

**TYPICAL NOTES:** NOT ALL NOTES ARE APPLICABLE:

1. AN UNOBSTRUCTED WORKING SPACE NOT LESS THAN 30 INCHES IN DEPTH AND THE HEIGHT OF THE FURNACE, BUT NOT LESS THAN 30", SHALL BE PROVIDED ALONG THE ENTIRE FRONT OR CONTROL SIDE OF FURNACE WHEN DOOR OF ENCLOSURE IS OPEN. PER IMC.
2. ALL HEATING & A/C INSTALLATION IS TO BE PERFORMED BY A LICENSED CONTRACTOR IN KEEPING WITH THE BEST PRACTICES OF THE IMC. HEATING CONTRACTOR IS TO VERIFY ALL NOTES AND CONDITIONS PRIOR TO INSTALLATION NOTES OF MECH. EQUIP. HEATING CONTRACTOR TO PROVIDE MIN. 1" CLEARANCE BETWEEN CLASS B VENT AND ANY COMBUSTIBLE MATERIAL. PROVIDE ALL COMBUSTION AIR FROM OUTSIDE SOURCES PER IMC.
3. ALL GLASS IS TO COMPLY WITH IBC.
4. ALL WINDOWS ARE TO HAVE THERMO-BREAK FRAMES.
5. CAULK ALL WINDOWS AND EXTERIOR DOOR OPENINGS.
6. KEY ALL EXTERIOR DOORS ALIKE. COORDINATE ALL LOCKS PER OWNER.
7. INSTALL AN ALUMINUM THRESHOLD ON ALL EXTERIOR DOORS. THRESHOLDS SHALL COMPLY WITH 302, 303 OF ICC/ANSI.
8. INSTALL BREATHABLE VAPOR RETARDER OVER INSULATION AT ALL COLD WALLS.
9. PROVIDE WEATHER RESISTANT MEMBRANE AT ALL EXTERIOR PARTITIONS APPLIED TO SHEATHING BEHIND SIDING, STUCCO, BRICK, EIFS, OR STONE. BRICK & STONE VENEERS SHALL BE ANCHORED TO WOOD FRAMING PER IBC.
10. INSULATE ALL DUCTS, SUPPLIES & PIPING IN UNHEATED AREAS TO R 8.0 MIN. PROVIDE 6" FIBERGLASS BATT MIN. R-19 WITHIN CANTILEVERED FLOOR JOISTS AND AT THE PERIMETER OF FLOOR JOISTS. ALSO PROVIDE R-24 INSULATION TO ALL TO OVER UNHEATED AREAS. COORDINATE WITH COMCHECK COMPLIANCE REPORT FOR REQUIRED R VALUES THRU-OUT STRUCTURE.
11. PROVIDE A MINIMUM R-19 FIBERGLASS BATT INSULATION THRU OUT ALL EXTERIOR PARTITIONS. PROVIDE BLOWN WOOL PER COMCHECK INSULATION THRU-OUT ATTIC SPACES OVER HABITABLE ROOMS. DO NOT BLOCK EAVE VENTILATION SPACE WITH INSULATION, PLEASE. COORDINATE WITH COMCHECK COMPLIANCE REPORT FOR REQUIRED R VALUES THRU-OUT STRUCTURE.
12. PROVIDE SWITCHED LIGHT IN ATTIC, IF MECH. EQUIPMENT PRESENT. LOCATE SWITCH WITHIN 30" OF ACCESS DOOR. PER IMC.
13. ALL EXTERIOR GFI'S TO BE WATERPROOF & 18" ABOVE FINISH GRADE. DEVICE TO BE WEATHER RESISTANT WITH A LISTED AND APPROVED COVER
14. INSTALL BACK FLOW PREVENTION DEVICE ON ALL HOSE BIBBS, SPRINKLERS, FOOTING DRAINS, AND LANDSCAPE DRAINS.
15. VENT TERMINATIONS SHALL BE 10' AWAY OR 3' ABOVE SWAMP COOLERS.
16. FIREBLOCK WALLS & FURRED SPACES AT CEILINGS & AT 10' VERTICAL & HORIZONTAL.
17. ALL MECHANICAL EQUIPMENT WITH A SPARK IGNITION SHALL BE 18" A.F.F.
18. FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTED FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPING, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTED TRIM. A FLASHING SHALL BE INSTALLED AT THE INTERSECTION OF THE FOUNDATIONS TO STUCCO, MASONRY, SIDING OR BRICK VENEER. THE FLASHING BE ON AN APPROVED CORROSION-RESISTANT FLASHING WITH A 1/2" DRIP LEG SHALL EXTEND PAST THE EXTERIOR SIDE OF THE FOUNDATION. PER IBC.
19. ALL APPLIANCES (WATER HEATER, BOILER, STEAM GENERATOR, ETC.) WHICH REQUIRE PRESSURE RELIEF VALVES SHALL BE PROVIDED WITH A FULL SIZE PAN WHICH SHALL EXTEND TO A FLOOR DRAIN. 504.7.1 IPC. WATER HEATERS LOCATED WHERE WATER DAMAGE MAY OCCUR SHALL HAVE A WATERTIGHT PAN INSTALLED BENEATH WITH A MINIMUM OF 1 1/2" DRAIN TO AN APPROVED RECEPTOR. IPC.
20. FIXTURES THAT HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACK FLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL NOT DICHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE PROVIDED WITH ACCESS. PER IBC. BACKWATER VALVES SHALL HAVE NON-CORROSIVE BEARINGS, SEATS AND SELF-ALIGNING DISCS, AND SHALL BE CONSTRUCTED TO ENSURE A POSITIVE MECHANICAL SEAL. VALVE ACCESS COVERS SHALL BE WATER TIGHT, PER IBC.
21. A SECONDARY OR AUXILIARY DRAIN PAN SHALL BE REQUIRED FOR EACH COOLING OR EVAPORATOR COIL WHERE DAMAGE TO ANY BUILDING COMPONENTS WILL OCCUR AS A RESULT OF OVERFLOW FROM THE EQUIPMENT DRAIN PAN OR STOPPAGE IN THE CONDENSATE DRAIN PIPING. DRAIN PIPING SHALL BE A MIN. OF 3/4" NOM. PIPE SIZE.
22. INTERIOR FINISHES SHALL HAVE FLAME SPREAD INDEX NO GREATER THAN THOSE VALUES SHOWN IN TABLE 803.11 IBC.
23. CONCRETE SLAB SHALL HAVE 6 MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES, SHALL BE PLACED BETWEEN THE SUBGRADE AND THE CONCRETE FLOOR SLAB, PER 1907.1 IBC.
24. INSULATING MATERIALS, WHERE EXPOSED, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450, PER 720.3, IBC

**TYPICAL NOTES 2:**

THE GENERAL CONTRACTOR ASSUMES FULL RESPONSIBILITY TO VERIFY THE CONDITIONS, DIMENSIONS, AND STRUCTURAL DETAILS OF THE BUILDING. THE CONTRACTOR ASSUMES FULL LIABILITY FOR ANY PROBLEMS THAT MAY ARISE DUE TO POSSIBLE ERRORS OR OMISSIONS ON THESE PLANS. USE OF THESE PLANS CONSTITUTES COMPLIANCE WITH THE ABOVE TERMS.

IT IS THE DUTY OF THE GENERAL CONTRACTOR TO DISCOVER ANY POTENTIAL ERRORS, OMISSIONS, OR INCONSISTENCIES IN THESE PLANS AND TO REQUEST A SOLUTION OR CLARIFICATION BEFORE CONSTRUCTION BEGINS ON THIS PROJECT.

WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED AND THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS PROCESS.

UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS, AND NOTES SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.

ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK INVOLVED.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE CURRENT IRC/IBC.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND THE SAFETY IN AND AROUND THE JOB SITE AND OF ADJACENT PROPERTIES.

THE GENERAL CONTRACTOR AND/OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN BOTH DURING AND AFTER CONSTRUCTION.

COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR.

NOTE THAT ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

NOTE THAT ALL PLAN VIEWS TAKE PRECEDENCE OVER ELEVATIONS AND SECTIONS.

MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED

**DESIGN PROFESSIONALS:**

**ARCHITECTURE:**  
 NIELSON ARCHITECTURE/PLANNING, INC., KELLY NIELSON ARCHITECT  
 801-564-7200 M, NIELARCH@GMAIL.COM

**STRUCTURAL ENGINEER:**  
 DRI ENGINEERING, JOSEPH STUART, P.E.  
 435-764-6851 M, JSTUART@DRI-ENG.COM

**MECHANICAL ENGINEER:**  
 MORTENSEN ENGINEERING, LORIN MORTENSEN, P.E.  
 435-770-5534 M, LORIN.MORTENSEN@COMCAST.NET

**ELECTRICAL ENGINEER:**  
 SINE SOURCE ENGINEERING, LLC, SHANE SWENSEN, P.E.  
 435-787-1445 O, SHANES@SINESOURCE.NET

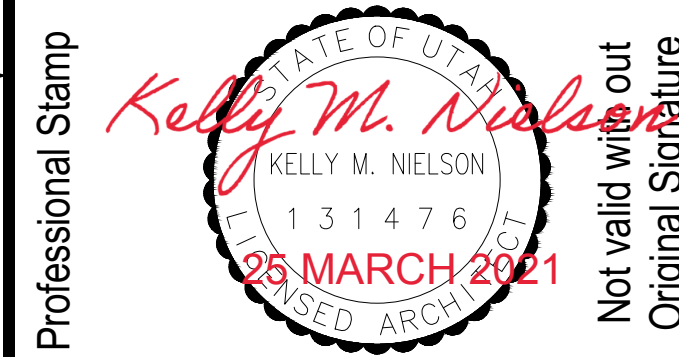
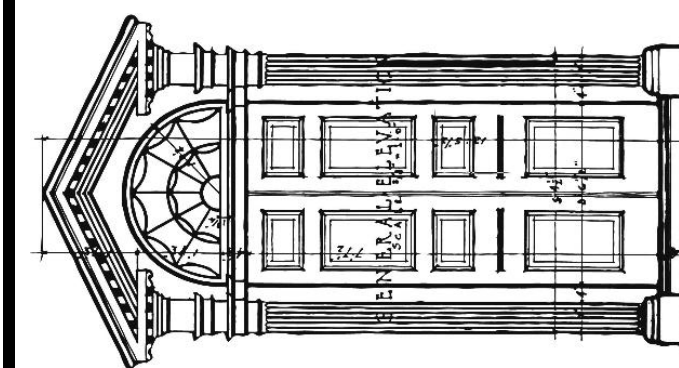
**2018 IBC CODE ANALYSIS:**

OCCUPANCY CLASSIFICATION: B, NO CHANGE  
 TYPE OF CONSTRUCTION: IIIB, NO CHANGE  
 OCCUPANT LOAD MAIN FLOOR, NO CHANGE  
 OCCUPANT LOAD UPPER FLOOR INCREASE BY 142  
 THREE ORIGINAL EXITS MAINTAINED  
 6 W.C. REQ, 11 W.C. PROVIDED  
 4 LAV REQ., 11 LAV PROVIDED



1 T-1 VICINITY VIEW  
 NOT TO SCALE

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**CLEARFIELD ARTS CENTER  
 INTERIOR REMODEL**

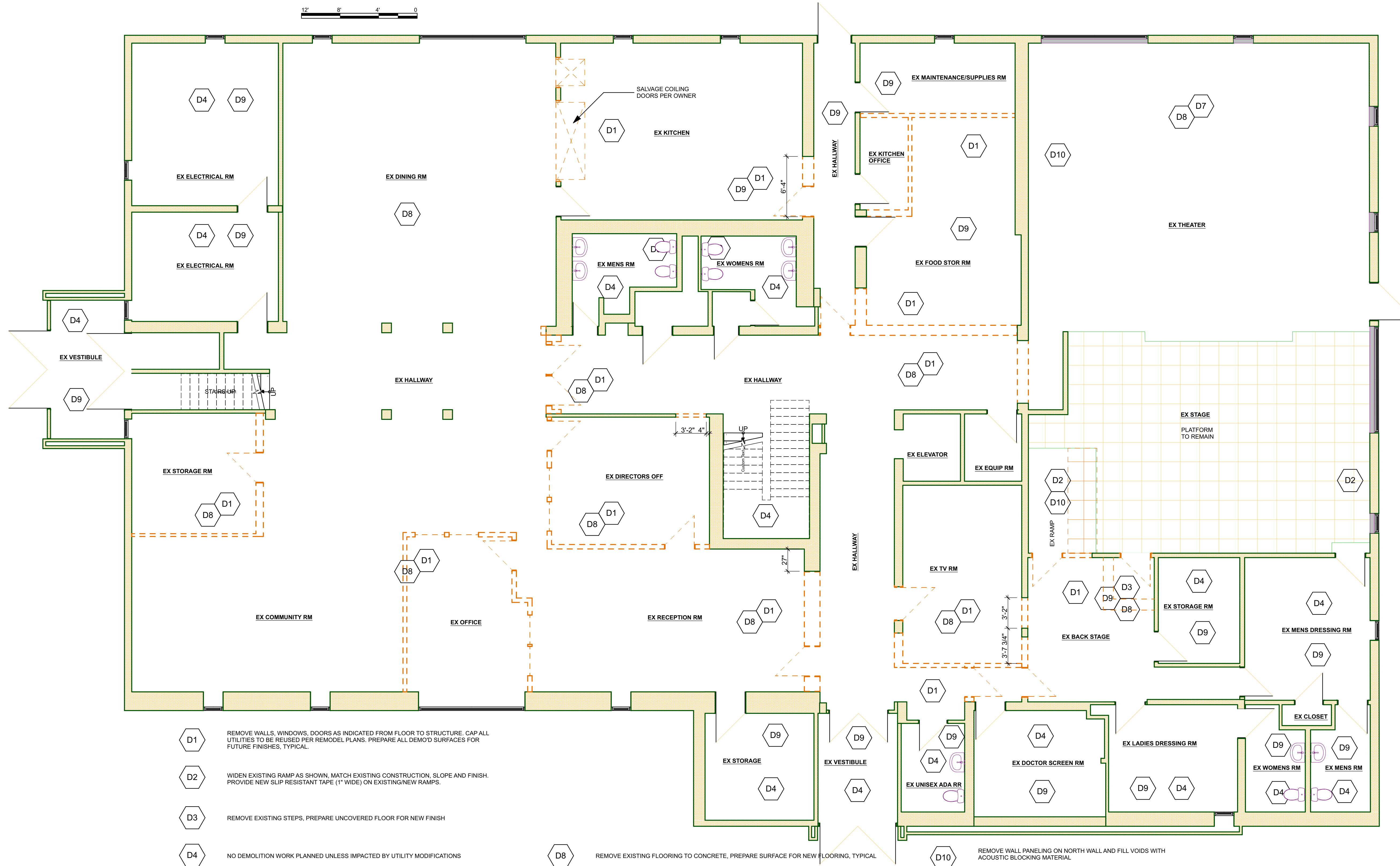
140 CENTER STREET  
 CLEARFIELD, UTAH

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**T-1**  
 SHEET 1 OF 10

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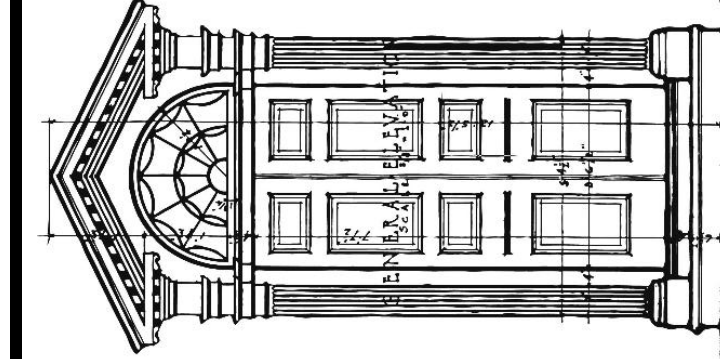
- D1 REMOVE WALLS, WINDOWS, DOORS AS INDICATED FROM FLOOR TO STRUCTURE. CAP ALL UTILITIES TO BE REUSED PER REMODEL PLANS. PREPARE ALL DEMO'D SURFACES FOR FUTURE FINISHES, TYPICAL.
- D2 WIDEN EXISTING RAMP AS SHOWN, MATCH EXISTING CONSTRUCTION, SLOPE AND FINISH. PROVIDE NEW SLIP RESISTANT TAPE (1" WIDE) ON EXISTING/NEW RAMP.
- D3 REMOVE EXISTING STEPS, PREPARE UNCOVERED FLOOR FOR NEW FINISH
- D4 NO DEMOLITION WORK PLANNED UNLESS IMPACTED BY UTILITY MODIFICATIONS
- D7 REMOVE LAST 3 ROWS OF CHAIRS, PROTECT FOR REINSTALLATION

- D8 REMOVE EXISTING FLOORING TO CONCRETE, PREPARE SURFACE FOR NEW FLOORING, TYPICAL
- D9 EXISTING FLOORING TO REMAIN, PATCH AND REPAIR AS REQUIRED BY DEMOLITION, TYPICAL
- D10 REMOVE WALL PANELING ON NORTH WALL AND FILL VOIDS WITH ACOUSTIC BLOCKING MATERIAL

1  
D-100

GROUND FLOOR demo  
SCALE: 3/16" = 1'-0"

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KELLY M. NIELSON  
131476  
25 MARCH 2021  
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# CLEARFIELD ARTS CENTER INTERIOR REMODEL

140 CENTER STREET  
CLEARFIELD, UTAH

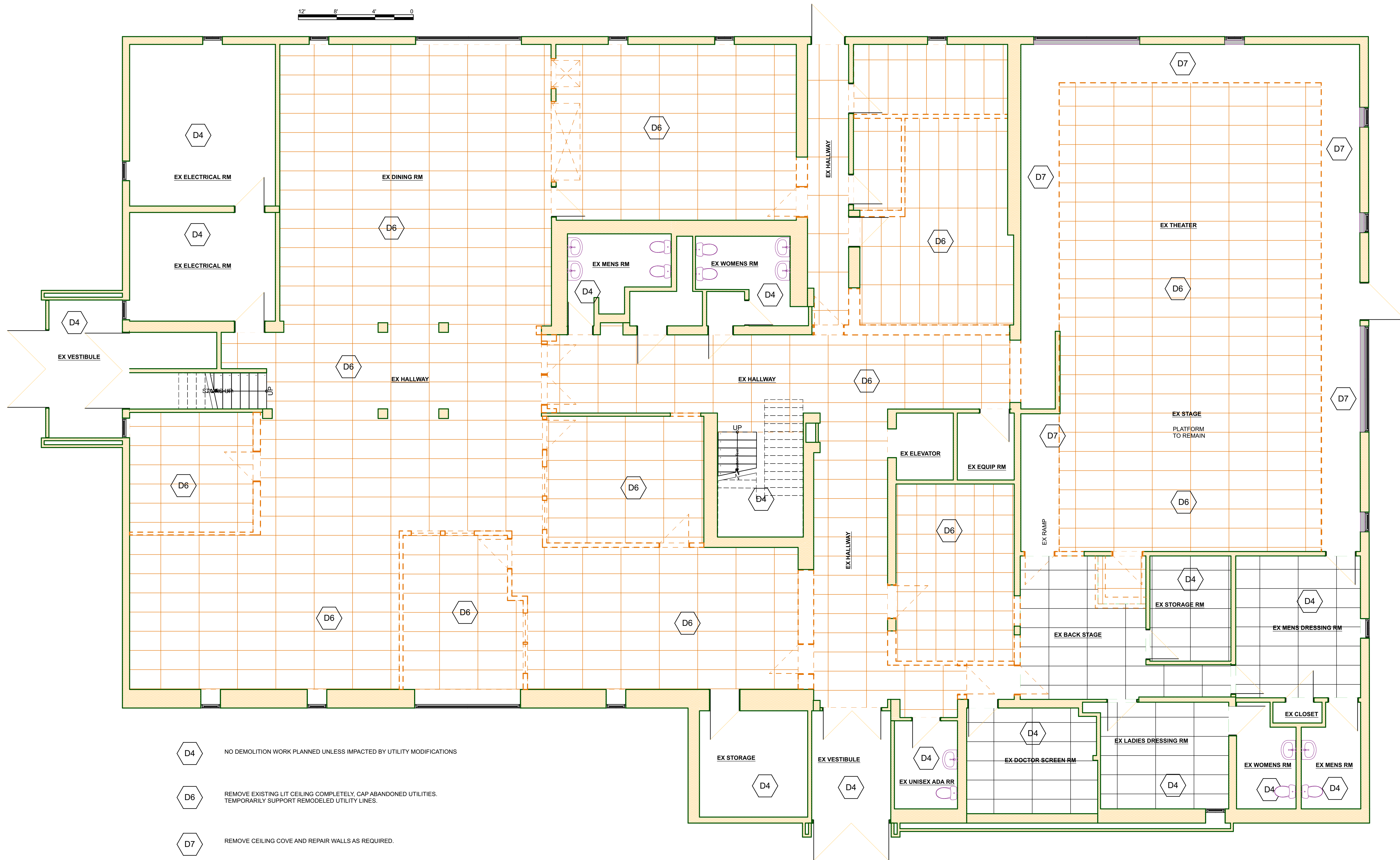
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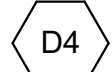
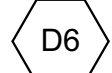
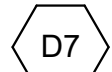
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GROUND FLOOR demolition

**D-100**

SHEET 2 OF 10

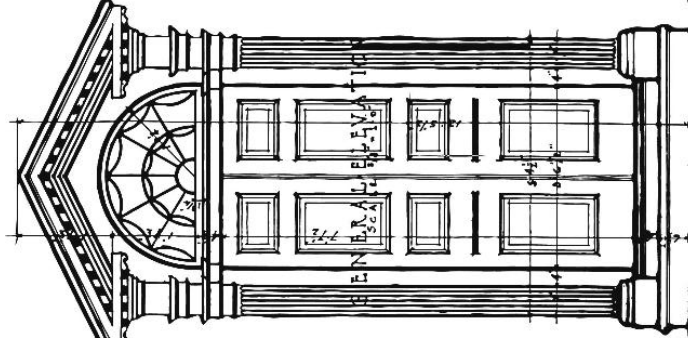
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-  NO DEMOLITION WORK PLANNED UNLESS IMPACTED BY UTILITY MODIFICATIONS
-  REMOVE EXISTING LIT CEILING COMPLETELY, CAP ABANDONED UTILITIES, TEMPORARILY SUPPORT REMODELED UTILITY LINES.
-  REMOVE CEILING COVE AND REPAIR WALLS AS REQUIRED.

1 D-200 GROUND FLOOR RCP DEMOLITION  
SCALE: 3/16" = 1'-0"

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**CLEARFIELD ARTS CENTER  
 INTERIOR REMODEL**

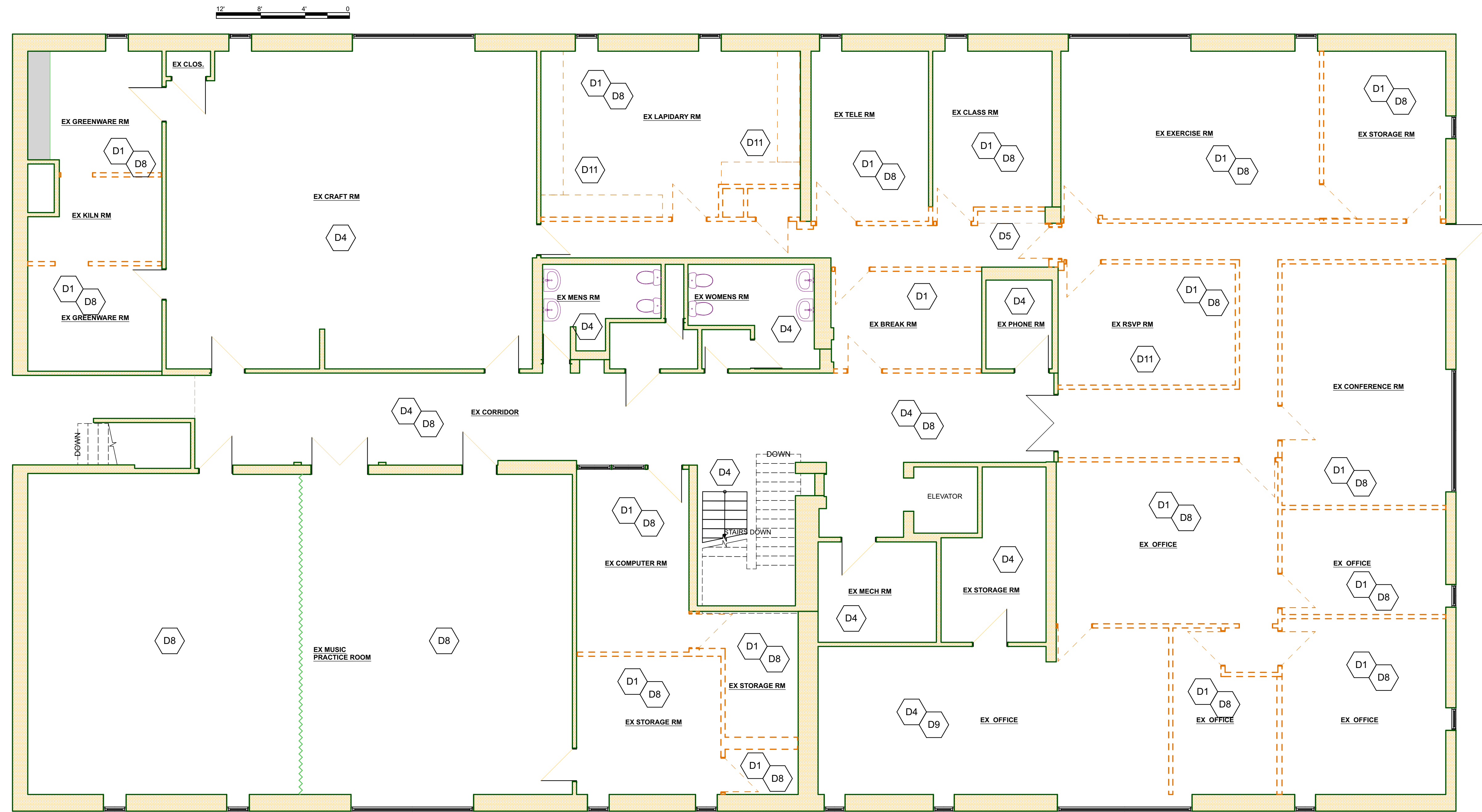
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SHEET TITLE  
**GROUND FLOOR RCP  
 DEMOLITION PLAN**

**D-200**  
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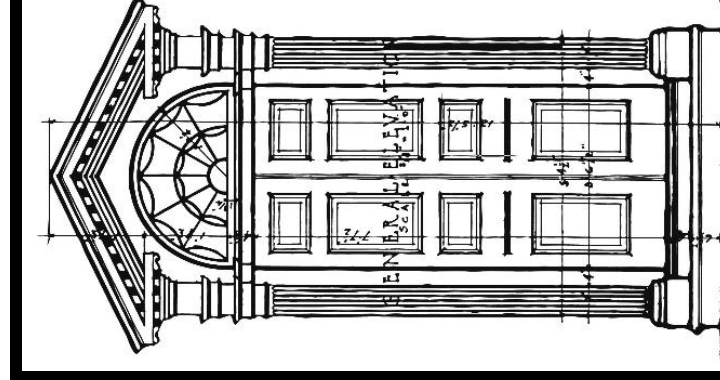


- D1 REMOVE WALLS, WINDOWS, DOORS AS INDICATED FROM FLOOR TO STRUCTURE. CAP ALL UTILITIES TO BE REUSED PER REMODEL PLANS. PREPARE ALL DEMO'D SURFACES FOR FUTURE FINISHES, TYPICAL.
- D4 NO DEMOLITION WORK PLANNED UNLESS IMPACTED BY UTILITY MODIFICATIONS
- D8 REMOVE EXISTING FLOORING TO CONCRETE, PREPARE SURFACE FOR NEW FLOORING, TYPICAL.

- D9 EXISTING FLOORING TO REMAIN, PATCH AND REPAIR AS REQUIRED BY DEMOLITION, TYPICAL
- D11 REMOVE EXISTING CABINETS & SHELVING, CAP ALL UTILITY LINES PER REMODEL PLANS



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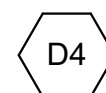
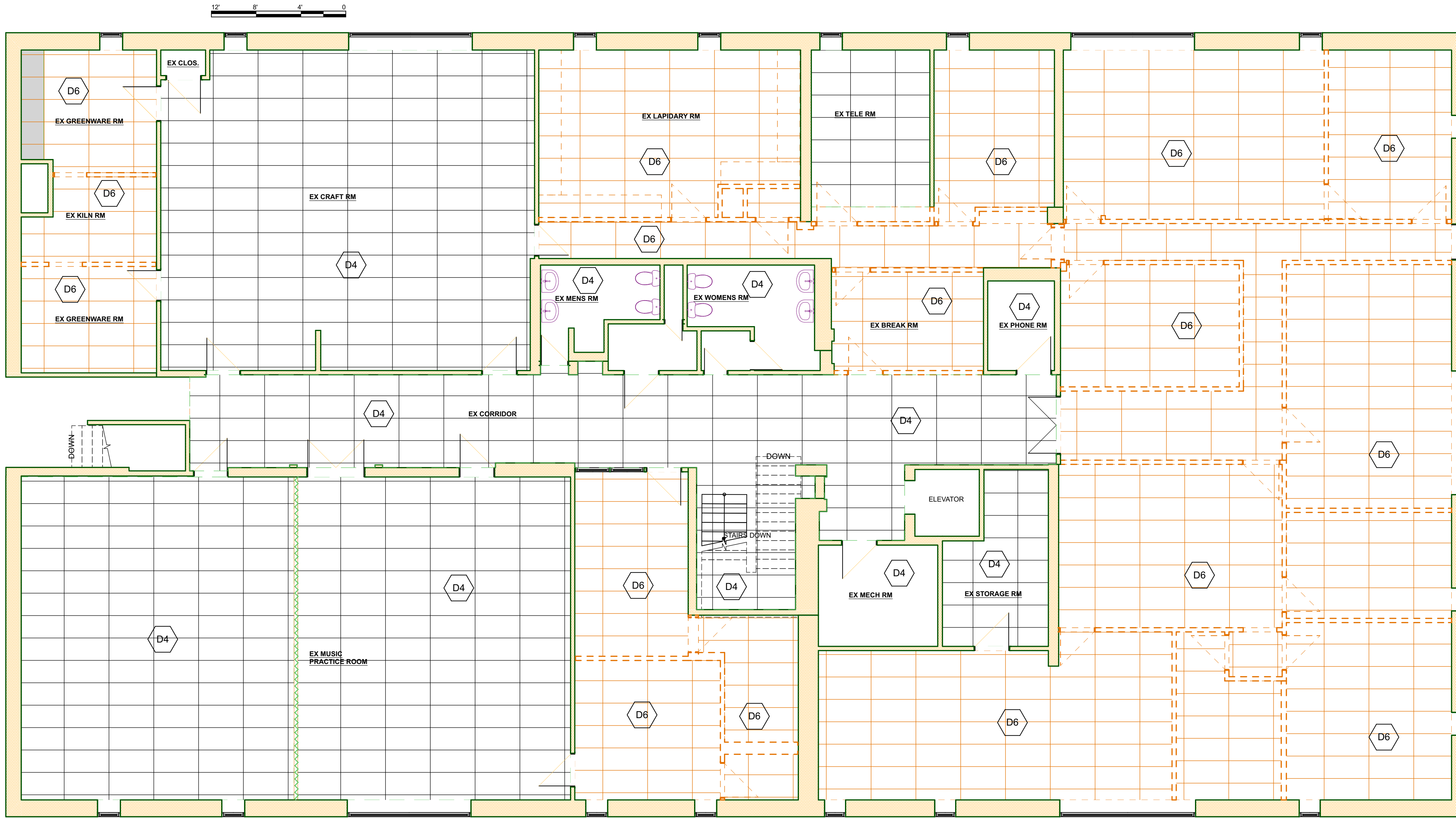
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**CLEARFIELD ARTS CENTER**  
**INTERIOR REMODEL**  
 140 CENTER STREET  
 CLEARFIELD, UTAH

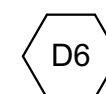
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SHEET TITLE  
 UPPER FLOOR Demolition

**D-300**  
 SHEET 4 OF 10

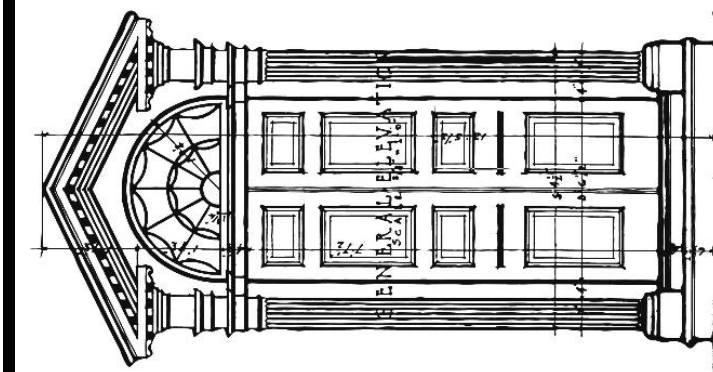


NO DEMOLITION WORK PLANNED UNLESS IMPACTED BY UTILITY MODIFICATIONS



REMOVE EXISTING LIT CEILING COMPLETELY, CAP ABANDONED UTILITIES. TEMPORARILY SUPPORT REMODELED UTILITY LINES.

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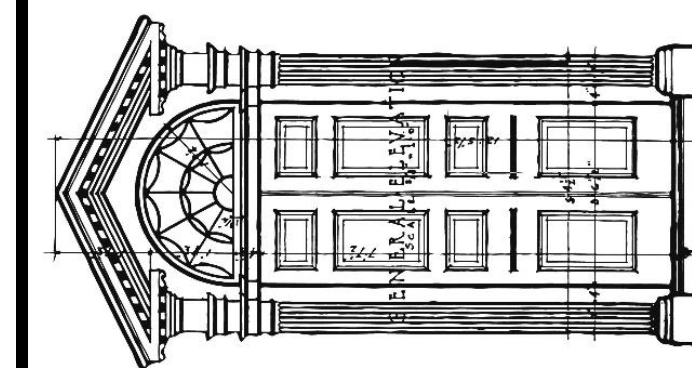
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SHEET TITLE  
 UPPER FLOOR RCP  
 DEMOLITION PLAN

**D-400**



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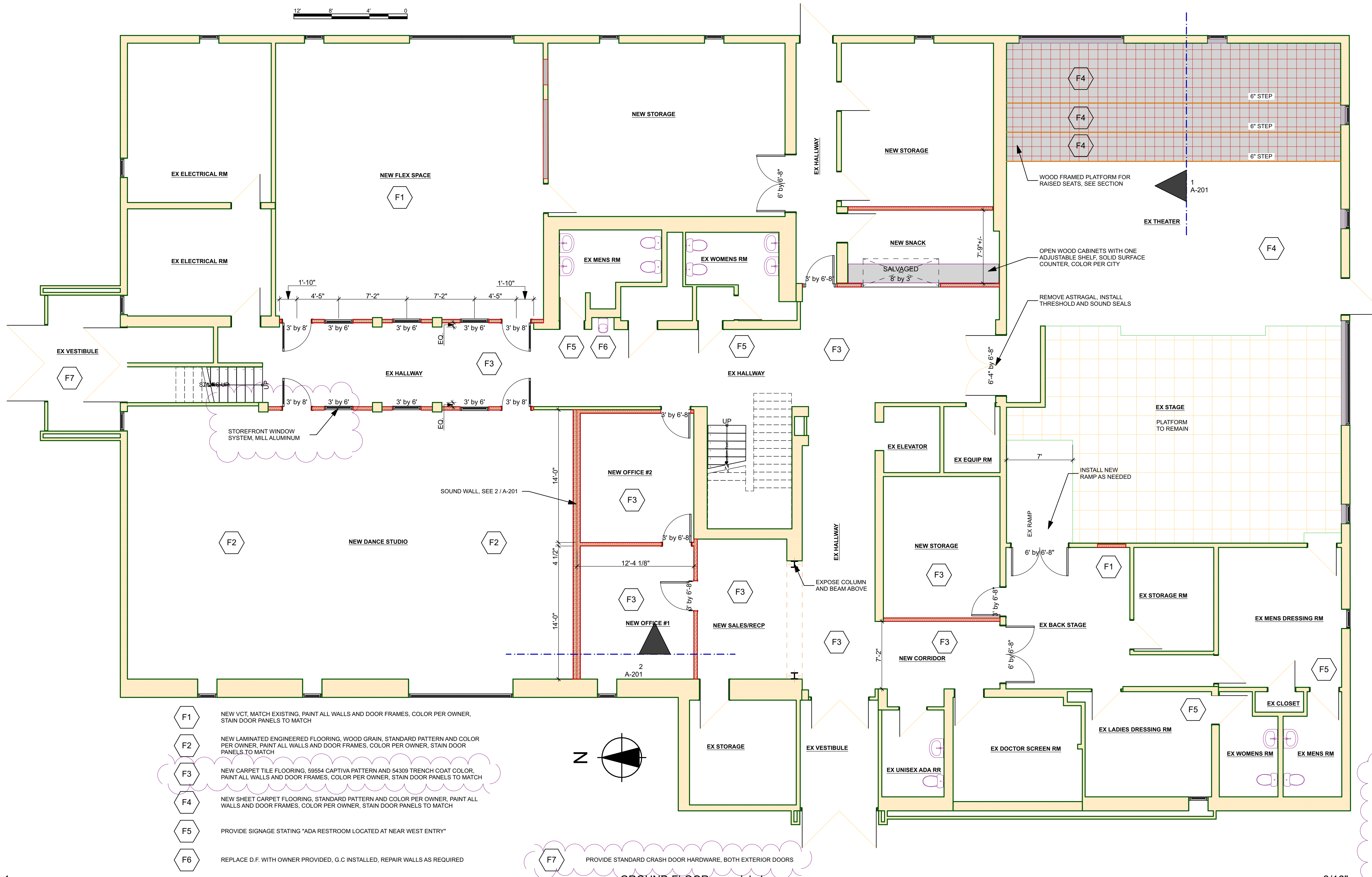
# CLEARFIELD ARTS CENTER INTERIOR REMODEL

140 CENTER STREET  
CLEARFIELD, UTAH

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SHEET TITLE  
**GROUND FLOOR REMODEL  
PLAN**

**A-101**  
SHEET 6 OF 10



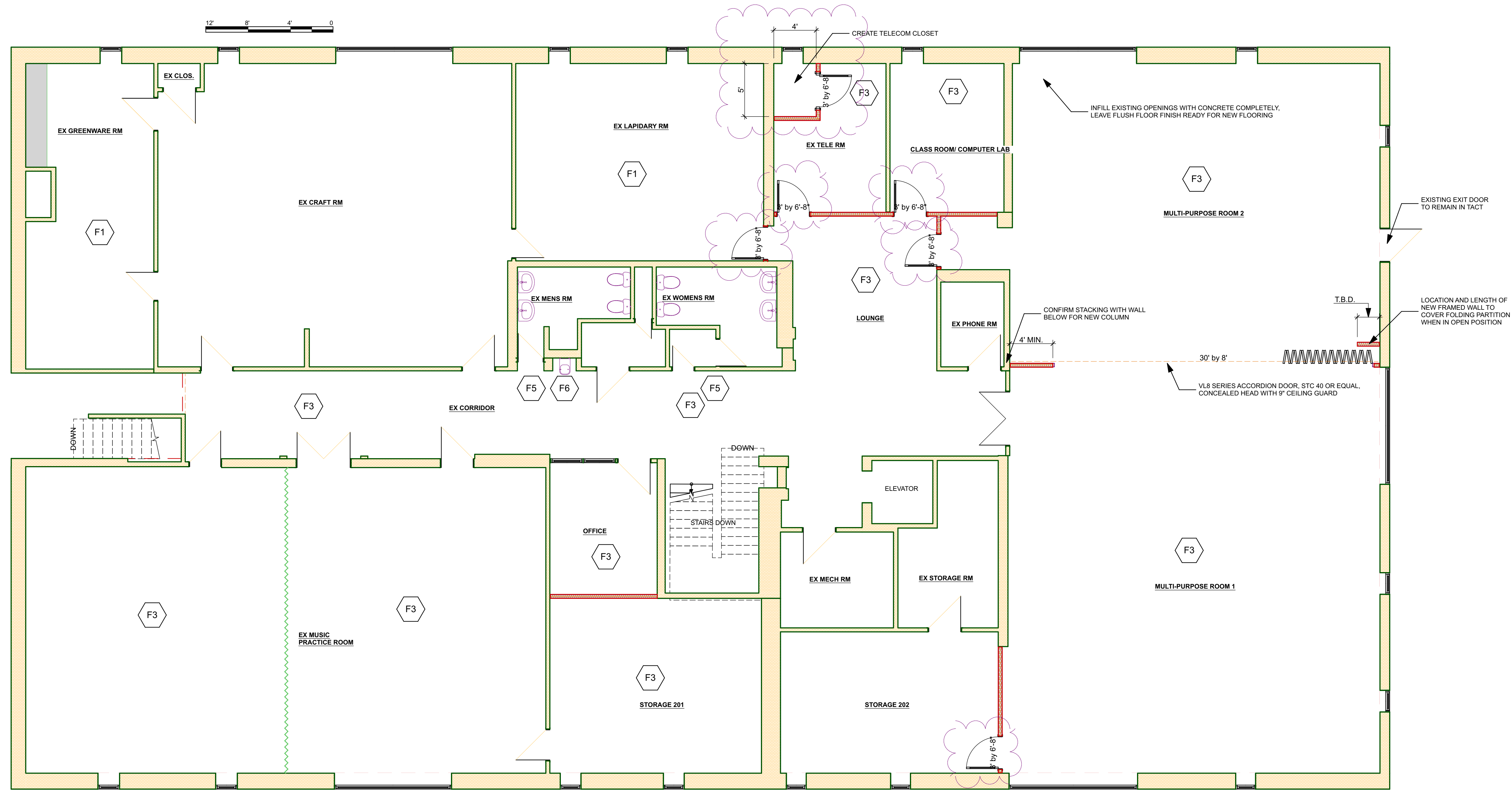
- F1** NEW VCT, MATCH EXISTING, PAINT ALL WALLS AND DOOR FRAMES, COLOR PER OWNER, STAIN DOOR PANELS TO MATCH
- F2** NEW LAMINATED ENGINEERED FLOORING, WOOD GRAIN, STANDARD PATTERN AND COLOR PER OWNER, PAINT ALL WALLS AND DOOR FRAMES, COLOR PER OWNER, STAIN DOOR PANELS TO MATCH
- F3** NEW CARPET TILE FLOORING, 59554 CAPTIVA PATTERN AND 54309 TRENCH COAT COLOR, PAINT ALL WALLS AND DOOR FRAMES, COLOR PER OWNER, STAIN DOOR PANELS TO MATCH
- F4** NEW SHEET CARPET FLOORING, STANDARD PATTERN AND COLOR PER OWNER, PAINT ALL WALLS AND DOOR FRAMES, COLOR PER OWNER, STAIN DOOR PANELS TO MATCH
- F5** PROVIDE SIGNAGE STATING "ADA RESTROOM LOCATED AT NEAR WEST ENTRY"
- F6** REPLACE D.F. WITH OWNER PROVIDED, G.C INSTALLED, REPAIR WALLS AS REQUIRED

- F7** PROVIDE STANDARD CRASH DOOR HARDWARE, BOTH EXTERIOR DOORS

GROUND FLOOR remodel plan

REVISIONS 13 APRIL 2021  
1-10"

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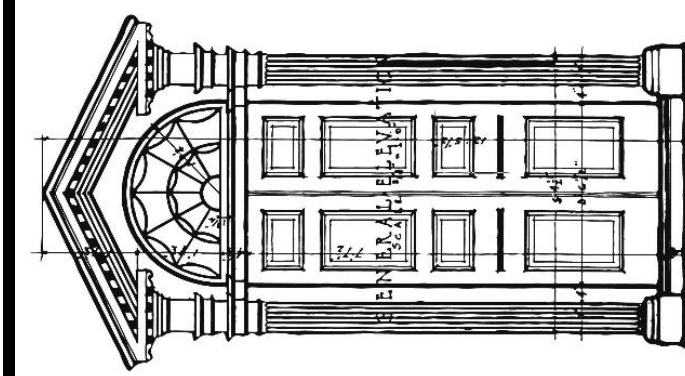


- F1 NEW VGT, MATCH EXISTING. PAINT ALL WALLS AND DOOR FRAMES, COLOR PER OWNER, STAIN DOOR PANELS TO MATCH
- F3 NEW CARPET TILE FLOORING, 59554 CAPTIVA PATTERN AND 54309 TRENCH COAT COLOR, PAINT ALL WALLS AND DOOR FRAMES, COLOR PER OWNER, STAIN DOOR PANELS TO MATCH
- F5 PROVIDE SIGNAGE STATING "ADA RESTROOM LOCATED AT NEAR WEST ENTRY"
- F6 REPLACE D.F. WITH OWNER PROVIDED, G.C INSTALLED, REPAIR WALLS AS REQUIRED

1 UPPER FLOOR remodel plan  
 A-102 SCALE: 3/16" = 1'-0"

REVISIONS 13 APRIL 2021

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**CLEARFIELD ARTS CENTER**  
**INTERIOR REMODEL**

140 CENTER STREET  
 CLEARFIELD, UTAH

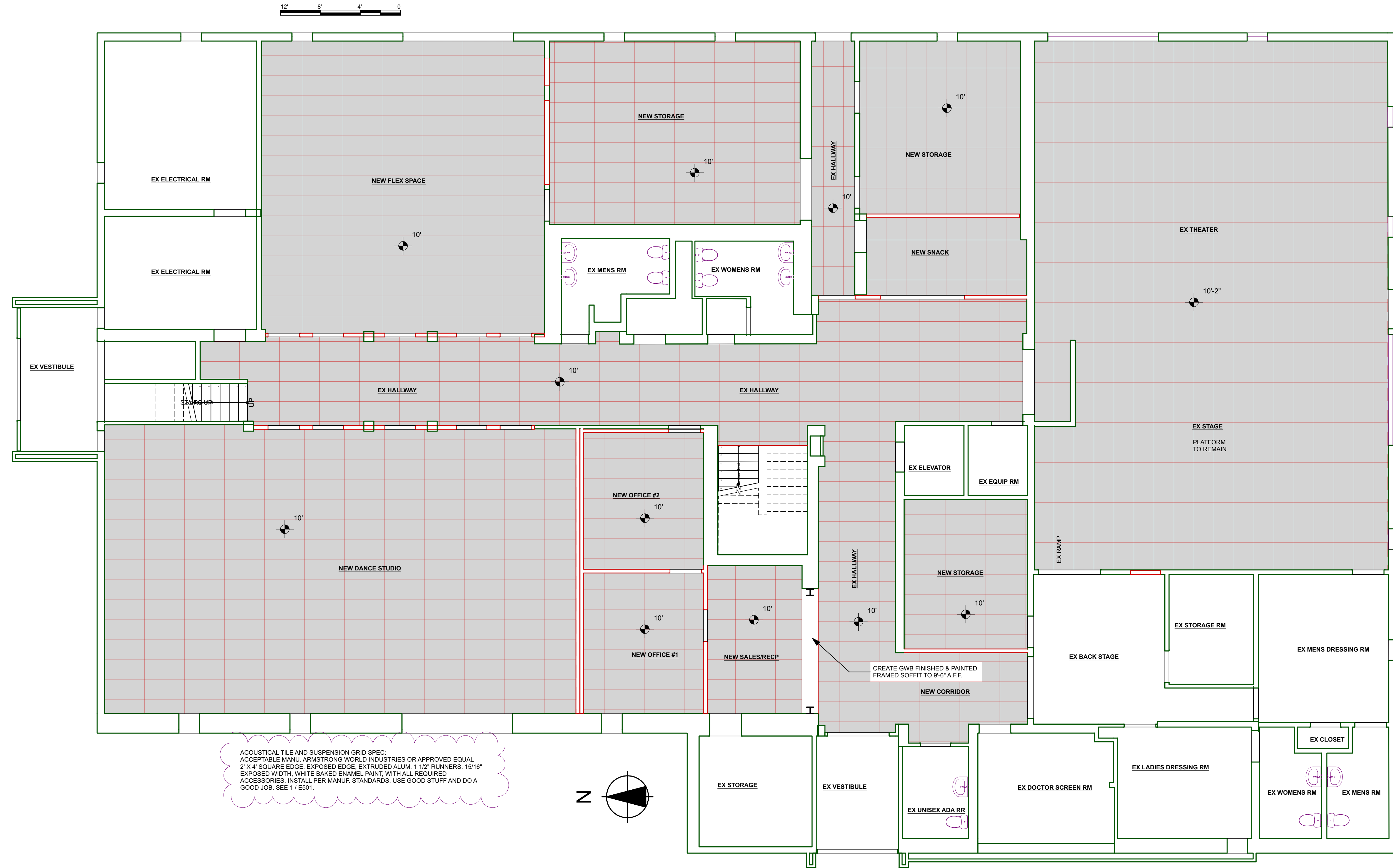
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 UPPER FLOOR REMODEL  
 PLAN

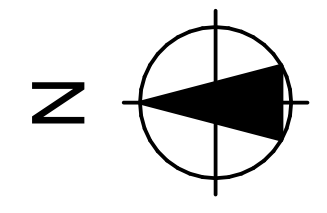
**A-102**

SHEET 7 OF 10

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ACCOUSTICAL TILE AND SUSPENSION GRID SPEC:  
 ACCEPTABLE MANU. ARMSTRONG WORLD INDUSTRIES OR APPROVED EQUAL  
 2' X 4' SQUARE EDGE, EXPOSED EDGE, EXTRUDED ALUM. 1 1/2" RUNNERS, 15/16"  
 EXPOSED WIDTH, WHITE BAKED ENAMEL PAINT, WITH ALL REQUIRED  
 ACCESSORIES. INSTALL PER MANUF. STANDARDS. USE GOOD STUFF AND DO A  
 GOOD JOB. SEE 1 / E501.



CREATE GWB FINISHED & PAINTED  
 FRAMED SOFFIT TO 9'-6" A.F.F.

1

GROUND FLOOR RCP

3/16" = 1" @ 20"

REVISIONS 13/APRIL 2021

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**CLEARFIELD ARTS CENTER**  
**INTERIOR REMODEL**  
 140 CENTER STREET  
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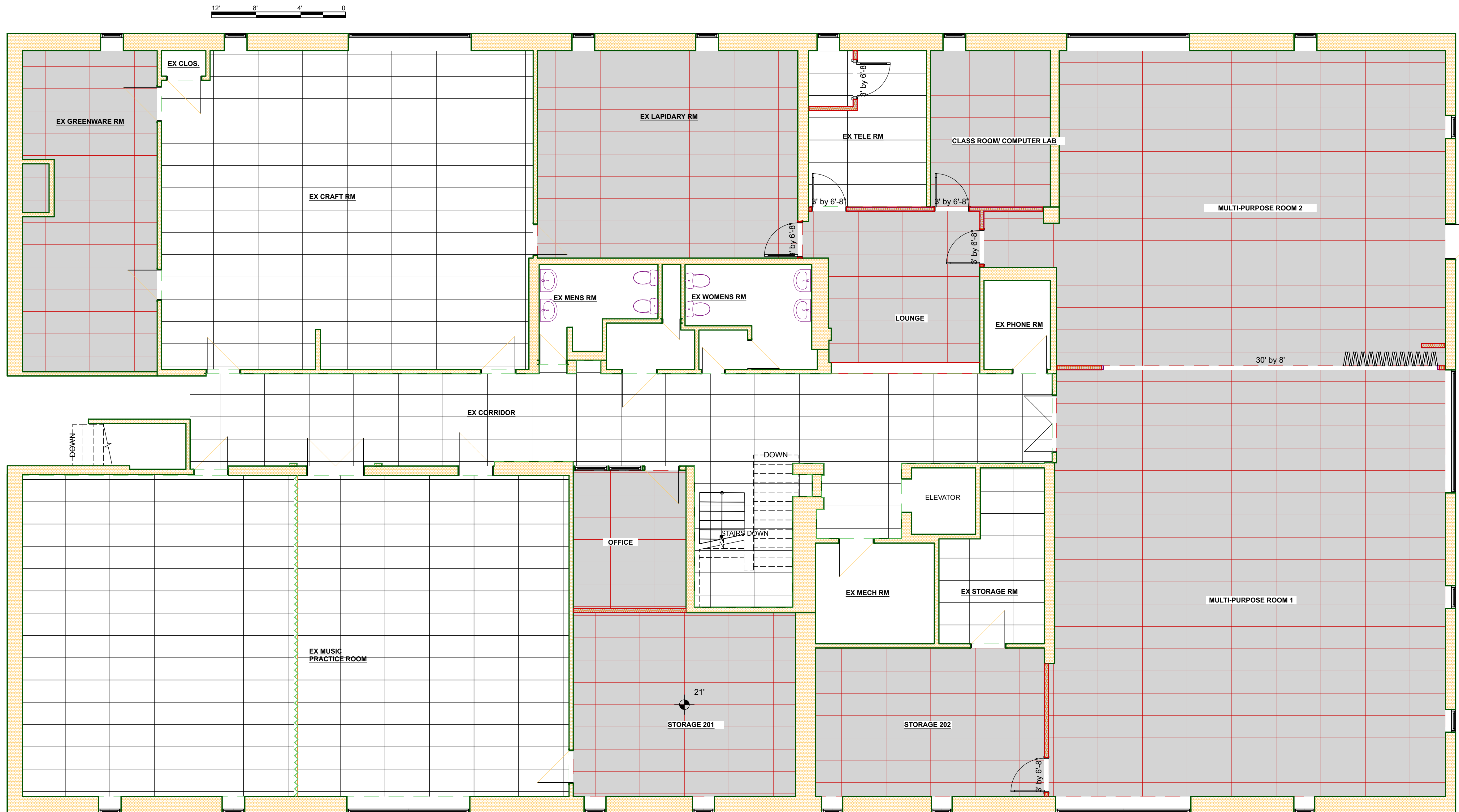
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**GROUND FLOOR REFLECTED  
 CEILING PLAN**

**A-103**

SHEET 8 OF 10





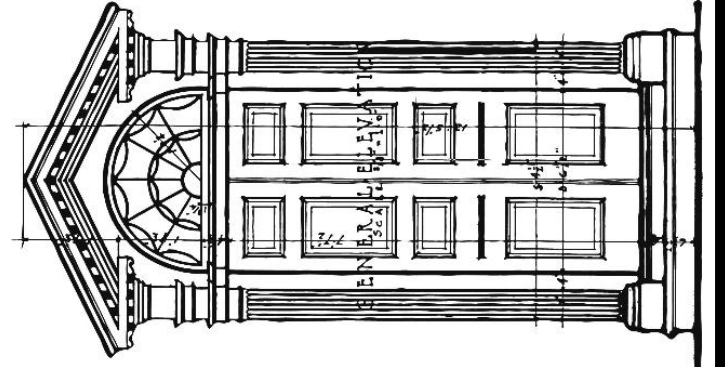
ACOUSTICAL TILE AND SUSPENSION GRID SPEC:  
 ACCEPTABLE MANU. ARMSTRONG WORLD INDUSTRIES OR APPROVED EQUAL  
 2' X 4' SQUARE EDGE, EXPOSED EDGE, EXTRUDED ALUM. 1 1/2" RUNNERS, 15/16"  
 EXPOSED WIDTH, WHITE BAKED ENAMEL PAINT, WITH ALL REQUIRED  
 ACCESSORIES. INSTALL PER MANUF. STANDARDS. USE GOOD STUFF AND DO A  
 GOOD JOB. SEE 1 / E501.

UPPER FLOOR RCP

3/16" = 1'-0"

REVISIONS 13 APRIL 2021

**N i e l s o n**  
**Architecture**  
**Planning, Inc.**  
 Kelly Nielson, Architect  
 1333 South 2375 West  
 Syracuse, Utah 84075  
 801-564-7200



Professional Stamp  
 Kelly M. Nielson  
 KELLY M. NIELSON  
 131476  
 3 April 2021  
 NOTED ARCH.  
 Not valid without  
 Original Signature

**CLEARFIELD ARTS CENTER**  
**INTERIOR REMODEL**

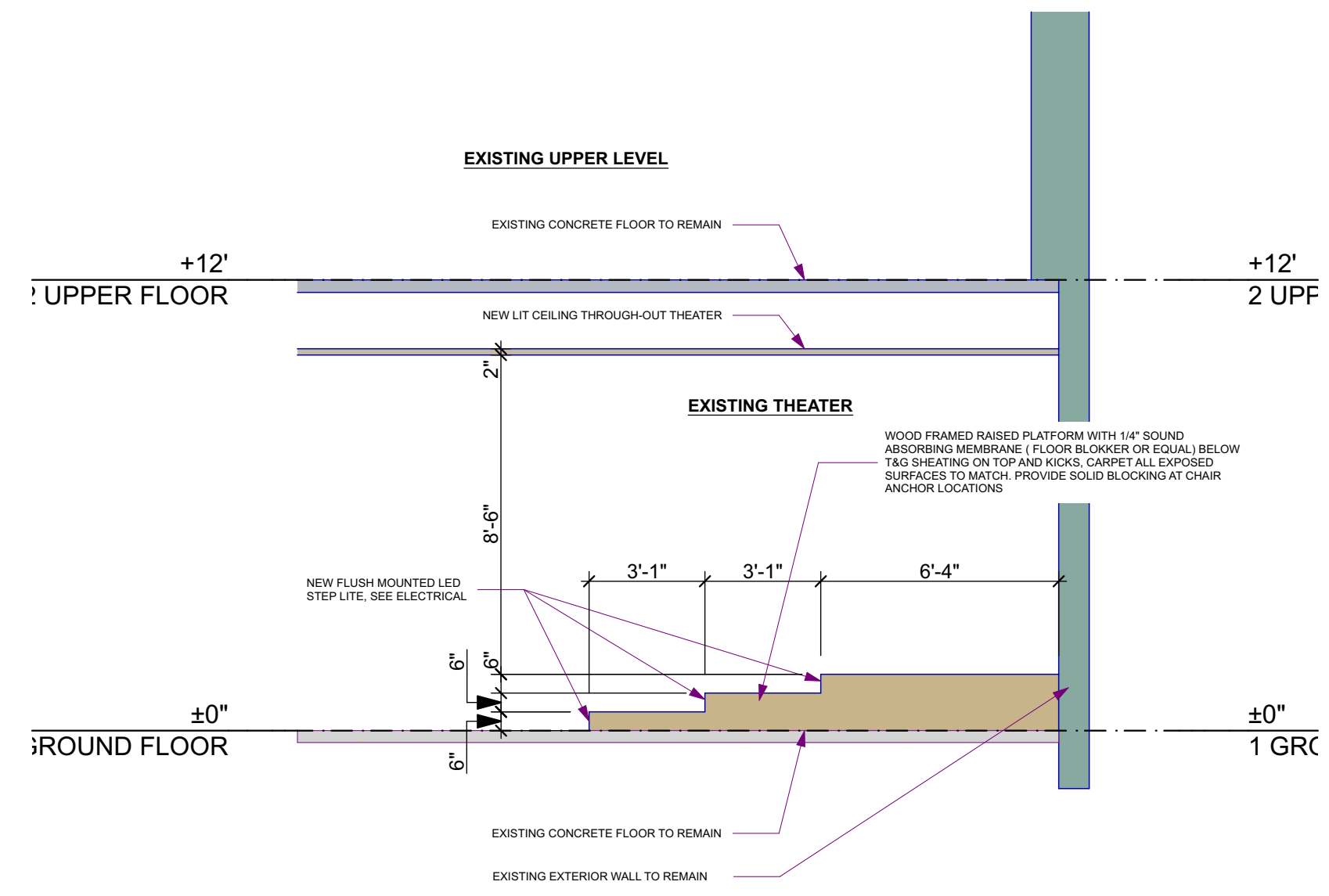
140 CENTER STREET  
 CLEARFIELD, UTAH

PROJECT NO: 2025  
 DATE: 25 March 2021  
 DRAWN BY: KMN  
 CHK'D BY: KMN  
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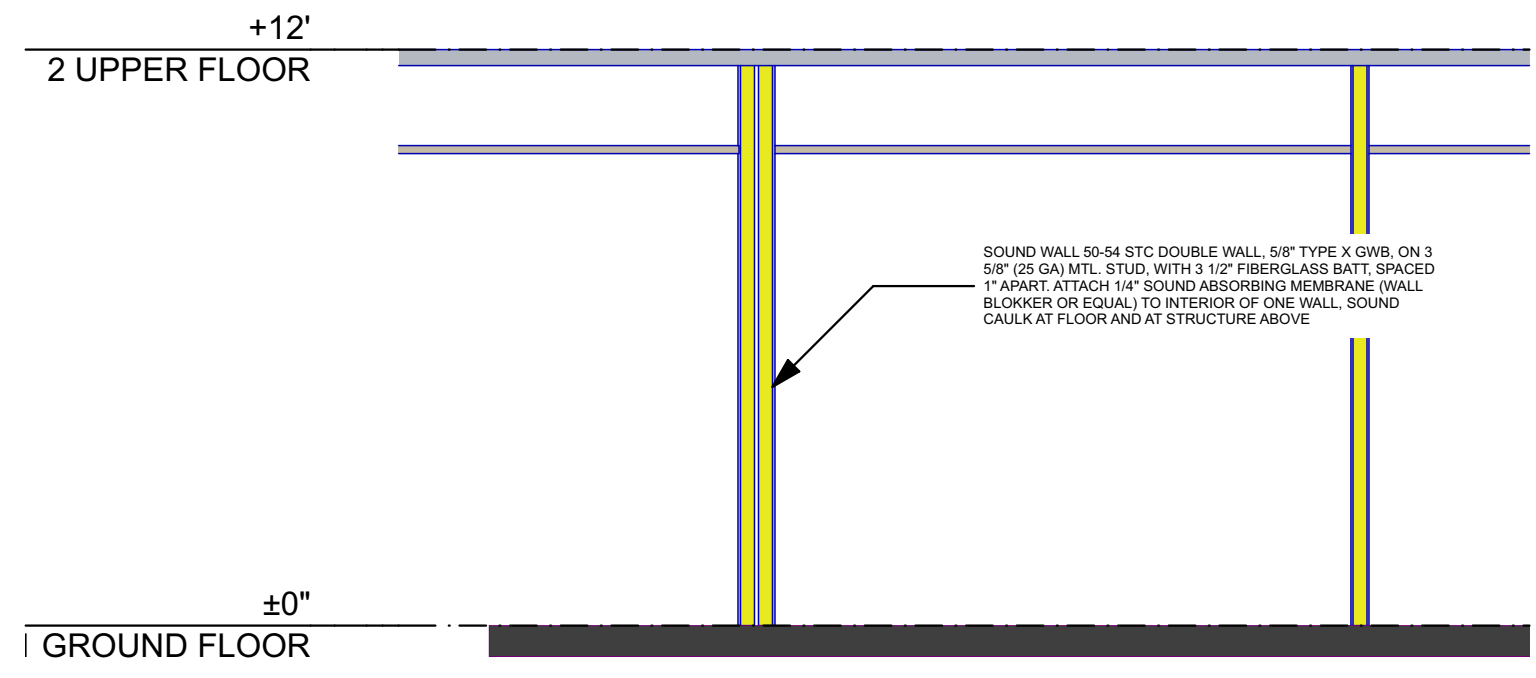
SHEET TITLE  
 UPPER FLOOR REFLECTED  
 CEILING PLAN

**A-104**

SHEET 9 OF 10

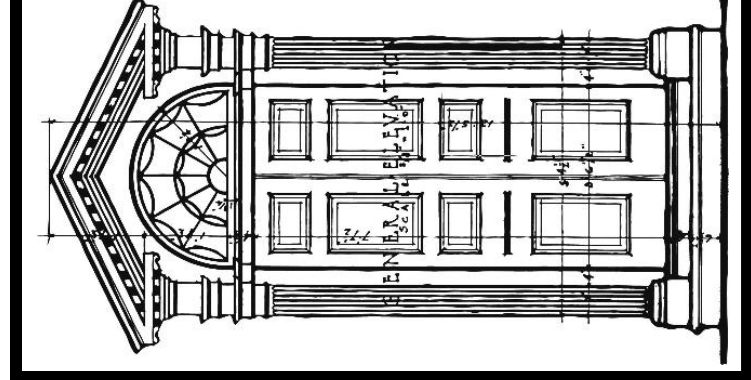


1  
A-201 RAISED FLOOR DETAIL  
SCALE: 1/4" = 1'-0"



2  
A-201 SOUND RATED WALL  
SCALE: 1/4" = 1'-0"

**Nielson**  
**Architecture**  
**Planning, Inc.**  
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*Kelly M. Nielson*  
KELLY M. NIELSON  
131476  
23 MARCH 2021  
Professional Architect  
Not valid without Original Signature

**CLEARFIELD ARTS CENTER**  
**INTERIOR REMODEL**  
  
140 CENTER STREET  
CLEARFIELD, UTAH

PROJECT NO:	2025
DATE:	25 March 2021
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SHEET TITLE  
SECTIONS / DETAILS

**A-201**  
SHEET 10 OF 10