ST LEVEL F.F.	ROUM EXIT PASSAGEWAY	F01	B01	B01	B01	B01	W01	- W01	W01	W01	- :	7'-10 5/8"	
180	1ST LEVEL F.F.	EXIT PASSAGEWAY	F01	B01	B01	B01	B01	W01	W01	W01	W01	- :	7'-11 3/8"	
181	1ST LEVEL F.F.	VEST.	F03	B02	B02	B02	B02	W01	W01	W01	W01	-	7'-11 3/8"	S03
182	1ST LEVEL F.F.	ROOM	-		-	-	-	-	-	-	-	-	9'-0"	S02
183	1ST LEVEL F.F.	ROOM	-	- :	-	-	-	-	-	-	-	- :	9'-0"	S02
184	1ST LEVEL F.F.	INTERVIEW RM. CLERK	-	- :	-	-	-	-	-	-	-	-	Varies Varies	\$02 \$02
186	1ST LEVEL F.F.	BISHOP	-	- :	-	-	-	-	-	-	-	-	Varies	S02
187	1ST LEVEL F.F.	BISHOP	-	- :	-	-	-	-	-	-	-	-	Varies	S02
188	1ST LEVEL F.F.	VEST.	F03	B02	B02	B02	B02	W01	W01	W01	W01	-	7'-11 3/8"	S03
189 191	1ST LEVEL F.F.	ROOM STOR.	-	- :	-	-	-	-	-	-	-	-	9'-0" 7'-11 3/8"	\$02 \$02
191	1ST LEVEL F.F.	STOR. STORAGE	-	- :	-	-	-	-	-	-	-	- :	7'-10 5/8"	
193	1ST LEVEL F.F.	STORAGE	-	- :	-	-	-	-	-	-	-	-	7'-10 5/8"	
	1	i	İ	1 :	ı	<u>I</u>	ı	İ	1	ı	1	<u> </u>	1	

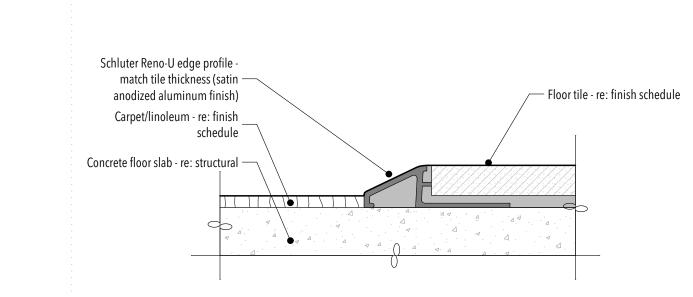




CARPET BASE DETAIL 6" = 1'-0" TILE @ OUTSIDE CORNER 1' = 1'-0"

Wall tile - re: finish schedule —

Schluter Schiene edge profile match tile thickness (satin -



TILE @ OUTSIDE CORNER (GYP. BD.)

Wall tile - re: finish schedule —

Schluter Schiene edge profile -

match tile thickness (satin —

anodized aluminum finish)

Finish face of scheduled wall —

1' = 1'-0"

 Face of scheduled wall – Wall tile - re: finish schedule

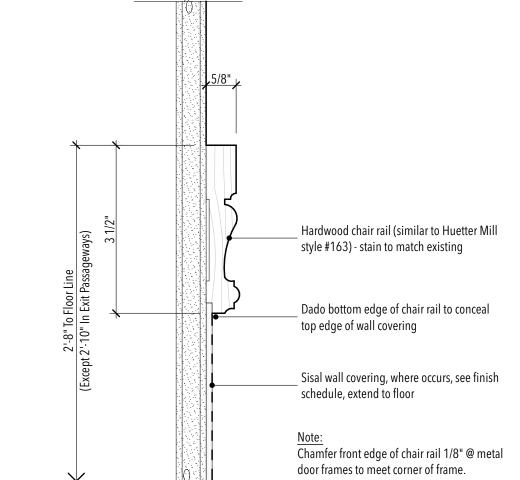
Schluter Dilek-AHK cove profile -

— match tile thickness (satin

anodized aluminum finish)

Floor tile - re: finish schedule

TILE TO CARPET/LINOLEUM



1' = 1'-0"

6" = 1'-0"

WALL TILE TO FLOOR TILE

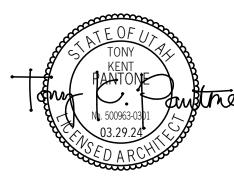
1' = 1'-0"

CHAIR RAIL DETAIL

FINISH PLAN LEGEND: ID PRODUCT MFR. COLOR/NOTES FLOOR MATERIALS F01 | Broadloom carpet (by owner) Re: specifications | By owner.; Re: specifications; Color as selected by owner/architect 6x6; Cross Colors Mingles Porcelain; Color as selected F02 Floor tile by owner/architect F03 | Walk off carpet tile (by owner) Re: specifications By owner.; Re: specifications; Color as selected by owner/architect BASE MATERIALS B01 | 4 1/2" wide carpet base without cushion | Re: specifications | By owner; Re: detail 01/A1.31; Re: specifications; Color | as selected by owner/architect backing (by owner) patch, skim coat, prime & paint existing wall surface B02 4 1/2" wide carpet base without cushion Re: specifications By owner; Re: detail 01/A1.31; Re: specifications; Color backing (by owner) patch, skim coat, prime & as selected by owner/architect paint existing wall surface WALL MATERIALS W01 Patch, skim coat, prime & paint existing wall Re: specifications Re: specifications; Color: Match Existing surface; install sisal wall covering below chair rail W02 Patch, skim coat, prime & paint (Restrooms) Re: specifications Re: specifications; Color as selected by owner/architect 6x6; Cross Colors Mingles Porcelain; Color as selected W03 | Ceramic wall tile by owner/architect SPECIALTIES Re: specifications S01 Electric water cooler SO2 | Prepare & paint existing hollow metal door | Re: specifications | Prepare & paint existing hollow metal door frame; Re: specifications; Color as selected by owner/architect frame (Bid Alternate 01) Stain to match existing - re: detail 06/A1.31 S03 Hardwood chair rail to match existing

STUDIO 333 ARCHITECTS

333 24TH STREET OGDEN, UT 84401 801.394.3033



LOGAN YSA CORRIDOR FINISHES 1230 NORTH 600 EAST, LOGAN, UT

NO. DATE DESCRIPTION BID SET DATE: 03.29.24 PROJECT NUMBER: 2404



GENERAL FINISH NOTES:

Provide epoxy paint at walls and ceilings at all toilet rooms, janitor rooms, and wet or damp areas.

All floor transitions to be located at center of door, unless noted otherwise. C. Re: interior elevation sheets for all wall tile patterns. Coordinate pattern layouts with Architect prior to cutting and placement of any and all tile.

Re: interior elevation sheets and finish schedule on sheet A1.31 for wall base finishes. E. At wall tile wainscot, provide Schluter Schiene satin anodized aluminum trim at all outside vertical corners and along the top edge of all wainscot. Provide trim manufacturer's prefabricated corner transition pieces in matching finish. Re: details 02 & 03/A1.31.

F. At wall tile wainscot to floor tile transition, provide Schluter Dilek-AHK satin anodized cove profile. Provide manufacturer's prefabricated corner transition pieces in matching finish. Re: detail 05/A1.31. All transitions from carpet/linoleum to tile are to utilize the Schluter Reno-U transition strip.

H. All tile to tile transitions are to utilize Schluter Schiene transition strip. At all porcelain wainscot tile, porcelain wall tile, and porcelain tile base, scribe bottom tile to match finish floor surface and

caulk transition. The Contractor shall coordinate all floor finish transitions at all millwork - adjacent floor finishes shall be required to extend to

fixed millwork construction where in contact with floor finish - typ. Contractor shall provide continuous crack isolation membrane at all floor tile locations - re: project manual.

Re: Finish Schedule on sheet A1.31 for all finish information. New broadloom carpet, walk-off carpet & carpet wall base shall be installed by owner's vendor.

Owner shall reinstall existing art work, display boards, etc. At completion of project.



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GENERAL FINISH NOTES:

- A. Provide epoxy paint at walls and ceilings at all toilet rooms, janitor rooms, and wet or damp areas.
 B. All floor transitions to be located at center of door, unless noted otherwise.
 C. Re: interior elevation sheets for all wall tile patterns. Coordinate pattern layouts with Architect prior to cutting and placement
- of any and all tile. Re: interior elevation sheets and finish schedule on sheet A1.31 for wall base finishes.
- E. At wall tile wainscot, provide Schluter Schiene satin anodized aluminum trim at all outside vertical corners and along the top edge of all wainscot. Provide trim manufacturer's prefabricated corner transition pieces in matching finish. Re: details 02 & 03/A1.31.
- F. At wall tile wainscot to floor tile transition, provide Schluter Dilek-AHK satin anodized cove profile. Provide manufacturer's prefabricated corner transition pieces in matching finish. Re: detail 05/A1.31.

 G. All transitions from carpet/linoleum to tile are to utilize the Schluter Reno-U transition strip.

 H. All tile to tile transitions are to utilize Schluter Schiene transition strip.

 I. At all porcelain wainscot tile, porcelain wall tile, and porcelain tile base, scribe bottom tile to match finish floor surface and
- J. The Contractor shall coordinate all floor finish transitions at all millwork adjacent floor finishes shall be required to extend to fixed millwork construction where in contact with floor finish - typ.
- Contractor shall provide continuous crack isolation membrane at all floor tile locations re: project manual. Re: Finish Schedule on sheet A1.31 for all finish information.
- New broadloom carpet, walk-off carpet & carpet wall base shall be installed by owner's vendor. Owner shall reinstall existing art work, display boards, etc. At completion of project.

ID	PRODUCT	MFR.	COLOR/NOTES				
FLOO	r materials						
F01	Broadloom carpet (by owner)	Re: specifications	By owner.; Re: specifications; Color as selected by owner/architect				
F02	Floor tile	Crossville	6x6; Cross Colors Mingles Porcelain; Color as selected by owner/architect				
F03	Walk off carpet tile (by owner)	Re: specifications	By owner.; Re: specifications; Color as selected by owner/architect				
BASE	MATERIALS						
B01	4 1/2" wide carpet base without cushion backing (by owner) patch, skim coat, prime & paint existing wall surface	Re: specifications	By owner; Re: detail 01/A1.31; Re: specifications; Co as selected by owner/architect				
B02	4 1/2" wide carpet base without cushion backing (by owner) patch, skim coat, prime & paint existing wall surface	Re: specifications	By owner; Re: detail 01/A1.31; Re: specifications; Color as selected by owner/architect				
WALL	MATERIALS						
W01	Patch, skim coat, prime & paint existing wall surface; install sisal wall covering below chair rail	Re: specifications	Re: specifications; Color: Match Existing				
W02	Patch, skim coat, prime & paint (Restrooms)	Re: specifications	Re: specifications; Color as selected by owner/architect				
W03	Ceramic wall tile	Crossville	6x6; Cross Colors Mingles Porcelain; Color as selected by owner/architect				
SPECI	ALTIES						
S01	Electric water cooler	-	Re: specifications				
S02	Prepare & paint existing hollow metal door frame (Bid Alternate 01)	Re: specifications	Prepare & paint existing hollow metal door frame; Re: specifications; Color as selected by owner/architect				
S03	Hardwood chair rail to match existing	-	Stain to match existing - re: detail 06/A1.31				

FINISH PLAN SYMBOLS:

Single finish symbols indicate where finishes are different from general room finishes, or provide additional finish information.

Change in floor material

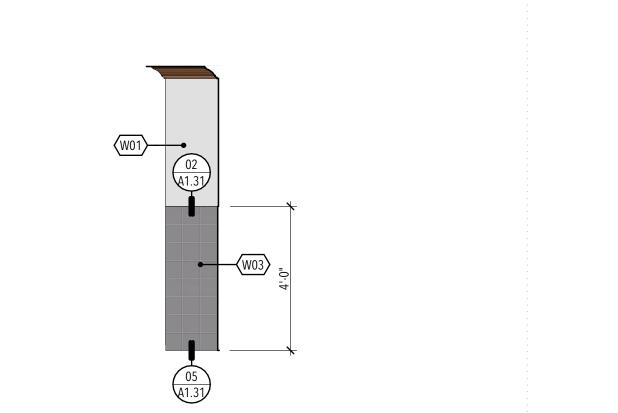
BID SET DATE: 03.29.24 PROJECT NUMBER: 2404 SCALE: 1/8" = 1'-0", 1' = 1'-0"



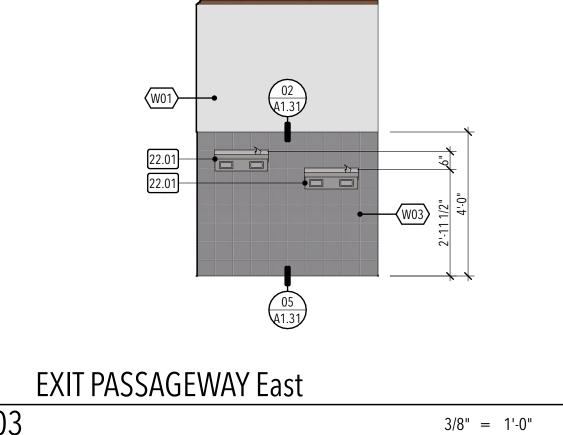


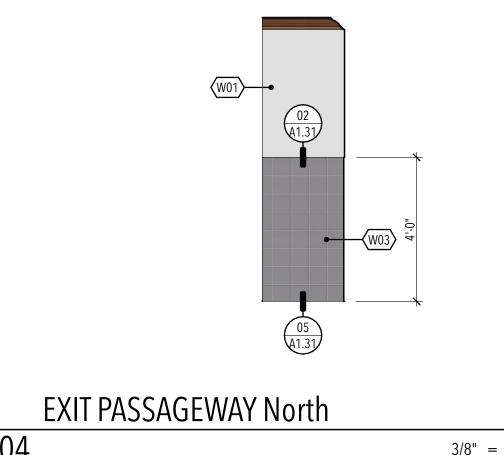


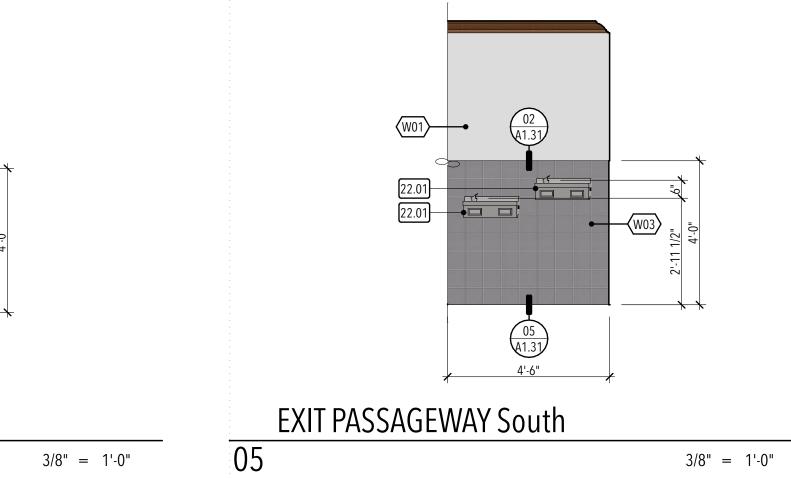
Install new electric water cooler at location of demolished water cooler. Connect to existing water and electrical lines. Modify existing water and electrical lines as required and patch and repair wall surfaces.

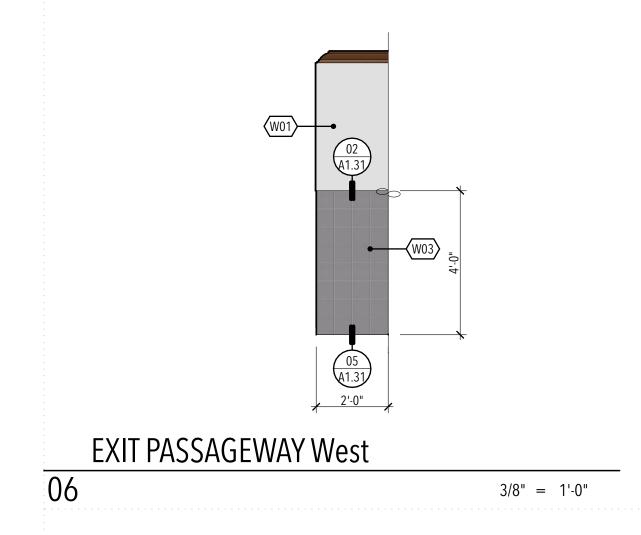


3/8" = 1'-0"



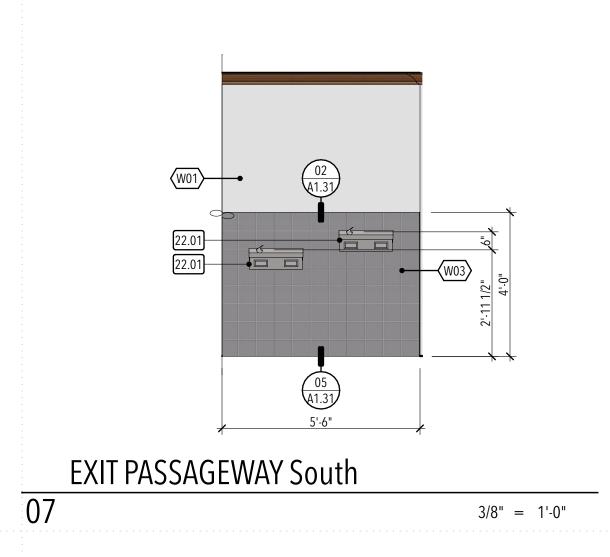




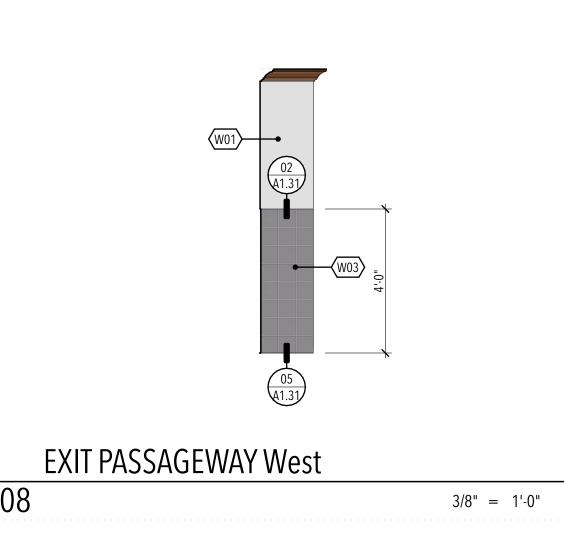


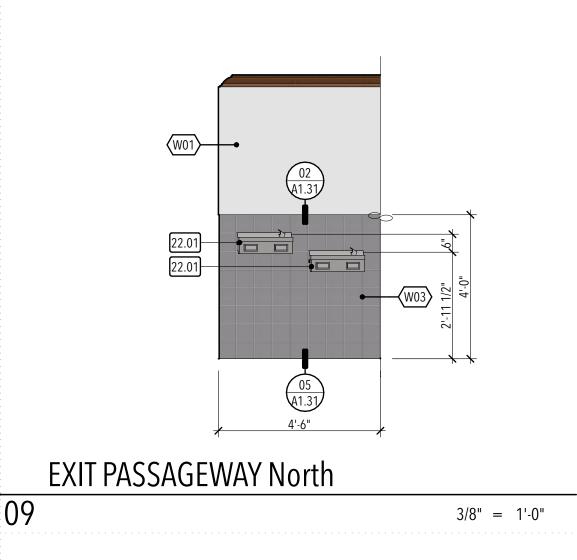
3/8" = 1'-0"

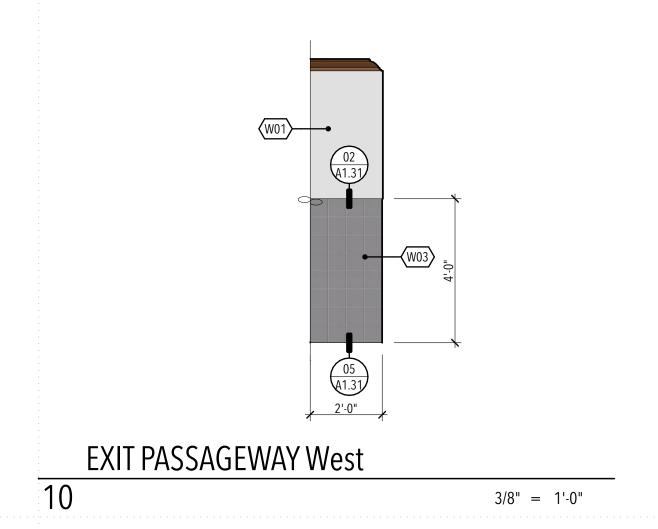
EXIT PASSAGEWAY North



EXIT PASSAGEWAY West







STUDIO 333 ARCHITECTS333 24TH STREET
OGDEN, UT 84401
801.394.3033



LOGAN YSA CORRIDOR FINISHES 1230 NORTH 600 EAST, LOGAN, UT NO. DATE DESCRIPTION

BID SET

DATE: 03.29.24

PROJECT NUMBER: 2404