

ADDENDUM

Date Issued:	July 17, 2024
Project:	Canyon Surgical Associates Clinic Remodel 5171 Cottonwood Street #650 Murray, Utah 84107
Addendum Number:	1

The Contractors submitting proposals on the above-captioned project shall be governed by the following addendum, changes and explanations to the drawings and specifications and shall submit their bids in accordance therewith.

Item Number	General Items Description
1	Contractor generated questions compiled and provided in letter form for this addendum.
2	City Review comment response updates to change deferred submittals allowed per city and size of seismic pod requirements.
3	Per request from contractor, bid deadline extended to 5:00 p.m. prevailing Mountain time on Friday, July 19, 2024. See attached revised Notice to Contractors.

Sheet Number	Drawings
Architectural Drawings	
G002	Update allowed deferred submittals
A503A	Update seismic pod requirements to 144 sq. ft. on detail 7/A503A

Specification Section	Project Manual
Architectural Sections	
Notice to Contractors	Updated from 2:00 PM to 5:00 PM for bid deadline.

Attachments:

Drawings: G002; A503A

Documents: Bidding Questions and Response Letter; Notice to Contractors

INTERIM LIFE SAFETY MEASURES

IMPLEMENTATION OF INTERIM LIFE SAFETY MEASURES (ILSM) IS REQUIRED IN OR ADJACENT TO ALL CONSTRUCTION AREAS AND THROUGHOUT BUILDINGS WITH EXISTING LSC DEFICIENCIES. ILSM APPLY TO ALL PERSONNEL INCLUDING CONSTRUCTION WORKERS. MUST BE IMPLEMENTED UPON PROJECT DEVELOPMENT, AND CONTINUOUSLY ENFORCED THROUGH PROJECT COMPLETION. ILSM ARE INTENDED TO PROVIDE A LEVEL OF LIFE SAFETY COMPARABLE TO THAT DESCRIBED IN CHAPTERS 1 THROUGH 7.31 AND THE APPLICABLE OCCUPANCY CHAPTERS OF THE LSC. EACH ILSM ACTION MUST BE DOCUMENTED THROUGH WRITTEN POLICIES AND PROCEDURES, EXCEPT AS STATED BELOW. FREQUENCIES FOR INSPECTION, TESTING, TRAINING, AND ILSM CONSIST OF THE FOLLOWING ACTIONS:

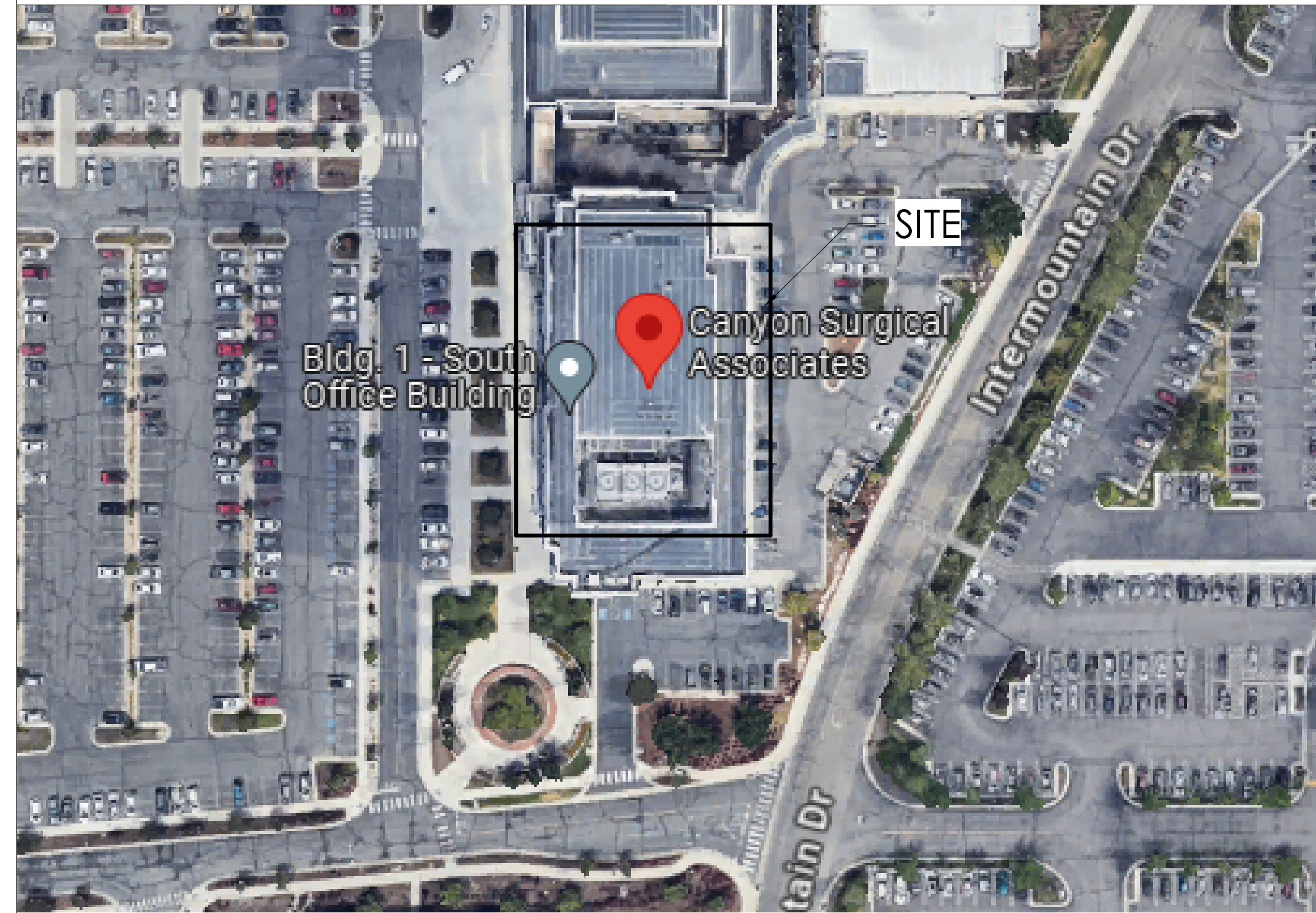
- ENSURING EXITS PROVIDE FREE AND UNOBSTRUCTED EGRESS. PERSONNEL SHALL RECEIVE TRAINING IF ALTERNATIVE EXITS MUST BE DESIGNATED. BUILDINGS OR AREAS UNDER CONSTRUCTION MUST MAINTAIN ESCAPE FACILITIES FOR CONSTRUCTION WORKERS AT ALL TIMES. MEANS OF EGRESS IN CONSTRUCTION AREAS MUST BE INSPECTED DAILY.
- ENSURING FREE AND UNOBSTRUCTED ACCESS TO EMERGENCY DEPARTMENTS/ SERVICES AND FOR EMERGENCY FORCES.
- ENSURE FIRE ALARM, DETECTION, AND SUPPRESSION SYSTEMS ARE NOT IMPAIRED. A TEMPORARY, BUT EQUIVALENT, SYSTEM SHALL BE PROVIDED WHEN ANY FIRE SYSTEM IS IMPAIRED. TEMPORARY SYSTEMS MUST BE INSPECTED AND TESTED MONTHLY.
- ENSURING TEMPORARY CONSTRUCTION PARTITIONS ARE SMOKE TIGHT AND BUILT OF NONCOM OR LIMITED COMBUSTIBLE MATERIALS THAT WILL NOT CONTRIBUTE TO THE DEVELOPMENT OR SPREAD OF FIRE.
- PROVIDING ADDITIONAL FIRE-FIGHTING EQUIPMENT AND USE TRAINING OF PERSONNEL.
- PROHIBITING SMOKING IN ACCORDANCE WITH MA.1.3.1.5 AND IN OR ADJACENT TO ALL CONSTRUCTION AREAS.
- DEVELOPING AND ENFORCING STORAGE, HOUSEKEEPING, AND DEBRIS REMOVAL PRACTICES THAT REDUCE THE FLAMMABLE AND COMBUSTIBLE FIRE LOAD OF THE BUILDING TO THE LOWEST LEVEL NECESSARY FOR DAILY OPERATIONS.
- CONDUCTING A MINIMUM OF TWO FIRE DRILLS PER SHIFT PER QUARTER.
- INCREASING HAZARD SURVEILLANCE OF BUILDINGS, GROUNDS, AND EQUIPMENT WITH SPECIAL ATTENTION TO EXCAVATIONS, CONSTRUCTION AREAS CONSTRUCTION STORAGE, AND FIELD OFFICES.
- TRAINING PERSONNEL WHEN STRUCTURAL OR COMPARTMENT FEATURES OF FIRE SAFETY ARE COMPROMISED.
- CONDUCTING ORGANIZATION WIDE SAFETY EDUCATION PROGRAMS TO ENSURE AWARENESS OF ANY LSC DEFICIENCIES, CONSTRUCTION HAZARDS, AND THESE ILSM.

PROJECT DESCRIPTION

THIS PROJECT INCLUDES THE FOLLOWING SCOPE OF WORK:

- EXPANSION OF THE EXISTING SURGICAL CLINIC INTO AN ADJACENT CLINIC SPACE WITH:
 - FIVE (5) NEW/REMODELED EXAM ROOMS.
 - EXPANDED WAITING ROOM AND BREAK ROOM.
 - TWO (2) NEW OFFICES
 - REMOVAL AND REINSTALLATION OF EXISTING CASEWORK AND NEW CASEWORK FOR STORAGE.
 - NEW STORAGE ROOM AND MODIFICATION OF HALL STORAGE CASEWORK FOR RELOCATION OF EXISTING STORAGE ROOM WITH TELECOM CABINET.
- ALL ASSOCIATED M/E/P WORK THROUGHOUT THE SPACE AS SHOWN IN DRAWINGS AND REMOVAL AND REINSTALLATION OF EXISTING CEILING TO REMAIN AS REQUIRED FOR M/E/P WORK ABOVE.
- NEW DOORS, WINDOWS AND ACCESSORIES AS SHOWN IN DRAWINGS.
- AS ADD ALTERNATE 1: PROVIDE TRANSOM WINDOWS IN OFFICES AS NOTED IN DRAWINGS.

VICINITY MAP



INFECTION CONTROL RISK ASSESSMENT

CONSTRUCTION ACTIVITY TYPE

Major demolition or construction that creates major disruption, i.e. noise, dust, vibration, odor, or mechanical systems

INFECTION CONTROL RISK GROUP

Medium

CONSTRUCTION CLASS

Construction Activity Type:

IC Risk Group	Type A	Type B	Type C	Type D
Lowest	Class I	Class II	Class III	Class IV
Medium	Class I	Class II	Class III	Class IV
High	Class I	Class II	Class III	Class IV
Highest	Class II	Class IV	Class IV	Class IV

INFECTION CONTROL PROTOCOLS

- During Construction (Class IV):
- Perform work using methods to minimize raising dust or tracking dust into other areas.
 - Immediately replace ceiling tile upon completion of inspection.
 - Use active dust control measures.
 - Use water mist to control dust while cutting.
 - Seal doors, ducts, vents and HVAC units.
 - Place dust control mats at entries to work area; keep them clean and effective.
 - Remove debris only in tightly covered containers.
 - Construct barriers to prevent dust and other contaminant migration prior to beginning work.
 - Maintain negative air pressure in work space using HEPA filtration units.
 - Seal all pipes, conduits and penetrations.
 - Construct and use anteroom for all entry to work area; HEPA vacuum all personnel, or have them change clothing before they leave the work area.
 - All personnel wear shoe covers while in the work area and remove them before entering the hospital.

Upon Completion (Class IV):

- Clean work area.
- Wipe all horizontal surfaces with disinfectant.
- Remove final debris only in tightly covered containers.
- Vacuum using HEPA filtered vacuum; mop with disinfectant as appropriate.
- Remove all seals from doors, ducts, vents and HVAC units.
- Remove construction barriers in a manner that minimizes the spread of dust and debris.

ABBREVIATIONS

&	AND	DWL	DOWEL	INT.	INTERIOR	P.S.F.	POUNDS PER SQUARE FOOT	V.C.P.	VITREOUS CLAY PIPE
@	AT	DN.	DOWN	INV.	INVERT	R	RADIUS	W	WATER CLOSET
Ø	DIAMETER	D.S.	DOWN SPOUT	J	JANITOR	RAD.	RADIUS	W.C.	WATER CLOSET
(E) EXIST.	EXISTING	D.W.V.	DRAINAGE WASTE VENT	JT.	JOINT	REC.	RECOMMENDATION	W.H.	WATER HEATER
(N)	NEW	DWG.	DRAWING	JST.	JOIST	REG.	REGISTER	W.R.	WATER RESISTANT
¢	PENNY	E	EACH	L	LAMINATED	REQ'D	REQUIRED	W.P.	WATERPROOF
#	POUND OR NUMBER	E.A.	ELEC. WATER COOLER	LAM.	LAMINATED	R.A.	RETURN AIR	W.W.F.	WELDED WIRE FABRIC
AC	ACOUSTIC	E.W.C.	ELECTR. WATER COOLER	LDG.	LANDING	REV.	REVISION	W.D.W.	WINDOW
ADD	ADDENDUM	EL/ELEC.	ELECTRIC	LAV.	LAVATORY	R.D.	ROOF DRAIN	W/	WITH
A/C	AIR CONDITIONING	ELEV.	ELEVATION	LAV.	LAVATORY	RFG.	ROOFING	W/O	WITHOUT
ALT.	ALTERNATE	EQ.	EQUAL	LI.	LIGHT	RM.	ROOM	WD.	WOOD
AL	ALUMINUM	EQUIP.	EQUIPMENT	LI.	LIGHT	RGH.	ROUGH		
A.B.	ANCHOR BOLT	EXH.	EXHAUST	L.W.C.	LIGHT WEIGHT CONCRETE	RND.	ROUND		
ARCH	ARCHITECTURAL	EXIST.	EXISTING	LVR.	LOUVER	S	SCR. SECTION		
ASP.	ASPHALT	E.J.	EXPANSION JOINT	M	MACHINE BOLT	SCR.	SCREW		
		EXT.	EXTERIOR	M.B.	MACHINE BOLT	SECT.	SECTION		
		F	FEET	MFR.	MANUFACTURER	SEL.	SELECT		
B	BASEMENT	FT.	FEET	M.O.	MASONRY OPENING	SHT.	SHEET		
B.M.	BENCHMARK	FV/F.V.	FIELD VERIFY	MATL	MATERIAL	SIM.	SIMILAR		
BLKG.	BLOCKING	FIN.	FINISH(ED)	MAX.	MAXIMUM	SLDG.	SLIDING		
BD.	BOARD	F.E.	FIRE EXTINGUISHER	MECH.	MECHANICAL	SM.	SMOOTH		
B.O.	BOTTOM OF	F.E.C.	FIRE EXTINGUISHER CABINET	MIL.	METAL	SPEC.	SPECIFICATION		
BLDG.	BUILDING	FXT.	FIXTURE	MIN.	MINIMUM	SPL.	SPLASH		
		FL.	FLASHING	M.LDG.	MOLDING	SQ.	SQUARE		
C	CABINET	FL.	FLASHING	MULL.	MULLION	S.S.	STAINLESS STEEL		
CABT	CABINET	G	GALV.	N	NATURAL GRADE	STD.	STANDARD		
C.I.P.	CAST IN PLACE	GA.	GAUGE	N.G.	NATURAL GRADE	STRUC.	STRUCTURE		
C.B.	CATCH BASIN	CA.	GENERAL CONTRACTOR	NOM.	NOMINAL	S.A.	SUPPLY AIR		
CIG.	CEILING	G.S.N.	GENERAL STRUCTURAL NOTES	N/A	NOT APPLICABLE	S.G.P.	SUSPENDED		
CL	CENTER LINE	GL.	GLASS	N.I.C.	NOT IN CONTRACT	SW.BD.	SWITCHBOARD		
C.T.	CERAMIC TILE	GD.	GRADE	N.T.S.	NOT TO SCALE	T	TYPICAL		
CH	CHANNEL	GRL.	GRILLE	O	ON CENTER	TELCO	TELEPHONE COMPANY		
C.O.	CLEAN OUT	GRD.	GROUNDED	O.C.	ON CENTER	T.G.	TEMPERED GLASS		
CLR.	CLEAR	GYP.	GYP. GYPSUM	O.R.D.	OVERFLOW ROOF DRAIN	T&G	TONGUE & GROOVE		
CL.	CLOSET	H	HARDWARE	O.F.S.	OVERFLOW SCUPPER	T&B	TOP & BOTTOM		
COL.	COLUMN	HDW.	HARDWARE	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	T.O.	TOP OF		
CONC.	CONCRETE	HDWD.	HARDWOOD	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	T.O.C.	TOP OF CURB		
CMU	CONCRETE MASONRY UNIT	HR.	HEATER	P	PAINT	T.O.D.	TOP OF DECK		
COND.	CONDITION	HT.	HEIGHT	PT.	PAINTED	T.O.P.	TOP OF PARAPET		
CONN.	CONNECTION	H.P.	HIGH POINT	PNL.	PANEL	U	UNLESS NOTED OTHERWISE		
CONST.	CONSTRUCTION	H.M.	HOLLOW METAL	d	PENNY	U.N.O.	UNLESS NOTED OTHERWISE		
CONT.	CONTINUOUS	HORIZ.	HORIZONTAL	PR.	PAIR	V.	VENT		
CJ	CONTROL JOINT	H.B.	HOSE BIB	PNL.	PANEL	V.T.R.	VENT THROUGH ROOF		
D	DAMP PROOFING	H.W.	HOT WATER	PL.	PLASTIC LAMINATE	VERT.	VERTICAL		
D.P.	DECK PROOFING	HR.	HOUR	PL.	PLASTIC LAMINATE	V.G.	VERTICAL GRAIN		
D.B.	DECK BEARING	I	INCH	FLBG.	FLUMBING	VEST.	VESTIBULE		
DIAG.	DIAGONAL	IN.	INCH	P.S.I.	POUND PER SQUARE INCH	V.C.T.	VINYL COMPOSITION TILE		
DIA.	DIAMETER	INSUL.	INSULATION						
DIM.	DIMENSION								
DISP.	DISPENSER								

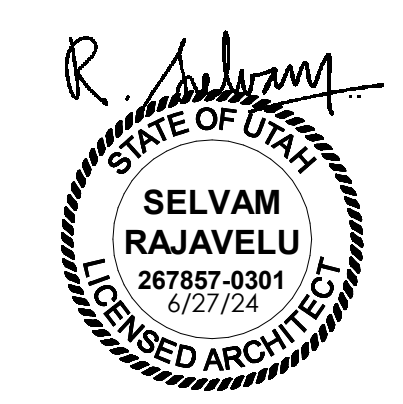
DEFERRED SUBMITTALS

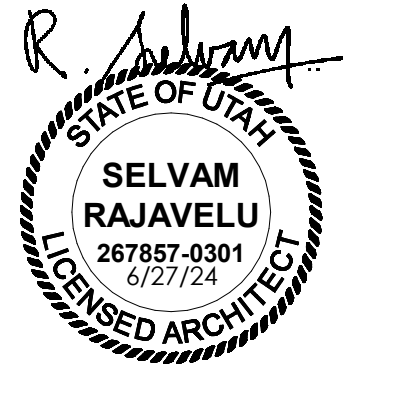
THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE BUILDING OFFICIAL FOR REVIEW WITH AN ACCOMPANYING LETTER FROM THE ARCHITECT STATING THAT THE CONTENTS OF THE SUBMITTAL ARE IN CONFORMANCE WITH THE DESIGN. WORK RELATED TO THE DEFERRED SUBMITTAL IS NOT TO COMMENCE UNTIL THE BUILDING OFFICIAL HAS APPROVED THE SUBMITTAL.

- DETAILS AND ENGINEERING CALCULATIONS FOR THE FIRE SPRINKLER AND FIRE DETECTION SYSTEMS, WHICH ARE TO BE DESIGN-BUILD BY THE CONTRACTOR TO COMPLY WITH NFPA 13 AND SHALL INCLUDE:
 - FIRE ALARM PLANS (INCLUDING CO DETECTOR LOCATIONS)
 - AUTOMATIC FIRE SPRINKLER PLANS

DEFINITIONS

- GENERAL: BASIC CONTRACT DEFINITIONS ARE INCLUDED IN THE CONDITIONS OF THE CONTRACT.
- "APPROVED": WHEN USED TO CONVEY ARCHITECT'S ACTION ON CONTRACTOR'S SUBMITTALS, APPLICATIONS, AND REQUESTS, "APPROVED" IS LIMITED TO ARCHITECT'S DUTIES AND RESPONSIBILITIES AS STATED IN THE CONDITIONS OF THE CONTRACT.
- "DIRECTED": A COMMAND OR INSTRUCTION BY ARCHITECT. OTHER TERMS INCLUDING "REQUESTED," "AUTHORIZED," "SELECTED," "REQUIRED," AND "PERMITTED" HAVE THE SAME MEANING AS "DIRECTED."
- "INDICATED": REQUIREMENTS EXPRESSED BY GRAPHIC REPRESENTATIONS OR IN WRITTEN FORM ON DRAWINGS, IN SPECIFICATIONS, AND IN OTHER CONTRACT DOCUMENTS. OTHER TERMS INCLUDING "SHOWN," "NOTED," "SCHEDULED," AND "SPECIFIED" HAVE THE SAME MEANING AS "INDICATED."
- "REGULATIONS": LAWS, ORDINANCES, STATUTES, AND LAWFUL ORDERS ISSUED BY AUTHORITIES HAVING JURISDICTION, AND RULES, CONVENTIONS, AND AGREEMENTS WITHIN THE CONSTRUCTION INDUSTRY THAT CONTROL PERFORMANCE OF THE WORK.
- "TURNISH": SUPPLY AND DELIVER TO PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS.
- "INSTALL": UNLOAD, TEMPORARILY STORE, UNPACK, ASSEMBLE, ERECT, PLACE, ANCHOR, APPLY, WORK TO DIMENSION, FINISH, CURE, PROTECT, CLEAN, AND SIMILAR OPERATIONS AT PROJECT SITE.
- "PROVIDE": FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
- "PROJECT SITE": SPACE AVAILABLE FOR PERFORMING CONSTRUCTION ACTIVITIES. THE EXTENT OF PROJECT SITE IS SHOWN ON DRAWINGS AND MAY OR MAY NOT BE IDENTICAL WITH THE DESCRIPTION OF THE LAND ON WHICH PROJECT IS TO BE BUILT.





KEYED NOTES

1. EXPOSED CROSS GRID MEMBER @ 2'-0" O.C.
2. EXPOSED MAIN GRID MEMBER @ 4'-0" O.C.
3. HANGER WIRE 12 GA. @ 4'-0" O.C. MAX EACH WAY.
4. SEISMIC RESTRAINT. SEE DETAIL 7 / A503A
5. SLOTTED ANGLE SPACER.

NOTE:
EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTIONS, SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2" OVERSIZE RING, SLEEVE, OR ADAPTER THROUGH THE CEILING TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS.

1 Typical Acoustical Ceiling Suspension
SCALE: 1/8" = 1'-0"

KEYED NOTES

1. MAIN RUNNER 1 1/2" @ 4'-0" O.C.
2. FURRING CHANNEL @ 1'-4" O.C.
3. HANGER WIRE 8 GA. @ 4'-0" O.C. MAX EACH WAY
4. SEISMIC RESTRAINT. SEE DETAIL 8 / A503A

2 Typical Gypsum Bd Ceiling Suspension
SCALE: 1/8" = 1'-0"

KEYED NOTES

1. CONCRETE OVER METAL DECK OR CONCRETE PAN & JOIST SYSTEM.
2. CONTINUOUS METAL PLATE 10 GA X 1'-4" WIDE WITH (2) 1/4" EXPANSION BOLTS.
3. LONG LEG TRACK 16 GA WITH (2) #12 S.M.S. @ 16" O.C.
4. METAL STUD 18 GA MIN. 3-5/8" @ 4'-0" O.C.
5. PL WASHER 1/8" X 3" X 3"

3 Typical Suspended Stud Attachment To Concrete Deck
SCALE: 3" = 1'-0"

KEYED NOTES

1. CLASS 1 ZINC COATED, SOFT TEMPERED WIRES, 12 GAUGE MIN.
2. PROVIDE 3/4" GAP BETWEEN CEILING GRID AND ANGLE ON TWO ADJACENT SIDES OF THE ROOM. DO NOT ATTACH CEILING GRID TO WALL ANGLE.
3. ATTACH CEILING GRID TO WALL ANGLE ON TWO ADJACENT SIDES OF THE ROOM (FIXED SIDES).
4. EXPOSED CROSS RUNNER ATTACHED TO MAIN RUNNERS.
5. ACOUSTICAL CEILING TILES. SEE CEILING PLANS.
6. 7/8" SUPPORTING CLOSURE ANGLE AT CEILING PERIMETER ATTACHED TO WALL.
7. EXPOSED MAIN RUNNER SHALL BE HEAVY DUTY T-BAR GRID SYSTEM SUSPENDED FROM STRUCTURE ABOVE. THIS END OF THE GRID SHALL REST UPON AND BE FREE TO SLIDE ON THE CLOSURE ANGLE.
8. LINE OF WALL.
9. SEISMIC CLIPS, BASIS OF DESIGN ARMSTRONG BERC 2 CLIPS IN LIEU OF 2" WALL ANGLE PER ICC-ESR 1308.

NOTE:
EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTIONS, SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2" OVERSIZE RING, SLEEVE, OR ADAPTER THROUGH THE CEILING TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS.

4 Ceiling Grid Detail
SCALE: 3" = 1'-0"

KEYED NOTES

1. LINE OF STRUCTURE ABOVE.
2. LINE OF WALL.
3. METAL STUD FRAMING (3-5/8" THICK, 18 GAUGE, METAL STUDS AT 16" O.C.) SUSPENDED FROM STRUCTURE ABOVE (OR WALL WHERE OCCURS). CROSS BRACE FRAMING AS REQUIRED FOR STRUCTURAL RIGIDITY.
4. ATTACH 5/8" THICK, TYPE 'X', GYPSUM BOARD TO METAL STUD FRAMING.

5 Ceiling Detail
SCALE: 1 1/2" = 1'-0"

KEYED NOTES

1. METAL STUD FRAMING 3 5/8" X 18 GA STUDS, SUSPENDED FROM STRUCTURE ABOVE @ 16" O.C. SEE DETAIL 3 / A503A
2. METAL STUD 3-5/8" X 18 GA LATERAL (45 DEGREE) BRACING AT 4'-0" O.C. CONNECT TO STRUCTURE ABOVE.
3. SHEET METAL SCREWS (4) #10.
4. ACOUSTICAL CEILING PANEL. SEE REFLECTED CEILING PLANS.
5. PERIMETER ANGLE MOLDING. SEE DETAIL 4 / A503A
6. GYPSUM BOARD 5/8" TYPE 'X', TYP.
7. HANGER WIRES 12 GA, TYP.

6 Gypsum Board Header
SCALE: 1 1/2" = 1'-0"

KEYED NOTES

1. RIGID HORIZONTAL RESTRAINT FROM CEILING GRID TO STRUCTURE ABOVE.
2. CLASS 1 ZINC COATED, SOFT TEMPERED WIRES, 12 GAUGE MIN.

NOTE:
A. CEILING GRIDS IN ROOMS OR AREAS GREATER THAN 144 SQ. FT. SHALL HAVE A RIGID HORIZONTAL RESTRAINT FROM CEILING TO STRUCTURE ABOVE AT EVERY 144 SQ. FT.
B. ALL SPRAYED WIRES SHALL BE AT 45 DEGREE ANGLES, 12 GAUGE AND GALVANIZED.
C. WHEN CEILING AREA EXCEEDS 2,500 SQ. FT. PROVIDE SEISMIC SEPARATION JOINT APPROVED BY CEILING GRID MANUFACTURER AND ARCHITECT.

NOTE: EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTIONS, SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2" OVERSIZE RING, SLEEVE, OR ADAPTER THROUGH THE CEILING TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS.

7 Ceiling Detail
SCALE: 1 1/2" = 1'-0"

KEYED NOTES

1. SHEET METAL #12 SCREWS
2. METAL CLIP 12 GA MIN X 3/4" W.
3. MACHINE BOLT 1/2" DIA. MIN.
4. ANGLE STRUT OR CHANNEL
5. METAL CLIP 1" W X 2" X 12 GA. MIN.
6. DIAGONAL HANGER WIRES 12 GA MIN. - 4 SIDES.
7. FURRING CHANNEL, 7/8" THICK, @ 1'-4" O.C. MAXIMUM.
8. METAL RUNNER CHANNELS, 1 1/2" THICK AT 48" O.C.
9. GYPSUM BOARD 5/8" THICK ATTACHED TO METAL FURRING CHANNEL.

8 Gypsum Board Ceiling Seismic Restraint Detail
SCALE: 1 1/2" = 1'-0"

KEYED NOTES

1. GYPSUM BOARD, 5/8" THICK (USE TYPE 'X' IF WALLS ARE FIRE RATED) ATTACHED TO METAL STUD FRAMING.
2. LINE OF WALL.
3. LINE OF CEILING AS OCCURS. SEE REFLECTED CEILING PLAN FOR CEILING TYPE.
4. METAL STUD FRAMING 3 5/8" THICK, 20 GAUGE STUDS, SUSPENDED FROM STRUCTURE ABOVE. STUDS SHALL BE AT 16" O.C.
5. LINE OF STRUCTURE ABOVE.

9 Gypsum Board Soffit
SCALE: 1 1/2" = 1'-0"

KEYED NOTES

1. EXPANSION SLEEVE 4"x1 5/16", BASIS OF DESIGN: ARMSTRONG E54, COLOR: WHITE.
2. MAIN BEAM, BASIS OF DESIGN: ARMSTRONG PRELUDE 15/16" XL EXPOSED TEE SYSTEM.
3. SEISMIC SEPARATION JOINT CLIP, BASIS OF DESIGN: ARMSTRONG SJMR-4"x1".
4. SEISMIC SEPARATION JOINT CLIP, BASIS OF DESIGN: ARMSTRONG SJCS-5"x1 1/2".
5. CROSS TEES, BASIS OF DESIGN: ARMSTRONG PRELUDE 15/16" XL EXPOSED TEE SYSTEM.

10 Seismic Separation Joint Clip Detail
SCALE: 1 1/2" = 1'-0"

KEYED NOTES

1. STEEL BEAM AS OCCURS.
2. STEEL JOIST AS OCCURS.
3. MECHANICAL DUCTS. SEE MECHANICAL DRAWINGS
4. LINE OF WALL.
5. UNISTRUT P1000, 4" LONG SUSPENDED FROM STRUCTURE ABOVE
6. THREADED ROD, 5/8" THICK, PROVIDE NUTS, WASHERS, CLAMPS, ETC. AS REQUIRED FOR COMPLETE INSTALLATION.
7. UNISTRUT, P1000, CROSS BRACE TO STRUCTURE. PROVIDE NUTS WASHERS CLAMPS ETC. AS REQUIRED FOR COMPLETE INSTALLATION.
8. UNISTRUT, P1001 @ 2'-0" O.C. SUSPENDED FROM STRUCTURE ABOVE
9. LIGHT FIXTURE SUSPENDED FROM UNISTRUT ONLY. DO NOT HANG FIXTURES FROM DUCTS.
10. CEILING SEE ROOF FOR HEIGHT. SUSPEND CEILING GRID FROM UNISTRUT ONLY. CONTRACTOR SHALL NOT SUSPEND LIGHTS, GRIDS, ETC. FROM DUCTS.

NOTE:
CONTRACTOR SHALL PROVIDE UNISTRUTS AS INDICATED IN THIS DETAIL WHEREVER DUCT INTERFERES WITH CEILING SUSPENSION SYSTEM.

11 Suspended Ceiling Trapeze Detail
SCALE: 1/2" = 1'-0"

KEYED NOTES

1. CLASS 1 ZINC COATED, SOFT TEMPERED WIRES, 12 GA MIN.
2. EXPOSED CROSS RUNNER ATTACHED TO MAIN RUNNERS.
3. ACOUSTICAL CEILING TILES. SEE CEILING PLANS.
4. EXPOSED MAIN RUNNER, SUSPENDED FROM STRUCTURE ABOVE.
5. FINISHED SUSPENSION TRIM, 4" BY CEILING SUPPLIER.
6. INTERSECTION TEE ATTACHMENT CLIP.
7. TRIM COLOR SHALL MATCH GRID COLOR.

12 Ceiling Trim Detail
SCALE: N.T.S.

Canyon Surgical Associates
Clinic Remodel
South Office Tower - Level 6

5171 Cottonwood Street #650
Murray, Utah 84107

NJRA Project # 24002.00
Construction Documents June 27, 2024
1 Addendum 1 July 17, 2024

Ceiling Details

A503A



NJRA Architects, Inc.

5223 S. Ascension Way, Suite 350 | Murray, Utah 84123 | 801.364.9259 | www.njraarchitects.com

July 17, 2024

Canyon Surgical Associates
Clinic Remodel

Subject: Bidding Questions and Response Letter

Bid Question - #1:

Is this work having to be done in phases, or are we able to take all of the areas at the same time? Is this work able to be done during normal working hours (7-5), or is the owner wanting it to be done nights and weekends?

Response - #1:

The majority of the work is in unoccupied space. Currently on the north side the small check-out that does not have any work in the scope is the only space occupied, and on the south side the clinic is fully occupied but the rooms within the scope of the construction are the existing waiting, break area and storage room adjacent, and the two exam rooms that are becoming offices. They would prefer to have access to the check-out through construction and coordinating finish work that allow access to that space, but may make an exception for cost reduction. There will have to be some coordination with the owner that may require either phases or off hours work to be able to use the clinic while work is taking place in the existing waiting and use of the exam rooms until the new exams are finished. Contractor can suggest project construction plan and schedule, but I would anticipate that completion of the north side and the break area and storage room removal for a hall would all be a first phase, then a second phase for removing the sinks from the existing exams for the offices and the finish replacement in the existing waiting room so that the south side of the clinic can function until the new exams are completed and have a small workflow coordination to use the north side access while the south side is completed. The owner has not yet but may request partial access to the break area in the proposed scenario phase one. I would anticipate that the majority of the work could be normal hours with the typical 72 hour notification and approval for specified activities from the project manual. In addition to the clinic area, off hours work and cleaning will need to be coordinated with Intermountain Health for above ceiling work needed on the 5th floor and/or activities that cause exceptional disruption to adjacent occupants in the facility. Luke Love will provide the coordination from Intermountain. See proposed rough phasing diagram at the end of this document.

Bid Question - #2:

Will subs need badge access to work on this project?

Response - #2:

All construction personnel on site will need badge access, coordination for access will be with the IMC Main Security Office.

Bid Question - #3:

Who are the building controls through for HVAC and existing fire alarm manufacturer?

Response - #3:

Building HVAC standard is Siemens. Existing Fire Alarm manufacturer/controls has not been able to be confirmed and will be a field verification item to match existing.

Bid Question - #4:

Is there elevator access to get materials to the sixth floor or will we need to pull a window?



NJRA Architects, Inc.

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Response - #4:

Elevator access will be allowed with contractor liability. Contractor shall provide protection and any repair of existing finishes due to construction, enclose transported debris, and provide cleaning.

Bid Question - #5:

Will IHC ICRA be required and monitored by IHC infectious control?

Response - #5:

Due to adjacent occupancies, ICRA 2.0 coordination, including signed forms and monitoring by IH ICRA team, will be required.

Bid Question - #6:

With LDs on the project and some items being long lead, will the project start closer to when the long lead items arrive?

Response - #6:

Project schedule should be coordinated with material availability and included proposed schedule included with the bids. LDs are based on proposed scheduled day amount in bid and can be coordinated with owner for construction start date.

Bid Question - #7:

For electrical work, will there be required nurse call on this project? Access Control? Speakers?

Response - #7:

There will not be any nurse call on this project. All access control on this project is existing and it is not anticipated that any installation or additional wiring will be required for access control. There are no new speakers on this project.

Bid Question - #8:

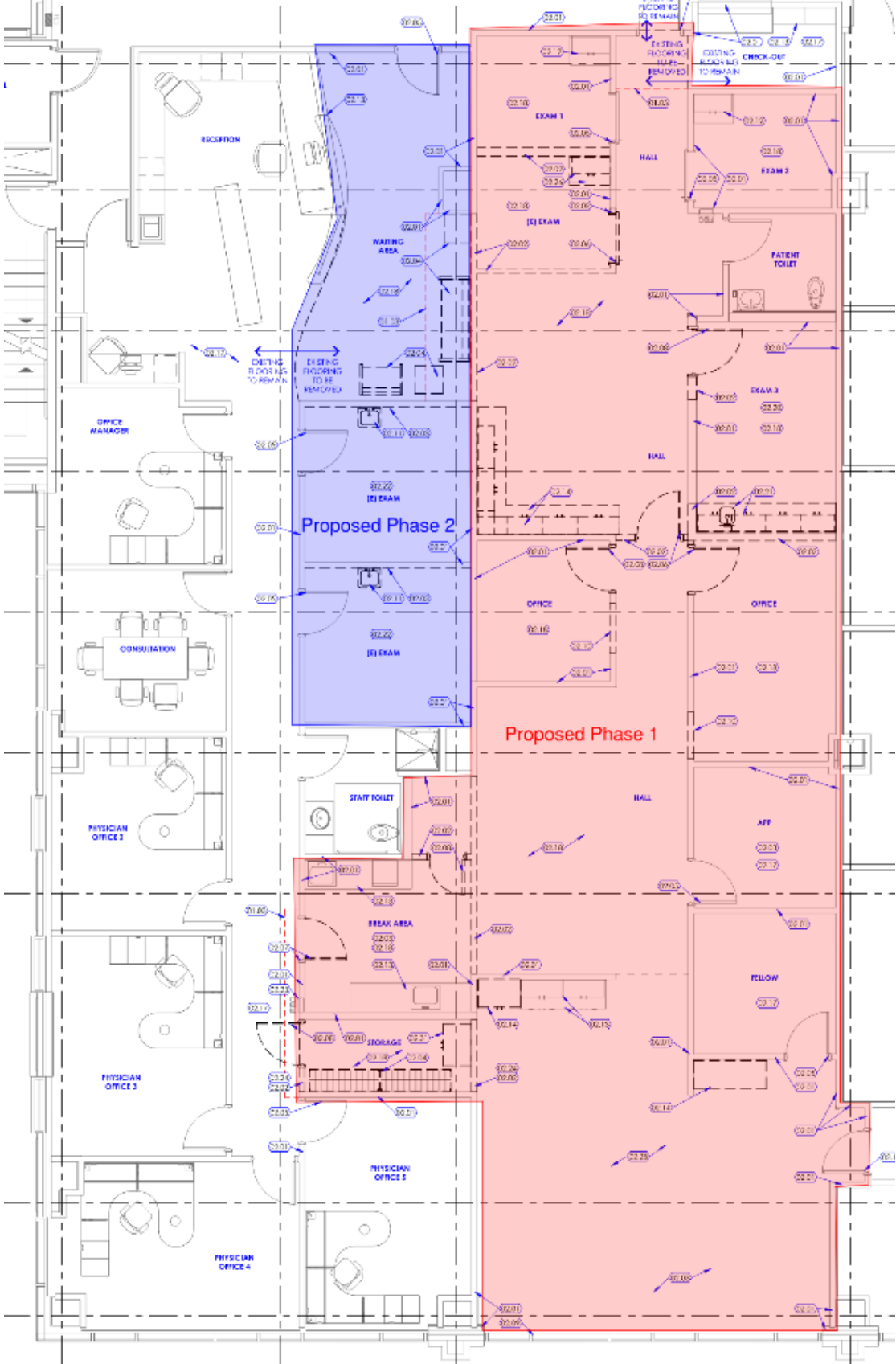
What are the fire alarm and suppression plan responsibilities?

Response - #8:

Sheet EY101 gives basic fire alarm information with 'remove and reinstall' notations as well as new fire alarm system equipment, but all final fire alarm and sprinkler/suppression plans are deferred submittals as stated on G002. This remains unchanged with the city review comments.

Katianne Jones
Project Manager
NJRA Architects, Inc.

Proposed rough phasing diagram:



NOTICE TO CONTRACTORS

Canyon Surgical Associates
Clinic Remodel
5171 S Cottonwood St. Suite #650
Murray UT, 84107

NJRA Architects shall receive bids for the construction of a remodel of the existing Canyon Surgical Associates Clinic. The total building (or remodel) area is approximately 2,450 SF. The Bids shall be on a lump sum basis and will be received until **5:00 p.m. prevailing Mountain time on July 19, 2024**, at the office of the NJRA Architects, 5223 S. Ascension Way, Suite 350, Murray, Utah 84123. Bids may also be electronically e-mailed to NJRA Architects, President & CEO, Selvam Rajavelu, at selraj@njraarchitects.com. Bids will be opened privately by the owner. Bid results will be notified to all contractors through e-mail when the owner determines the time and date to disclose. Only those General Contractor's, who have been invited to bid this project by the owner shall bid. Bidders shall verify if they have been pre-qualified prior to securing construction documents from the Architect. **NO EXCEPTIONS.**

Contract documents, dated June 27, 2024 shall be obtained on July 2, 2024, from the office of NJRA Architects, 5223 S. Ascension Way, Suite 350, Murray, Utah, 84123. Please e-mail project manager, Katianna Jones, katjon@njraarchitects.com, for the web site link to download the construction documents.

No Pre-Bid meeting has been planned for this project. However General Contractors are encouraged to visit the site prior to bidding the project. Contact Owner's project manager at e-mail address or by Phone: Melanie Jacobsen, melanieadams02@gmail.com, 801-507-9600 for site visit scheduling.

Product substitutions received after July 10, 2024 shall not be accepted. Last day to receive questions from the contractor is July 12, 2024. Email questions to NJRA Architects, Project Manager, Katianna Jones, at katjon@njraarchitects.com.

The Contractor shall commence the work of this contract upon receipt of Notice to Proceed and will be Substantially Complete not later than the date indicated in the bid form. A penalty of \$500 per calendar day will be assessed as liquidated damages in accordance with the General Conditions for each day that the project is delayed after the scheduled completion date.

Bidders are required to submit a detailed construction schedule along with their bid. The schedule shall outline the proposed work and reflect the start and completion dates. Bidders shall also submit list of all sub-contractors and detailed cost breakdowns along with their bid.

The owner reserves the right to reject any and all bids and to waive any irregularities in any bid or in the bidding.