



DFCM Addendum No. 1

Date: October 13, 2021

To:

INVITED COMPANY	CONTACT NAME	CONTACT EMAIL
Culp Commercial Construction Inc.	Mike Vance	mvance@culpco.com
Onsite Development Inc.	Daryl Hendrickson	daryl@onsite-development.net
Saunders Construction Inc.	Ed Saunders	ed@saunders1.com
WS Construction LLC	William Shuldeberg	williamshuldeberg@msn.com

From: Carl Francis – DFCM Project Manager

Reference: Roy Store #23 Façade Replacement
 Department of Alcoholic Beverage Control - Roy, Utah
 DFCM Project No. 22289030 - Invitational

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Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.

- 1.1 SCHEDULE CHANGES:** There are no Project Schedule changes within this addendum.
- 1.2 GENERAL ITEMS:** See attached Architect’s Addendum No. 1 dated October 11, 2021.

Date: October 11th, 2021

ADDENDA NO. 1

PROJECT:

Department of Alcoholic Beverage Control
Roy Liquor Store #23 Façade Upgrades
5978 South 1900 West
Roy, Utah 84067
D.F.C.M. Project Number 22289030

ARCHITECT:

PRIOR & ASSOCIATES ARCHITECTS
821 EAST KENSINGTON AVENUE
SALT LAKE CITY, UT 84105

The original Contract Documents issued for the above noted project are amended as noted in this Addendum. It shall be the sole responsibility of the bidder to appropriately distribute this information to all concerned, prior to the assigned bid time and date, and to coordinate the Addendum with the Contract Documents.

This Addendum consists of a total of Two (2) 8 ½"x11" documents, including this document and No (0) 30"x42" drawings.

Specification Addenda Items:

- I. None.

Construction Document Addenda Items:

- I. None

Additional Addenda Items:

- I. See photo below indicating existing electrical outlet located on the south elevation. The existing electrical outlet shall be disconnected and the existing outlet cover box removed. Provide a new water proof, lockable outlet cover box in place of the existing outlet cover box. Reconnect existing outlet upon new water proof cover installation.



Provide new galvanized steel water-proof outlet cover box.

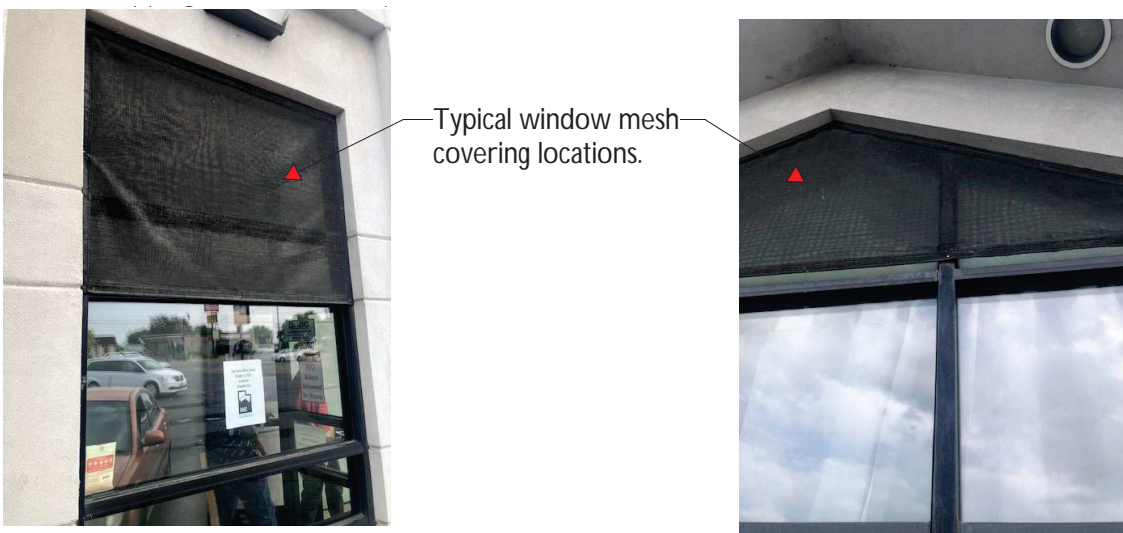
- The existing store front window frames shall have the existing sealant removed from all storefront frames at vertical and horizontal intersections. Provide new silicone sealant at all intersection of vertical and horizontal storefront window frames locations. Upon completion of the sealant, the existing storefront window frames and glazing shall be cleaned with dish soap and hot water. See photos below of existing building storefront window frame intersections.



- All existing storefront windows and door glazing shall receive new window film covering on the interior glazing surface. New window film covering shall be as listed below and shall have a minimum warranty as indicated. Other manufacturers may be used but, must provide data for comparison to window film product indicated below.

- Product: "Xpel", Evening View 25
- 15-year full warranty
- Possible Installer: Divine Window Solutions – 1.208.406.0054

- The existing storefront window systems have an existing mesh screen attached to the outside of the frame. The existing window mesh shall be removed so that the window frames can be caulked and cleaned as indicated in addenda #1 item #2 above. The mesh shall be reinstalled with new stainless steel self-tapping screws and neoprene washers.



End of Addenda #1.