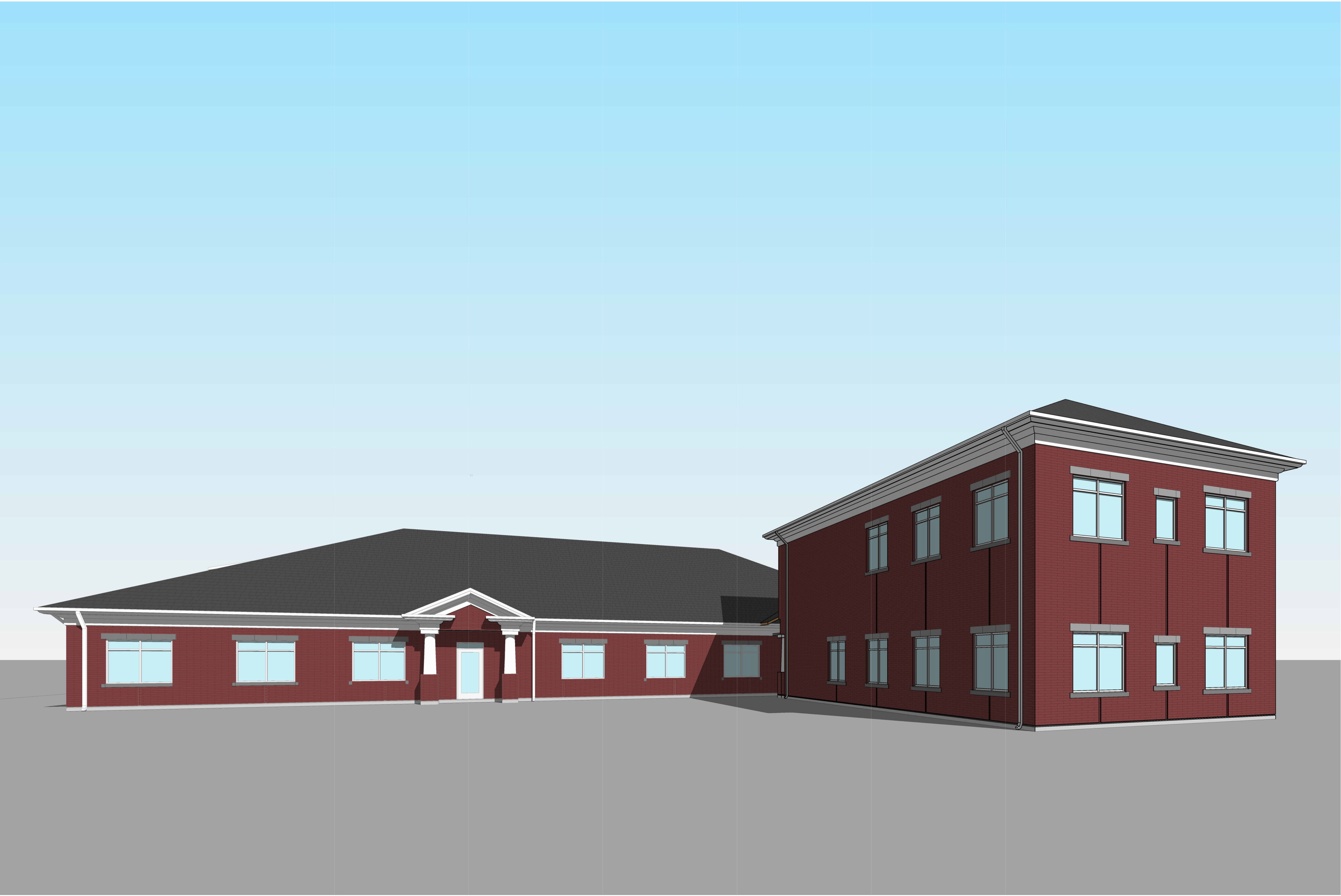


# JONES & ASSOCIATES CONSULTING ENGINEERS



**ARCHITECT:**

**SANDERS ASSOCIATES ARCHITECTS**  
2668 Grant Ave, Suite 100  
Ogden, UT 84401

Contact: M. Shane Sanders, AIA  
Telephone: 801.621.7303

**CIVIL:**

**JONES & ASSOCIATES ENGINEERING**  
6080 Fashion Point Drive  
South Ogden, UT 84403

Contact: Brandon Jones  
Telephone: 801.391.9621

**STRUCTURAL:**

**SILVERPEAK ENGINEERING**  
177 E. Antelope Dr.  
Layton, UT 84041

Contact: Jayson Love, PE, SE  
Telephone: 801.708.1362

**MECHANICAL & PLUMBING:**

**CUNNING AND ASSOCIATES**  
4685 W. 11600 N.  
Tremonton, UT 84337

Contact: Norm Cuning, PE  
Telephone: 801.726.5047

**ELECTRICAL:**

**SINE SOURCE ENGINEERING**  
95 West golf Course Road, Suite 102  
Logan, UT 84321

Contact: Shane Swenson, PE  
Telephone: 435.787.1445



Consultant

**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

Project Name

| Issued |          |             |
|--------|----------|-------------|
| No.    | Date     | Description |
| 1      | 09.21.23 | PLAN REVIEW |
| 2      | 02.29.24 | PLAN REVIEW |
|        |          |             |

| Revision |      |             |
|----------|------|-------------|
| No.      | Date | Description |
|          |      |             |
|          |      |             |
|          |      |             |

SAA Project No. 2022-11  
Drawing Title

COVER SHEET

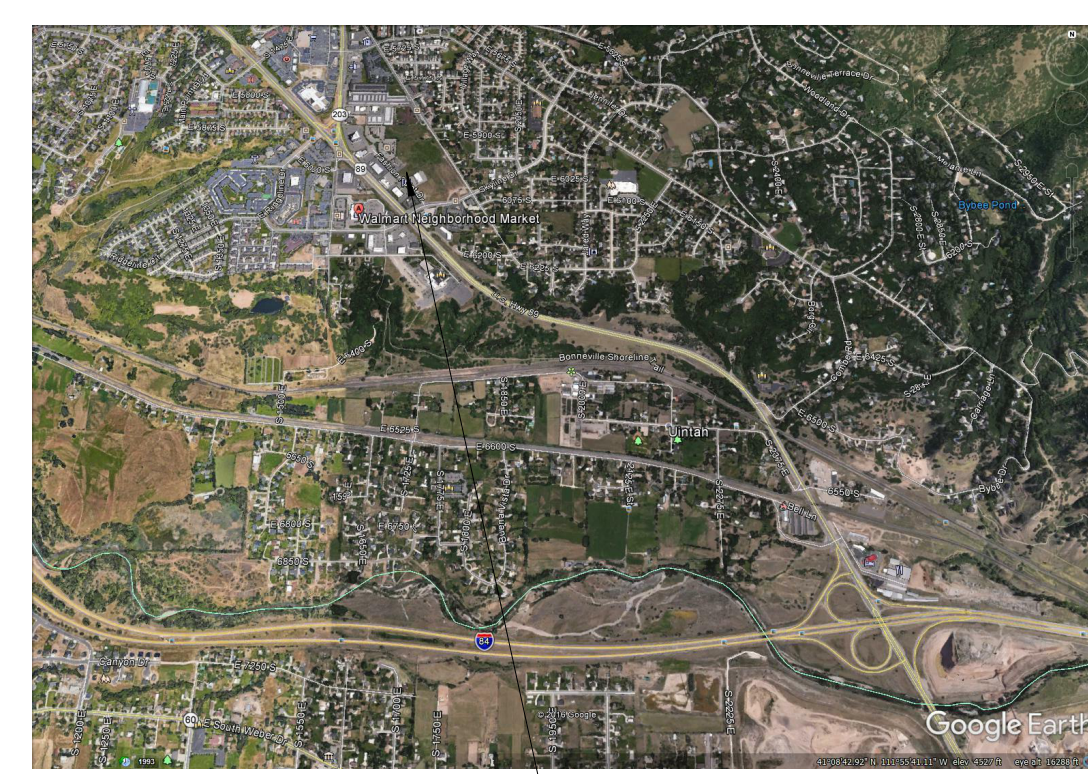
Sheet Number

**G1001**





CLOSER MAP  
Vicinity Map  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405



OVERALL MAP  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

N.T.S.

**SPECIAL INSPECTIONS (2012 IBC)**

**312300** SITE WORK- AS REQUIRED BY IBC 1705.6 "SOILS". SEE ALSO REQUIREMENTS ON GENERAL STRUCTURAL NOTES SHEETS. INSPECTION IS BY THE OWNERS AGENTS.

**033000** CONCRETE- AS REQUIRED BY IBC 1705.3 "CONCRETE CONSTRUCTION" AND IBC 1708.3 "REINFORCING AND PRESTRESSING STEEL". SEE ALSO REQUIREMENTS ON GENERAL STRUCTURAL NOTES SHEETS; INSPECTION IS BY THE OWNER AGENT.

**042200** UNIT MASONRY ASSEMBLIES - HOT AND COLD WEATHER PLACEMENT REQUIREMENTS AS LISTED IN THIS SPECIFICATION SECTION. INSPECTION IS BY THE OWNERS AGENT.

**084413** SEISMIC RESISTANCE INSPECTION SHALL BE PROVIDED FOR STOREFRONT SYSTEMS PER IBC SECTION 1704.3.2 AND WIND RESISTANCE PER SECTION 1704.3.3. INSPECTION IS BY OWNERS AGENT.

**072200** NON LOAD BEARING STEEL FRAMING, AS REQUIRED BY IBC 1705.11.5 "ARCHITECTURAL COMPONENTS". INSPECTION IS BY THE OWNERS AGENT.

**092900** GYPSUM BOARD- COLD WEATHER PLACEMENT REQUIREMENTS AS LISTED IN THIS SPECIFICATION SECTION. INSPECTION IS BY THE OWNERS AGENT.

**095100** ACOUSTICAL CEILINGS- SPECIAL INSPECTION REQUIREMENTS AS LISTED IN THIS SPECIFICATION SECTION. INSPECTION IS BY THE OWNERS AGENT.

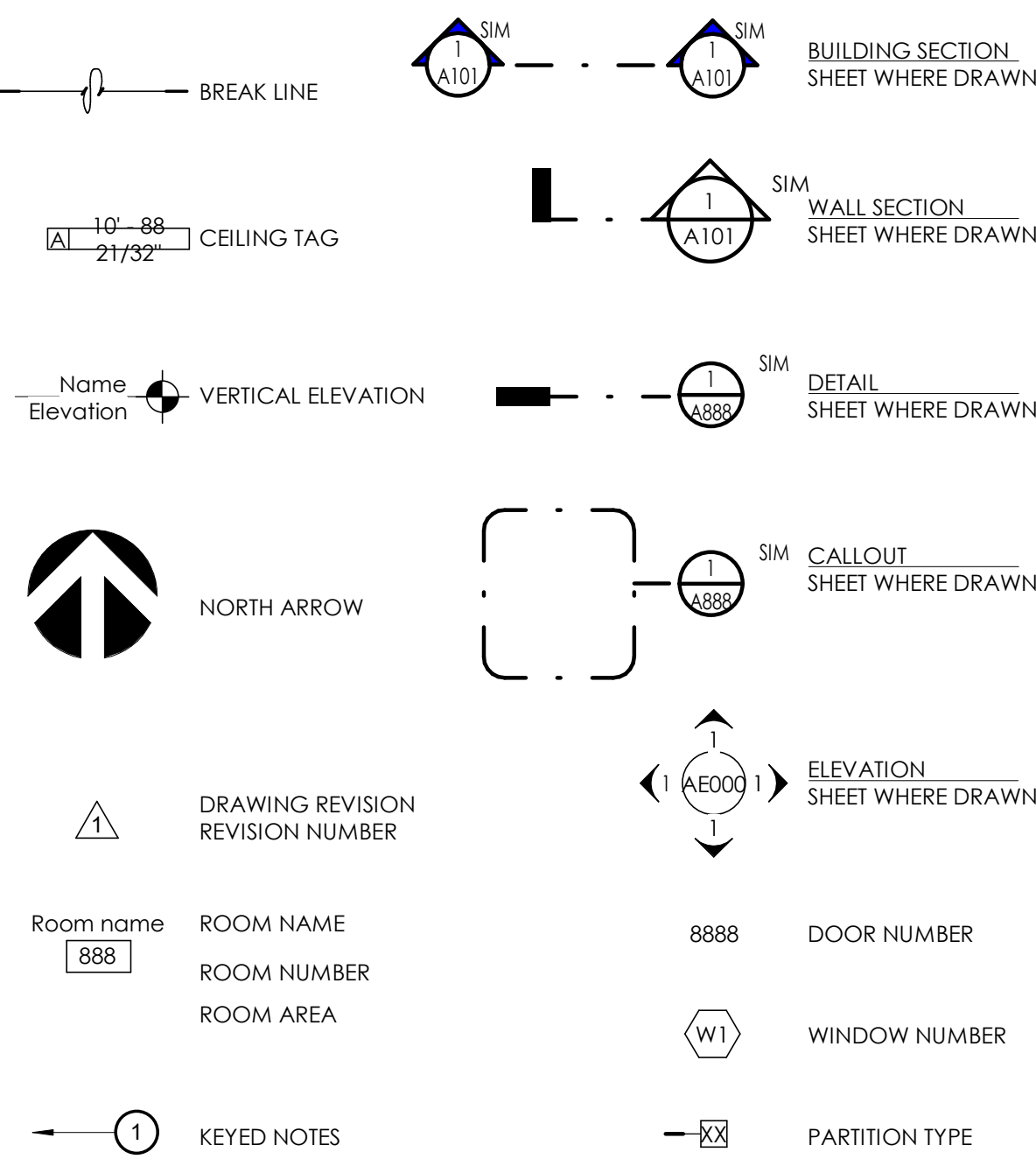
**220548** SEISMIC RESTRAINTS- AS REQUIRED BY IBC SECTION 1705.12 "SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE". INSPECTION IS BY THE OWNERS AGENT.

**231100** FUEL GAS PIPING- AS REQUIRED BY IBC SECTION 1705.11.6.3 "MECHANICAL AND ELECTRICAL COMPONENTS". SPECIFICALLY APPLYING TO NATURAL GAS PIPING. INSPECTION IS BY THE OWNERS AGENT.

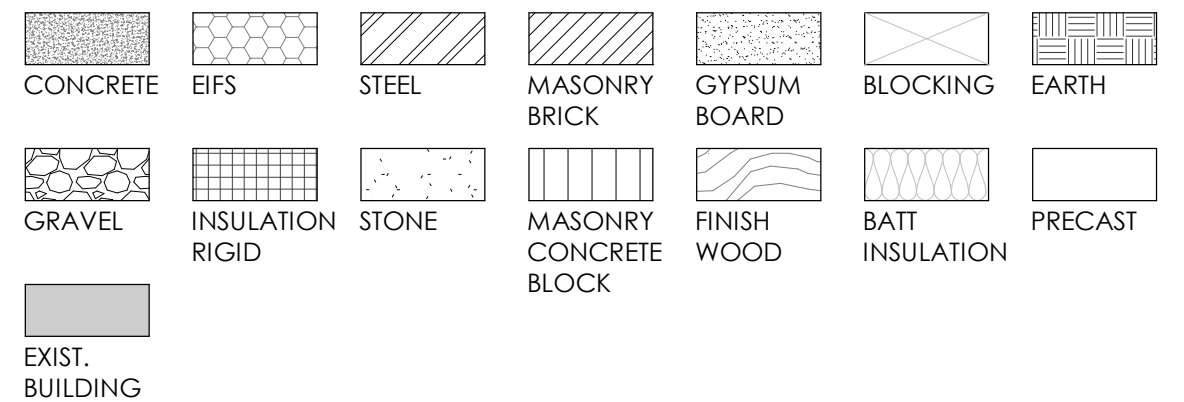
**260000** ELECTRICAL PER THE REQUIREMENTS OF ASCE 7, THE BUILDING OWNER WILL EMPLOY A SPECIAL INSPECTOR(S) TO OBSERVE THE CONSTRUCTION OF ALL DESIGNATED SEISMIC SYSTEMS IN ACCORDANCE WITH THE QUALITY ASSURANCE PLAN. PERIODIC SPECIAL INSPECTION DURING THE ANCHORAGE OF ELECTRICAL EQUIPMENT FOR EMERGENCY AND STANDBY POWER SYSTEMS, INCLUDING BUT NOT LIMITED TO:

- A. EMERGENCY LIGHTING, WITH ASSOCIATED CONDUIT, WIRING AND DISTRIBUTION SYSTEM.

**GENERAL SYMBOLS**



**MATERIALS**



**ABBREVIATIONS**

|          |  |          |                                      |         |                        |        |                    |
|----------|--|----------|--------------------------------------|---------|------------------------|--------|--------------------|
| #        | NUMBER                                 | DWGS.    | DRAWINGS                             | I.D.    | INSIDE DIAMETER        | REINF. | REINFORCED         |
| @        | AT                                     | EA.      | EACH                                 | I.F.    | INSIDE FACE            | REQ'D  | REQUIRED           |
| CL       | CENTER LINE                            | E.F.     | EACH FACE                            | IN.     | INCHES                 | RM.    | ROOM               |
| Ø        | DIAMETER                               | E.J.     | EXPANSION JOINT                      | INFO.   | INFORMATION            | R.O.   | ROUGH OPENING      |
| ∠        | ANGLE                                  | EL.      | ELEVATION                            | INSUL.  | INSULATION             | SCHED. | SCHEDULE           |
| A.B.     | ANCHOR BOLT                            | ELEV.    | ELEVATION                            | LAV.    | LAVATORY               | SHR.   | SHOWER             |
| ABV.     | ABOVE                                  | EQ.      | EQUAL                                | LT.     | LIGHT                  | SHT.   | SHEET              |
| ADJ.     | ADJUSTABLE                             | E.S.     | EACH SIDE                            | LT. WT. | LIGHT WEIGHT           | SIM.   | SIMILAR            |
| A.F.F.   | ABOVE FINISH FLOOR                     | E.W.     | EACH WAY                             | MAINT.  | MAINTENANCE            | SPEC.  | SPECIFICATION      |
| ALUM.    | ALUMINUM                               | EXIST.   | EXISTING                             | MANUF.  | MANUFACTURER           | STC    | SOUND TRANSMISSION |
| APPROX.  | APPROXIMATE                            | EXPAN.   | EXPANSION                            | MAX.    | MAXIMUM                | STD.   | STANDARD           |
| ARCH.    | ARCHITECTURAL                          | EXT.     | EXTERIOR                             | MAT.    | MATERIAL               | STIFF. | STIFFENER          |
| A.S.T.M. | AMERICAN SOCIETY FOR TESTING MATERIALS | F.D.     | FLOOR DRAIN                          | M.C.J.  | MASONRY CONTROL JOINT  | STR.   | STRUCTURAL         |
| D.B.A.   | DEFORMED BAR ANCHOR                    | FDN.     | FOUNDATION                           | MECH.   | MECHANICAL             | SUPER. | SUPERVISOR         |
| BD.      | BOARD                                  | F.E.     | FIRE EXTINGUISHER                    | MFR.    | MANUFACTURER           | SUSP.  | SUSPENDED          |
| BLDG.    | BUILDING                               | F.E.C.   | FIRE EXTINGUISHER CABINET            | MIN.    | MINIMUM                | THRU   | THROUGH            |
| B.M.     | BENCHMARK                              | F.F.     | FINISH FLOOR                         | MISC.   | MISCELLANEOUS          | T.O.   | TOP OF             |
| B.O.     | BOTTOM OF                              | FIN.     | FINISH                               | M.O.    | MASONRY OPENING        | T.O.A. | TOP OF ASPHALT     |
| BOT.     | BOTTOM                                 | FLR.     | FLOOR                                | MTL.    | METAL                  | T.O.C. | TOP OF CURB        |
| B.P.     | BASE PLATE                             | FT.      | FEET                                 | N.I.C.  | NOT IN CONTRACT        | T.O.F. | TOP OF FOOTING     |
| BRG.     | BEARING                                | FTG.     | FOOTING                              | NO.     | NUMBER                 | T.O.S. | TOP OF SLAB        |
| BTWN.    | BETWEEN                                | GA.      | GAGE/GAUGE                           | N.T.S.  | NOT TO SCALE           | O.S.   | OR SIDEWALK        |
| CER.     | CERAMIC                                | GAL.     | GALLON                               | O.C.    | ON CENTER              | T.O.W. | TOP OF WALL        |
| C.J.     | CONSTRUCTION JOINT                     | GALV.    | GALVANIZED                           | O.D.    | OUTSIDE DIAMETER       | TYP.   | TYPICAL            |
| CLS.     | CEILING                                | GND.     | GROUND                               | O.F.    | OUTSIDE FACE           | U.N.O. | UNLESS NOTED       |
| CLR.     | CLEAR                                  | CWB.     | GYPSUM WALL BOARD                    | O.H.    | OVERHEAD               |        | OTHERWISE          |
| CMU      | CONCRETE MASONRY UNIT                  | GYP. BD. | GYPSUM WALL BOARD                    | OHD     | OVERHEAD DOOR          | VCT    | VINYL COMPOSITION  |
| COL.     | COLUMN                                 | HC.      | HANDICAPPED                          | OPP.    | OPPOSITE               |        | TILE               |
| CONC.    | CONCRETE                               | HDW.     | HARDWARE                             | PART.   | PARTITION              |        | TILE               |
| CONT.    | CONTINUOUS                             | H.M.     | HOLLOW METAL                         | PL.     | PLATE                  | VERT.  | VERTICAL           |
| CONST.   | CONSTRUCTION                           | HORIZ.   | HORIZONTAL                           | PNTD.   | PAINTED                | VEST.  | VESTIBULE          |
| COORD.   | COORDINATE                             | HR.      | HOUR                                 | PROT.   | PROTECTION             | VNR.   | VENEER             |
| DBL.     | DOUBLE                                 | H.S.A.   | HEADED STUD ANCHOR                   | P.S.F.  | POUNDS PER SQUARE FOOT | WF.    | WOOD               |
| DEPT.    | DEPARTMENT                             | HT.      | HEIGHT                               | P.S.I.  | POUNDS PER SQUARE INCH | WD.    | WOOD               |
| DIA.     | DIAMETER                               | HVAC     | HEATING/VENTILATION/AIR CONDITIONING | QTY.    | QUANTITY               | W.W.F. | WELDED WIRE FABRIC |
| DTL.     | DETAIL                                 | HYD      | HYDRANT                              | R.D.    | ROOF DRAIN             |        |                    |
|          |  |          |                                      | RAD.    | RADIUS                 |        |                    |

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- C2 EXISTING CONDITIONS PLAN
- C3 SITE PLAN
- C4 DEMOLITION PLAN
- C5 GRADING, DRAINAGE AND UTILITY PLAN
- C6 CONCRETE ENTRANCE GRADING PLAN

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- AE101 FLOOR PLANS
- AE121 ROOF PLAN
- AE141 REFLECTED CEILING PLAN
- AE161 FINISH FLOOR PLAN
- AE201 EXTERIOR ELEVATIONS
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- EE003 ELECTRICAL SPECIFICATIONS
- ES101 ELECTRICAL SITE PLAN
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- ET401 ELECTRONIC SYSTEMS PLANS
- EP501 ELECTRICAL DETAILS
- EP601 ELECTRICAL ONE-LINE DIAGRAM

**MISCELLANEOUS GENERAL NOTES**

- PLANS, SECTIONS, ELEVATIONS, DETAILS AND DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO ALL SITUATIONS OCCURRING THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY NOTED ON THE DRAWINGS.
- ALL WORK, MATERIALS, AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
- CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE DOCUMENTS.
- KEEP SITE CLEAN AND CLEAR OF DEBRIS AND IN ORDERLY CONDITION THAT DOES NOT DETRACT FROM THE SURROUNDING SITE AND REPAIR ANY DAMAGE CAUSED BY WORK OF THE CONTRACT.
- INSTALL SEALANT AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH WOULD ALLOW WATER OR AIR INFILTRATION EXCEPT AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ADJACENT SURFACE. COLOR REQUIRES ARCHITECTS APPROVAL.
- ALL SPECIAL ACCESSIBLE FACILITIES SHALL BE IDENTIFIED WITH APPROVED SIGNAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR PRODUCING A WEATHER TIGHT BUILDING, DETAILS AND OMISSIONS TO DRAWINGS NOTWITHSTANDING. ALL DRAWING CONDITIONS WHICH MAY NOT ALLOW A WEATHERTIGHT CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL SUBMIT SPECIFIC DISCREPANCIES FOR ARCHITECT REVIEW.
- PROVIDE FULL METAL BACKING PLATE (1/4 GAUGE X 6" HIGH SECURED TO 3 STUDS MIN.) OR WOOD BLOCKING AS REQUIRED TO SECURELY ANCHOR ALL WALL MOUNTED EQUIPMENT (CABINETS, TOILET ROOM ACCESSORIES, HARDWARE, ETC.). BLOCKING SHALL PROVIDE A RIGID CONNECTION CAPABLE OF SUPPORTING DESIGN LOADS. PROVIDE A 1/4 GAUGE X 6" STL. STUD/TRACK SECURED TO 2 STUDS TO SECURELY SUPPORT ALL WALL STOPS (DOOR BUMPER).
- COORDINATE WITH ALL TRADES, SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS OR BASES, AS WELL AS ELECTRIC POWER, WATER, AND DRAIN INSTALLATIONS, BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES' WORK. ANY CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. A REASONABLE RESPONSE TIME SHALL BE ALLOWED AS NOTED IN THE SPECIFICATIONS.
- ALL FLOOR OR WALL OPENINGS REQUIRED FOR PIPES, DUCTS, CONDUITS, ETC. SHALL BE SEALED IN AN APPROVED MANNER.
- ROOMS ENCLOSED WITH RATED WALLS REQUIRE RATED DOORS. ANY DUCTS PASSING THROUGH WALLS REQUIRE FIRE DAMPERS AND OR FIRE/SMOKE DAMPERS. ANY CONDUIT OR PIPING REQUIRES RATED SEALANT AT JOINTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND LOCATE ELECTRICAL, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CASEWORK DOORS, ETC.
- THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL AND STRUCTURAL DESIGN CONCEPT. THE DIMENSIONS OF THE BUILDING, THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL AND UTILITY SYSTEMS AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION AS "SCOPE" DOCUMENTS.
- THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK. CONTRACTS SHALL BE LET ON THE BASIS OF SUCH DOCUMENTS, WITH THE UNDERSTANDING THAT THE CONTRACTOR IS TO FURNISH ALL ITEMS REQUIRED FOR PROPER COMPLETION OF THE WORK WITH OUT ADJUSTMENT TO CONTRACT PRICE. IT IS INTENDED THAT THE WORK TO BE OF SOUND AND QUALITY CONSTRUCTION AND THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE AMOUNTS TO COVER INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR REASONABLY IMPLIED.

**DEFERRED SUBMITTALS**

CONTRACTOR IS RESPONSIBLE TO SUBMIT DEFERRED SUBMITTALS IN ACCORDANCE WITH IBC 106.3.4.2. AS PART OF THE SUBMITTAL PROCESS, THE CONTRACTOR IS TO SUBMIT ALL ICC ERS REPORTS FOR ITEMS NOTED

- MECHANICAL SEISMIC RESTRAINTS
- ELECTRICAL SEISMIC RESTRAINTS
- MANUFACTURED WOOD TRUSSES
- METAL PAIR STAIRS
- METAL STAIR RAILINGS



Consultant

Project Name

| Issued | No. | Date     | Description |
|--------|-----|----------|-------------|
|        | 1   | 09.21.23 | PLAN REVIEW |
|        | 2   | 02.29.24 | PLAN REVIEW |

| Revision | No. | Date     | Description          |
|----------|-----|----------|----------------------|
|          | 2   | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

**GENERAL INFORMATION**

Sheet Number

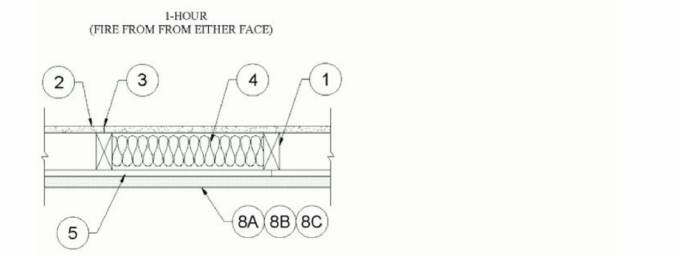
**G1002**

5



Bearing Wall Rating - 1 Hr Rating Exposed to Fire on Interior Face Only (See Item 6 and 7)  
Bearing Wall Rating - 1 Hr Rating Exposed to Fire on Exterior Face (See Item 8)  
For Wood Studs, Finish Rating - 23 min (Exposed to Fire on Interior Face)  
This design was evaluated using a load design method other than the Limit State Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit State Design Method, such as Canada, a load restriction factor shall be used - See Guide R301V or R302V

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification



1. Wood Studs - Nom. 2 by 4 in., spaced 16 in. OC with two 2 by 2 top and one 2 by 4 bottom plate. As an option, nom. 2 by 6 in., spaced 24 in. OC with two 2 by 6 top and one 2 by 4 bottom plates may be used in lieu of 2 by 4 studs and plates. Studs effectively fire stopped.

2. Steel Studs and Floor and Ceiling Tracks - As an option to Item 1 - (Not Shown) - Top and bottom tracks of wall

assemblies shall consist of steel members, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min No. 20 MSG (0.036 in. thick) galv. steel or No. 20 MSG (0.033 in. thick) primed steel, that provide a sound structural connection between steel studs, and to adjacent assemblies such as floor ceiling, and/or other walls. Attached to steel studs and ceiling assemblies with steel fasteners spaced not greater than 24 in. O.C. Steel studs min 3-1/2 in. wide. No. 20 MSG (0.0329 in., min bare metal thickness) corrosion protected cold formed steel studs designed in accordance with the current edition of the Specification for the Design of Cold-Formed Steel Structural Members by the American Iron and Steel Institute. All design details ensuring the structural integrity of the wall assembly, including the axial design load of the studs, shall be as specified by the steel stud designer and/or producer, and shall meet the requirements of an applicable local code agency. The max stud spacing of wall assemblies shall not exceed 24 in. O.C. Studs attached to floor and ceiling tracks with 1/2 in. long Type 5-12 steel screws on both sides of studs or by welded or bolted connections designed in accordance with the AISI specifications.

2. Gypsum Board - Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305. Nom. 5/8 in. thick, 4 ft. wide, applied vertically, and nailed to studs and bearing plates 7 in. OC with 6d cement coated nails, 1-7/8 in. long, 0.0195 in. shank diam, and 1/4 in. diam. head. When steel framing is substituted for wood framing, 1 in. long Type 5 steel screws are used in lieu of nails.

- CABOT MANUFACTURING UL (See Classification) - CNKR02370
- AMERICAN GYPSUM CO (See Classification) - CNKR14159
- BEHRING NEW BRIDGING MATERIALS PUBLIC CO (See Classification) - CNKR19374
- CERTIFIED GYPSUM INC (See Classification) - CNKR03662
- CIC INC (See Classification) - CNKR19173
- GEORGIA PACIFIC GYPSUM L.L.C. (See Classification) - CNKR42717
- CERTIFIED GYPSUM INC (See Classification) - CNKR19173
- NATIONAL GYPSUM CO (See Classification) - CNKR19371
- PARCO BUILDING PRODUCTS L.L.C. (See Classification) - CNKR19371
- NATIONAL GYPSUM CO (See Classification) - CNKR19371
- PANEL REV 5 A (See Classification) - CNKR42176
- SIAM GYPSUM INDUSTRY CORPORATION LTD (See Classification) - CNKR19382
- GEORGIA PACIFIC GYPSUM L.L.C. (See Classification) - CNKR19382
- THE GYPSUM PRODUCTS CO (See Classification) - CNKR19371
- UNITED STATES GYPSUM CO (See Classification) - CNKR19371
- USG MEXICO S A DE CV (See Classification) - CNKR19689

3. Joints and Nailheads - Wallboard joints covered with tape and joint compound. Nail heads covered with joint compound.

4. Batts and Blankets - Faced or unfaced mineral fiber insulation, 3-1/2 in. thick, nom 3.0 pcf. pressure fit in the wall cavity between stud plates, and cross bracing. If 2 by 6 in. studs (Item 1) are used, min. 5-1/2 in. of unfaced mineral fiber insulation, nom 3.0 pcf. pressure fit in the wall cavity between stud plates, and cross bracing. Insulation may be applied in multiple layers to achieve final thickness. See Batts and Blankets' (B22) category for names of Classified manufacturers.

4A. Batts and Blankets - As an Alternate to Item 4 when wood studs are used. - As an Alternate to Item 4 when steel studs are used, but Optional Items 7A or 7B are required. Faced or unfaced glass fiber batts, 3-1/2 in. thick, having a min density of 0.9 pcf min R-13 thermal insulation rating, pressure fit in the wall cavity between stud plates, and cross bracing.

4B. Fiber, Sprayed - As an Alternate to Item 4 when wood studs are used. - As an Alternate to Item 4 when steel studs are used, but Optional Items 7A or 7B are required. - (100% Borate Formulation) - Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/ft<sup>3</sup>. Alternate Application Method: The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/ft<sup>3</sup>, in accordance with the application instructions supplied with the product. **Appropriate GreenGard Approvals LLC - Insulated and SOUNDSTAR for use with wet or dry application.**

4C. Fiber, Sprayed - As an Alternate to Item 4 when wood studs are used. - As an Alternate to Item 4 when steel studs are used, but Optional Items 7A or 7B are required. - Spray applied cellulose fiber. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. The minimum dry density shall be 4.30 lb/ft<sup>3</sup>. **INTERNATIONAL CELLULOSE CORP - Cellar II.**

4D. Fiber, Sprayed - As an Alternate to Item 4 when wood studs are used. - As an Alternate to Item 4 when steel studs are used, but Optional Items 7A or 7B are required. - Spray applied cellulose insulation material. The fiber is applied with water to interior surfaces in accordance with the application instructions supplied with the product. Applied to completely fill the enclosed cavity. Minimum dry density of 4.3 pounds per cubic foot. **NEW WOOD CO INC - Cellulose Insulation**

5. Building Units - Building units placed with the bearing face against or laminate face away from, and nailed to, the wood framing with 1-7/8 in. long, 6d nails, spaced 6 in. OC, on the perimeter and 12 in. OC in the field. When steel framing is substituted for wood framing, Type 5 steel screws are used in lieu of nails with a minimum penetration length through the steel stud of 3/8 in.

LOUISIANA PACIFIC CORP - Type Blazeguard 1-Side  
LOUISIANA PACIFIC CORP - Type LP Flameblock 1-Side

6. Exterior Facings - (For use with Wood Studs, Item 1) - Any exterior facing approved by the Authority Having Jurisdiction installed in accordance with the manufacturer's installation instructions.

7. Exterior Facings - (Not Shown) (For use with steel studs, Item 1A, but limited to the use of Mineral Wool Insulation Item 4) - Any exterior facing approved by the Authority Having Jurisdiction installed in accordance with the manufacturer's installation instructions.

7A. Cementitious Stucco - (Optional unless Item 1A, Steel Studs, are used in conjunction with Item 4A, 4B, 4C or 4D Batts and Blankets - Not Shown) - Portland cement or synthetic stucco systems with self-furring metal lath or adhesive base coat. Thickness from 1/2 in. to 3/4 in., depending on system.

7B. Brick Veneer - (Optional unless Item 1A, Steel Studs, are used in conjunction with Item 4A, 4B, 4C or 4D Batts and Blankets - Not Shown) Brick veneer, minimum thickness of 2.3 inches, meeting the requirements of local code agencies. When brick veneer is used, the string is applicable with exposure on either face. Brick veneer fastened with corrugated metal wall ties attached over sheathing to wood studs with 8d nail per tie ties spaced not more than each sixth course of brick and max 32 in. OC horizontally. One in. air space provided between brick veneer and sheathing. For steel studs, Type 5 steel screws are used in lieu of nails with a minimum penetration length through the steel stud of 3/8 in.

8. Exterior Facing - (Not Shown) - Required for 1 Hour Rating on the Exterior Face. The following exterior facing shall be installed in accordance with the manufacturer's installation instructions:

8A. Brick - Brick veneer, minimum thickness of 2.3 inches, meeting the requirements of local code agencies. Brick veneer attached to the studs with composite metal wall ties attached to each stud with 8d cement coated nails, every sixth course of bricks and max 32 in. OC horizontally. One in. air space provided between brick veneer and sheathing. For steel studs, Type 5 steel screws are used in lieu of nails with a minimum penetration length through the steel stud of 3/8 in.

8B. Cementitious Stucco - Portland cement with self-furring metal lath. Minimum thickness of 3/4 in. with a mix ratio of 1:4 for scratch coat and 1:5 for brown coat, by volume, cement to sand.

8C. Gypsum Board - Nom. 5/8 in. thick, 4 ft. wide exterior sheathing applied vertically. Single layer nailed to wood studs and bearing plates 6 in. OC with 1-7/8 in. long cement coated nails. Vertical joints carried over studs and staggered min. 1 stud cavity from the vertical joints of the building units (Item 5). The joints and nail heads do not need to be treated with joint compound. **GEORGIA PACIFIC GYPSUM L.L.C. - Type DGG**

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively. Last Updated on 2023-08-04

### Plumbing Load Analysis: NEW TENANT 1

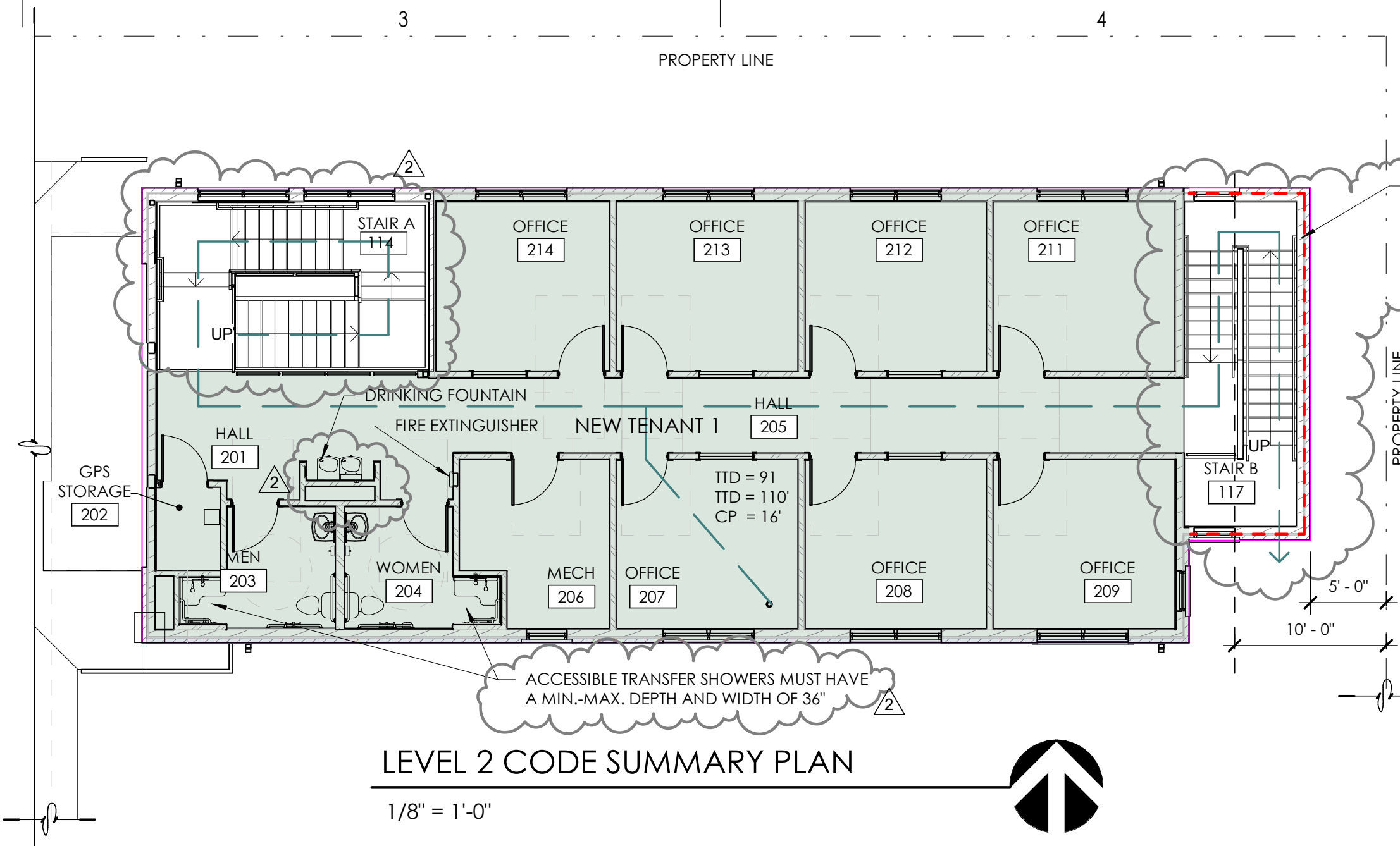
Occupancy and Group: B  
Number of Occupants: 25 Occupants  
Minimum Number of Required Plumbing Facilities: (2018 IBC, Table 2902.1)

Water Closets:  
1/25 to 50 + 1/50 = 2 Required  
(Proposed Total = 4 W.C.)

Lavatories:  
1/40 to 80 + 1/80 = 2 Required  
(Proposed Total = 4 Lav.)

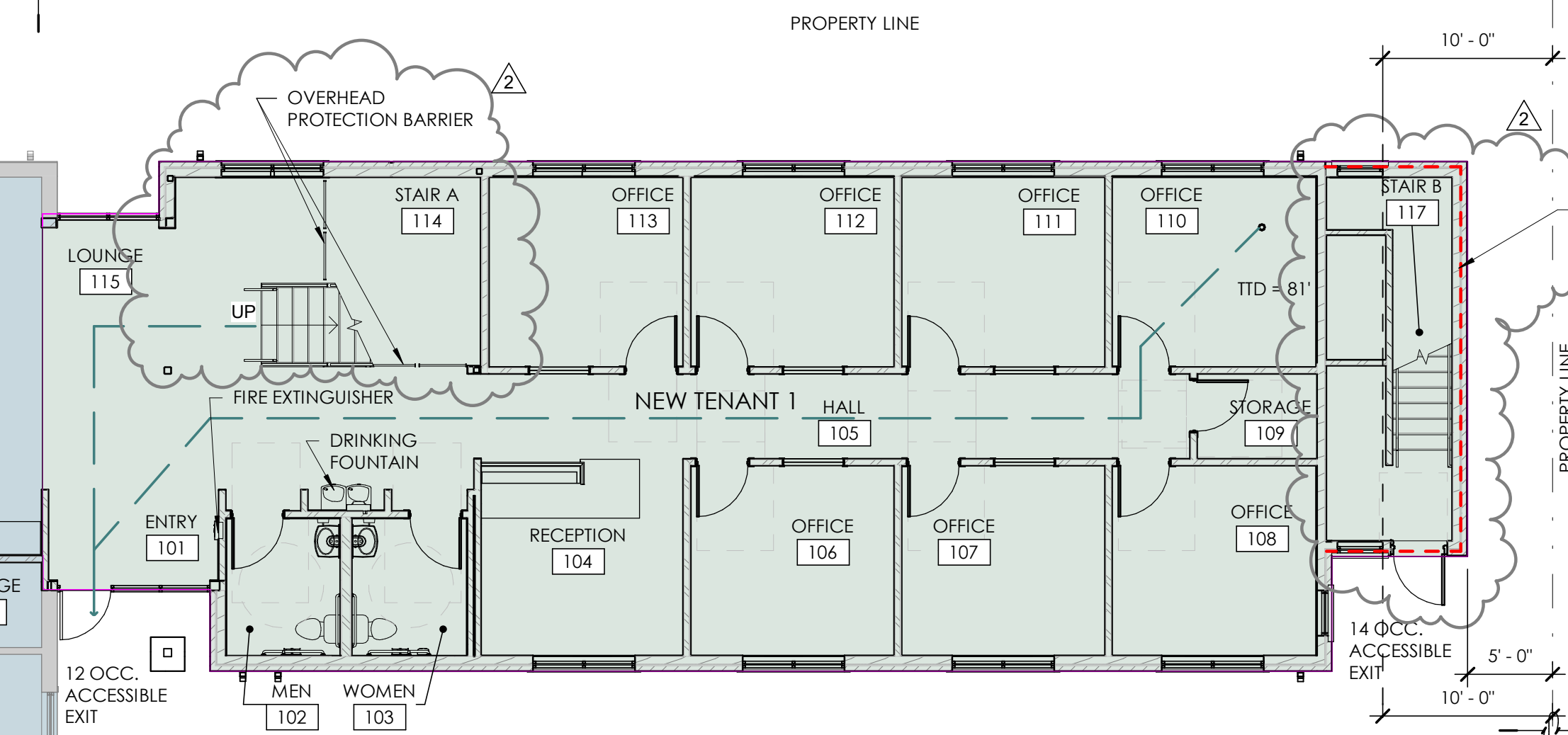
### Plumbing Load Analysis: NEW TENANT 3

OMITTED



### LEVEL 2 CODE SUMMARY PLAN

1/8" = 1'-0"



### LEVEL 1 CODE SUMMARY PLAN

1/8" = 1'-0"

**SIGN SCHEDULE:**  
MEN 102, WOMEN 103, MEN 203, & WOMEN 204  
8"X8" ACRYLIC PANEL SIGN WITH ADA SYMBOL AND BRAILLE  
EXIT (4 SETS, LOCATED AT TOP OF STAIRS AND TWO EXIT DOORS)  
6" X 8" ACRYLIC PANEL SIGN WITH STAIR SYMBOL AND BRAILLE

### Code Summary

Area Tabulations:  
Tenant 1: 5,418 sq. ft.  
Tenant 2: 1,546 sq. ft.  
Tenant 1 New: 4,223 sq. ft.  
Total Building: 11,187 sq. ft.

Applicable Codes:  
2018 International Building Code (IBC)  
2018 International Building Code (IBC) Structural  
2018 International Mechanical Code  
2018 International Fuel Gas Code  
2018 International Plumbing Code  
2018 International Fire Code (IFC)  
2017 National Electrical Code (NEC)  
2018 International Energy Conservation Code (IECC)  
2009 ICC A117.1

Occupancy Classification: (Chapter 3)  
Group: B Business (Section 304.1)

Other Occupancies:  
Not Applicable

Occupancies Area Tabulations:  
Group B: 4,223 sq. ft. NEW

Egress Occupancy Load: (Table 1004.5)  
Group B:  
New Tenant 1: 25.1 Occ

Basic Allowable Area: (Table 506.2)  
New Tenant 1:  
B<sub>NS</sub> = 9,000 sq. ft. allowable (4,223 / 9,000 = 0.47)  
Area Ratio = < 1.00  
0.47 < 1.00

Single-Occupancy, multi-story building (based on non-separate occupancies)  
Equation 5-3  
A<sub>2</sub> = [A<sub>1</sub> + (NS x I<sub>1</sub>)]  
A<sub>2</sub> = [9000 + (9000 x .77)] = 6930

Minimum Frontage Distance: 506.3.2  
Equation 5-4  
W = [L<sub>1</sub> x W<sub>1</sub> + L<sub>2</sub> x W<sub>2</sub> + L<sub>3</sub> x W<sub>3</sub> ...] / F  
W = [11,700/390 = 30 (Public space more than 30 ft)]

Amount of Increase:  
If = [F/P - 0.25] W/30  
If = [390 / 509] = 0.77  
9000 + 6930 = 15,930 (11,187 < 15,930)

Occupancy Separations: (Table 508.4)  
(n/a)

### OCCUPANCY LOAD CALCULATION PER 2018 IBC TABL...

| NUMBER                    | NAME        | AREA   | S.F. PER PERSON | # OF OCCUPANTS |
|---------------------------|-------------|--------|-----------------|----------------|
| <b>LEVEL 1 (ADDITION)</b> |             |        |                 |                |
| 101                       | ENTRY       | 289 SF | 150             | 1.9            |
| 102                       | MEN         | 53 SF  | 150             | 0.4            |
| 103                       | WOMEN       | 54 SF  | 150             | 0.4            |
| 104                       | RECEPTION   | 136 SF | 150             | 0.9            |
| 105                       | HALL        | 147 SF | 150             | 1.0            |
| 106                       | OFFICE      | 134 SF | 150             | 0.9            |
| 107                       | OFFICE      | 134 SF | 150             | 0.9            |
| 108                       | OFFICE      | 134 SF | 150             | 0.9            |
| 109                       | STORAGE     | 35 SF  | 300             | 0.1            |
| 110                       | OFFICE      | 134 SF | 150             | 0.9            |
| 111                       | OFFICE      | 134 SF | 150             | 0.9            |
| 112                       | OFFICE      | 134 SF | 150             | 0.9            |
| 113                       | OFFICE      | 128 SF | 150             | 0.9            |
| 114                       | STAIR A     | 207 SF | 150             | 1.4            |
| 115                       | LOUNGE      | 87 SF  | 150             | 0.6            |
| 116                       | STORAGE     | 50 SF  | 300             | 0.2            |
| 117                       | STAIR B     | 102 SF | 150             | 0.7            |
|                           |             |        |                 | 13.7           |
| <b>LEVEL 2 (ADDITION)</b> |             |        |                 |                |
| 201                       | HALL        | 351 SF | 150             | 2.3            |
| 202                       | GPS STORAGE | 22 SF  | 300             | 0.1            |
| 203                       | MEN         | 67 SF  | 150             | 0.4            |
| 204                       | WOMEN       | 66 SF  | 150             | 0.4            |
| 205                       | HALL        | 239 SF | 150             | 1.6            |
| 206                       | MECH        | 99 SF  | 300             | 0.3            |
| 207                       | OFFICE      | 134 SF | 150             | 0.9            |
| 208                       | OFFICE      | 134 SF | 150             | 0.9            |
| 209                       | OFFICE      | 134 SF | 150             | 0.9            |
| 211                       | OFFICE      | 134 SF | 150             | 0.9            |
| 212                       | OFFICE      | 134 SF | 150             | 0.9            |
| 213                       | OFFICE      | 134 SF | 150             | 0.9            |
| 214                       | OFFICE      | 128 SF | 150             | 0.9            |
|                           |             |        |                 | 11.4           |
| <b>Grand total</b>        |             |        |                 | <b>25.1</b>    |

### TENANT OCCUPANT LOAD LEGEND

|                                  |         |
|----------------------------------|---------|
| EXISTING TENANT 1 (41 OCCUPANTS) | 5418 SF |
| EXISTING TENANT 2 (11 OCCUPANTS) | 1546 SF |
| EXISTING BUILDING (52 OCCUPANTS) | 6964 SF |
| NEW TENANT 1 LEVEL 1             | 2391 SF |
| NEW TENANT 1 LEVEL 2             | 1832 SF |

### BUILDING OCCUPANT LOAD TOTALS

|                         |                  |
|-------------------------|------------------|
| EXISTING BUILDING TOTAL | 6964 SF          |
| NEW ADDITION TOTAL      | 4223 SF          |
| <b>TOTAL</b>            | <b>11,187 SF</b> |

### CODE LEGEND

- TRAVEL DISTANCE LINE
- 1 HOUR FIRE BARRIER
- EXISTING 2 HOUR FIRE SEPARATION
- PROPERTY LINE

Construction Type: (Chapter 6)  
Type VB - Two Story

Automatic Sprinkler System: (Chapter 9)  
Not Required

Maximum Allowable Height: (Table 504.3 & 504.4)  
40 ft. & Two Story (B Occupancy - VB Construction Type)

Allowable Travel Distance: (Table 1017.2)  
B = 200 ft. w/o Fire Sprinkler System

Common Path of Egress Travel For Space With One Exit: (Section 1006.2.1)  
100 L.F. ≤ 30 occupants w/o Fire Sprinkler System (B occupancy)  
75 L.F. > 30 occupants w/o Fire Sprinkler System (B occupancy)

Stories With One Exit Or Access To One Exit, For Other Occupants: (Section 1006.3.2(2))  
B = Max Common Path Of Egress Travel Distance = 75 Feet

Fire-Resistive Requirements: (Table 601)  
Bearing Walls - Exterior: (Refer to ratings indicated below)  
Bearing Walls - Interior: 0 (No requirements for fire-resistance)  
Structural Frame: 0 (No requirements for fire-resistance)  
Floors: 0 (No requirements for fire-resistance)  
Roof: 0 (No requirements for fire-resistance)  
Non-bearing wall - Exterior: 0 (No requirements for fire-resistance)(Table 602)  
Partitions - Permanent: 0 (No requirements for fire-resistance)

Fire Resistive Rating for Exterior Walls based on Fire Separation: (Table 602)  
X < 5 = One-Hour  
5 ≤ X ≤ 10 = One-Hour  
10 ≤ X ≤ 30 = \*No Requirements

1019 exception 1 (exist access stairways & ramps)

Consultant

**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

Project Name

| Issued | No.      | Date | Description |
|--------|----------|------|-------------|
| 1      | 09.21.23 |      | PLAN REVIEW |
| 2      | 02.29.24 |      | PLAN REVIEW |

Revision

| No. | Date     | Description          |
|-----|----------|----------------------|
| 2   | 02.01.24 | PLAN REVIEW/REDESIGN |

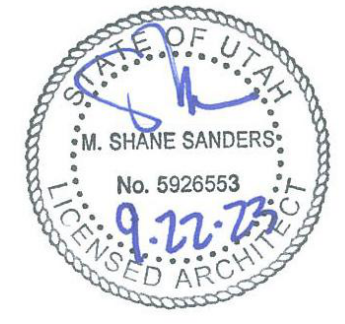
SAA Project No. 2022-11  
Drawing Title

### CODE SUMMARY

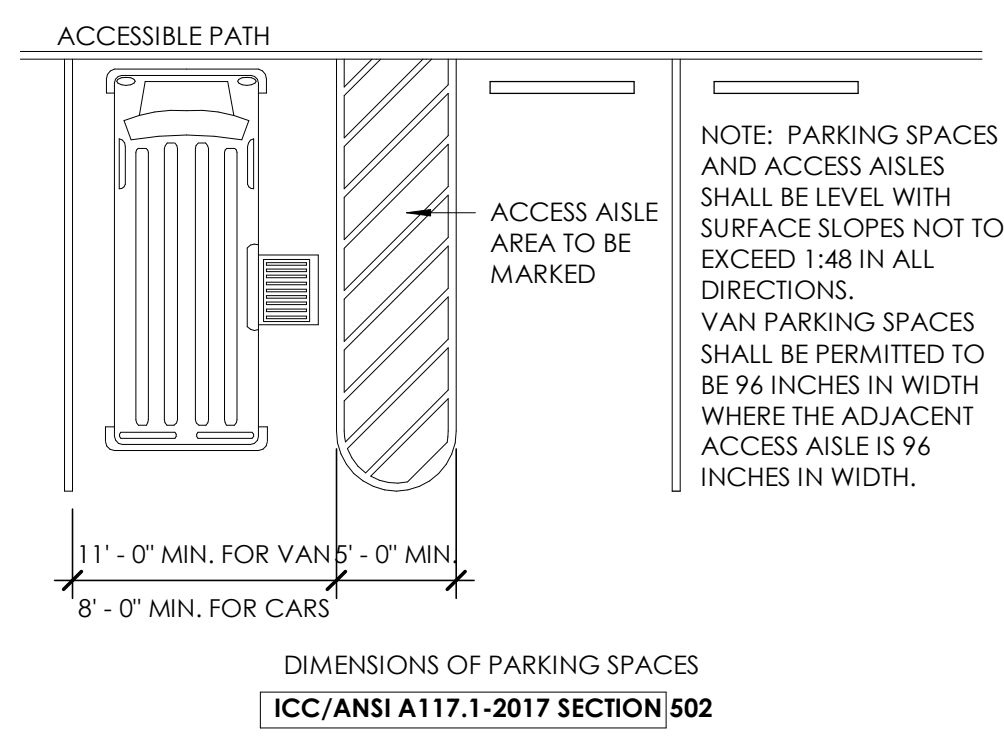
Sheet Number

G1003

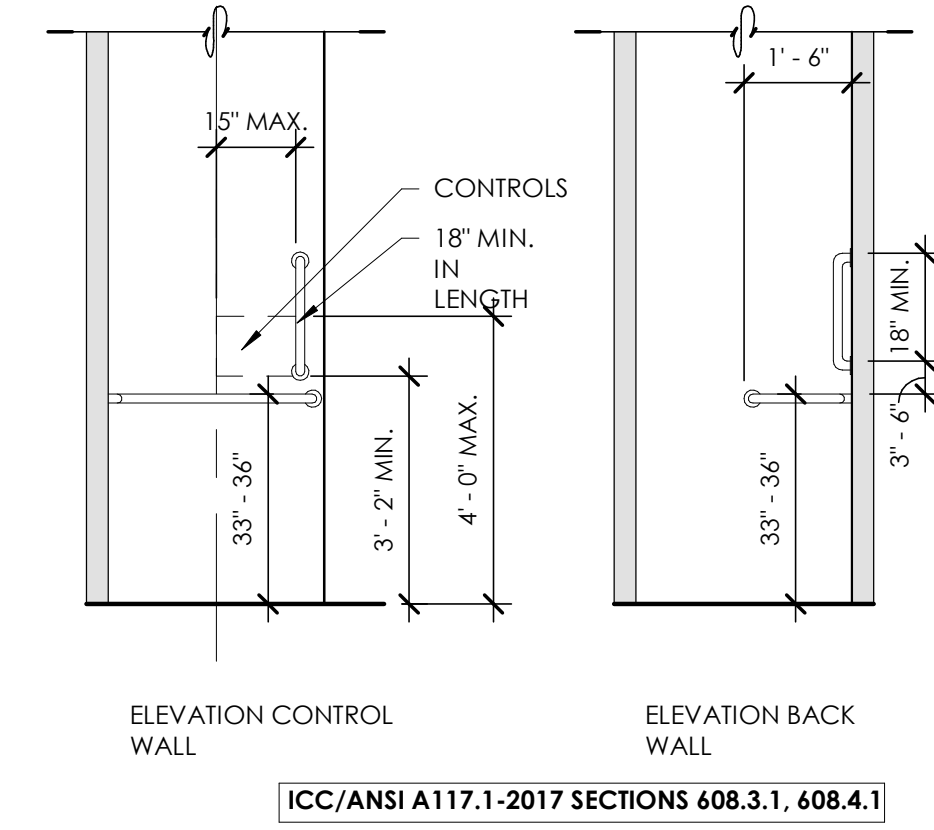




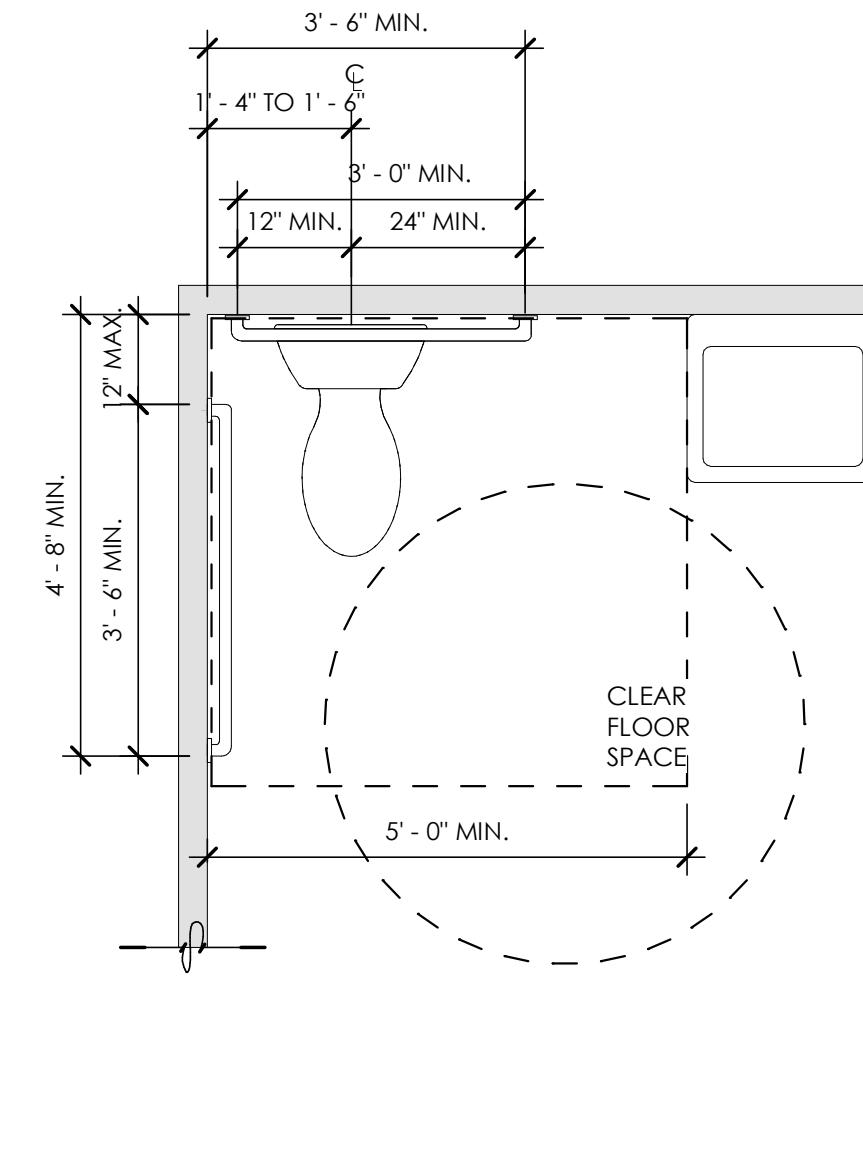
Consultant



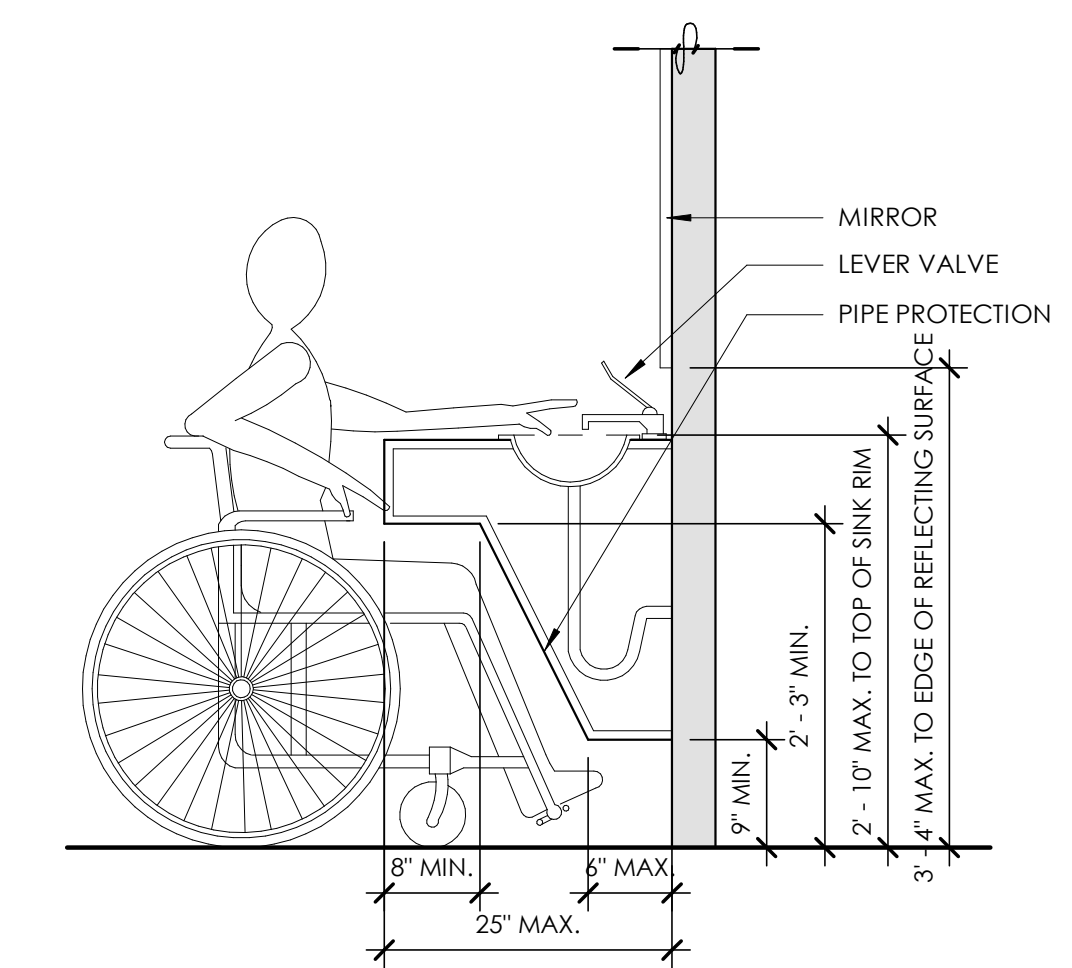
**C2 ACCESSIBLE PARKING SPACES**  
1/8" = 1'-0"



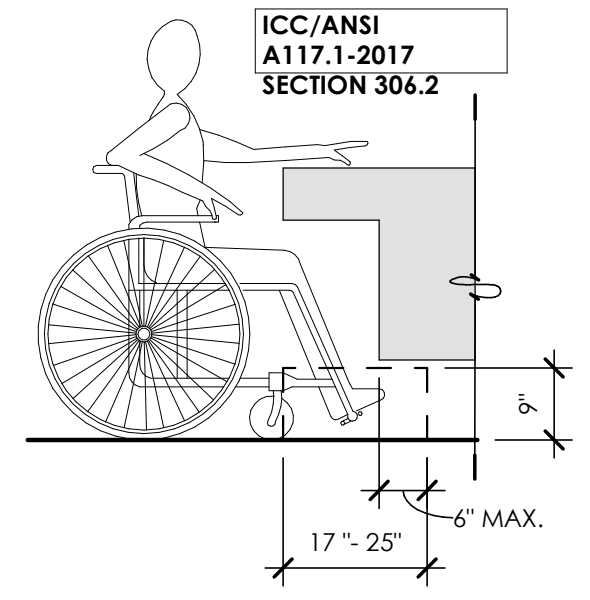
**C3 TRANSFER TYPE - SHOWER**  
3/8" = 1'-0"



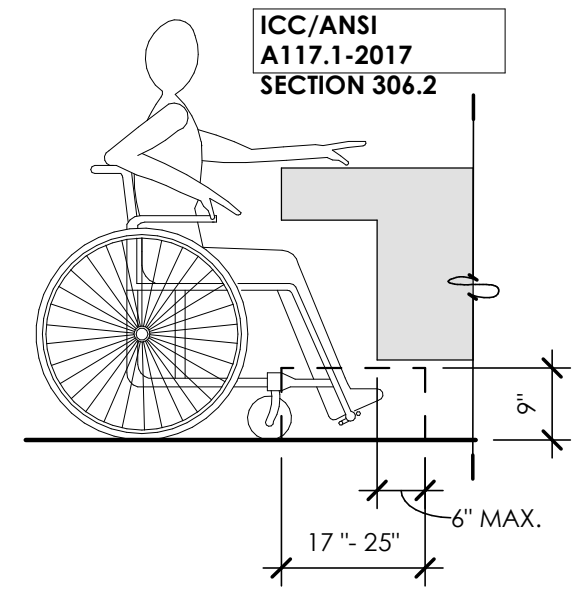
**C4 WATER CLOSET - CLEAR FLOOR SPACE**  
1/2" = 1'-0"



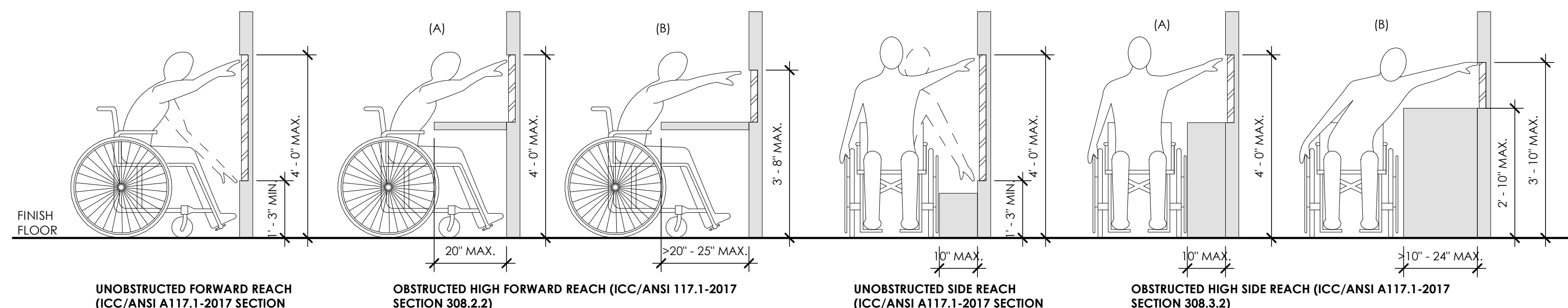
**C5 LAVATORY REQUIREMENTS**  
3/4" = 1'-0"



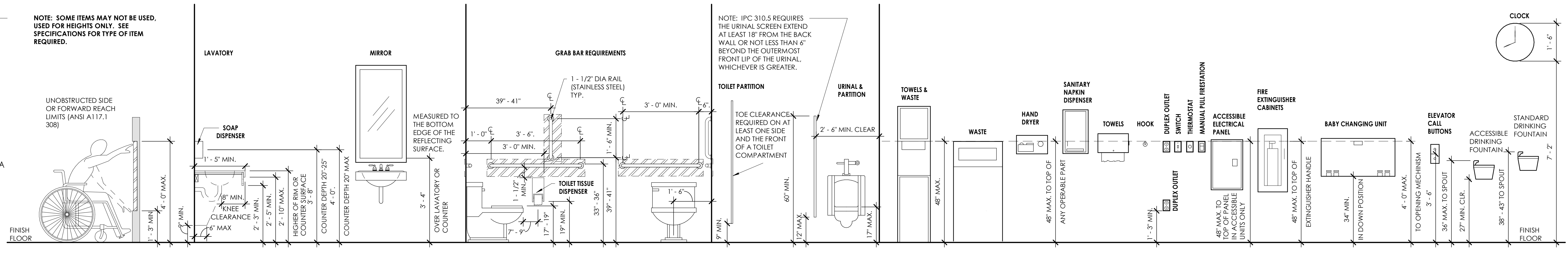
**B1 KNEE CLEARANCE REQUIREMENTS**  
1/2" = 1'-0"



**B2 TOE CLEARANCE REQUIREMENTS**  
1/2" = 1'-0"



**B3 REACH RANGES**  
1/2" = 1'-0"



**A3 ADA MOUNTING HEIGHTS**  
1/2" = 1'-0"

**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

Project Name

| Issued No. | Date     | Description |
|------------|----------|-------------|
| 1          | 09.21.23 | PLAN REVIEW |
| 2          | 02.29.24 | PLAN REVIEW |

| Revision No. | Date | Description |
|--------------|------|-------------|
|              |      |             |
|              |      |             |

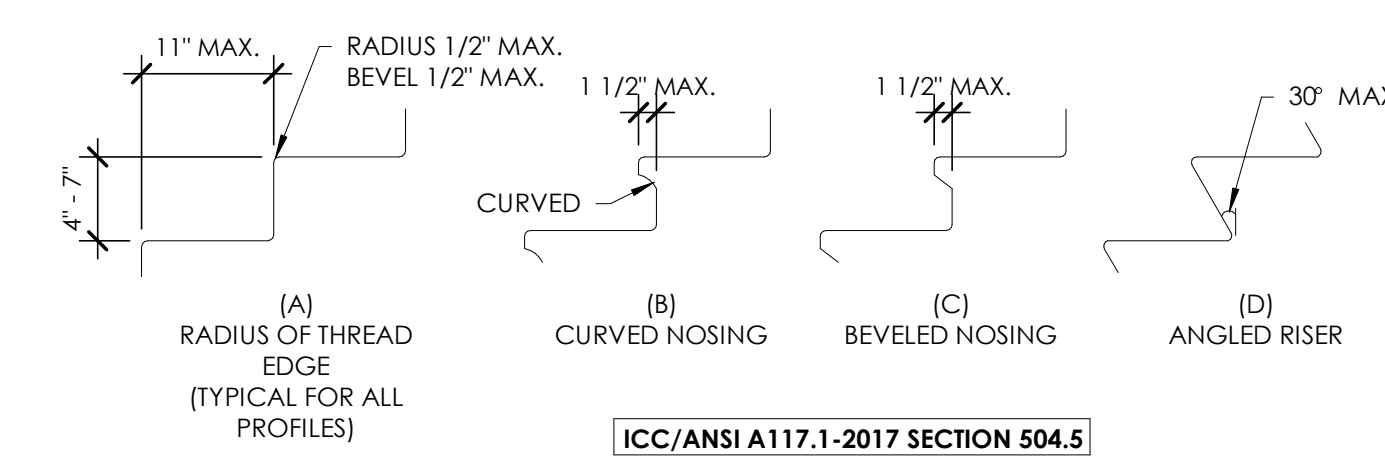
SAA Project No. 2022-11  
Drawing Title

ACCESSIBILITY DETAILS

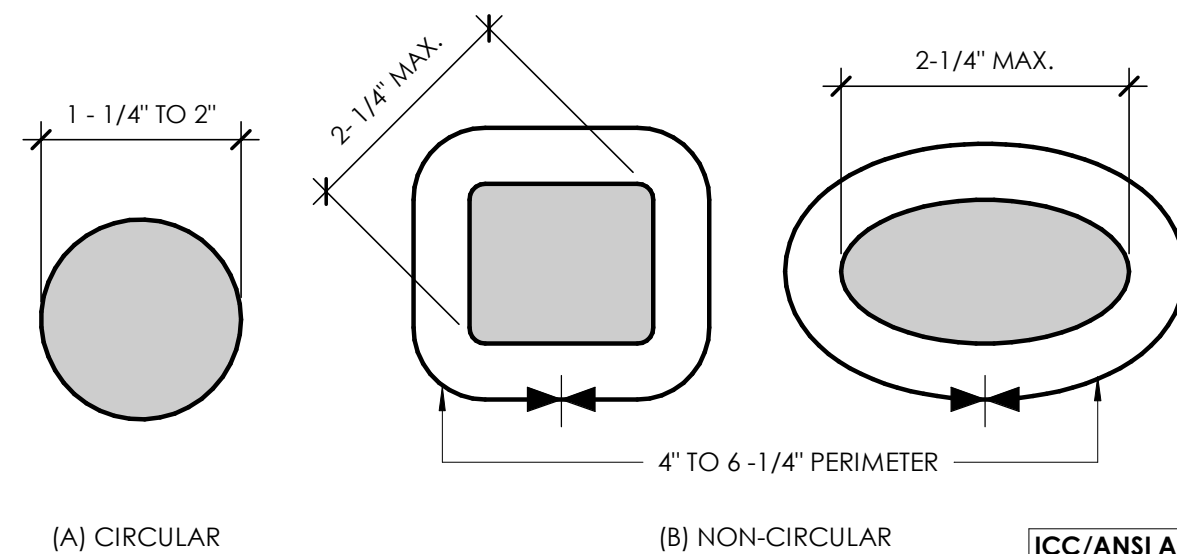
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**G1004**

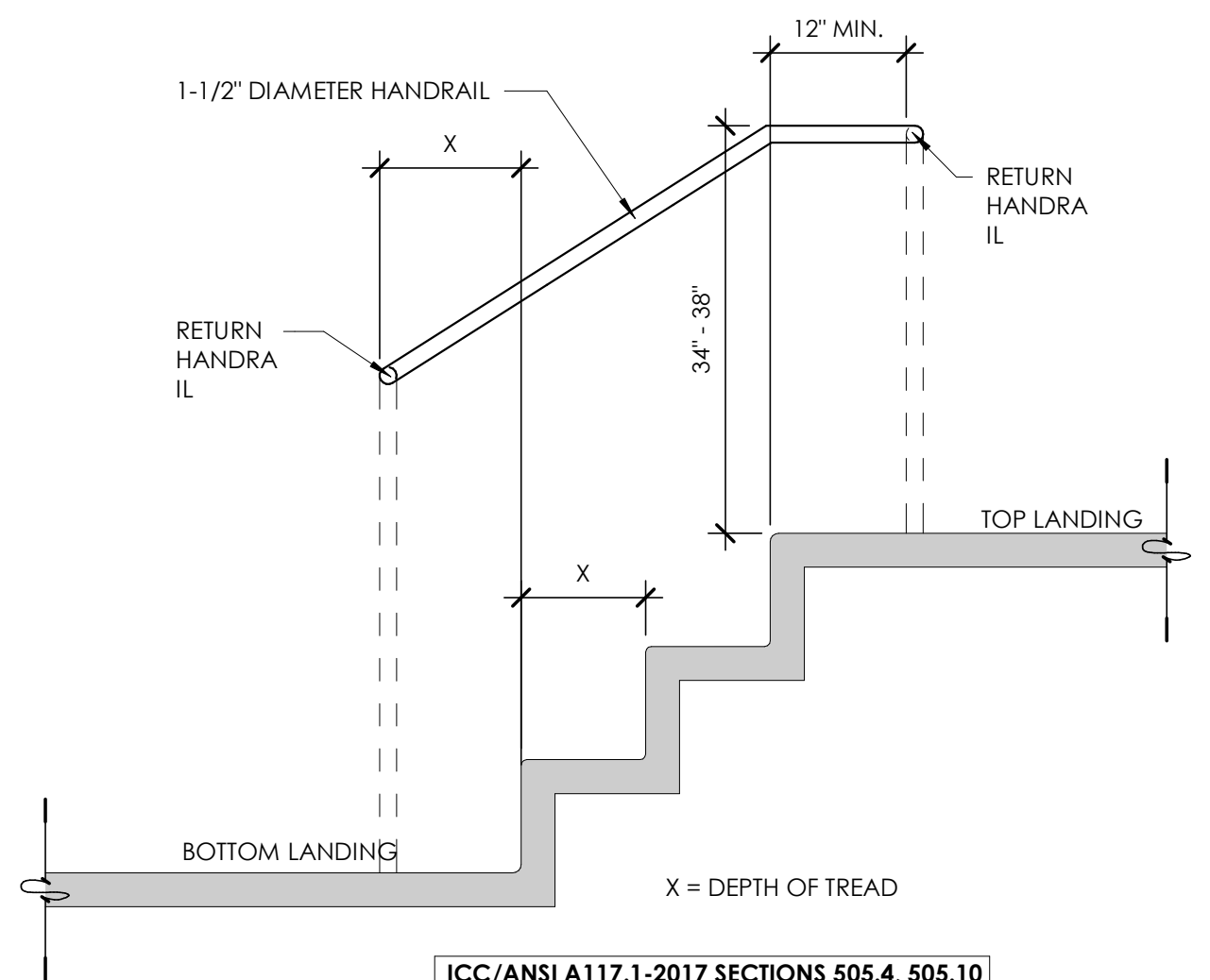




ICC/ANSI A117.1-2017 SECTION 504 STAIRWAYS  
504.3 OPEN RISERS, OPEN RISERS ARE NOT PERMITTED.  
504.4 TREAD SURFACE, STAIR TREADS SHALL HAVE A SLOPE NOT GREATER THAN 1:48.  
504.6 VISUAL CONTRAST, THE LEADING 1" TO 2" OF THE TREAD SHALL HAVE VISUAL CONTRAST OF DARK-ON-LIGHT OR LIGHT-ON-DARK FROM THE REMAINDER OF THE TREAD, OR DURABLE DISTINCTIVE WARNING MARKINGS REQUIRED BY ADAPTED BUILDING CODE OR ANSI SAFETY STANDARD.



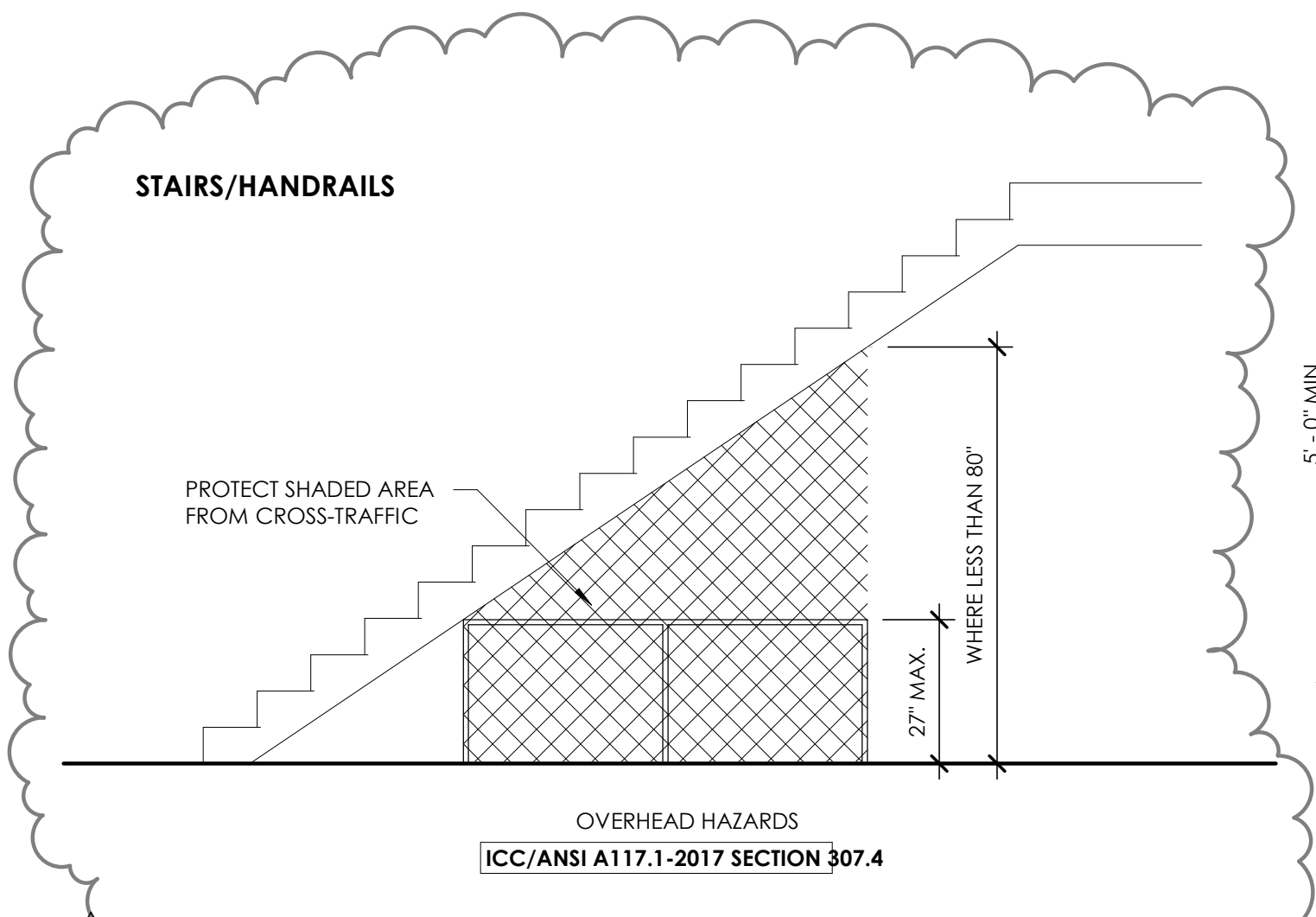
ICC/ANSI A117.1 SECTION 505.7 HANDRAIL CROSS-SECTION.  
505.8 SURFACES, HANDRAILS, AND ANY WALL SURFACES ADJACENT TO THEM SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL BE ROUNDED.  
505.9 FITTINGS, HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.



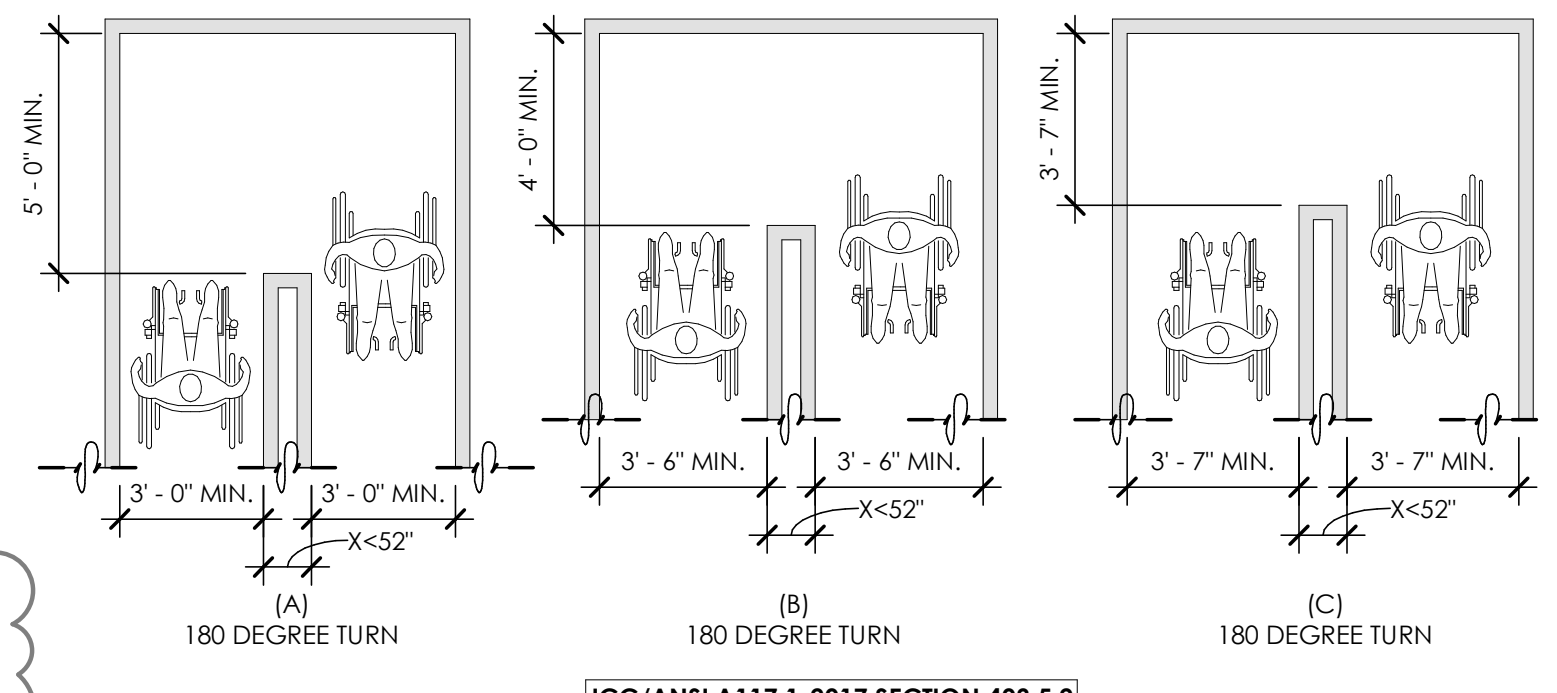
**D2** ACCESSIBLE STAIR NOSING  
3/4" = 1'-0"

**D4** HANDRAIL CROSS-SECTION  
1" = 1'-0"

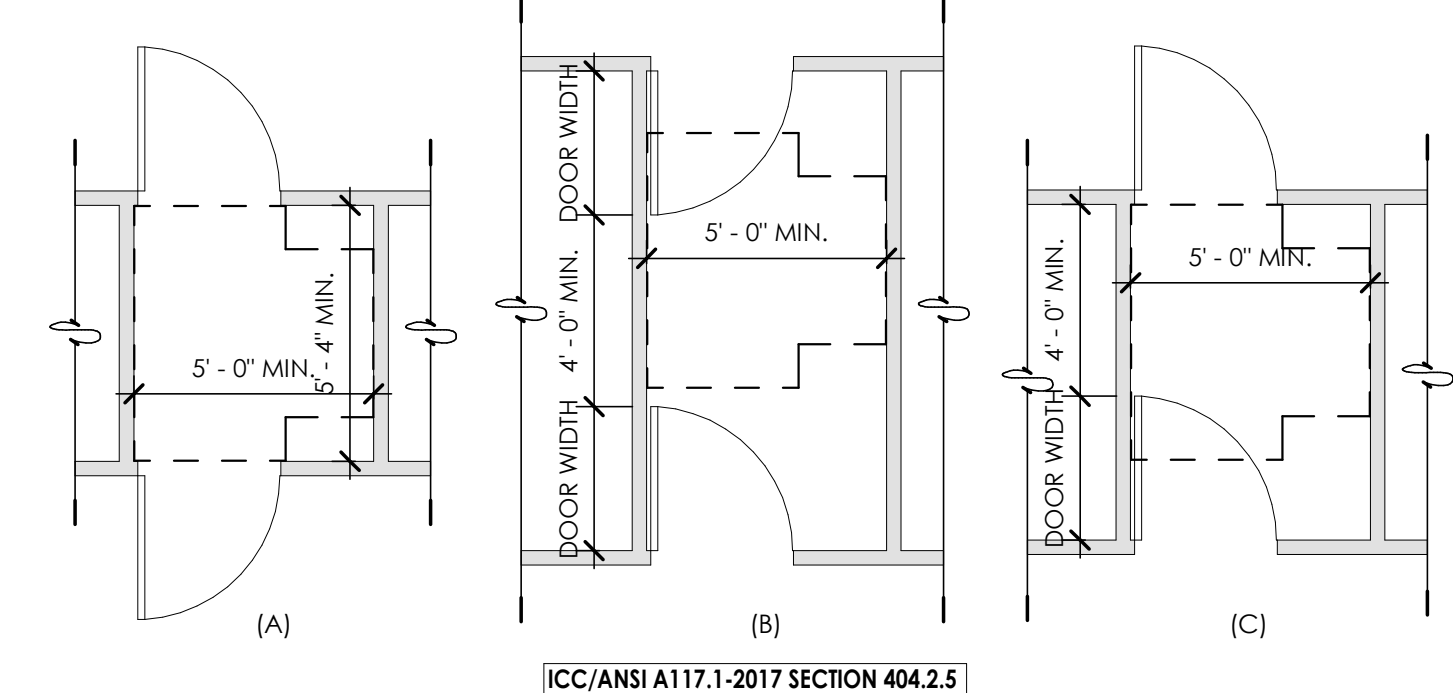
**D5** HANDRAIL EXTENSIONS  
3/4" = 1'-0"



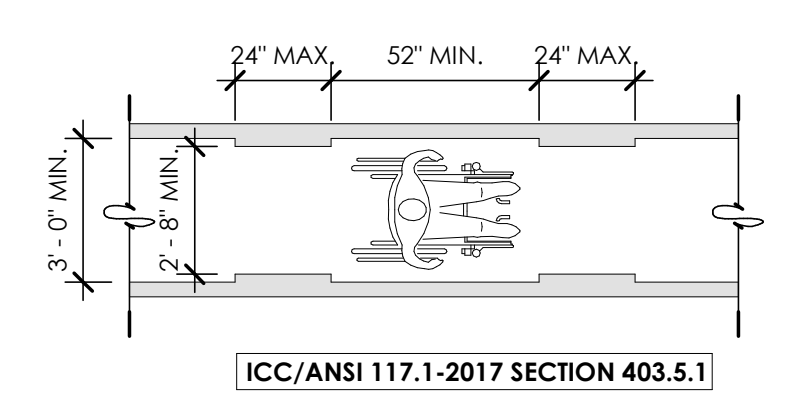
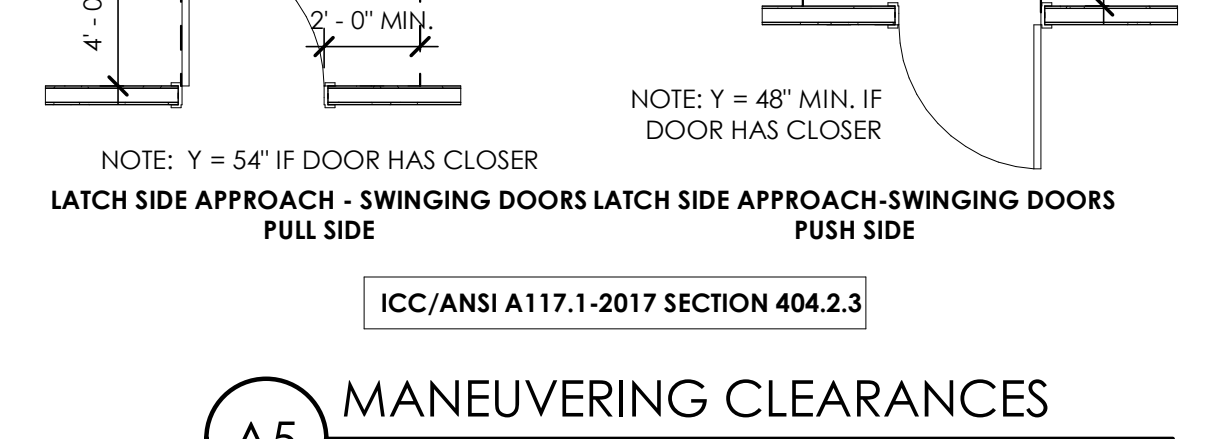
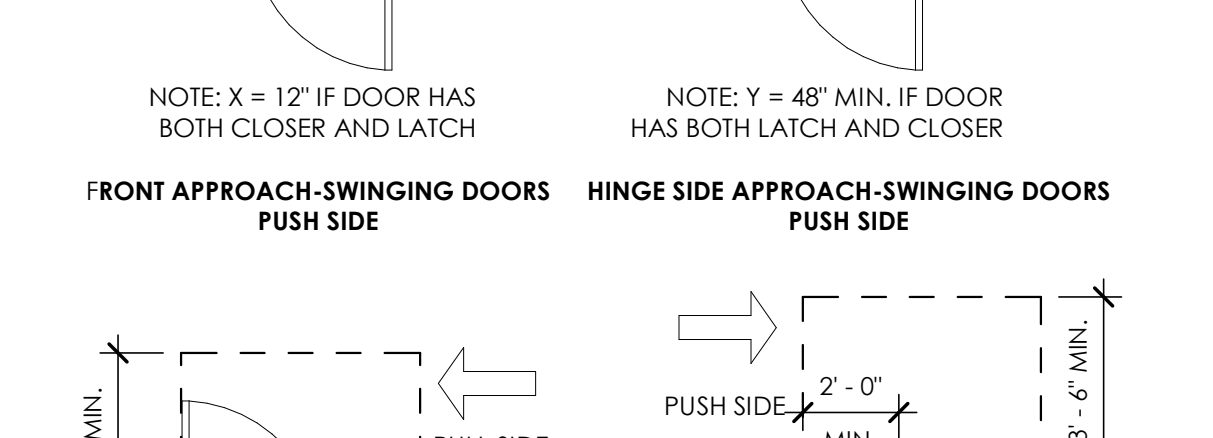
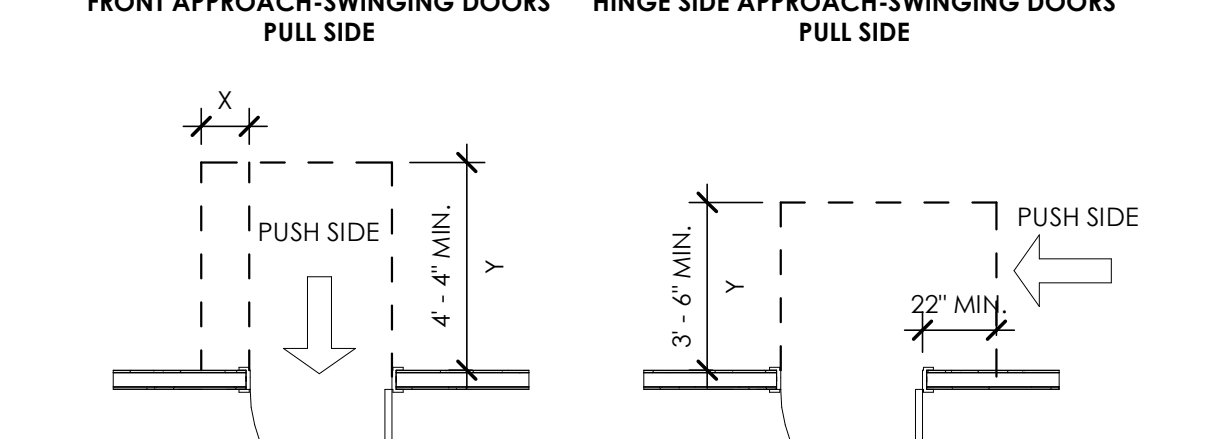
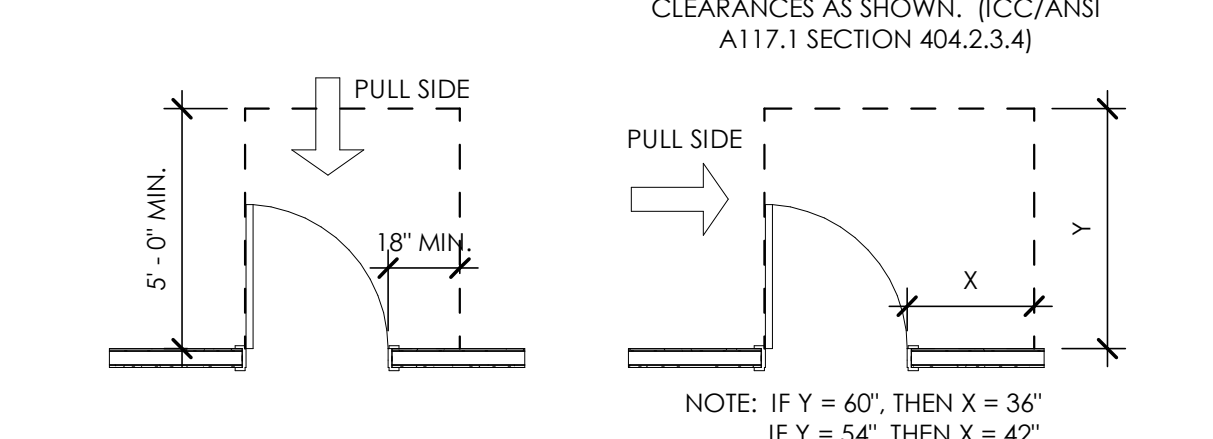
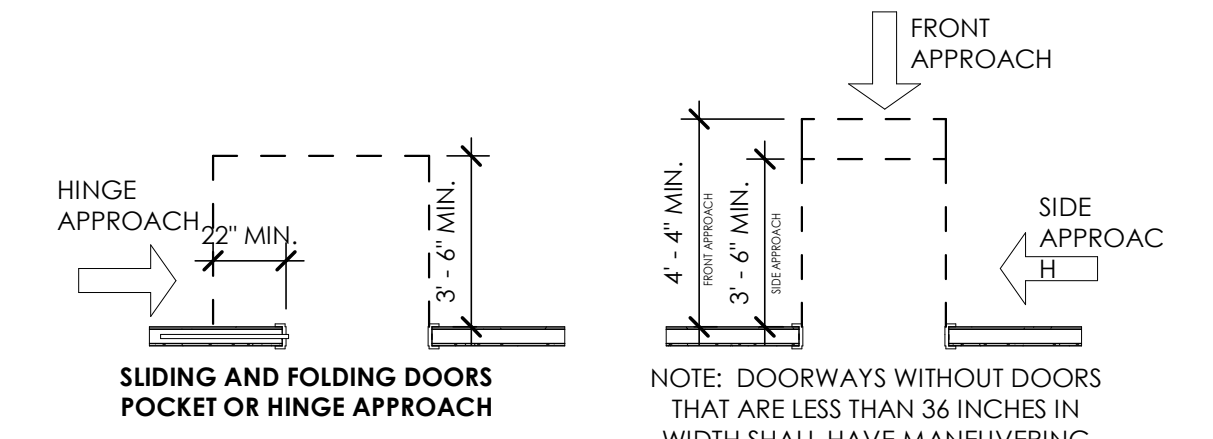
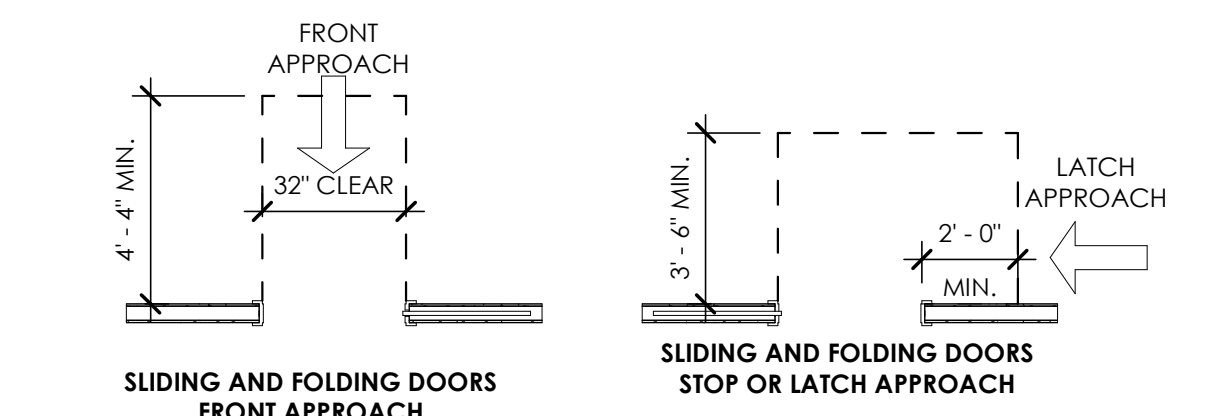
**C1** OVERHEAD PROTECTION  
3/8" = 1'-0"



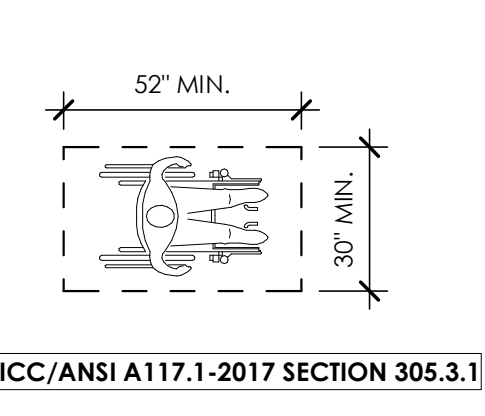
**C2** 180 DEGREE TURN  
1/4" = 1'-0"



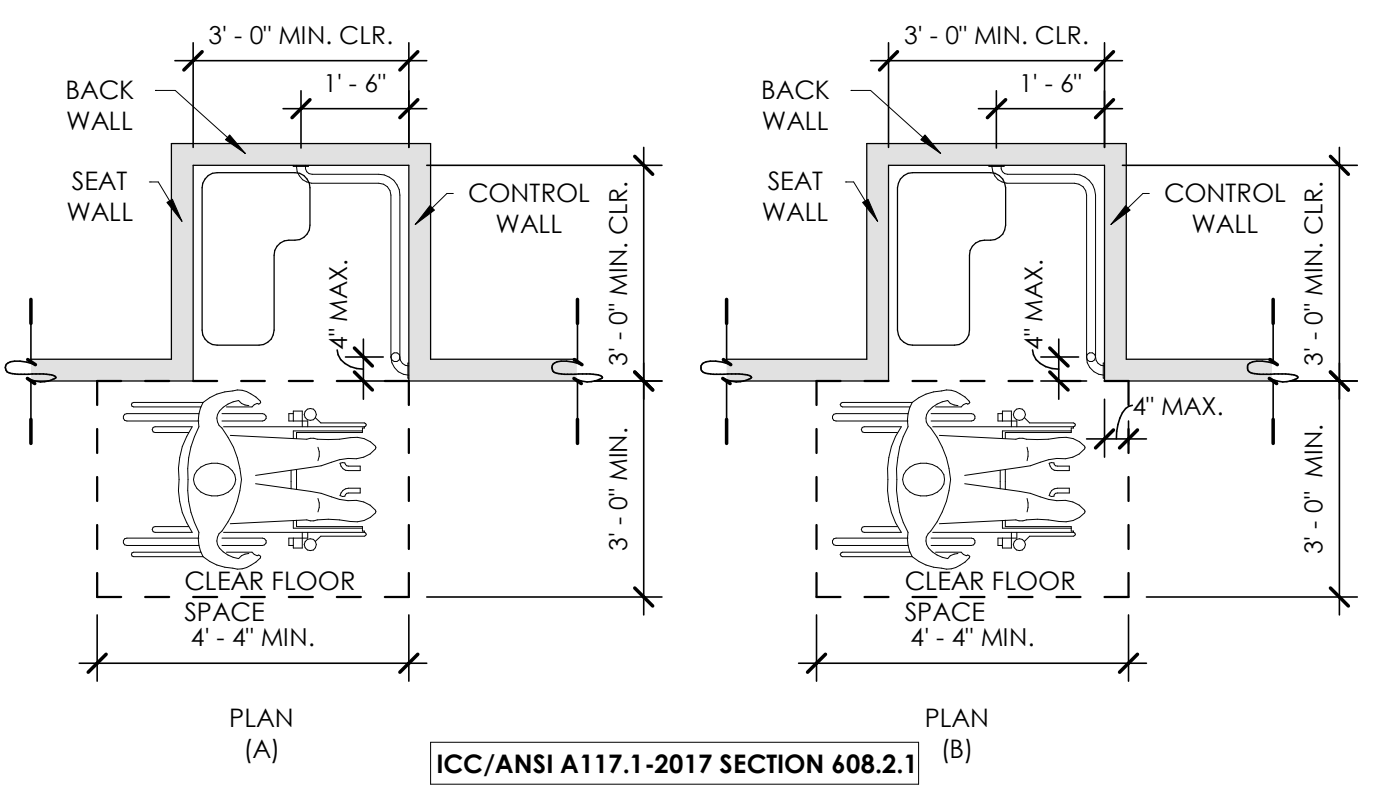
**C3** VESTIBULE MANEUVERING DETAILS  
1/4" = 1'-0"



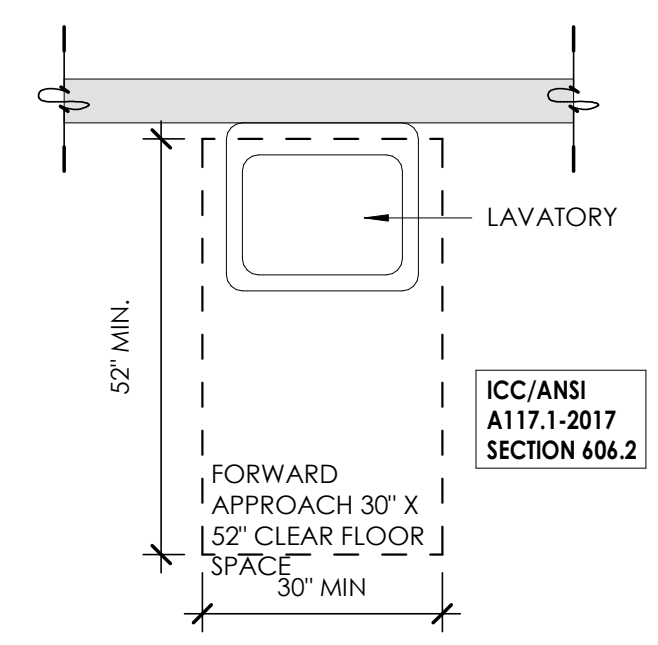
**B2** INTERIOR ACCESSIBLE ROUTE  
1/4" = 1'-0"



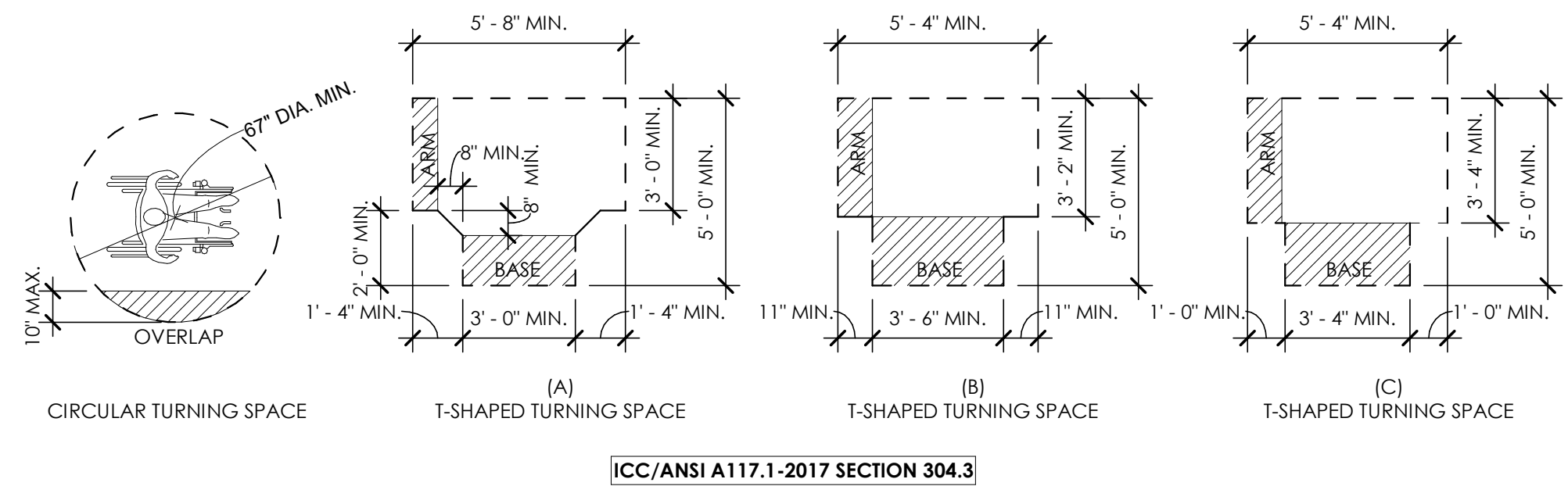
**B3** CLEAR FLOOR SPACE  
1/4" = 1'-0"



**B4** TRANSFER TYPE - SHOWER  
3/8" = 1'-0"



**A2** LAVATORY CLEAR SPACE  
1/2" = 1'-0"



**A3** ACCESSIBLE TURNING SPACE  
1/4" = 1'-0"

**A5** MANEUVERING CLEARANCES  
1/4" = 1'-0"

Project Name

| Issued | No. | Date     | Description |
|--------|-----|----------|-------------|
|        | 1   | 09.21.23 | PLAN REVIEW |
|        | 2   | 02.29.24 | PLAN REVIEW |

| Revision | No. | Date     | Description          |
|----------|-----|----------|----------------------|
|          | 2   | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

ACCESSIBILITY DETAILS

Sheet Number

**G1005**



**LEGAL DESCRIPTION**

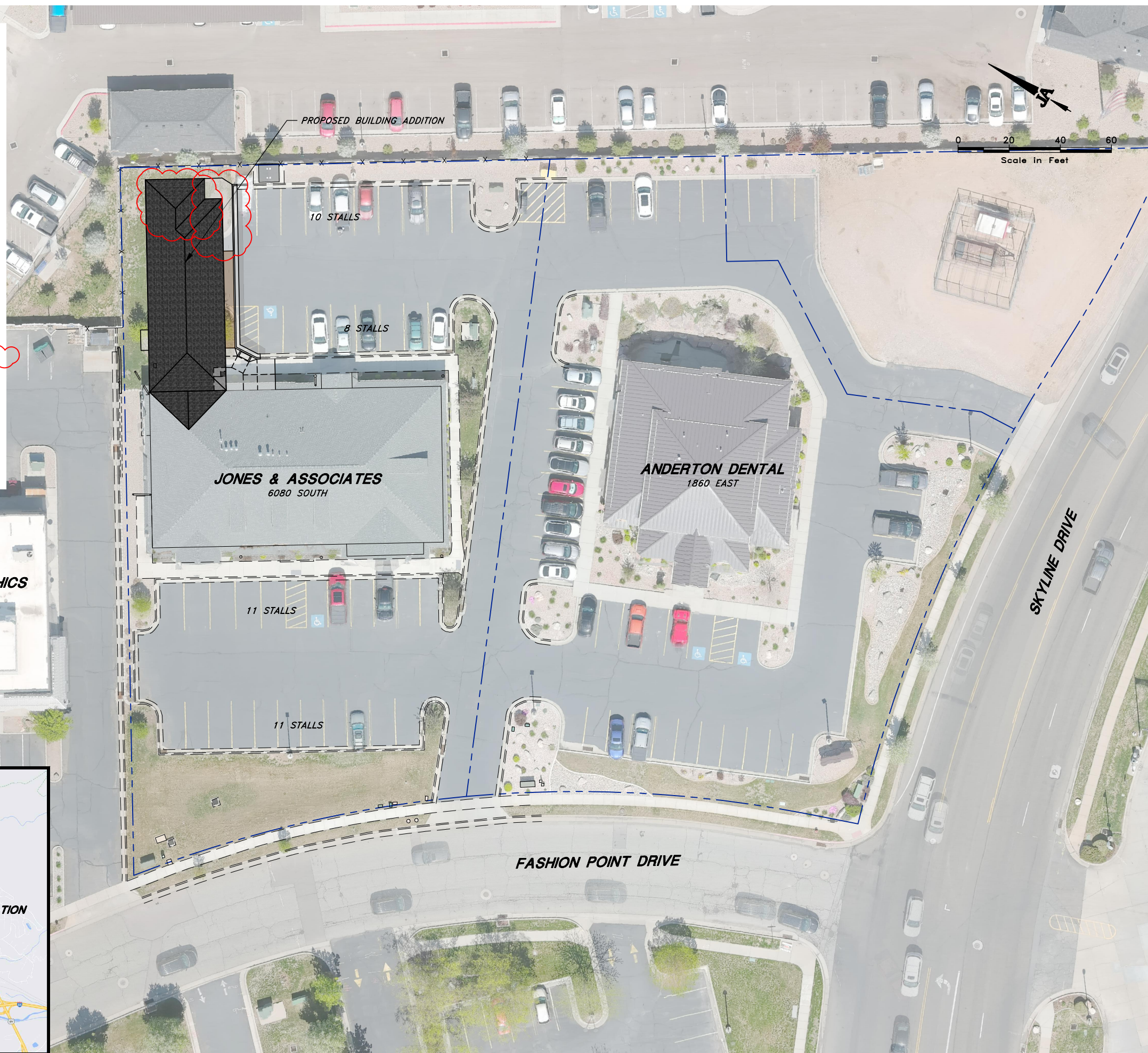
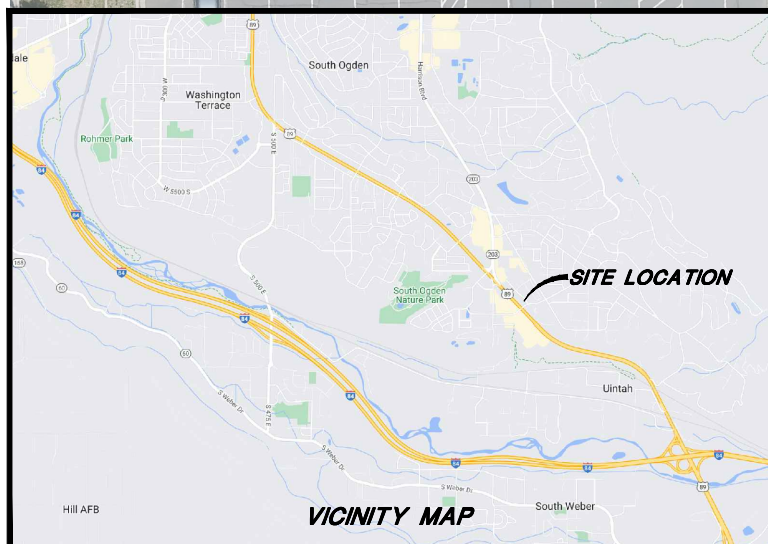
ALL OF LOT 16, FASHION POINT  
SUBDIVISION, PHASE 5, AMENDED, SOUTH  
OGDEN CITY, WEBER COUNTY, UTAH.

**NOTES:**

1. CURRENT ZONING IS GATEWAY CORE.
2. MINIMUM SETBACKS - 5' REAR.
3. EXISTING BUILDING = 6,964 SF
4. ADDITION = 4,223 SF
5. TOTAL BUILDING = 11,187 SF
6. PARKING REQUIREMENT:  
NEIGHBORHOOD, GENERAL OFFICE = 1/300 SQ FT  
REQUIRED PARKING STALLS = 11,187/300 SF =  
38 PARKING STALLS  
STALLS PROVIDED = 40 STALLS

**INDEX OF DRAWINGS**

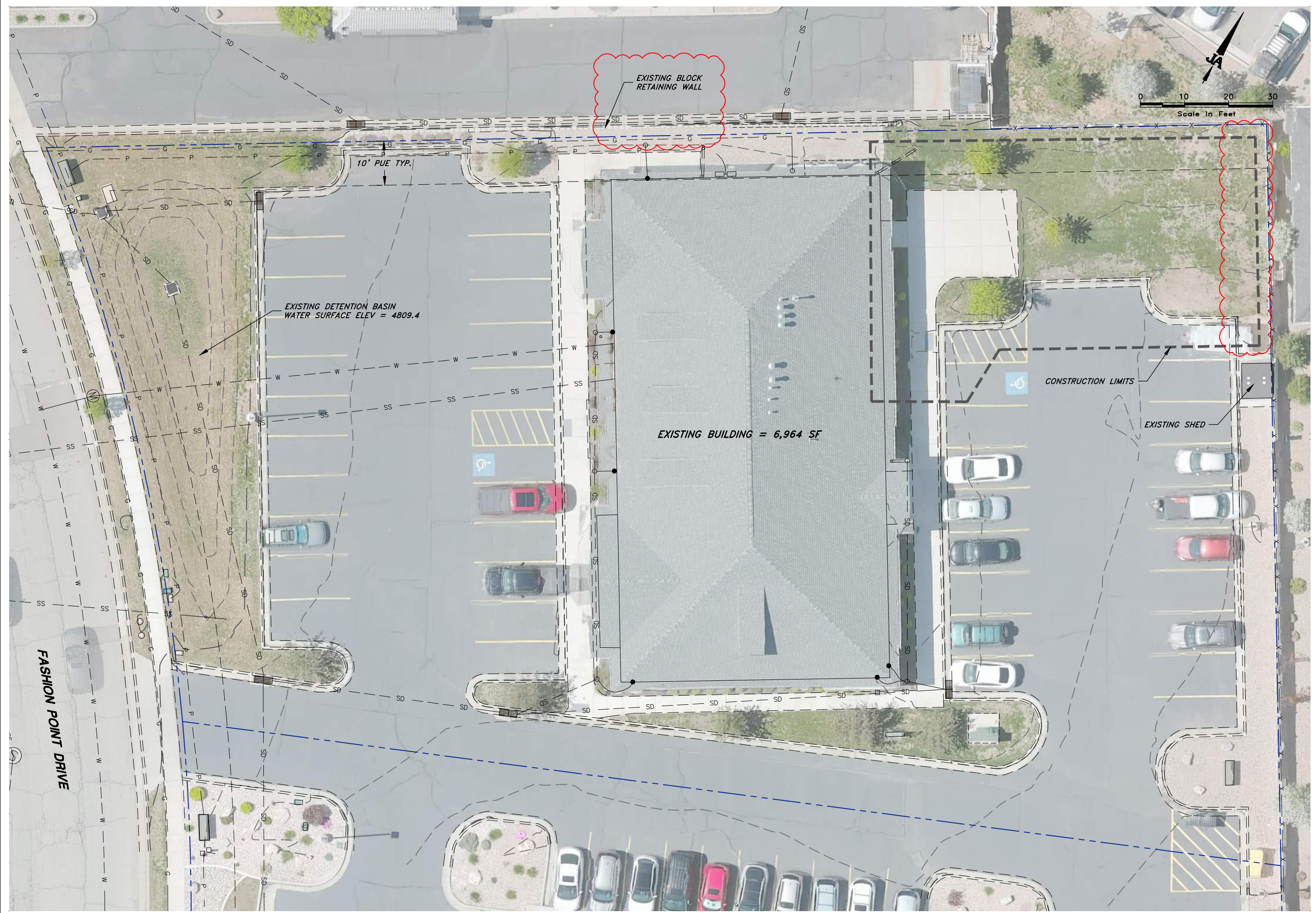
- C1 OVERALL SITE PLAN
- C2 EXISTING CONDITIONS PLAN
- C3 SITE PLAN
- C4 DEMOLITION PLAN
- C5 GRADING, DRAINAGE AND UTILITY PLAN
- C6 CONCRETE ENTRANCE GRADING PLAN
- C7 ADA ACCESSIBLE ROUTE AND FIRE ACCESS PLAN
- L1 PROJECT DATA SHEET AND GENERAL NOTES
- L2 LANDSCAPE PLANT LOCATION
- L3 SPRINKLER SYSTEM LOCATION
- L4 SPRINKLER LEGEND AND DETAILS
- G1003 FLOOR PLANS
- AE201 EXTERIOR ELEVATIONS
- AE202 EXTERIOR ELEVATIONS
- ORIGINAL DEDICATION PLAT (FASHION POINT  
SUBDIVISION PHASE 5 AMENDED)



| REV. | DATE | APPR. |
|------|------|-------|
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|                                    |              |           |             |
|------------------------------------|--------------|-----------|-------------|
| SCALE:                             | BKJ DESIGNED | TWE DRAWN | BKJ CHECKED |
| 24" x 36"                          |              |           |             |
| #1" = 20'                          |              |           |             |
| 11" x 17"                          |              |           |             |
| #1" = 40'                          |              |           |             |
| SHEET:<br><b>C1</b><br>OF 1 SHEETS |              |           |             |





CONSULTING  
ENGINEERS

**J.A. JONES & ASSOCIATES**

6080 Fashion Point Drive  
South Ogden, Utah 84403  
(801) 476-9767 www.jonescivil.com

JONES AND ASSOCIATES

6080 SOUTH FASHION POINT DRIVE BUILDING ADDITION

**EXISTING CONDITIONS PLAN**

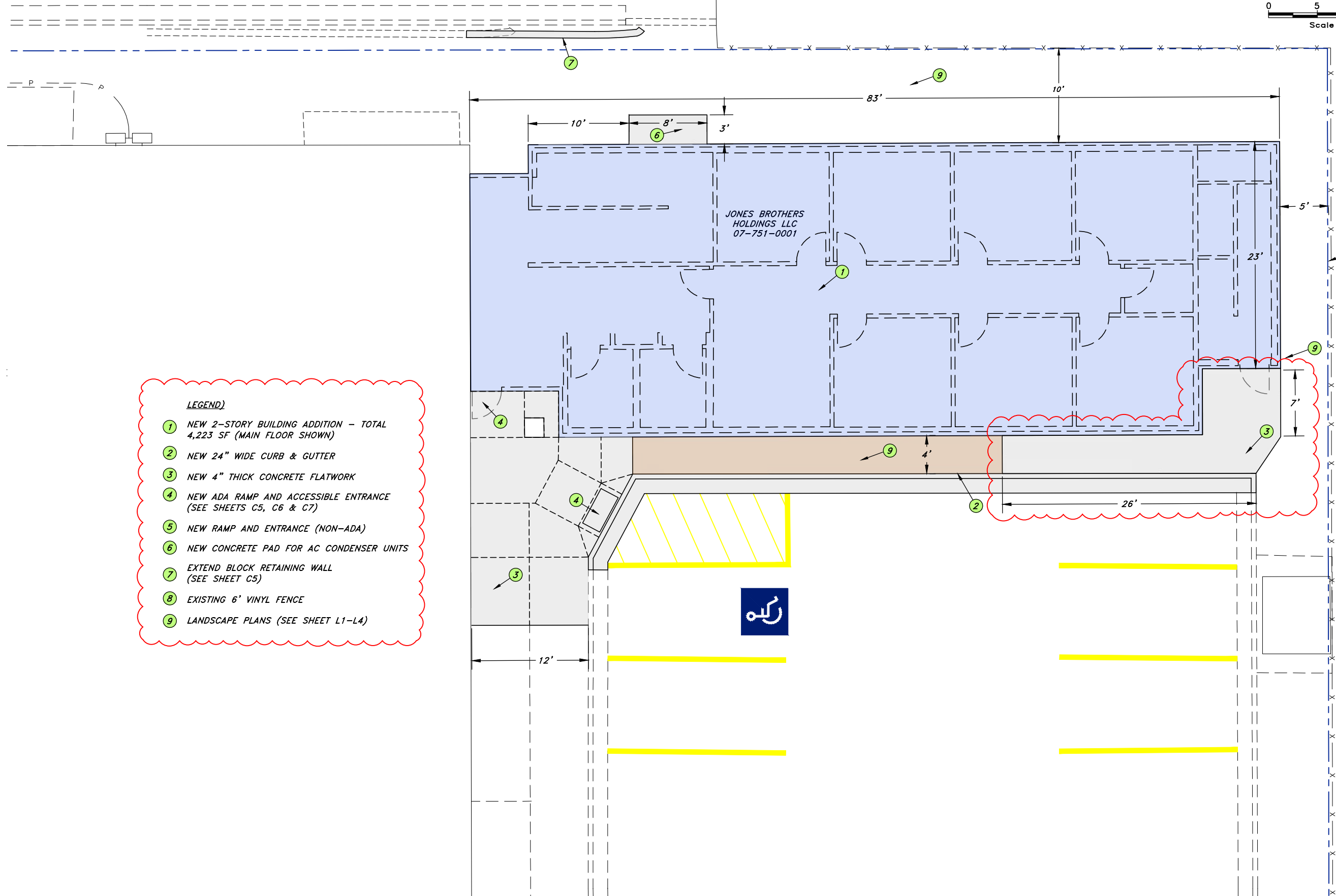
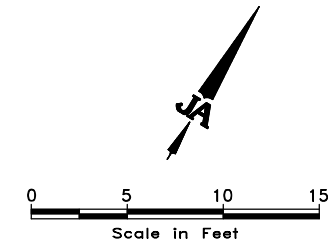
| REV. | DATE | APPR. |
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|                                  |                    |                 |                   |
|----------------------------------|--------------------|-----------------|-------------------|
| SCALE:<br>24" x 36"<br>#1" = 10' | DESIGNED<br>B.K.J. | DRAWN<br>T.W.E. | CHECKED<br>B.K.J. |
|----------------------------------|--------------------|-----------------|-------------------|



FASHION POINTE PLAZA LLC  
07-697-0004

SEASONS ON SKYLINE  
07-787-0041



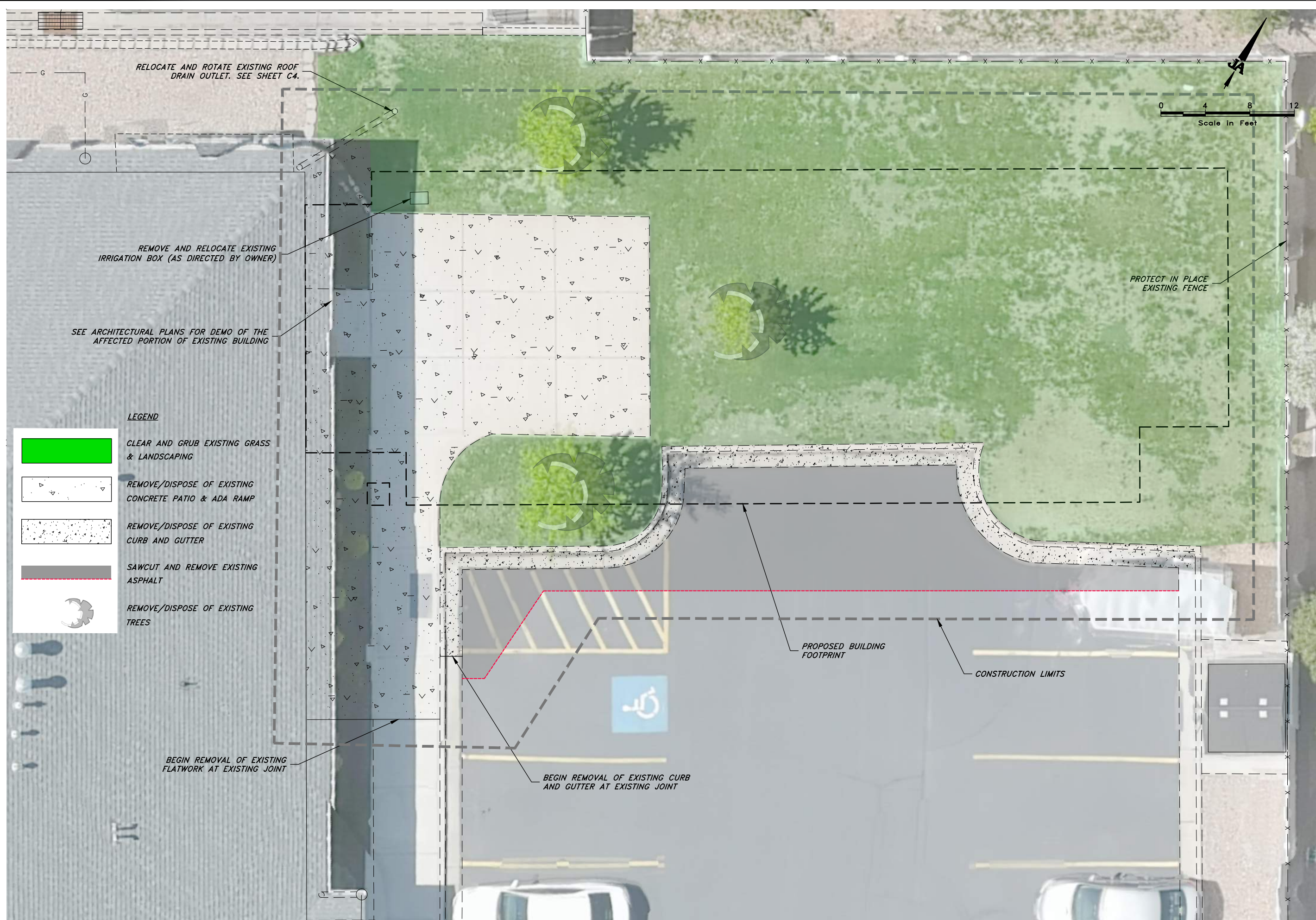
- LEGEND**
- ① NEW 2-STORY BUILDING ADDITION - TOTAL 4,223 SF (MAIN FLOOR SHOWN)
  - ② NEW 24" WIDE CURB & GUTTER
  - ③ NEW 4" THICK CONCRETE FLATWORK
  - ④ NEW ADA RAMP AND ACCESSIBLE ENTRANCE (SEE SHEETS C5, C6 & C7)
  - ⑤ NEW RAMP AND ENTRANCE (NON-ADA)
  - ⑥ NEW CONCRETE PAD FOR AC CONDENSER UNITS
  - ⑦ EXTEND BLOCK RETAINING WALL (SEE SHEET C5)
  - ⑧ EXISTING 6' VINYL FENCE
  - ⑨ LANDSCAPE PLANS (SEE SHEET L1-L4)

SEASONS ON SKYLINE  
07-787-0041

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| DESIGNED | DRAWN | CHECKED |
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| BKU      | TWE   | BKU     |






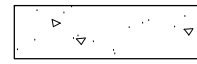
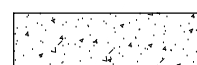


RELOCATE AND ROTATE EXISTING ROOF DRAIN OUTLET. SEE SHEET C4.

REMOVE AND RELOCATE EXISTING IRRIGATION BOX (AS DIRECTED BY OWNER)

PROTECT IN PLACE EXISTING FENCE

SEE ARCHITECTURAL PLANS FOR DEMO OF THE AFFECTED PORTION OF EXISTING BUILDING

**LEGEND**

-  CLEAR AND GRUB EXISTING GRASS & LANDSCAPING
-  REMOVE/DISPOSE OF EXISTING CONCRETE PATIO & ADA RAMP
-  REMOVE/DISPOSE OF EXISTING CURB AND GUTTER
-  SAWCUT AND REMOVE EXISTING ASPHALT
-  REMOVE/DISPOSE OF EXISTING TREES

BEGIN REMOVAL OF EXISTING FLATWORK AT EXISTING JOINT

BEGIN REMOVAL OF EXISTING CURB AND GUTTER AT EXISTING JOINT

PROPOSED BUILDING FOOTPRINT

CONSTRUCTION LIMITS

**JONES AND ASSOCIATES**  
**6080 SOUTH FASHION POINT DRIVE BUILDING ADDITION**  
**DEMOLITION PLAN**

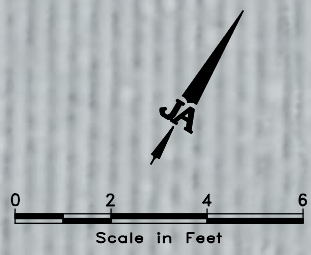
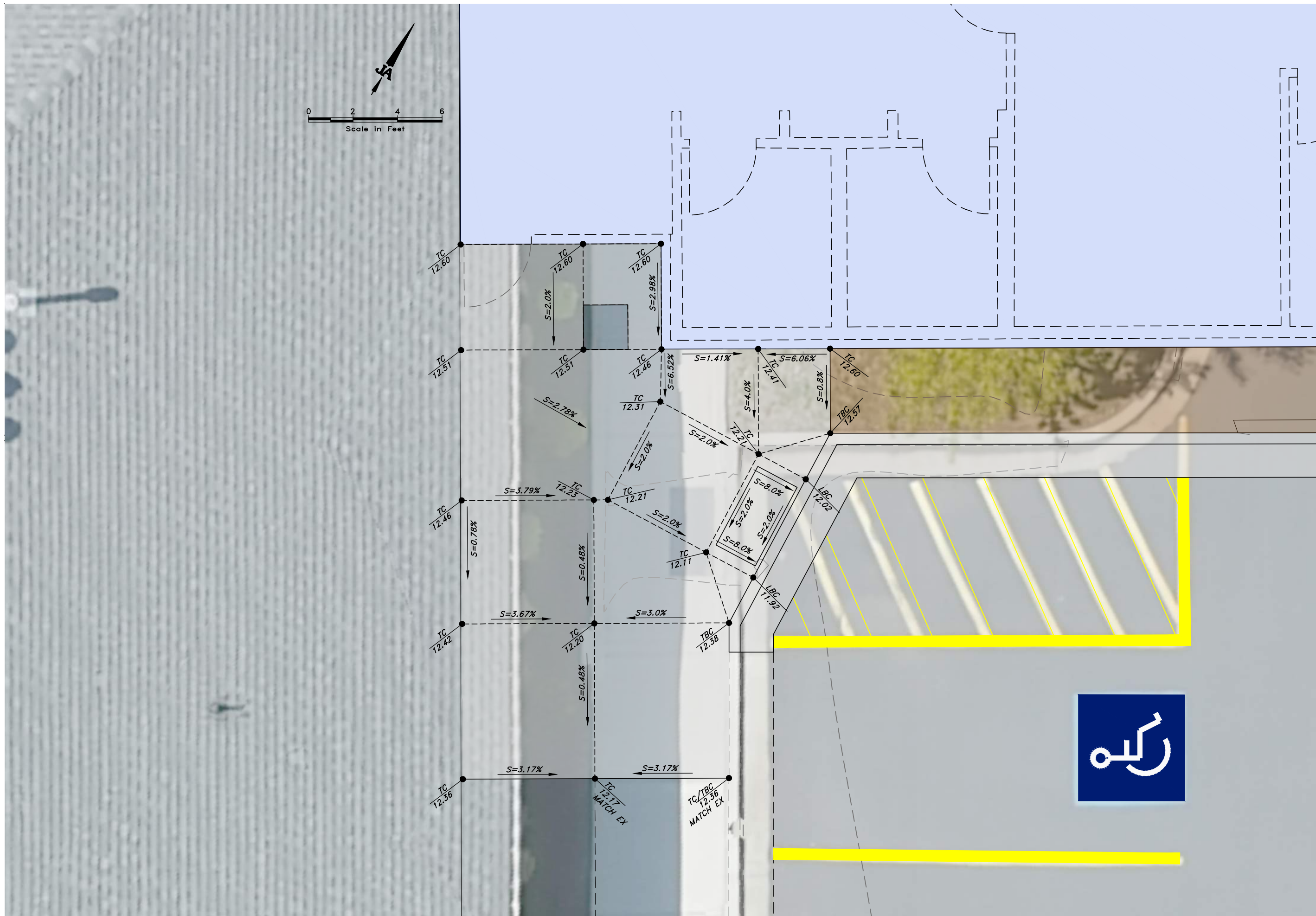
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|                             |               |
|-----------------------------|---------------|
| SCALE: 24" x 36" H: 1" = 4' | DESIGNED: BKJ |
| 11" x 17" H: 1" = 8'        | DRAWN: TWE    |
|                             | CHECKED: BKJ  |







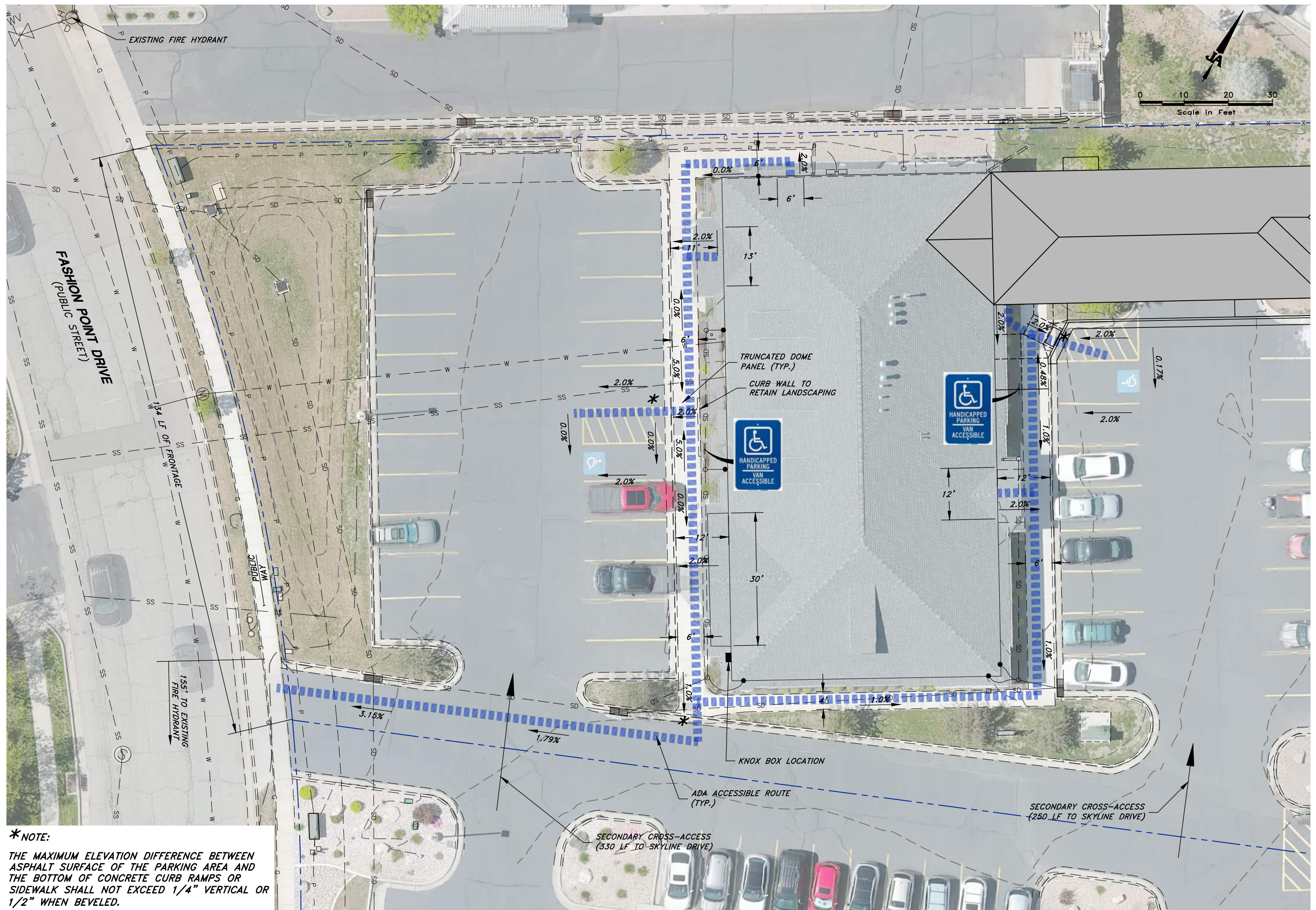


**JONES AND ASSOCIATES**  
**6080 SOUTH FASHION POINT DRIVE BUILDING ADDITION**  
**CONCRETE ENTRANCE**  
**GRADING PLAN**

| REV. | DATE | APPR. |
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| SCALE:               | DESIGNED | DRAWN | CHECKED |
|----------------------|----------|-------|---------|
| 24' x 36'<br>H:1"=2' | BKU      | TWE   | BKU     |
| 11' x 17'<br>H:1"=4' |          |       |         |





**\*NOTE:**  
 THE MAXIMUM ELEVATION DIFFERENCE BETWEEN ASPHALT SURFACE OF THE PARKING AREA AND THE BOTTOM OF CONCRETE CURB RAMPS OR SIDEWALK SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.

**JONES AND ASSOCIATES**  
**6080 SOUTH FASHION POINT DRIVE BUILDING ADDITION**  
**ADA ACCESSIBLE ROUTE AND FIRE ACCESS PLAN**

| REV. | DATE | APPR. |
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|--------------|-----------|-------------|
| BKJ DESIGNED | TWE DRAWN | BKJ CHECKED |
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|                            |                     |
|----------------------------|---------------------|
| SCALE: 24" x 36" #1" = 10' | 11" x 17" #1" = 20' |
|----------------------------|---------------------|

|                  |
|------------------|
| SHEET: <b>C7</b> |
| OF 1 SHEETS      |



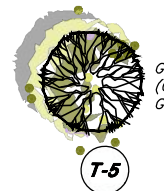
**VEGETATION LEGEND:**



DWARF BURNING BUSH  
(EUONYMUS ALATUS COMPACTUS)  
5GAL # (6)



GOLDMOUND  
(SPIRAEA JAPONICA)  
5GAL # (4)



GOLDSPIRE GINKGO  
(GINKGO GOLDSPIRE GINKGO) 3GAL # (6)

**MATERIAL LEGEND:**



COBBLESTONE 2"-4"  
W/ WEED BARRIER FABRIC  
S.F.=1,350

G-1



BROWN MULCH  
W/ WEED BARRIER FABRIC  
S.F.=242

G-2

**LANDSCAPE DESIGN STANDARD NOTES:**

1. PLANTS SELECTED FOR LANDSCAPE AREAS SHALL BE WELL-SUITED TO THE MICROCLIMATE AND SOIL CONDITIONS AT THE PROJECT SITE.
2. AFTER COMPLETION OF PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM THREE TO FOUR (3-4) INCH LAYER OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH, AND MODERATE SOIL TEMPERATURE. NONPOROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH.
3. SOIL PREPARATION WILL BE SUITABLE TO PROVIDE HEALTHY GROWING CONDITIONS FOR THE PLANTS AND TO ENCOURAGE WATER INFILTRATION AND PENETRATION. SOIL PREPARATION SHALL INCLUDE SCARIFYING THE SOIL TO A MINIMUM DEPTH OF SIX (6) INCHES AND AMENDING THE SOIL WITH ORGANIC MATERIAL AS PER RECOMMENDATIONS OF THE LANDSCAPE DESIGNER/LANDSCAPE ARCHITECT BASED ON THE SOILS REPORT.
4. IRRIGATION DESIGN STANDARDS ARE COMPLIANT WITH THE "MINIMUM STANDARD FOR EFFICIENT LANDSCAPE IRRIGATION SYSTEM DESIGN AND INSTALLATION" PREPARED BY THE UTAH IRRIGATION ASSOCIATION.
5. PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE-REGULATING VALVE SHALL BE LOCATED BETWEEN THE METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR THE SPRINKLERS.
6. ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM AS SPECIFIED. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE, AND THE ABILITY TO ADJUST RUN TIMES BASED ON A PERCENTAGE OF MAXIMUM ETO.
7. EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES. DRIP EMITTERS AND SPRINKLERS SHALL BE PLACED ON SEPARATE VALVES.
8. DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE PLACED ON A SEPARATE VALVE UNLESS SPECIFICALLY EXEMPTED BY THE CITY DUE TO THE LIMITED NUMBER OF TREES ON THE PROJECT SITE.
9. SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATES WITH EACH CONTROL VALVE CIRCUIT.
10. CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
11. DRIP IRRIGATION LINES SHALL BE UNDER GROUNDED, EXCEPT FOR EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.
12. VALVES WITH SPRAY OR STREAM SPRINKLERS SHALL BE SCHEDULED TO OPERATE BETWEEN 6 P.M. AND 10 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION.
13. VALVES SHALL BE PROGRAMMED FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY ON SLOPES AND SOILS WITH SLOW INFILTRATION RATES.

SOILS REPORT SUMMARY:

-EXISTING SOIL COMPOSITION:

(SOURCE - SITE GEOTECHNICAL REPORT):

- 0-4' DEPTH: MIX OF CLAY & SAND, SLIGHTLY MOIST, BROWN.
- 4-10' DEPTH: GRAVEL W/ SAND, MEDIUM DENSE.

-SOIL AMENDMENT RECOMMENDATIONS:

- LAWN AREAS: 3" LAYER OF PREMIUM QUALITY SANDY LOAM TOPSOIL.
- SHRUB AREAS: EXCAVATE ALL PLANT HOLES 6" WIDER AROUND CIRCUMFERENCE AND 6 INCHES DEEPER AND THEN USE A MIX OF 3/4" PREMIUM QUALITY SANDY LOAM TOPSOIL AND 1/4" PEAT MOSS OR SOIL PEP MULCH WELL MIXED AS THE BACKFILL MATERIAL. USE ORGANIC MULCH.

PROJECT INDEX:

- L1 PROJECT DATA SHEET AND GENERAL NOTES
- L2 LANDSCAPE PLANT LOCATION
- L3 SPRINKLER SYSTEM LOCATION
- L4 SPRINKLER LEGEND & PLANTING DETAILS

LANDSCAPE WATER ALLOWANCE = ETO X 1.0 X 0.62 X A, IN GALLONS PER YEAR:

ETO = REFERENCE EVAPOTRANSPIRATION IN INCHES PER YEAR

1.0 = ETO ADJUSTMENT FACTOR, 100% OF TURF GRASS ETO (WATER YEAR ADJUSTMENT FACTOR)

0.62 = CONVERSION FACTOR (TO GALLONS PER SQUARE FEET)

A = TOTAL IRRIGATED LANDSCAPE AREA IN SQUARE FEET

PROJECT DATA:

PROJECT NAME: JONES AND ASSOCIATES OFFICE BUILDING  
PROJECT ADDRESS: 6080 SOUTH FASHION POINT DRIVE  
SOUTH OGDEN, UT 84403

APPLICANT: BRANDON JONES  
6080 FASHION POINT DR  
SOUTH OGDEN UT 84403  
PHONE: (801)-391-9621

LANDSCAPE ARCHITECT: PAUL M. KEELER, A.S.L.A (DESERET LAND DESIGN)  
LIC#: 103289-5301  
4184 WEST 1975 NORTH  
PLAIN CITY, UT 84404  
PHONE: (801)-791-9244  
FAX: (801)-732-1107

LANDSCAPE CONTRACTOR: TBD

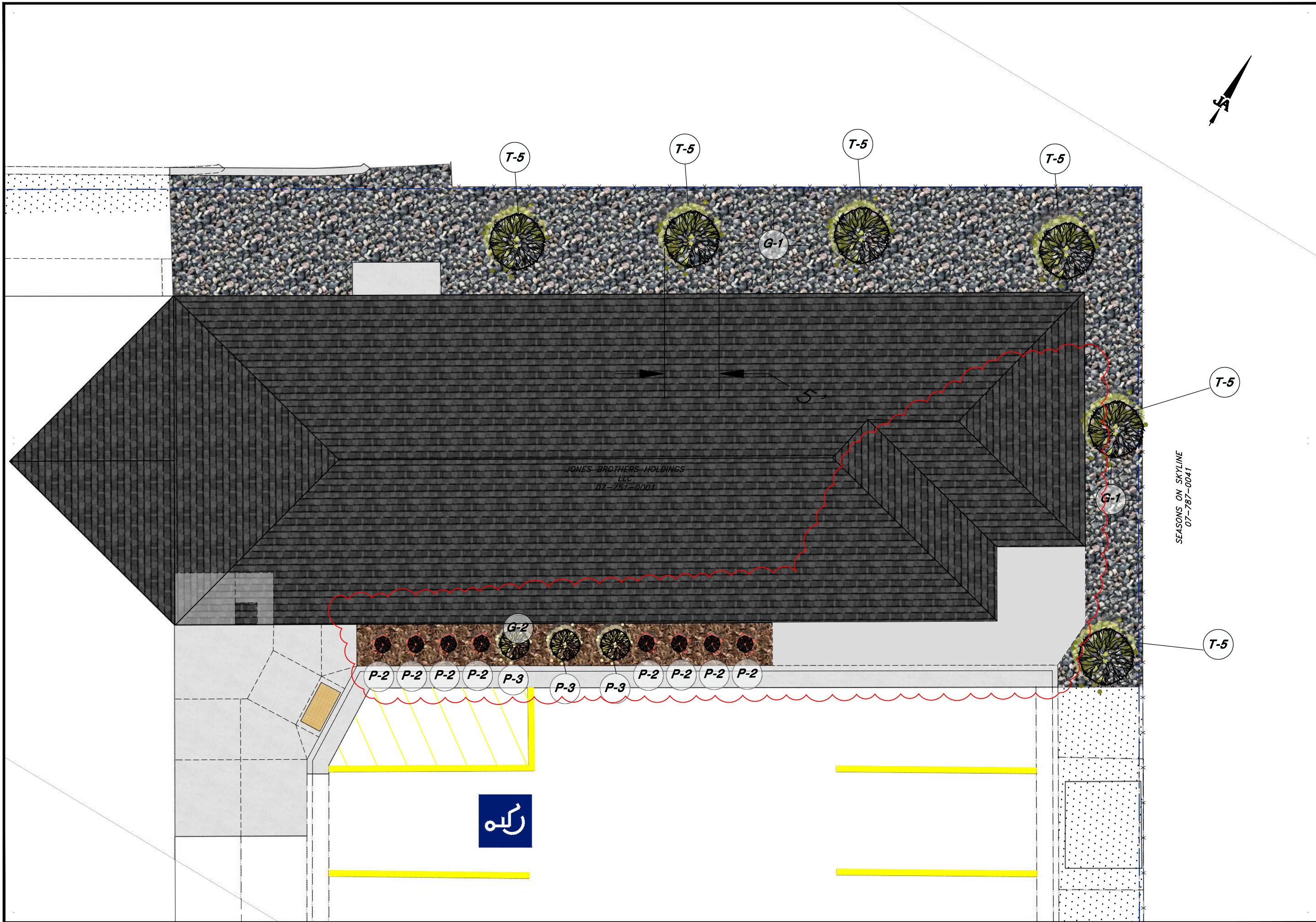
**IRRIGATION SCHEDULE 120 DAY PLANT ESTABLISHMENT**

| VALVE STATIONS | DRIP SYSTEM | PLANT (VEGETATION) | LANDSCAPED AREA (S.F.) | GALLONS USED / MONTH       |          |        |            |                            |                              |                                |                              | TOTAL | ETO FOR SOC (IN/YR) | ALLOWABLE (SEE LWA THIS TABLE) |
|----------------|-------------|--------------------|------------------------|----------------------------|----------|--------|------------|----------------------------|------------------------------|--------------------------------|------------------------------|-------|---------------------|--------------------------------|
|                |             |                    |                        | MAXIMUM WATER DAYS / MONTH | RUN TIME | CYCLES | GPM / ZONE | JULY (100% MAX WATER DAYS) | AUGUST (100% MAX WATER DAYS) | SEPTEMBER (75% MAX WATER DAYS) | OCTOBER (50% MAX WATER DAYS) |       |                     |                                |
| 1              | ●           | T5                 | 240                    | 16                         | 10       | 2      | 3          | 960                        | 960                          | 720                            | 480                          | 3,120 | 25.57               | 4,455                          |
| 2              | ●           | P1 P2 P3 P4        | 340                    | 16                         | 10       | 2      | 3.5        | 1,120                      | 1,120                        | 840                            | 560                          | 3,640 | 25.57               | 5,390                          |



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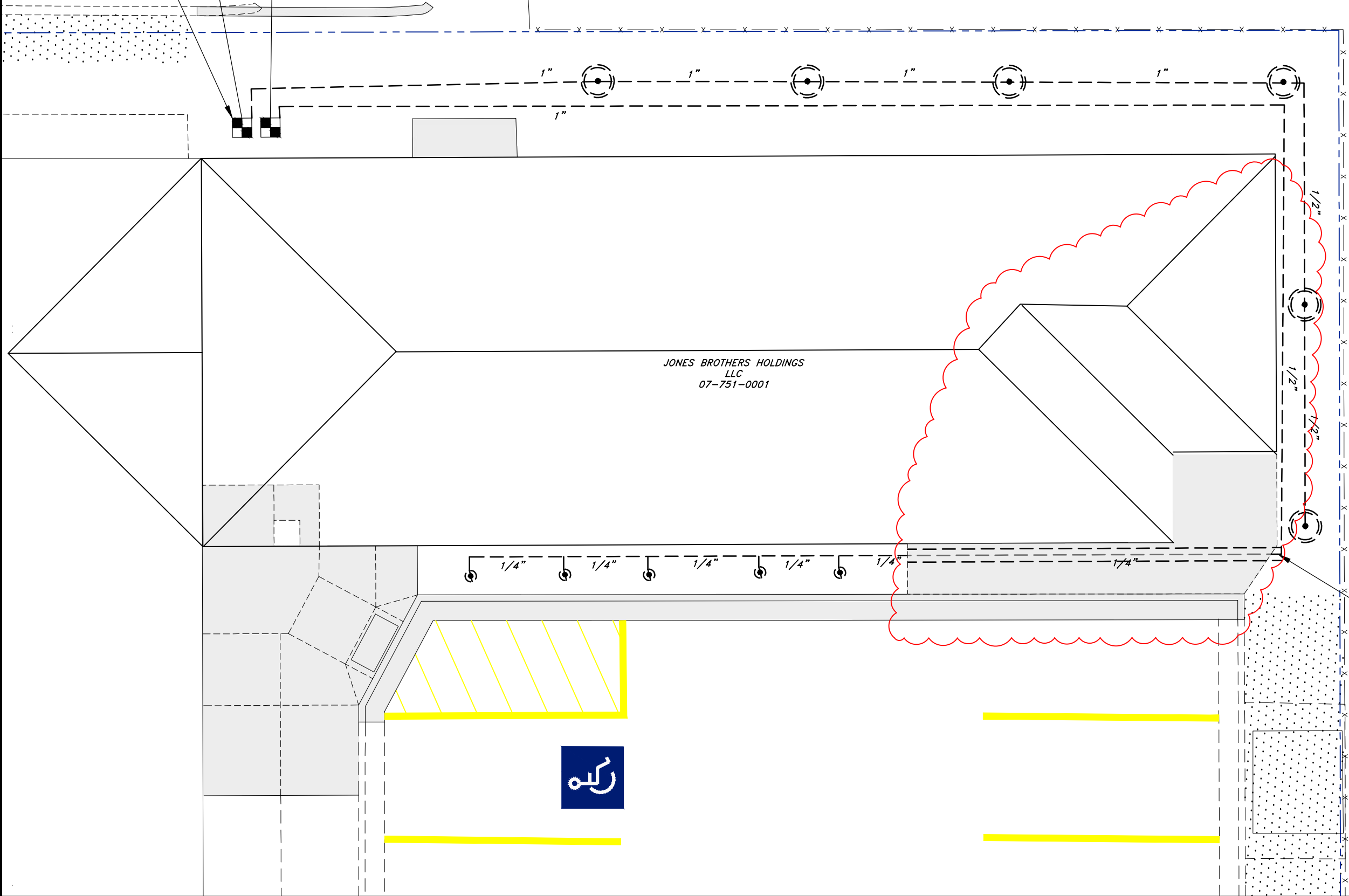
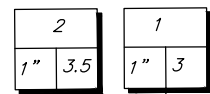
**JONES & ASSOCIATES**  
**6080 SOUTH FASHION POINT DRIVE BUILDING ADDITION**  
**LANDSCAPE PLAN**  
**LOCATION**

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|           |              |           |             |
|-----------|--------------|-----------|-------------|
| SCALE:    | SLS DESIGNED | SLS DRAWN | BMJ CHECKED |
| 24" x 36" | 1"=4'        | 11" x 17" | 1"=8'       |



COORDINATE NEW IRRIGATION IN THIS AREA WITH OWNER TO CONNECT TO PRESSURIZED IRRIGATION MAIN LINE



JONES BROTHERS HOLDINGS  
LLC  
07-751-0001

SEASONS ON SKYLINE  
07-787-0041

NEW 4" PVC SLEEVE  
UNDER 4" THICK SIDEWALK

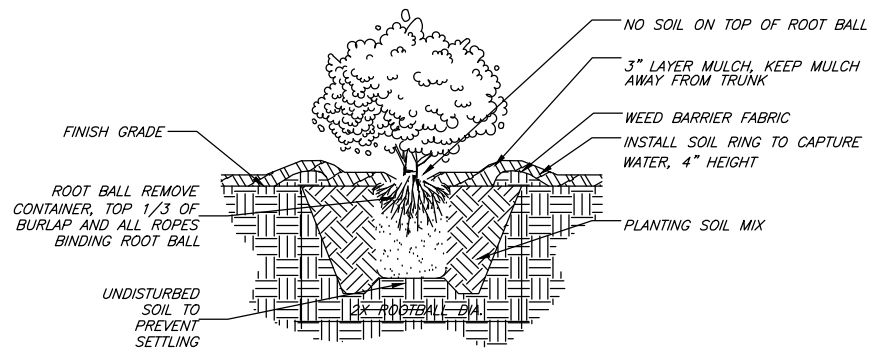


**JONES & ASSOCIATES**  
6080 SOUTH FASHION POINT DRIVE BUILDING ADDITION  
**SPRINKLER SYSTEM LOCATION**

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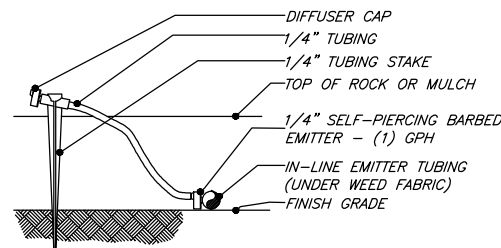
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|--------|-----------|---------|-----------|---------|---------|
| SLS    | DESIGNED  | SLS     | DRAWN     | BMJ     | CHECKED |
| SCALE: | 24" x 36" | 1" = 4' | 11" x 17" | 1" = 8' |         |



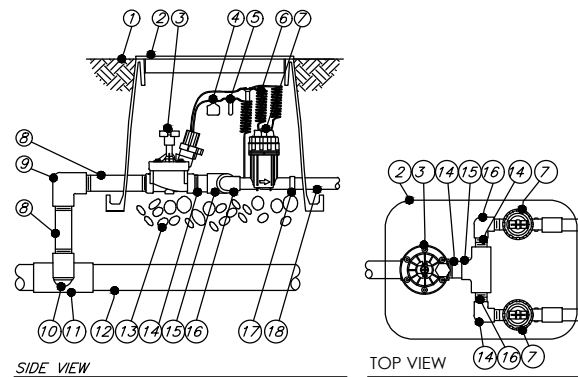


**1 SHRUB PLANTING**  
NOT TO SCALE

NOTE:  
1. CONNECT SELF-PIERCING EMITTER DIRECTLY INTO IN-LINE EMITTER TUBING. THIS IS AN INDICATOR EMITTER ONLY, TO BE USED AT EACH TREE RING  
2. AND AREA WHERE IN-LINE EMITTER TUBING IS INSTALLED. 1/4\"/>

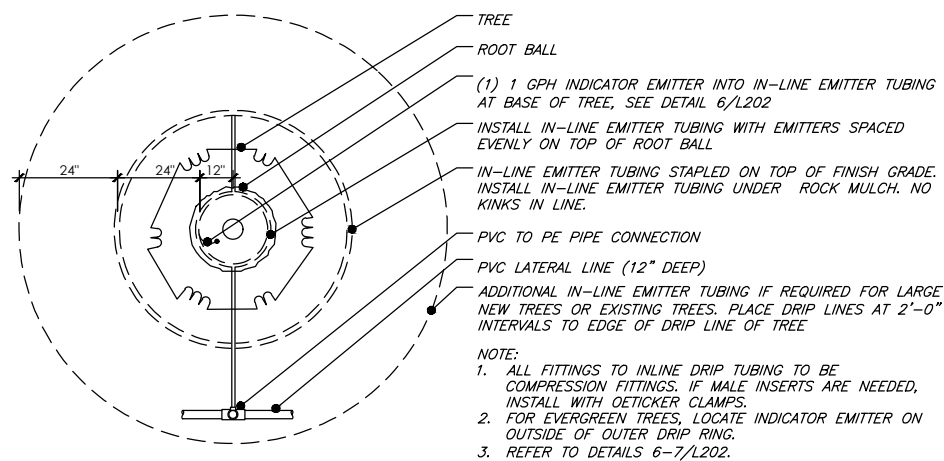


**2 INDICATOR EMITTER**  
NOT TO SCALE

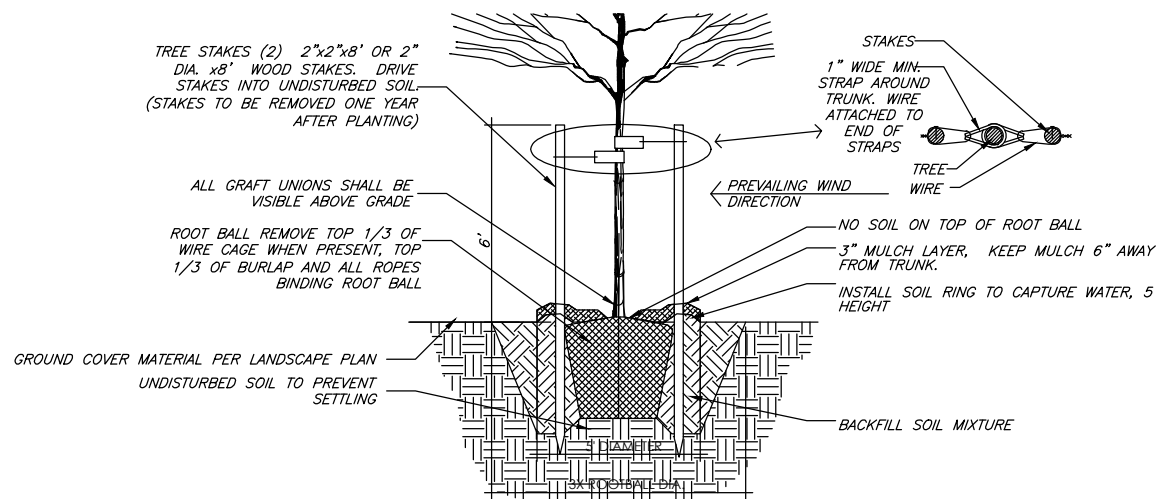


**3 DRIP CONTROL ZONE KIT (UP TO 1.5")**  
NOT TO SCALE

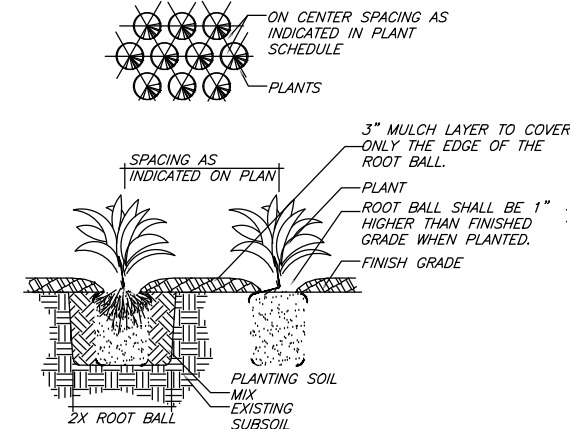
- 1 FINISH GRADE
- 2 VALVE BOX WITH COVER
- 3 DRIP ZONE CONTROL KIT
- 4 ID TAG
- 5 WATERPROOF WIRE CONNECTION
- 6 30-INCH LINEAR LENGTH OF WIRE, COILED
- 7 PRESSURE REGULATING FILTER
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (2-INCH LENGTH, AND PVC SCH 40 ELL)
- 11 PVC SCH 40 TEE OR ELL
- 12 MAINLINE PIPE
- 13 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 14 PVC SCH 40 FEMALE ADAPTOR
- 15 LATERAL PIPE



**4 TREE IN-LINE EMITTER TUBING LAYOUT (PLANTER AREAS)**  
NOT TO SCALE



**5 DECIDUOUS TREE PLANTING**  
NOT TO SCALE



**6 PERENNIAL PLANTING**  
NOT TO SCALE

| ZONE | GPM | HEADLOSS @ GPM | MAIN | LENGTH |
|------|-----|----------------|------|--------|
| 1.   | 3.0 | 1 PSI          | 1/4" | 112'   |
| 2.   | 3.5 | 1 PSI          | 1"   | 160'   |

**SPRINKLER GENERAL NOTES:**

- ALL SPRINKLER MATERIALS SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION

**SPRINKLER NOTES:**

- 30 PSI STATIC 20 PSI DESIGN (OPERATING) PRESSURE

**SYMBOL MANUFACTURER/MODEL/DESCRIPTION QTY DETAIL**



RAIN BIRD XZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 30PSI PRESSURE REGULATOR. 3GPM - 15GPM.

2

3/L4



PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.

8

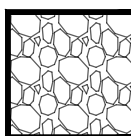
2/L4



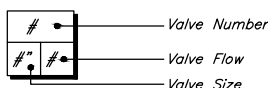
TREE DRIP RING RAINBIRD XFD-09-12 DRIP LINE FORMED INTO 2 CIRCLES - ONE 12" RADIUS, ONE 36" RADIUS.

6

4/L4



AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. EMITTER NOTES:  
1.0 GPH EMITTERS (2 ASSIGNED TO EACH 1 GAL. PLANT)  
2.0 GPH EMITTERS (2 ASSIGNED TO EACH 3 GAL. PLANT)  
2.0 GPH EMITTERS (2 ASSIGNED TO EACH 5 GAL. PLANT)



----- IRRIGATION LATERAL LINE: PVC SCHEDULE 40 - DRIP

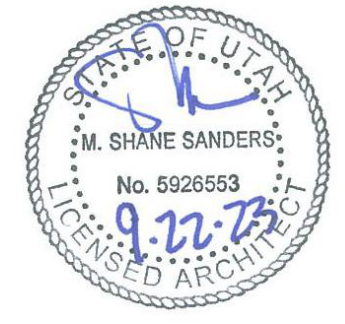
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| SCALE:    | DESIGNED | DRAWN | CHECKED |
|-----------|----------|-------|---------|
| 24" x 36" | SLS      | BMJ   |         |
| NONE      |          |       |         |
| 11" x 17" |          |       |         |
| NONE      |          |       |         |

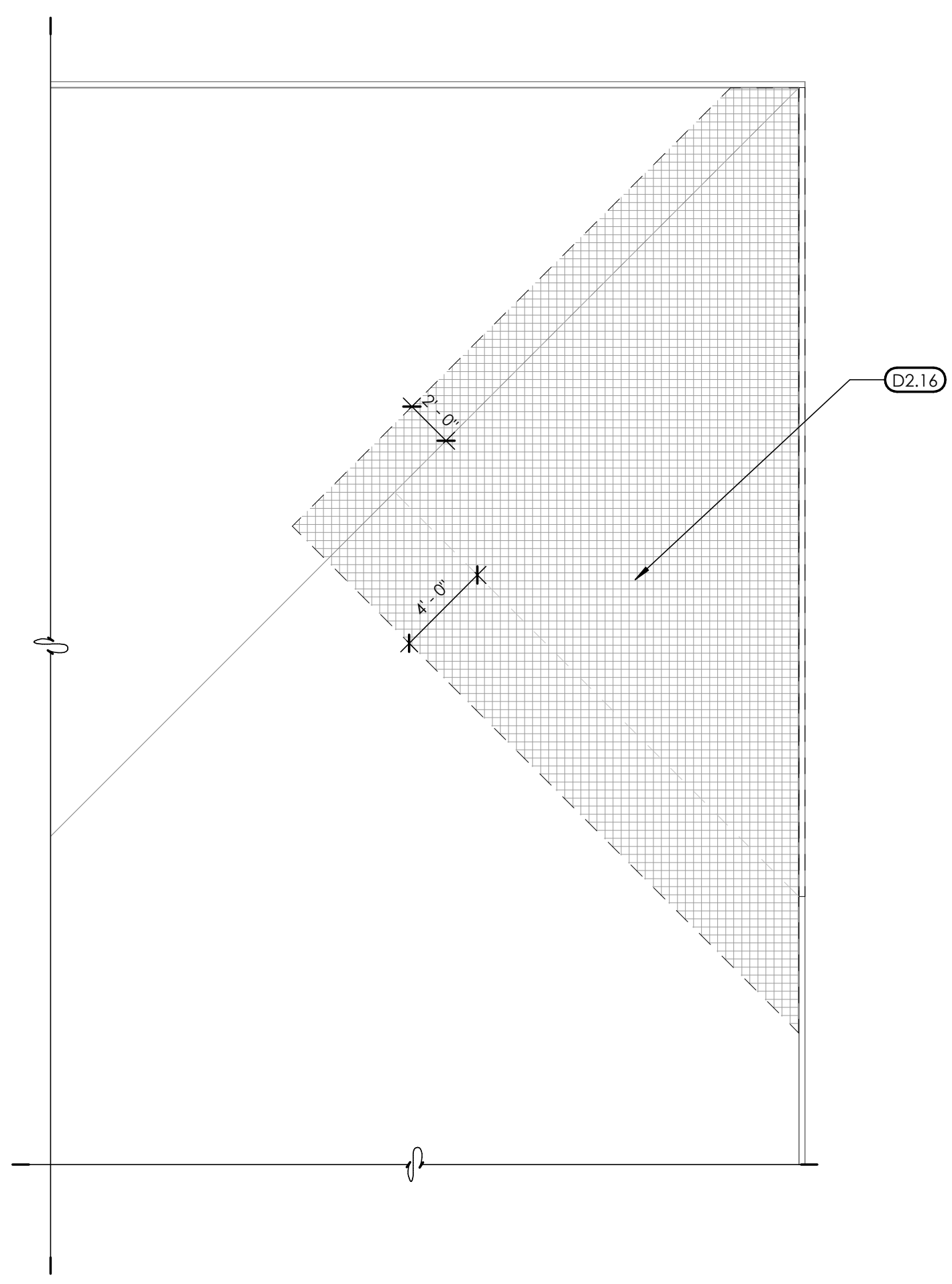


**KEYED NOTES**

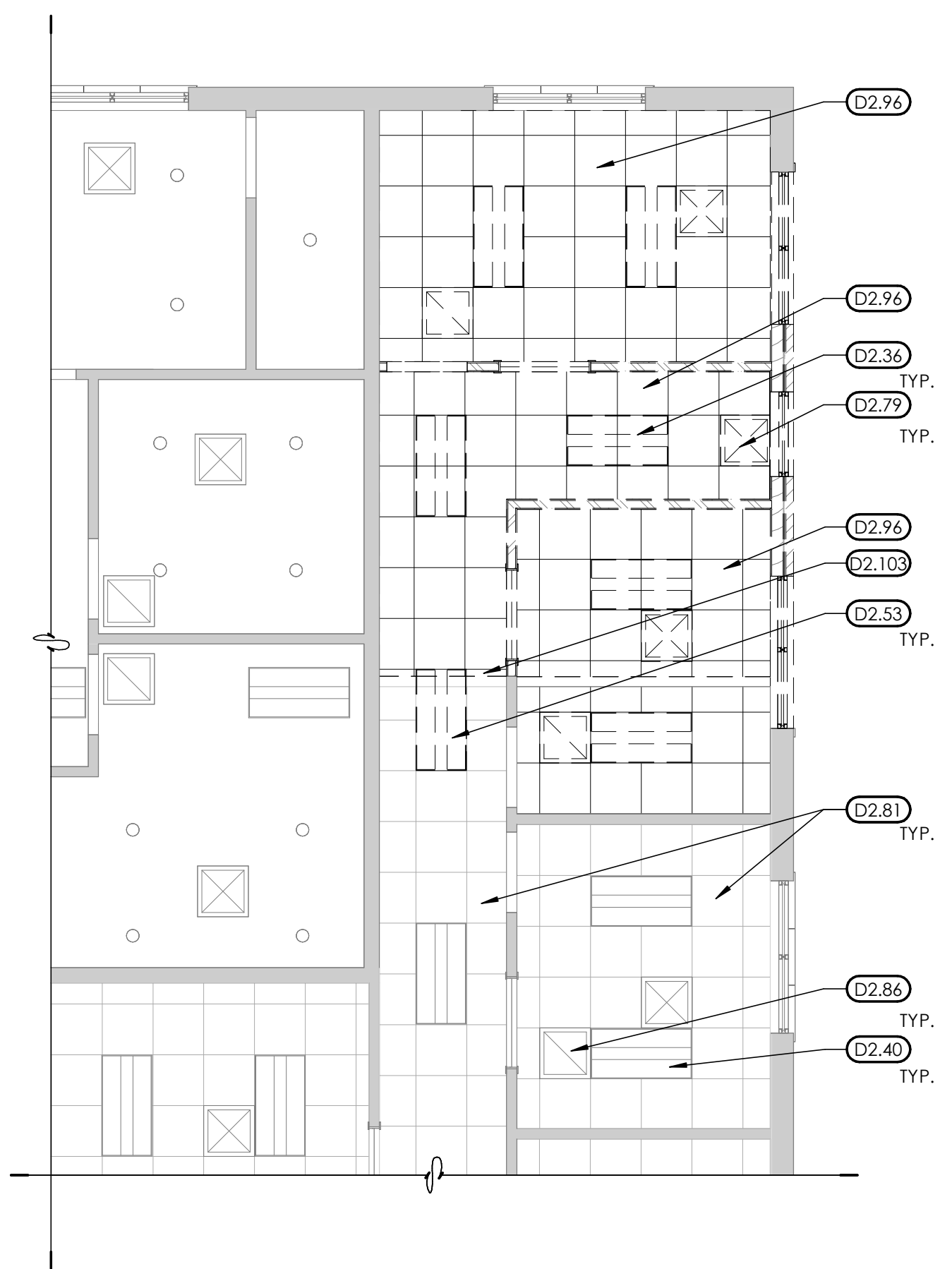
D2.03 REMOVE WALL  
 D2.16 REMOVE EXISTING SHINGLES AND ICE & WATER IN PREPARATION FOR NEW ROOF ADDITION  
 D2.20 REMOVE EXISTING DOOR  
 D2.21 REMOVE EXISTING WINDOW, SALVAGE FOR RE-INSTALL  
 D2.23 REMOVE EXISTING DOOR, SALVAGE FOR RE-INSTALL  
 D2.36 REMOVE EXISTING LIGHT FIXTURES, REFER TO ELECTRICAL  
 D2.40 EXISTING LIGHT FIXTURE TO REMAIN UNDISTURBED  
 D2.53 REMOVE EXISTING LIGHT FIXTURE, SALVAGE FOR RE-INSTALL  
 D2.79 REMOVE EXISTING MECHANICAL GRILL, REFER TO MECHANICAL  
 D2.81 EXISTING CEILING TILE AND GRID TO REMAIN UNDISTURBED  
 D2.86 EXISTING MECHANICAL GRILL TO REMAIN UNDISTURBED, REFER TO MECHANICAL  
 D2.96 REMOVE EXISTING ACOUSTICAL CEILING GRID AND TILES  
 D2.103 REMOVE ACOUSTICAL CEILING AS NEEDED FOR NEW HEADER



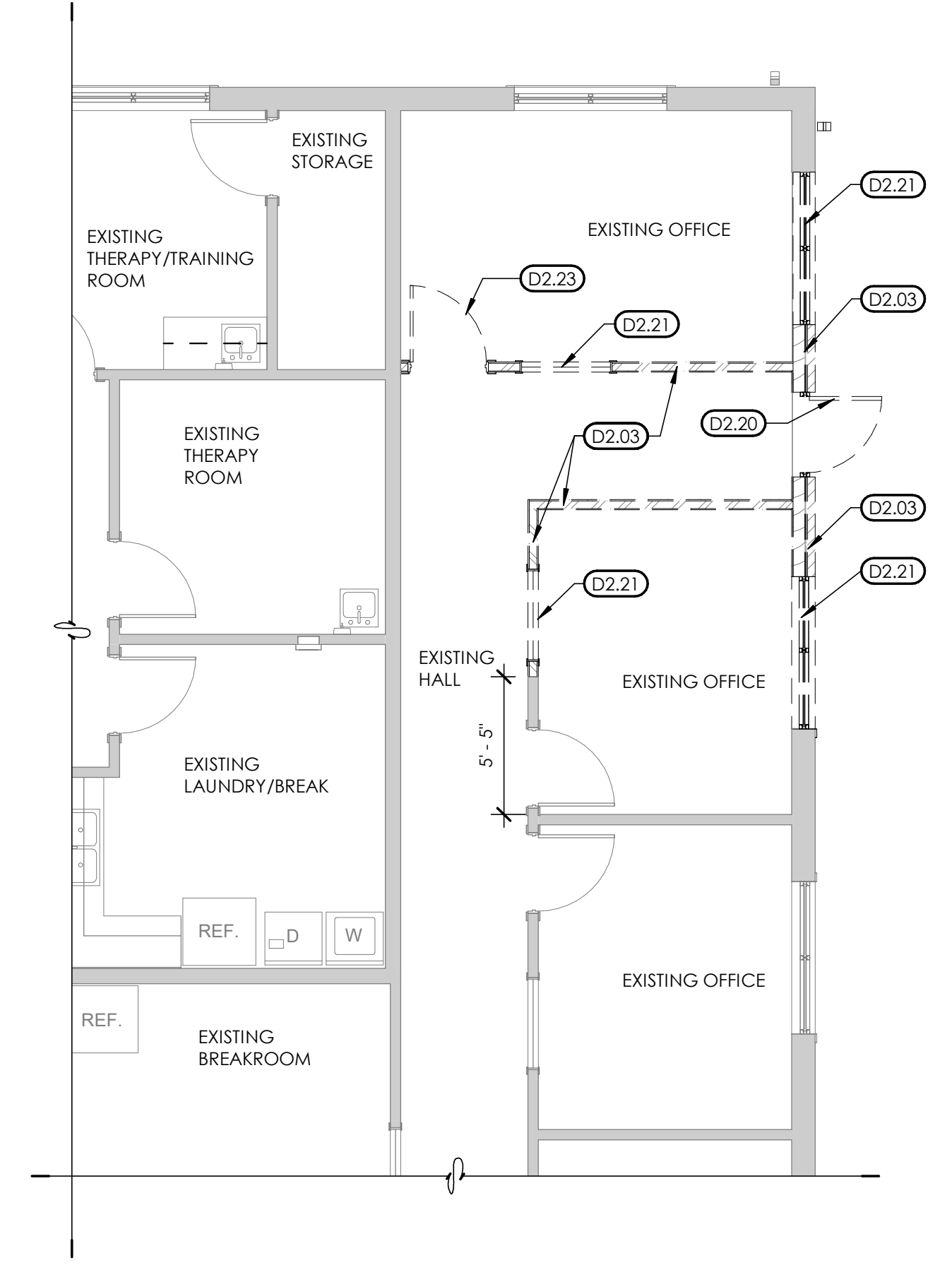
Consultant



**ROOF DEMO PLAN**  
3/16" = 1'-0"



**LEVEL 1 RCP DEMO PLAN**  
3/16" = 1'-0"



**LEVEL 1 DEMO PLAN**  
3/16" = 1'-0"

**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

Project Name

| Issued No. | Date     | Description |
|------------|----------|-------------|
| 1          | 09.21.23 | PLAN REVIEW |
| 2          | 02.29.24 | PLAN REVIEW |

| Revision No. | Date | Description |
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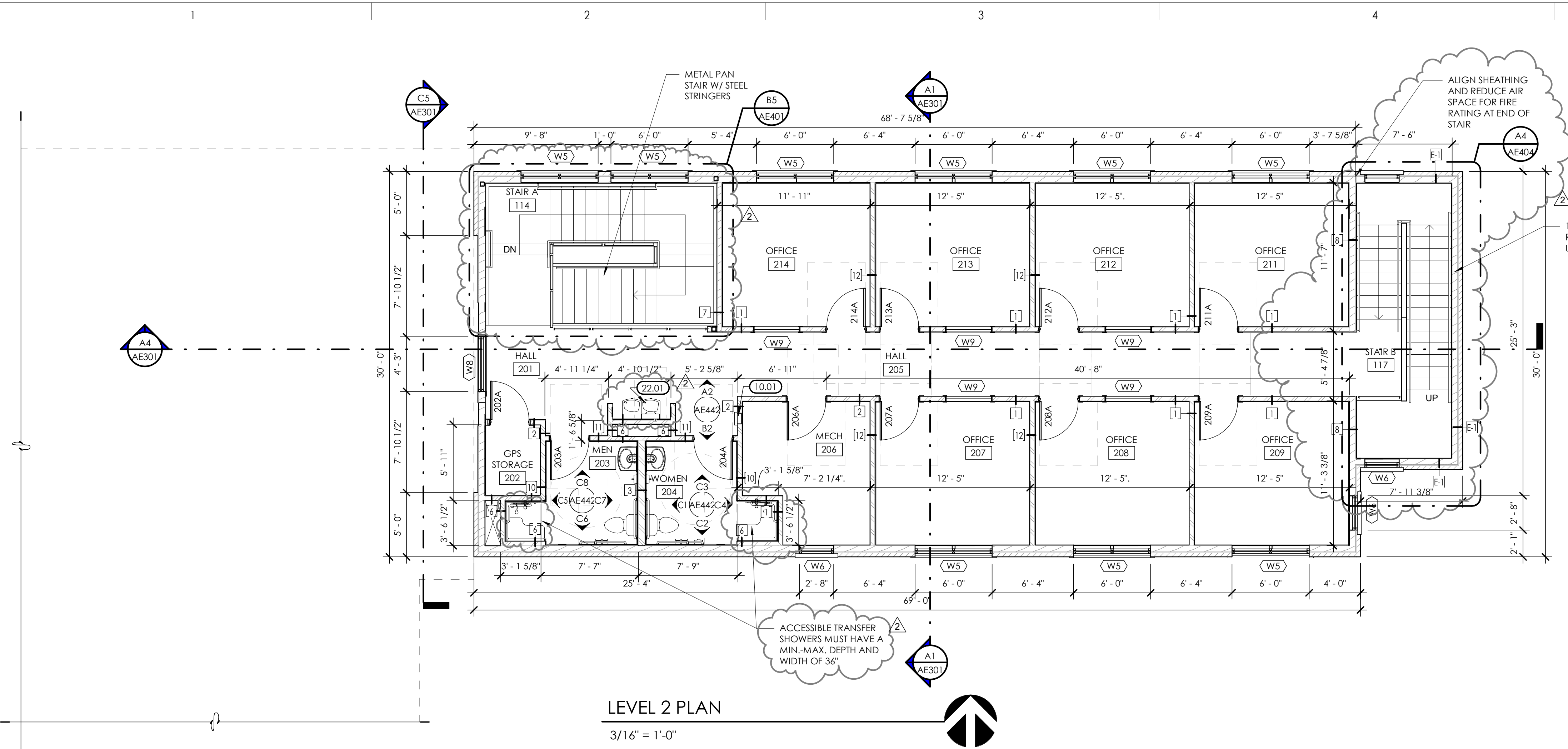
SAA Project No. 2022-11  
Drawing Title

DEMO PLANS

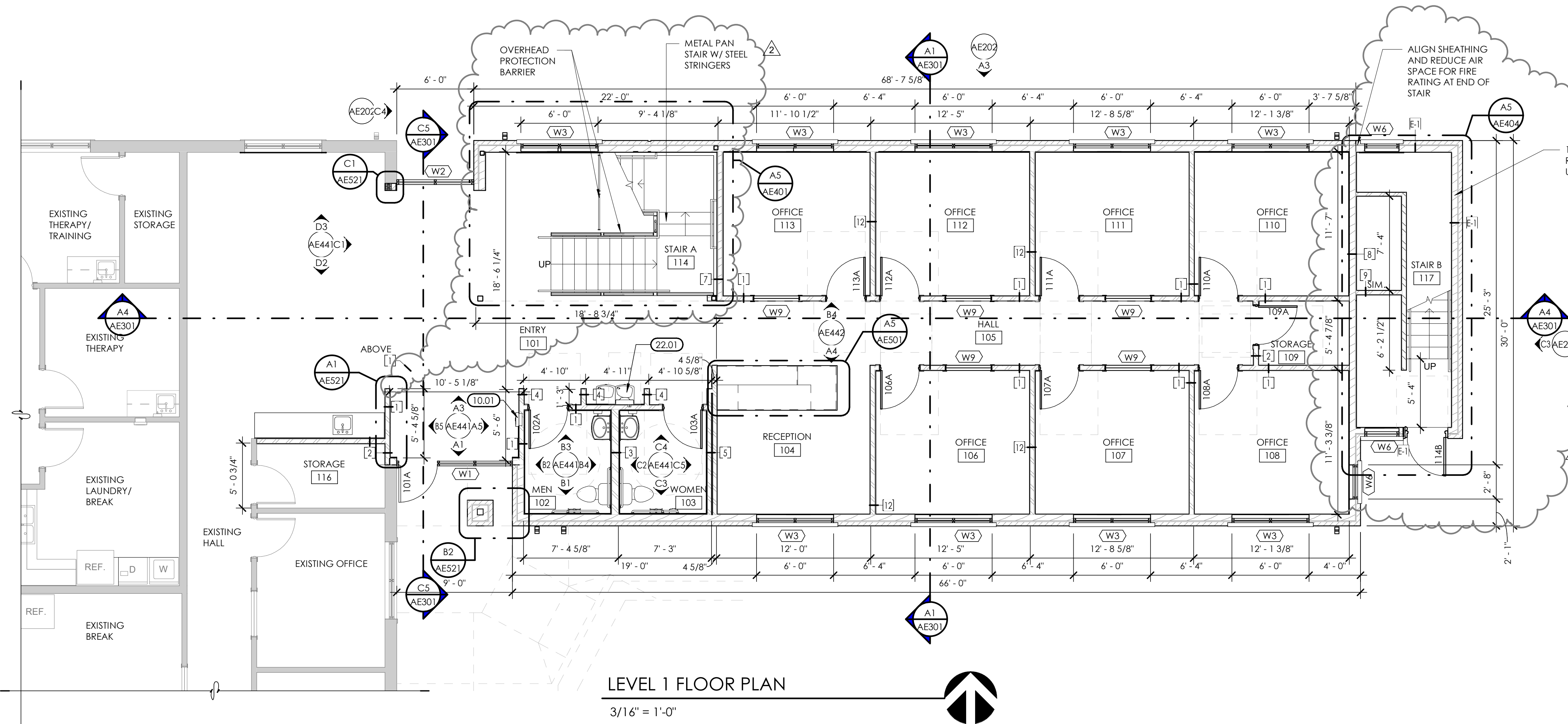
Sheet Number

**AD101**





LEVEL 2 PLAN  
3/16" = 1'-0"



LEVEL 1 FLOOR PLAN  
3/16" = 1'-0"

KEYED NOTES

- 10.01 SEMI-RECESSED FIRE EXTINGUISHER CABINET
- 22.01 HI-LOW DRINKING FOUNTAIN, CANE-DETECTABLE BARRIER ON HIGH FOUNTAIN.

NON-BEARING HEADER SCHEDULE

| MAXIMUM SPAN | HEADER         | FY    |
|--------------|----------------|-------|
| 4'-0"        | (2) 400S137-43 | 33KSI |
| 6'-0"        | (2) 600S162-43 | 33KSI |
| 8'-0"        | (2) 800S162-43 | 33KSI |

- SCHEDULE TO BE USED FOR NON-BEARING WALL
- HEADERS TO BE CONSTRUCTED AS BOX HEADERS PER SSMA

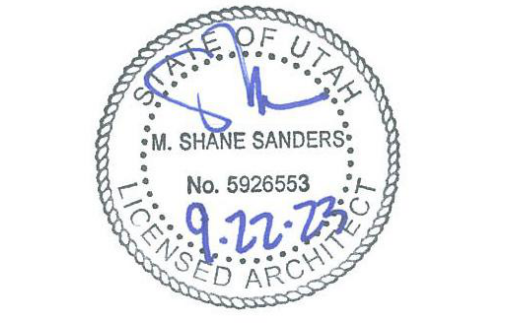
NON-BEARING METAL STUD GAUGE

| MEMBER DEPTH          | STUD HEIGHT | MIN. GA. & SPACING |
|-----------------------|-------------|--------------------|
| 2-1/2" (250S125-33)   | 10'-0"      | 20@16" O.C.        |
| 3-5/8" (362S235-33)   | 14'-0"      | 20@16" O.C.        |
| 3-5/8" (362S125-33)   | 16'-0"      | 20@16" O.C.        |
| 3-5/8" (362S125-33)   | 18'-0"      | 18@16" O.C.        |
| 6" (600S162-33)       | 24'-0"      | 20@16" O.C.        |
| 6" (600S162-43)       | 26'-0"      | 18@16" O.C.        |
| 6" (600S162-54-50KSI) | 28'-0"      | 16@16" O.C.        |

- STEEL STUDS SHALL MEET ICC REPORT ER-4943P AND SSMA STANDARDS HEIGHT BASED ON SSMA 2001 CATALOG AND PROJECT REQUIREMENTS
- SEE SCHEDULE FOR STUD SPACING AND GAUGE. ALL STUDS AND BRACES SHALL BE 33 KSI UNLESS NOTED OTHERWISE IN THESE DRAWINGS
- AT ALL DOORS PROVIDE TWO TABBED 18 GAUGE STUDS AT BOTH SIDES

PARTITION NOTES

- PARTITION TYPE INDICATIONS ARE INDEPENDENT OF APPLIED FINISHES. SEE THE FINISH SHEET AND INTERIOR ELEVATIONS FOR WALL FINISHES AND ON PLANS FOR ADDITIONAL INFORMATION REGARDING APPLIED FINISHES
- AT ALL INTERIOR WALLS, STUDS, INSULATION AND GYPSUM BOARD ARE TO EXTEND TO THE BOTTOM OF TRUSS CHORD ABOVE, UNLESS NOTED OTHERWISE.
- WALL TYPES NOT NOTED ARE ASSUMED TO MATCH ADJACENT ROOMS. SEE SHEETS FOR FINISHES. NOTIFY ARCHITECT OF ANY DISCREPANCIES
- WHERE PARTITION TYPE DESIGNATION ON FLOOR PLANS IS INTERRUPTED BY DOOR OPENING, GLAZING PARTITIONS, ECT. CONSTRUCTION ABOVE INTERRUPTION IS TO BE THE SAME AS THAT DESIGNATION FOR THE PARTITION IN WHICH THE INTERRUPTION OCCURRED
- THE MINIMUM REQUIREMENTS FOR THE CONSTRUCTION OF EACH PARTITION TYPE AS EXPRESSED BY THE INDICATED REFERENCE ARE INCORPORATED BY REFERENCE AND ARE APPLICABLE TO THE WORK OF THIS PROJECT, HOWEVER ADDITIONAL AND/OR MORE RESTRICTIVE REQUIREMENTS MAY BE INDICATED BY THE SPECIFICATIONS AND DRAWINGS, SUCH REQUIREMENTS ALSO APPLY AND SHALL GOVERN. SUCH REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO: A. USE 5/8" THICK GYPSUM BOARD THROUGHOUT UNLESS NOTED OTHERWISE. B. USE 1/2" OC MAX STUD SPACING UNLESS NOTED OTHERWISE IN THESE DOCUMENTS. THE SPACING STATED BY THE REFERENCED APPROVAL OR TEST REPORT IS THE MAX SPACING ALLOWED IN THESE DOCUMENTS. C. USE STUDS OF GAUGE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS. THE GAUGE STATED BY THE REFERENCED APPROVAL OR TEST REPORT IS THE MINIMUM GAUGE TESTED. 20 GA (30 MILS) IS THE MINIMUM ALLOWED IN THESE DOCUMENTS. USE STUDS OF DEPTH INDICATED BY THIS SET OF DOCUMENTS. THE DEPTH STATED BY THE REFERENCED APPROVAL OR TEST REPORT IS THE MINIMUM DEPTH TESTED DEPTH ALLOWED IN THESE DOCUMENTS. SEE STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION PERTAINING TO THE CONSTRUCTION OF CONCRETE, MASONRY, AND STUD WALLS.
- ALL DIMENSIONS ARE FACE OF STUD OR FACE OF CONCRETE, MASONRY, OR ROUGH OPENING UNLESS OTHERWISE NOTED
- ALL METAL STUD PARTITIONS ARE CONSIDERED ACOUSTIC PARTITIONS AND ARE TO RECEIVE A TYPE 1 SOUND ATTENUATION BLANKET, THICKNESS TO MATCH STUD DEPTH, UNLESS NOTED OTHERWISE
- PROVIDE CONTROL JOINTS IN METAL FRAMED WALLS AT APPROXIMATELY 30 FEET ON CENTER. LOCATE AT CORNER ABOVE DOORS OR INSIDE CORNER OF PILASTER OTHER INCONSPICUOUS LOCATION WHERE POSSIBLE. **CONSULT WITH ARCHITECT PRIOR TO COMMENCING FRAMING.** INSTALL PER DETAILS FOR CONTROL JOINTS.
- AT WALL OPENINGS FOR PENETRATION OF PIPES, DUCTS, DUCTS, ECT. THE GYPSUM BOARD IS TO BE CUT TO MATCH THE SHAPE AND DIMENSION OF THE PENETRATING OBJECT AND THE CAP BETWEEN THE OBJECT AND THE WALL IS TO BE SEALED W/ACOUSTICAL OR FIRE SEALANT ON ALL SIDES WITH A 3/4" JOINT AT ALL SIDES. MAXIMUM THE OPENING FOR THE DUCTS OR LARGER PENETRATIONS SHALL BE FRAMES WITH A HEADER. ADD AN ANGLED CORNER BRACE IF THE GAP EXCEEDS 3" FROM THE FRAMING
- CONTRACTOR TO PROVIDE BLOCKING/BACKING FOR ALL WALL MOUNTED EQUIPMENT. SEE FLOOR PLANS AND INTERIOR ELEVATIONS FOR CABINETS, GRAB BARS, ECT.. INSTALL BLOCKING AS DETAILED OR AS REQUIRED TO MOUNT SUCH DEVICES. ALL BLOCKING IS TO BE FIRE RETARDANT TREATED.
- WHERE THERE IS LIMITED WATER EXPOSURE:** INSTALL ONE LAYER OF 5/8" TYPE X WATER RESISTANT GYPSUM BOARD PER ASTM C 1396 (WHERE GYPSUM BOARD OCCURS) OR BASIC PARTITION AT THE FOLLOWING: A. WITH IN 2 FEET HORIZONTALLY AND 4 FEET VERTICALLY OF JANITORS SHEETS. B. AT OTHER LOCATIONS I.E. TOILET ROOMS AND KITCHEN, AND AS INDICATED ON THE ARCHITECTURAL FINISH PLANS AND ELEVATIONS.
- INSTALL ONE LAYER OF 5/8" GYPSUM BOARD OVER MAT TILE BACKER BOARD IN LIEU OF GYPSUM BOARD WHERE GYPSUM BOARD OCCURS) OF BASIC PARTITION) WHERE THERE IS PARTITIONS AT THE FOLLOWING LOCATIONS. A. AT WET LOCATIONS, SUCH AS SHOWER STALLS AND TUB SURROUNDS. B. WHERE CERAMIC TILE FINISHES ARE INDICATED PER THE FINISH PLANS AND /OR INTERIOR ELEVATIONS. C. AT OTHER LOCATIONS AS INDICATED BY THE ARCHITECTURAL FINISH PLANS AND ELEVATIONS.



Consultant

**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

Project Name

| Issued No. | Date     | Description |
|------------|----------|-------------|
| 1          | 09.21.23 | PLAN REVIEW |
| 2          | 02.29.24 | PLAN REVIEW |

Revision

| No. | Date     | Description          |
|-----|----------|----------------------|
| 1   | 10.30.23 | ADDENDUM #1          |
| 2   | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

FLOOR PLANS

Sheet Number

AE101

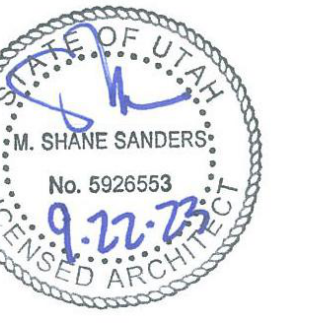


**ATTIC VENT CALC'S**

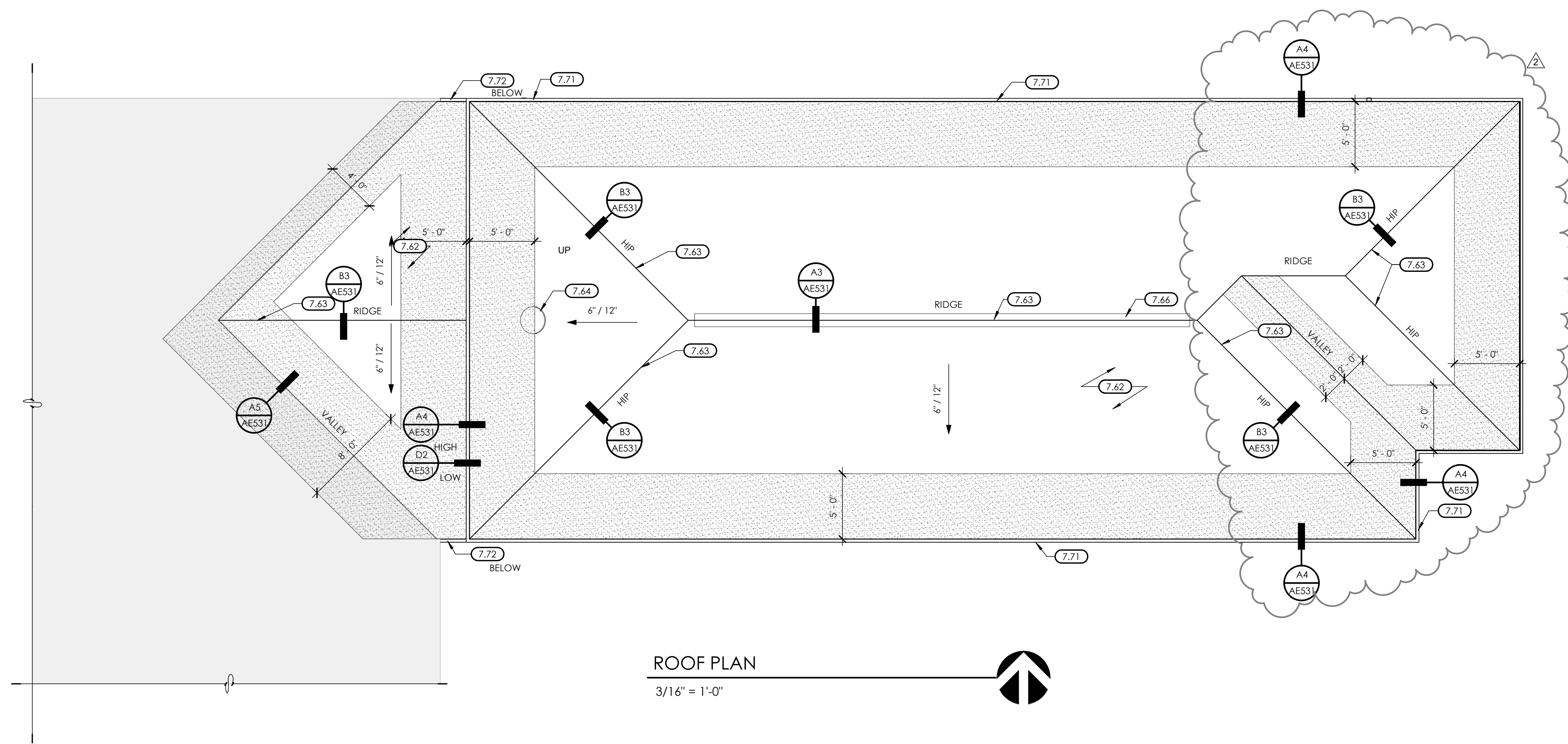
| AREA S.F. | REQ'D FREE VENT AREA        | PROVIDED FREE VENT AREA  |
|-----------|-----------------------------|--|
| A: 2164   | 2164/150 X 144 = 2164 SQ.IN | RIDGE VENT 1@ 702= 702 SQ. IN.<br>POWER ATTIC VENT 1@1500= 1500 SQ. IN.<br>TOTAL: 2202 SQ. IN. |

**KEYED NOTES**

- 7.62 30 YEAR, THREE DIMENSIONAL FIBERGLASS LAMINATED STRIP SHINGLES ON 30# IMPERFORATED ORGANIC FELT
- 7.63 RIDGE SHINGLES
- 7.64 POWER ATTIC VENT - BASIS OF DESIGN GAF MASTER FLOW ERV6 - ROOF MOUNT, REFER TO ELECTRICAL FOR POWER REQUIREMENTS
- 7.66 RIDGE VENT
- 7.71 METAL GUTTER
- 7.72 METAL GUTTER, TIE IN TO EXISTING GUTTER



Consultant



**ROOF PLAN**

3/16" = 1'-0"

ICE & WATER SHIELD (LAY WITH 1'-0" OVERLAP)

**GENERAL ROOF NOTES**

1. ALL FLASHING, COUNTER FLASHING AND SHEET METAL WORK TO COMPLY WITH THE MINIMUM STANDARDS PER THE CURRENT EDITION OF SMACNA.
2. NOT ALL ROOF MOUNTED EQUIPMENT AND ROOF PENETRATIONS ARE SHOWN ON THE ARCHITECTURAL ROOF PLAN SHEET. IN ADDITION TO THE ARCHITECTURAL, THE CONTRACTOR IS RESPONSIBLE FOR REFERENCING THE STRUCTURAL, MECHANICAL AND ELECTRICAL DOCUMENTS FOR ALL SUCH OCCURRENCES. ALL PENETRATIONS OF THE ROOF SHALL MEET THE ROOFING, MANUFACTURERS RECOMMENDATIONS TO MAINTAIN INTEGRITY OF ROOFING SYSTEMS.
3. FOR TYPICAL ROOF PENETRATIONS SEE DETAIL SHEET AE531
4. SEE EXTERIOR ELEVATION FOR DOWNSPOUT LOCATIONS

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| Revision No. | Date     | Description          |
|--------------|----------|----------------------|
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

**ROOF PLAN**

Sheet Number

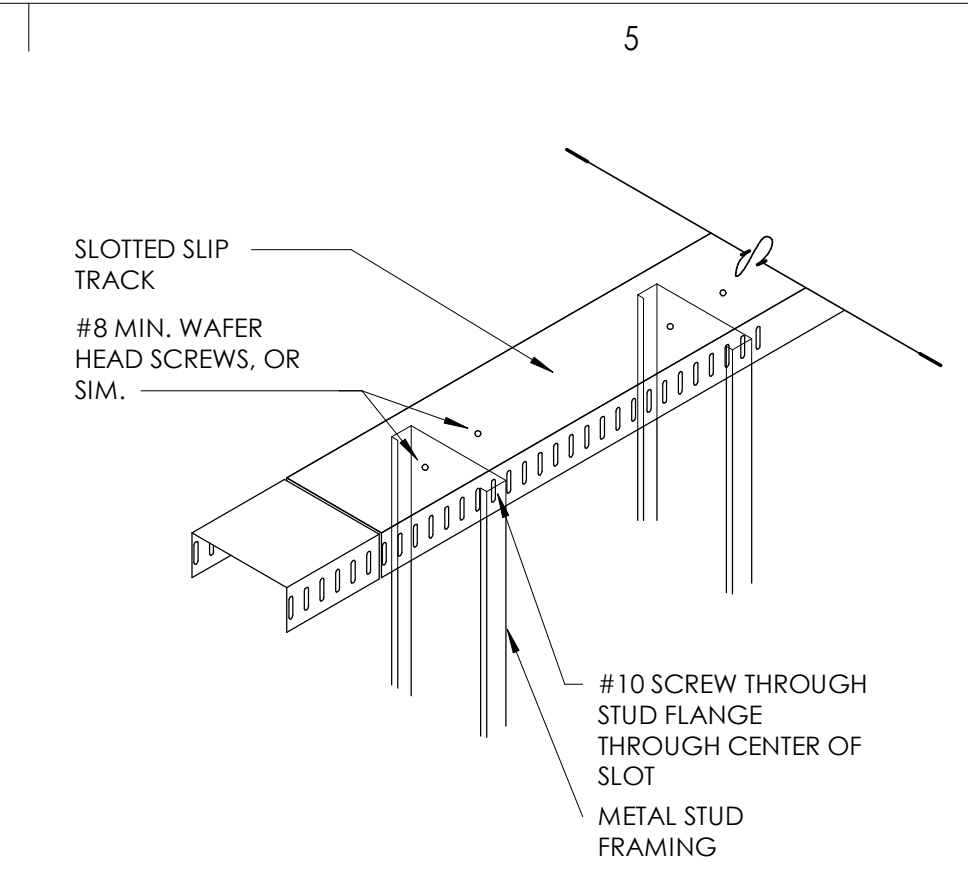
**AE121**



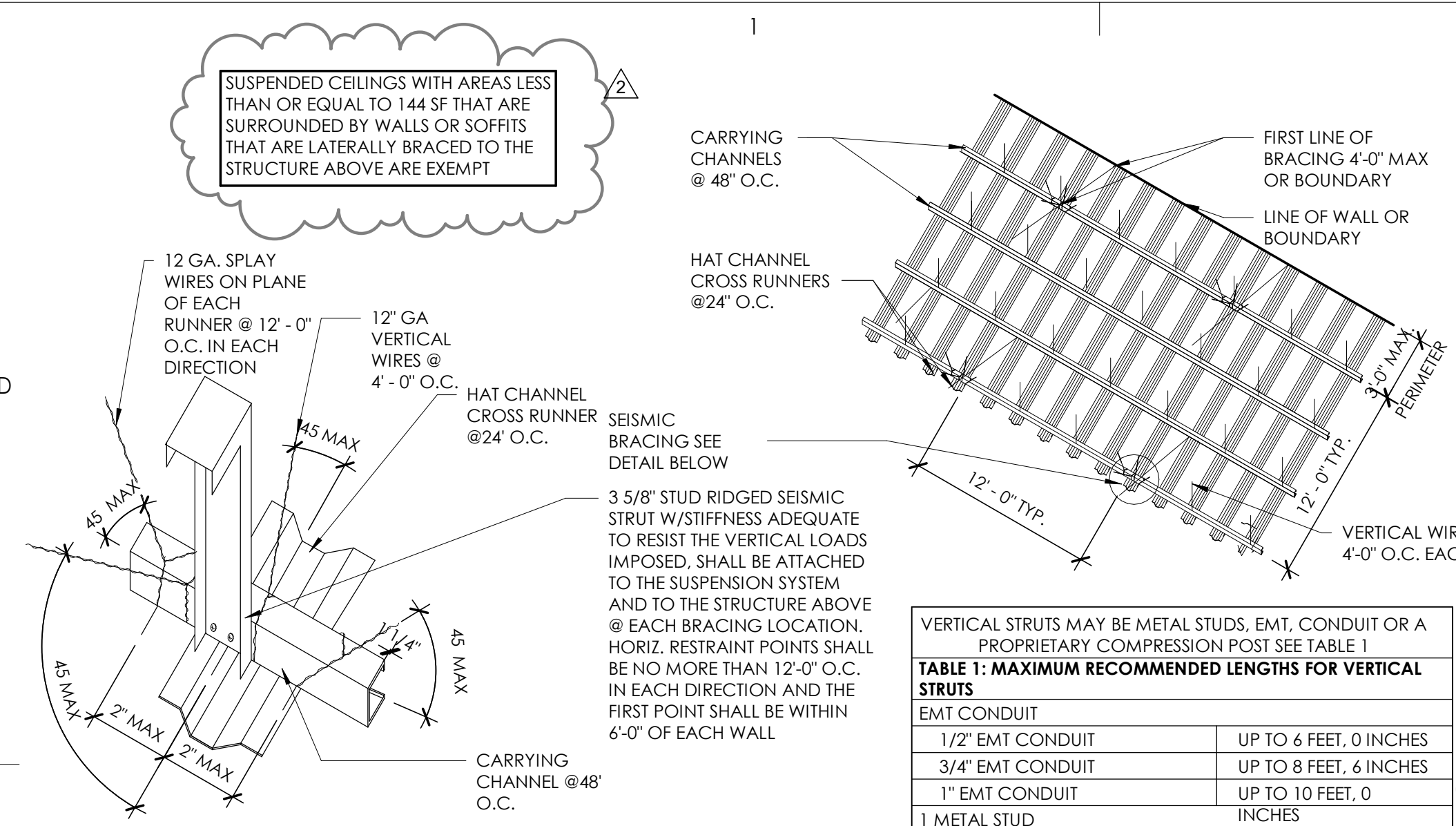
| Issued No. | Date     | Description |
|------------|----------|-------------|
| 1          | 09.21.23 | PLAN REVIEW |
| 2          | 02.29.24 | PLAN REVIEW |

| Revision No. | Date     | Description          |
|--------------|----------|----------------------|
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

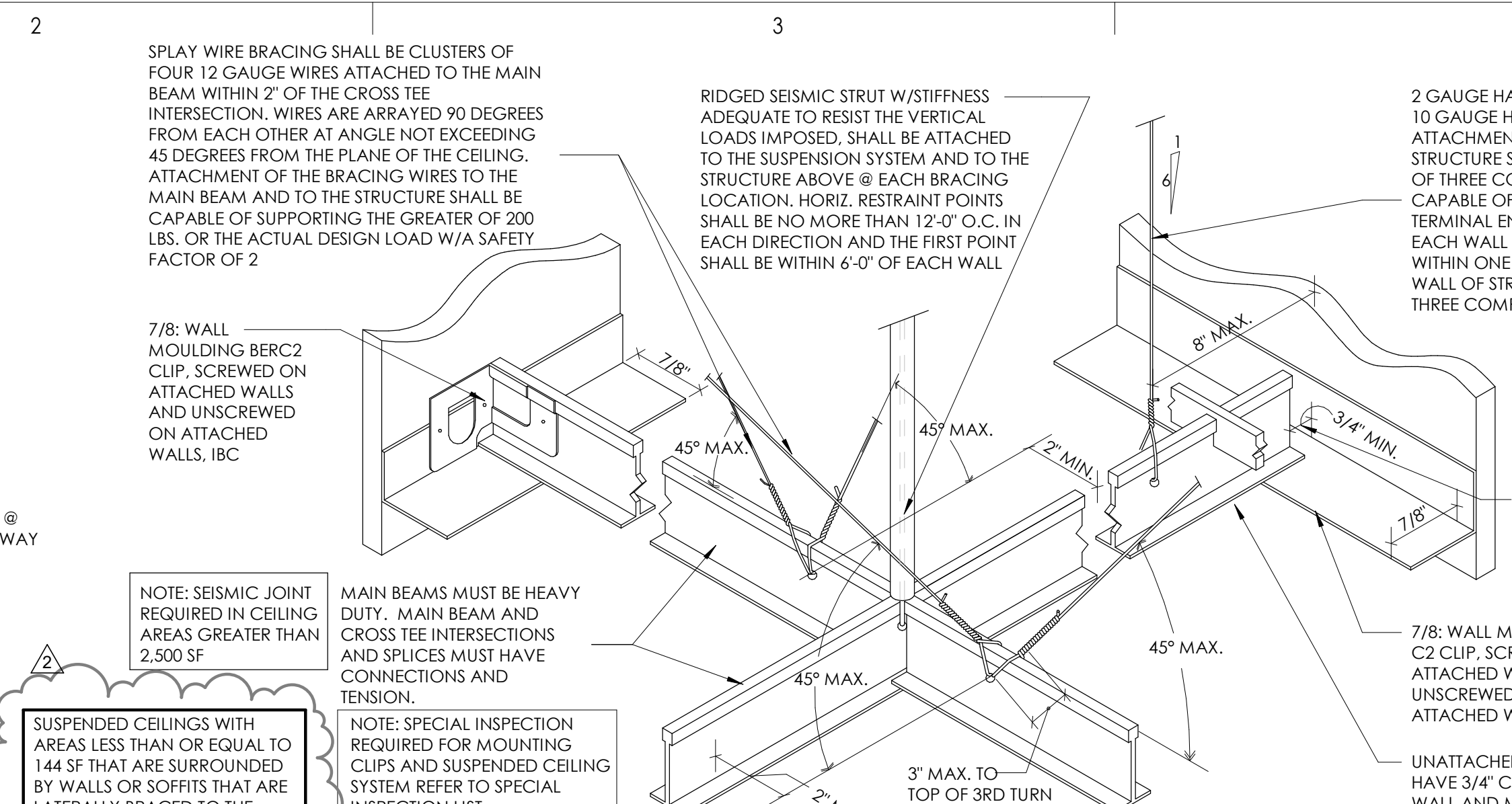
| SAA Project No. | 2022-11 |
|-----------------|---------|
| Drawing Title   |         |



**D4** SLIP TRACK DETAIL  
3/4" = 1'-0"



**D1** SUSPENDED GYP. BRACING DETAIL  
1/8" = 1'-0"



**D3** SUSPENDED CEILING SEISMIC BRACING DETAIL  
3" = 1'-0"

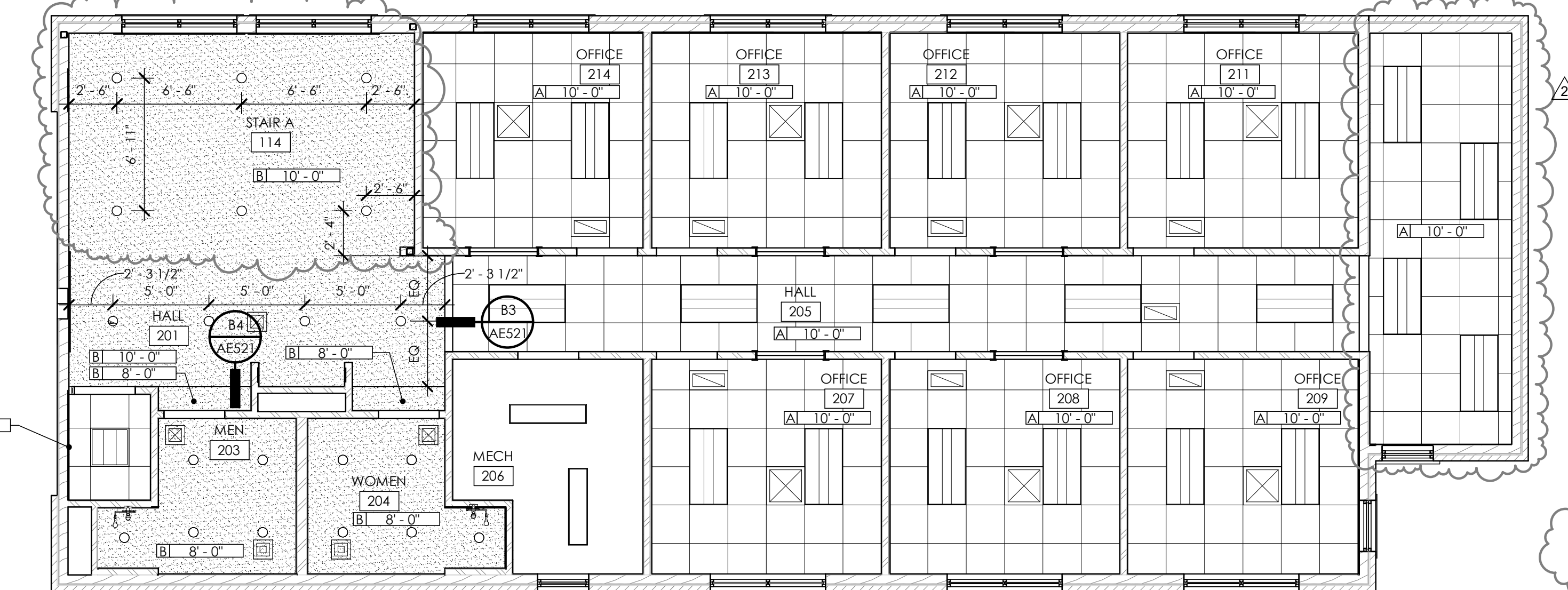
VERTICAL STRUTS MAY BE METAL STUDS, EMT, CONDUIT OR A PROPRIETARY COMPRESSION POST SEE TABLE 1

| TABLE 1: MAXIMUM RECOMMENDED LENGTHS FOR VERTICAL STRUTS |                         |
|--|-------------------------|
| EMT CONDUIT  |                         |
| 1/2" EMT CONDUIT   | UP TO 6 FEET, 0 INCHES  |
| 3/4" EMT CONDUIT   | UP TO 8 FEET, 6 INCHES  |
| 1" EMT CONDUIT   | UP TO 10 FEET, 0        |
| METAL STUD   | INCHES                  |
| 1 5/8" METAL STUD (25-GAUGE)                             | UP TO 6 FEET, 2 INCHES  |
| 2 1/2" METAL STUD (25-GAUGE)                             | UP TO 10 FEET, 6 INCHES |

NOTE: PLENUM AREAS GREATER THAN 11 FEET REQUIRE ENGINEERING CALCULATIONS.  
\*SOURCE: TECHNICAL SERVICES & INFORMATION BUREAU

SUSPENDED CEILING WITH AREAS LESS THAN OR EQUAL TO 144 SF THAT ARE SURROUNDED BY WALLS OR SOFFITS THAT ARE LATERALLY BRACED TO THE STRUCTURE ABOVE ARE EXEMPT.

NOTE: SPECIAL INSPECTION REQUIRED FOR MOUNTING CLIPS AND SUSPENDED CEILING SYSTEM REFER TO SPECIAL INSPECTION LIST.



**LEVEL 2 REFLECTED CEILING PLAN**  
3/16" = 1'-0"

**CEILING LEGEND**

| CLG. TYPE | CLG. HEIGHT                                      |
|-----------|--|
| TYPE A    | 2' X 2' LAY-IN ACOUSTICAL TILE IN SUSPENDED GRID |
| TYPE B    | 5/8" GYPSUM BOARD (PAINTED)                      |
| TYPE C    | 1 X 4 WOOD (PAINTED)                             |
| TYPE D    | 5/8" DENSGLASS                                   |

**CEILING SYMBOLS**

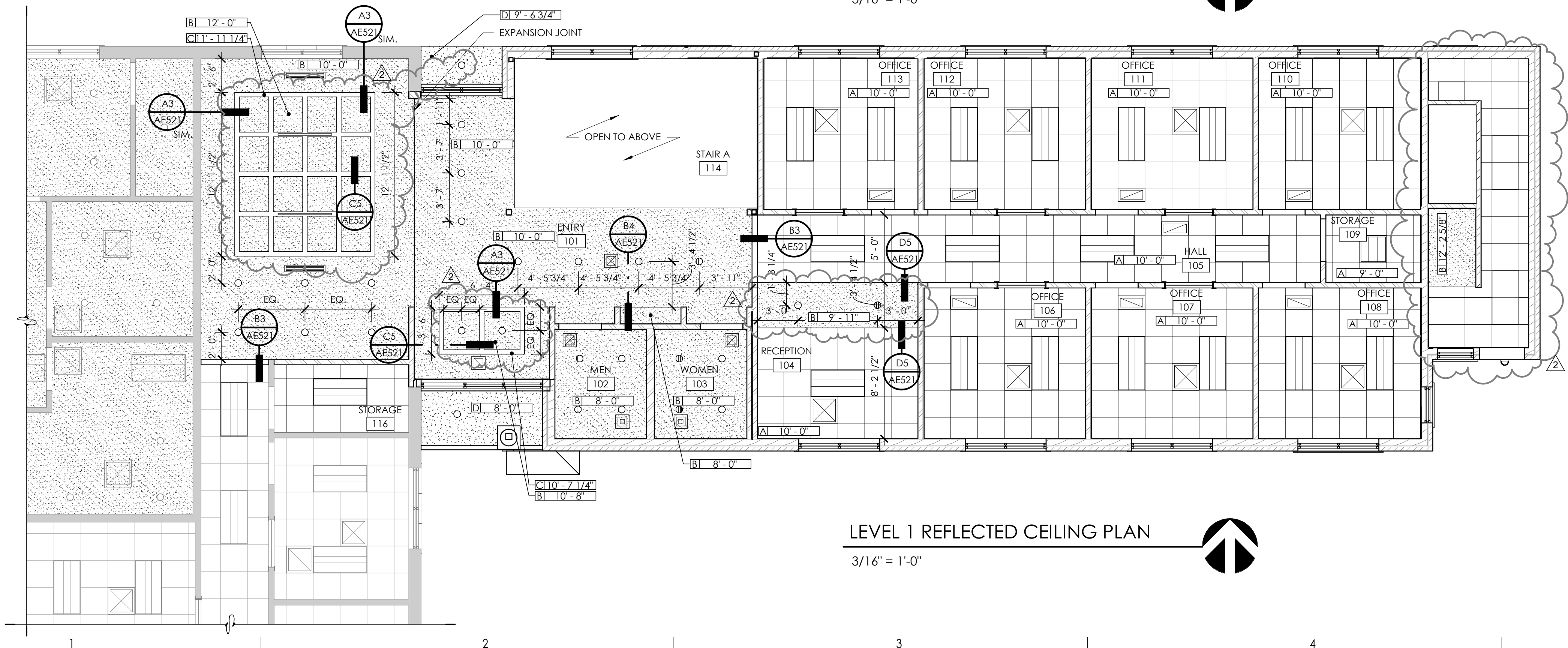
**ELECTRICAL**

- 2'X4' LED FIXTURE
- 2'X2' LED FIXTURE
- 1'X4' LED FIXTURE
- RECESSED DOWN LIGHT
- LINEAR PENDANT - 9' A.F.F.

**MECHANICAL**

- RETURN GRILLE
- SUPPLY GRILLE
- LINEAR SUPPLY GRILLE
- LINEAR RETURN GRILLE
- EXHAUST GRILLE

- GENERAL CEILING NOTES**
- REFER TO DETAILS FOR TYPICAL CEILING SUSPENSION & SEISMIC BRACING.
  - REFER TO DETAILS FOR TYPICAL SUSPENDED GYP. BOARD CEILINGS.
  - GRID SUSPENSION SYSTEMS SHALL BE CENTERED WITHIN AREAS INDICATED, UNLESS NOTED OTHERWISE.
  - PAINT ALL EXPOSED STRUCTURE, MECHANICAL, DUCTS, ELECTRICAL WORK, PIPING, ETC.
  - REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF MECHANICAL GRILLES, AND TO MECHANICAL DRAWINGS FOR QUANTITIES AND TYPES.
  - REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF LIGHT FIXTURES AND TO ELECTRICAL DRAWINGS FOR QUANTITY AND TYPES.
  - ALL CEILING HEIGHTS ARE ELEVATION ABOVE TOP OF CONCRETE FLOOR SLAB.
  - ALL TYPE B CEILINGS IN RESTROOMS, LOCKER ROOMS, SHOWERS, AND WET AREAS TO BE EPOXY PAINTED.

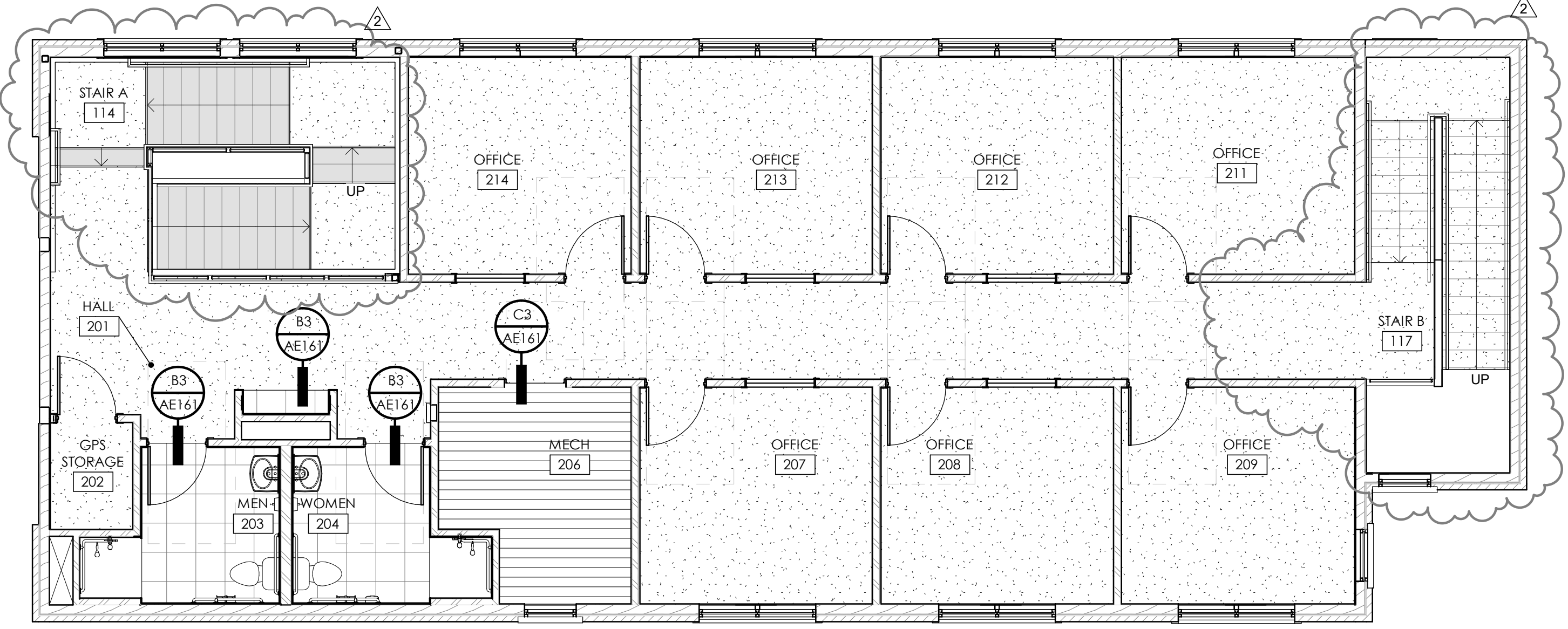


**LEVEL 1 REFLECTED CEILING PLAN**  
3/16" = 1'-0"



| INTERIOR FINISH LEGEND |                    |                       |   |                        |                |                    |
|------------------------|--------------------|-----------------------|---|------------------------|----------------|--------------------|
| CODE                   | MATERIAL           | MANUFACTURER          | PRODUCT   | COLOR/FINISH           | SIZE           | COMMENTS           |
| CARPET                 |                    |                       |   |                        |                |                    |
| CPT-1                  | CARPET TILE        | SHAW CONTRACT         | SKY TILE  | METRO 72530            | 24" X 24"      | DIRECT GLUE/ASHLAR |
| CPT-2                  | WALK OFF CARPET    | J & J                 | INCOGNITO   | OPERATIVE              | 24" X 24"      | DIRECT...          |
| CONCRETE               |                    |                       |   |                        |                |                    |
| SC-1                   | SEALED CONCRETE    | -                     |   |                        |                |                    |
| TILE                   |                    |                       |   |                        |                |                    |
| T-1                    | WALL TILE          | DALTILE               | COLOR WHEEL LINEAR                                  | MATTE ARCTIC WHITE     | 4" X 12"       | GR-1               |
| T-2                    | FLOOR TILE         | CROSSVILLE            | ACCESS POINT CONCRETE                               | CONCRETE DOVE - WBC05  | 12" X 24"      | GR-1               |
| GROUT                  |                    |                       |   |                        |                |                    |
| GR-1                   | FLOOR/WALL GROUT   | MAPEI                 | 47+   | CHARCOAL               |                |                    |
| BASE                   |                    |                       |   |                        |                |                    |
| RB-1                   | RUBBER BASE        | ROPPE                 | 700 SERIES TYPE TP                                  |                        |                |                    |
| WB-1                   | WOOD BASE          | ROPPE                 | WOOD  |                        | 1" X 6"        |                    |
| TB-1                   | TILE BASE          | CROSSVILLE            | ACCESS POINT CONCRETE                               | CONCRETE DOVE - WBC05  | 4" X 12"       |                    |
| RS-1                   | RUBBER TREAD/RISER | ROPPE                 | RENEW FIESTA  | R328 CENIZAS           |                |                    |
| PAINT                  |                    |                       |   |                        |                |                    |
| PNT-1                  | PAINT              | SHERWIN WILLIAMS      | SW7005  | PURE WHITE-EGGSHELL    |                |                    |
| PNT-2                  | PAINT              | SHERWIN WILLIAMS      | SW7065  | ARGOS-EGGSHELL         |                |                    |
| PNT-3                  | PAINT - CEILING    | SHERWIN WILLIAMS      | SW7005  | PURE WHITE-EGGSHELL    |                | CEILING            |
| VINYL                  |                    |                       |   |                        |                |                    |
| LVT-1                  | LUXURY VINYL TILE  | KARDEAN               | WP511   | WEATHERED ELM          | 4" X 36"       |                    |
| QUARTZ                 |                    |                       |   |                        |                |                    |
| QZ-1                   | QUARTZ             | CONTEMPO-COLOR QUARTZ | CQ700   | CONCRETE GREY          |                |                    |
| ACOUSTICAL             |                    |                       |   |                        |                |                    |
| AC-1                   | ACOUSTICAL CEILING | ARMSTRONG             | CORTEGA, TEGULAR EGDE TILES ON STANDARD GRID SYSTEM |                        | 2' X 2' X 3/4" |                    |
| WOOD                   |                    |                       |   |                        |                |                    |
| CR-1                   | CHAIR RAIL         |                       | MDF   | PAINT TO MATCH CEILING | 1/2" X 3/1/2"  |                    |
| WC-1                   | OMITTED            |                       |   |                        |                |                    |

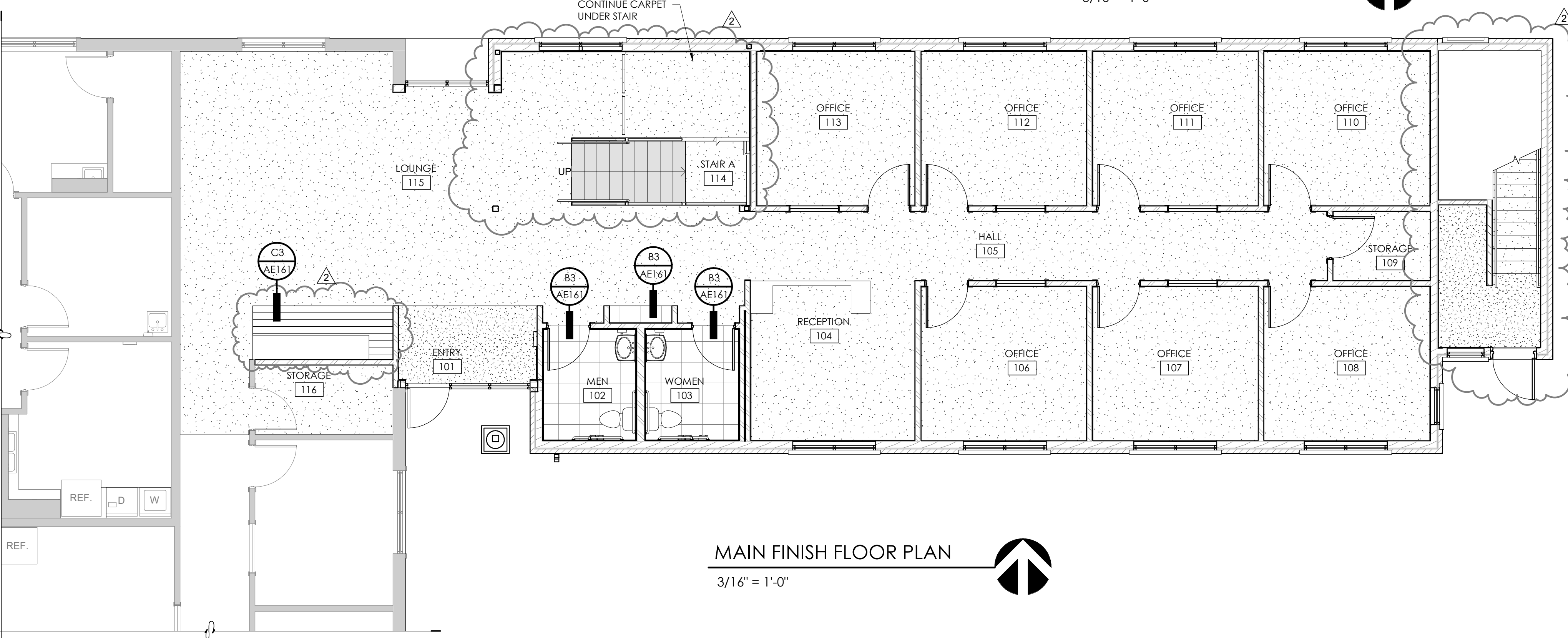
| ROOM FINISH SCHEDULE |             |             |             |                  |                  |                  |                  |                |                  |                  |     |
|----------------------|-------------|-------------|-------------|------------------|------------------|------------------|------------------|----------------|------------------|------------------|-----|
| NO.                  | NAME        | FLOOR       | BASE FINISH | NORTH WALL       | SOUTH WALL       | EAST WALL        | WEST WALL        | CEILING FINISH | CASEWORK COUNTER | CASEWORK CABINET | NO. |
| 101                  | ENTRY       | CPT-2       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-3          | -                | -                | 101 |
| 102                  | MEN         | T-2         | TB-1        | PNT-2/T-1        | PNT-2/T-1        | PNT-2/T-1        | PNT-2/T-1        | PNT-3          | -                | -                | 102 |
| 103                  | WOMEN       | T-2         | TB-1        | PNT-2/T-1        | PNT-2/T-1        | PNT-2/T-1        | PNT-2/T-1        | PNT-3          | -                | -                | 103 |
| 104                  | RECEPTION   | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | QZ-1             | MATCH EXISTING   | 104 |
| 105                  | HALL        | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 105 |
| 106                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 106 |
| 107                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 107 |
| 108                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 108 |
| 109                  | STORAGE     | CPT-1       | RB-1        | PNT-1            | PNT-1            | PNT-1            | PNT-1            | AC-1           | -                | -                | 109 |
| 110                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 110 |
| 111                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 111 |
| 112                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 112 |
| 113                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 113 |
| 114                  | STAIR A     | RS-1/CPT-1  | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-3          | -                | -                | 114 |
| 115                  | LOUNGE      | CPT-1/LVT-1 | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-3          | QZ-1             | MATCH EXISTING   | 115 |
| 116                  | STAIR B     | CPT-1       | RB-1        | PNT-1            | PNT-1            | PNT-1            | PNT-1            | AC-1           | -                | -                | 116 |
| 117                  | STAIR B     | CPT-1/CPT-2 | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1            | PNT-1            | PNT-1            | AC-1           | -                | -                | 117 |
| 201                  | HALL        | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-3          | -                | -                | 201 |
| 202                  | GPS STORAGE | CPT-1       | RB-1        | PNT-1            | PNT-1            | PNT-1            | PNT-1            | AC-1           | -                | -                | 202 |
| 203                  | MEN         | T-2         | TB-1        | PNT-2            | PNT-2            | PNT-2            | PNT-2            | PNT-3          | -                | -                | 203 |
| 204                  | WOMEN       | T-2         | TB-1        | PNT-2            | PNT-2            | PNT-2            | PNT-2            | PNT-3          | -                | -                | 204 |
| 205                  | HALL        | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 205 |
| 206                  | MECH        | LVT-1       | RB-1        | PNT-1            | PNT-1            | PNT-1            | PNT-1            | AC-1           | -                | -                | 206 |
| 207                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 207 |
| 208                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 208 |
| 209                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 209 |
| 210                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 210 |
| 211                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 211 |
| 212                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 212 |
| 213                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 213 |
| 214                  | OFFICE      | CPT-1       | WD-1        | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | PNT-1/CR-1/PNT-2 | AC-1           | -                | -                | 214 |



LEVEL 2 FINISH FLOOR PLAN  
3/16" = 1'-0"

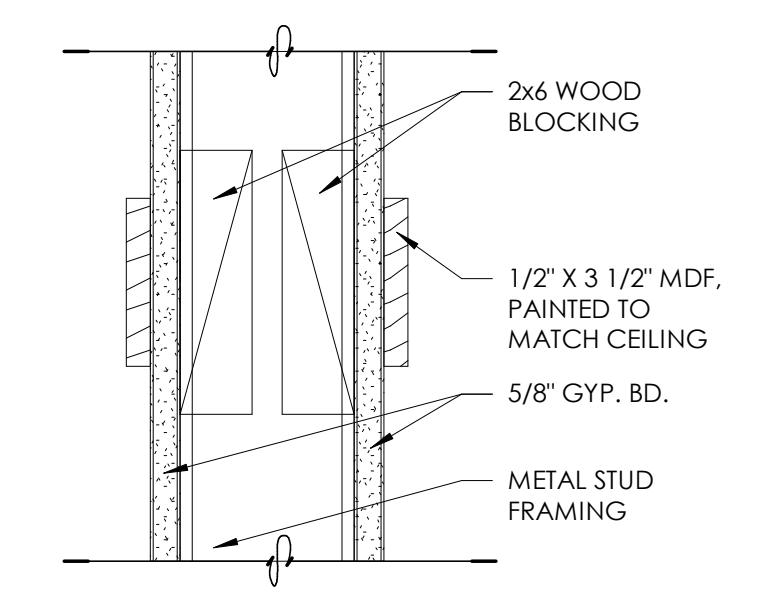
B2 FLOOR TRANSITION DETAIL  
6" = 1'-0"

B3 CARPET/TILE TRANSITION  
12" = 1'-0"

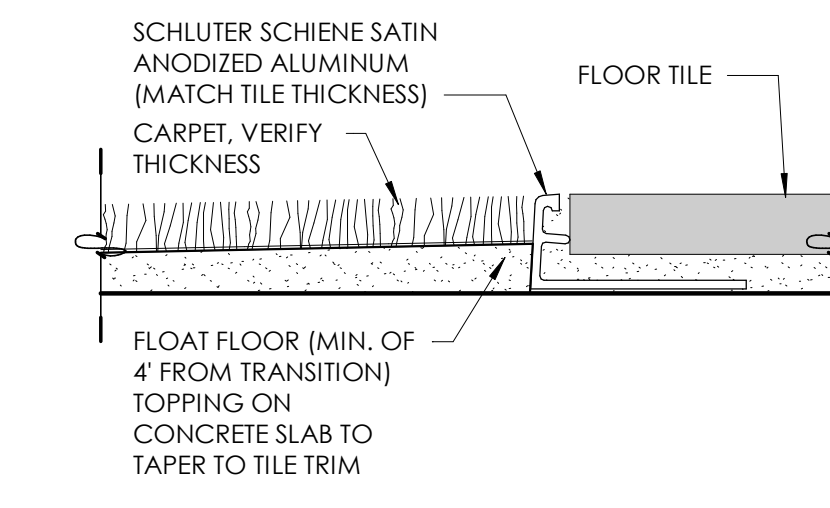
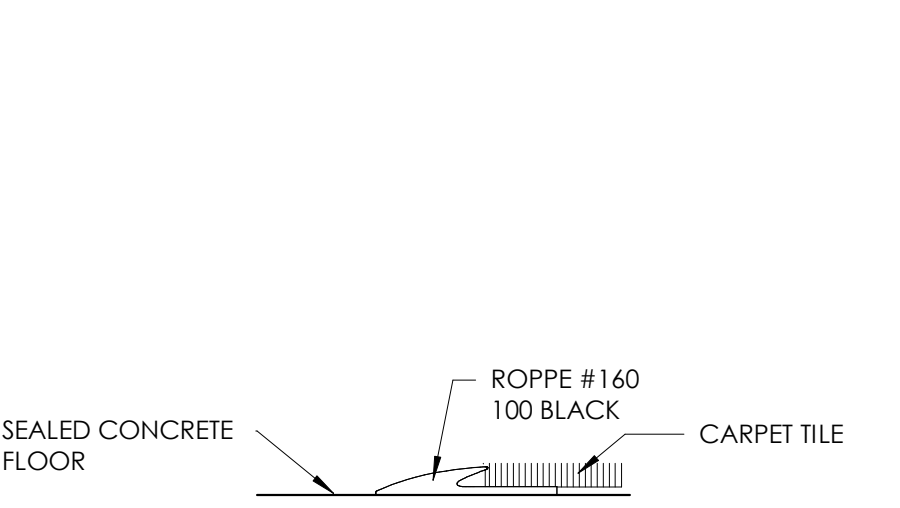
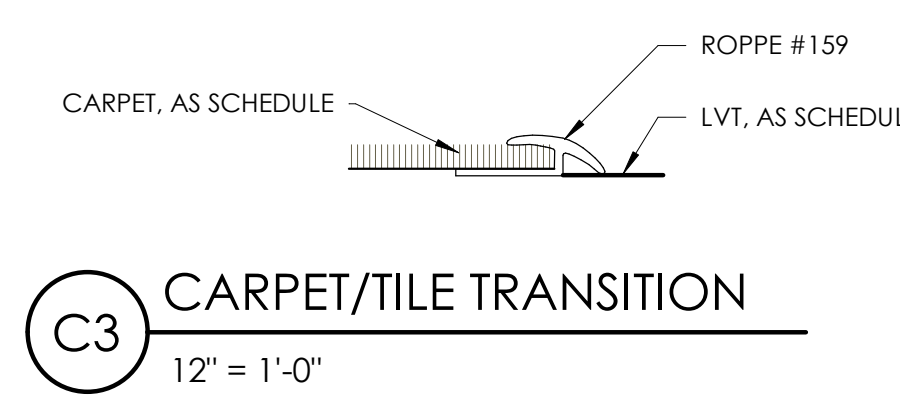


MAIN FINISH FLOOR PLAN  
3/16" = 1'-0"

B1 TILE TRIM DETAIL  
12" = 1'-0"



A1 CHAIR RAIL DETAIL  
3" = 1'-0"



| FINISH LEGEND |       |  |
|---------------|-------|--|
| [Pattern]     | CPT-1 |  |
| [Pattern]     | CPT-2 |  |
| [Pattern]     | T-1   |  |
| [Pattern]     | LVT-1 |  |
| [Pattern]     | RS-1  |  |

- GENERAL FINISH NOTES
- ALL FLOOR TRANSITIONS LOCATED AT CENTER OF DOOR
  - SEE ELEVATION SHEETS FOR ALL WALL TILE PATTERNS.
  - FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION OF MILLWORK.
  - COORDINATE ALL MILLWORK WITH APPLIANCES BEFORE FABRICATION.
  - ALL WINDOW SILLS TO BE SOLID SURFACE.
  - FLOOR TILE PATTERNS TO BE INSTALLED AS INDICATED ON FINISH PLAN.
  - TYPICAL TILE DIRECTION PATTERNS TO BE MAINTAINED AND CONSISTENT THROUGHOUT INDICATED SPACE.
  - FLOAT FLOOR AT CARPET EDGE TRANSITIONS 4'-0" INTO CARPET OFF OF TRANSITION TYPICAL.
  - ALL TYPE B CEILINGS IN RESTROOMS, LOCKER ROOMS, SHOWERS, AND WET AREAS TO BE EPOXY PAINTED.



Consultant

JONES & ASSOCIATES  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

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| 1      | 09.21.23 | PLAN REVIEW |
| 2      | 02.29.24 | PLAN REVIEW |

| Revision |          |                      |
|----------|----------|----------------------|
| No.      | Date     | Description          |
| 2        | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

FINISH FLOOR PLAN

Sheet Number  
**AE161**



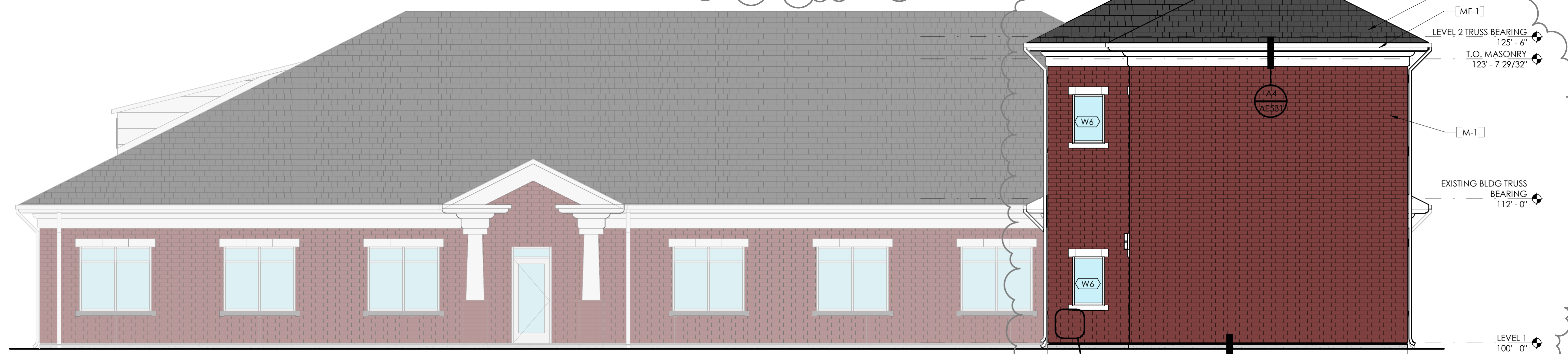
ENVELOPE GENERAL NOTES

- PRE-CONSTRUCTION CONFERENCE: PRIOR TO THE START OF SUBMITTALS, A ENVELOPE PRE-CONSTRUCTION CONFERENCE IS TO BE CONDUCTED TO REVIEW INSTALLATION METHODS AND MATERIAL COMPATIBILITY WITH ALL ASSOCIATED ENVELOPE CONTRACTORS. WORK OF THE SPECIFICATION SECTIONS DEALING WITH THE ENVELOPE.
- PROVIDE ICC-ES EVALUATION REPORTS FOR ALL MATERIAL INSTALLATIONS.
- PROVIDE A LETTER OF MATERIAL COMPATIBILITY TO OTHER ENVELOPE SYSTEM MATERIALS.
- THE INSTALLED AIR BARRIER ON THE BUILDING IS REQUIRED TO BE CONTINUOUS. SEAL ALL PENETRATIONS, JOINTS AND FLASHING AS REQUIRED BY MATERIAL MANUFACTURERS INSTRUCTIONS.
- CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION ON THE DOCUMENTS.
- INSTALL SEALANT, GASKETS, WEATHER STRIPPING OR WRAPPING WITH PERMEABLE FLASHING AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH WOULD ALLOW WATER OR AIR INFILTRATION EXCEPT AS NOTED OTHERWISE. COLORS TO MATCH ADJACENT SURFACE. COLOR REQUIRES ARCHITECTS APPROVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PRODUCING A WEATHER TIGHT BUILDING, DETAILS AND OMISSIONS TO DRAWINGS NOTWITHSTANDING. ALL DRAWING CONFLICTS WHICH MAY NOT ALLOW A WEATHER TIGHT CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE DRAWINGS AND SPECIFICATIONS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK. CONTRACTS SHALL BE LET ON THE BASIS OF SUCH DOCUMENTS, WITH THE UNDERSTANDING THAT THE CONTRACTOR IS TO FURNISH ALL ITEMS REQUIRED FOR PROPER COMPLETION OF THE WORK WITH OUT ADJUSTMENT TO CONTRACT PRICE. IT IS INTENDED THAT THE WORK TO BE OF SOUND AND QUALITY CONSTRUCTION AND THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE AMOUNTS TO COVER INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR REASONABLY IMPLIED.
- GLAZING: SOLARBAN 70 (2) + CLEAR: 0.28 U-FACTOR, 0.27 SHGC.**
- GLAZING ASSEMBLIES:**
  - STOREFRONT ASSEMBLY: KAWNEER TRIFAB 601 UT: **0.37 U-FACTOR, 0.16 SHGC.** PRODUCTS TO BE RATED AS REQUIRED BY NFRC 100 AND LABELED BY MANUFACTURER
  - STOREFRONT ASSEMBLY: KAWNEER TRIFAB 451 UT: **0.36 U-FACTOR, 0.25 SHGC.** PRODUCTS TO BE RATED AS REQUIRED BY NFRC 100 AND LABELED BY MANUFACTURER.
- EXTERIOR STOREFRONT DOORS: KAWNEER 500-PAIR: 0.74 U-FACTOR, 0.18 SHGC.** PRODUCTS TO BE RATED AS REQUIRED BY NFRC 100 AND LABELED BY MANUFACTURER. KAWNEER 560 INSULCLAD SINGLE DOOR: **0.68 U-FACTOR, 0.18 SHGC.** PRODUCTS TO BE RATED AS REQUIRED BY NFRC 100 AND LABELED BY MANUFACTURER.

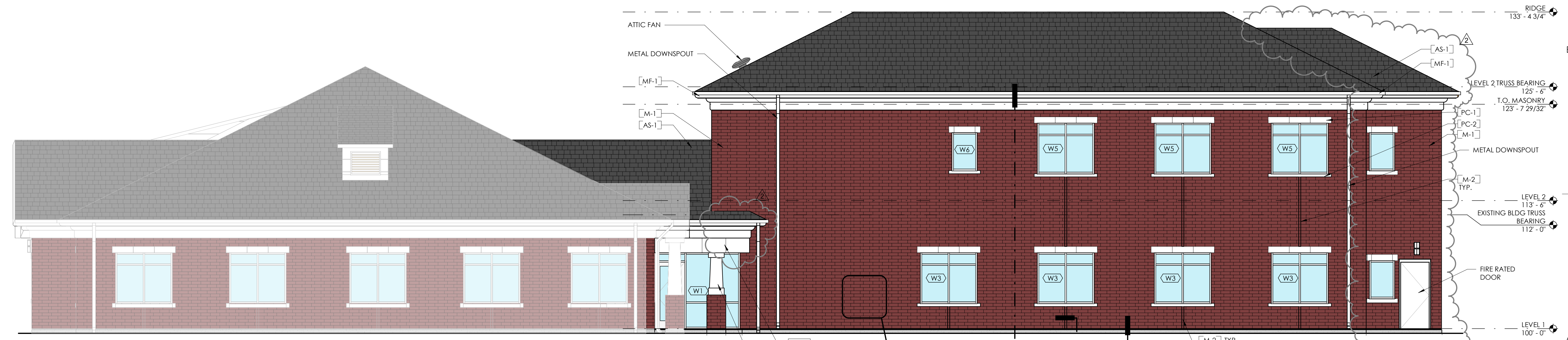
| EXTERIOR MATERIAL SCHEDULE |                  |                                   |  |
|----------------------------|------------------|-----------------------------------|--|
| MARK                       | MANUF.           | PRODUCT                           | COLOR / FINISH   |
| COL-1                      | PACIFIC COLUMNS  | ES1804RTPSATUTU - (R-PLAN, SPLIT) | PAINT WHITE  |
| MF-1                       | METAL FASCIA     | .032 ALUM.                        | WHITE  |
| CONCRETE                   |                  |                                   |  |
| PC-1                       | PRECAST          | WINDOW HEAD                       | WHITE TO MATCH EXISTING BLDG.                              |
| PC-2                       | PRECAST          | WINDOW SILL                       | WHITE TO MATCH EXISTING BLDG.                              |
| MASONRY                    |                  |                                   |  |
| M-1                        | INTERSTATE BRICK | 4" X 4" X 12" UTILITY             | MOUNTAIN RED / MATTE / 1/3" RUNNING (SEE ELEVATION DETAIL) |
| M-2                        | INTERSTATE BRICK | 4" UTILITY HEADER COURSE          | 3/4" RECESSED OFF FACE OF WALL                             |
| SHINGLES                   |                  |                                   |  |
| AS-1                       | CERTAINTED       | LANDMARK DESIGNER SHINGLES        | MOIRE BLACK  |
| SIDING                     |                  |                                   |  |
| S-1                        | HARDIE           | 12" WIDE (10 3/4") EXPOSURE       | PAINT WHITE TO MATCH FASCIA                                |

GENERAL EXTERIOR NOTES

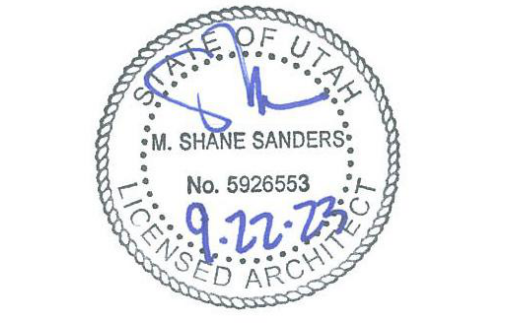
- PROVIDE BLOCKING AS REQUIRED FOR VERTICAL METAL FASCIA SIDING
- ALL EXTERIOR WINDOWS MUST HAVE AN NRRC LABEL A FIXED TO THE FRAME OR MUST HAVE AN APPROVED CERTIFICATE TO ALLOW THE USE OF ANY U FACTOR LESS THAN THE DEFAULT FACTOR. (.650) UNLESS THE APPROVED CERTIFICATE IS TO BE THE U FACTOR ARE NOT ACCEPTABLE AND A DEFAULT FACTOR OF .650, SHGC OF .7 FOR WINDOWS
- C 402.3 LIMITS STOREFRONT TO .38 U FACTOR
- C 402.3 .2 FENESTRATION IS LIMITED TO 30% MAX OF THE GROSS OF THE ABOVE GRADE WALL



**C3 EAST ELEVATION**  
3/16" = 1'-0"



**A3 SOUTH ELEVATION**  
3/16" = 1'-0"



Consultant

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6080 S FASHION POINT DRIVE  
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Revision

| No. | Date     | Description          |
|-----|----------|----------------------|
| 2   | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

EXTERIOR ELEVATIONS

Sheet Number

**AE201**

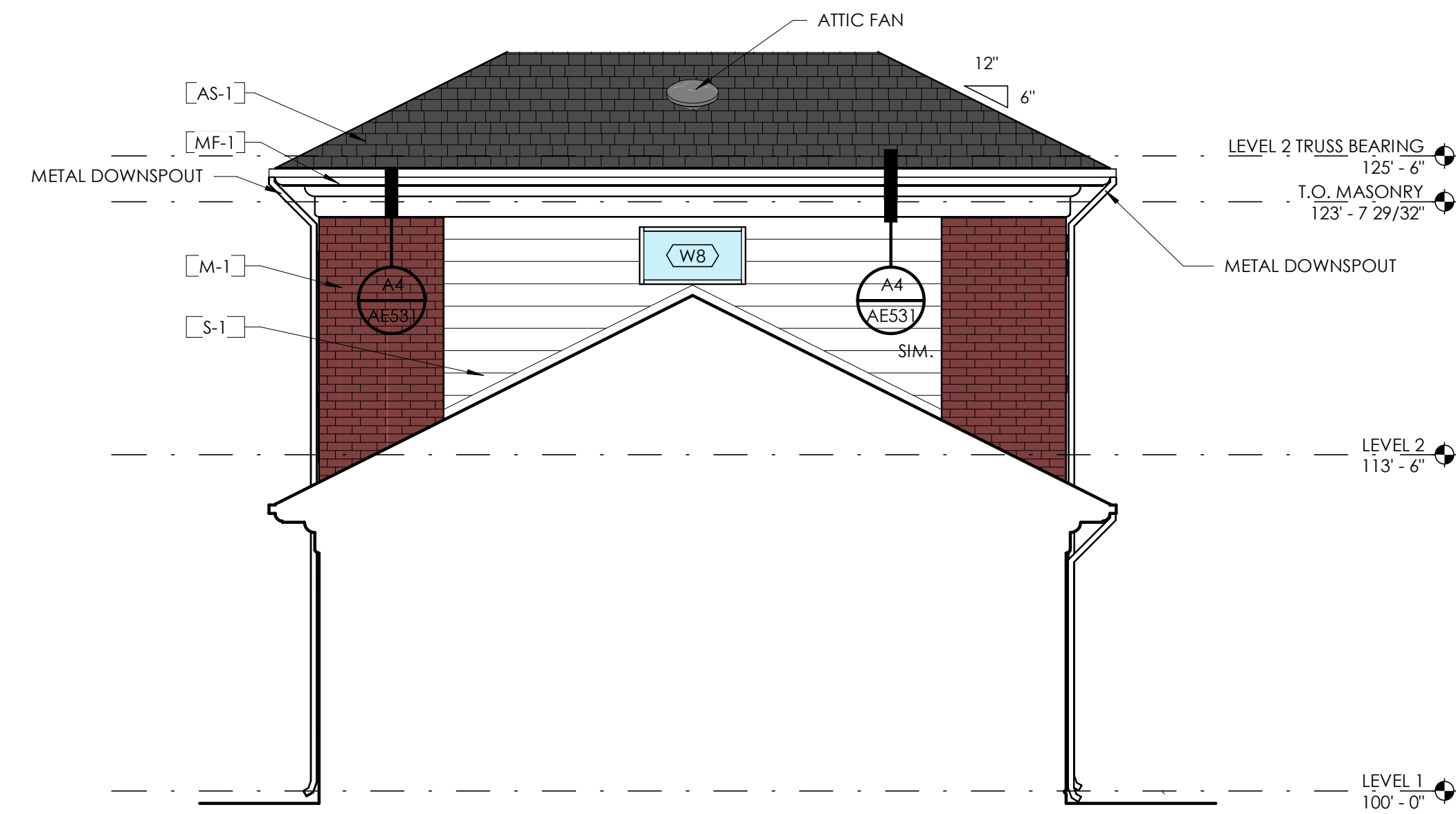


EXTERIOR MATERIAL SCHEDULE

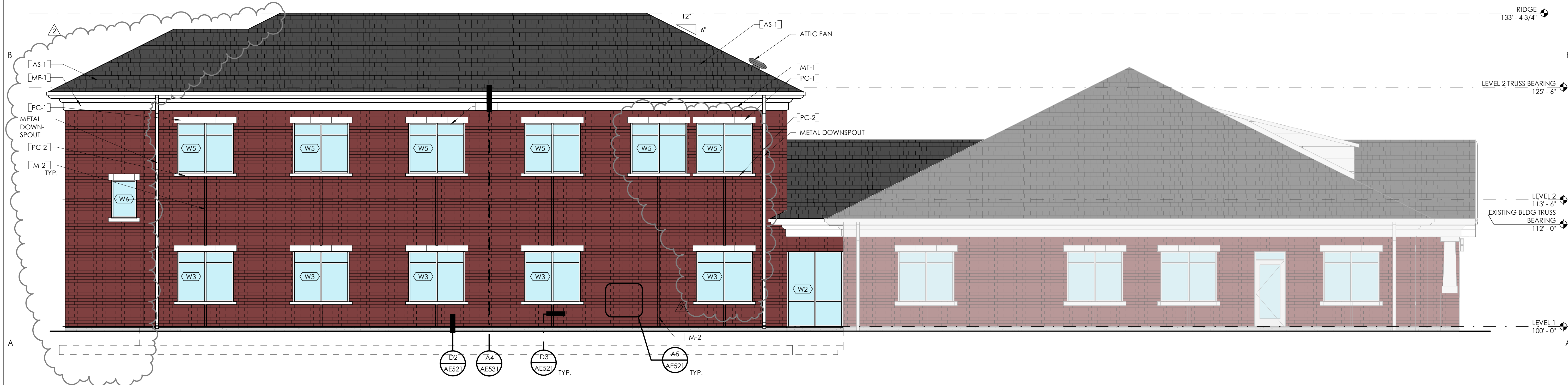
| MARK     | MANUF.           | PRODUCT                           | COLOR / FINISH   |
|----------|------------------|-----------------------------------|--|
| COL-1    | PACIFIC COLUMNS  | ES1806RTPSATUTU - (R-PLAN, SPLIT) | PAINT WHITE  |
| MF-1     | METAL FASCIA     | .032 ALUM.                        | WHITE  |
| CONCRETE |                  |                                   |  |
| PC-1     | PRECAST          | WINDOW HEAD                       | WHITE TO MATCH EXISTING BLDG.                              |
| PC-2     | PRECAST          | WINDOW SILL                       | WHITE TO MATCH EXISTING BLDG.                              |
| MASONRY  |                  |                                   |  |
| M-1      | INTERSTATE BRICK | 4" X 4" X 12" UTILITY             | MOUNTAIN RED / MATTE / 1/3" RUNNING (SEE ELEVATION DETAIL) |
| M-2      | INTERSTATE BRICK | 4" UTILITY HEADER COURSE          | 3/4" RECESSED OFF FACE OF WALL                             |
| SHINGLES |                  |                                   |  |
| AS-1     | CERTAINEED       | LANDMARK DESIGNER SHINGLES        | MOIRE BLACK  |
| SIDING   |                  |                                   |  |
| S-1      | HARDIE           | 12" WIDE (10 3/4") EXPOSURE       | PAINT WHITE TO MATCH FASCIA                                |

GENERAL EXTERIOR NOTES

1. PROVIDE BLOCKING AS REQUIRED FOR VERTICAL METAL FASCIA SIDING
2. ALL EXTERIOR WINDOWS MUST HAVE AN NRRC LABEL A FIXED TO THE FRAME OR MUST HAVE AN APPROVED CERTIFICATE TO ALLOW THE USE OF ANY U FACTOR LESS THAN THE DEFAULT FACTOR, (.650) UNLESS THE APPROVED CERTIFICATE IS TO BE THE U FACTOR ARE NOT ACCEPTABLE AND A DEFAULT FACTOR OF .650, SHGC OF .7 FOR WINDOWS
3. C 402.3 LIMITS STOREFRONT TO .38 U FACTOR
4. C 402.3 .2 FENESTRATION IS LIMITED TO 30% MAX OF THE GROSS OF THE ABOVE GRADE WALL



C4 WEST ELEVATION  
3/16" = 1'-0"



A3 NORTH ELEVATION  
3/16" = 1'-0"



Consultant

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CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

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|--------------|----------|----------------------|
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

EXTERIOR ELEVATIONS

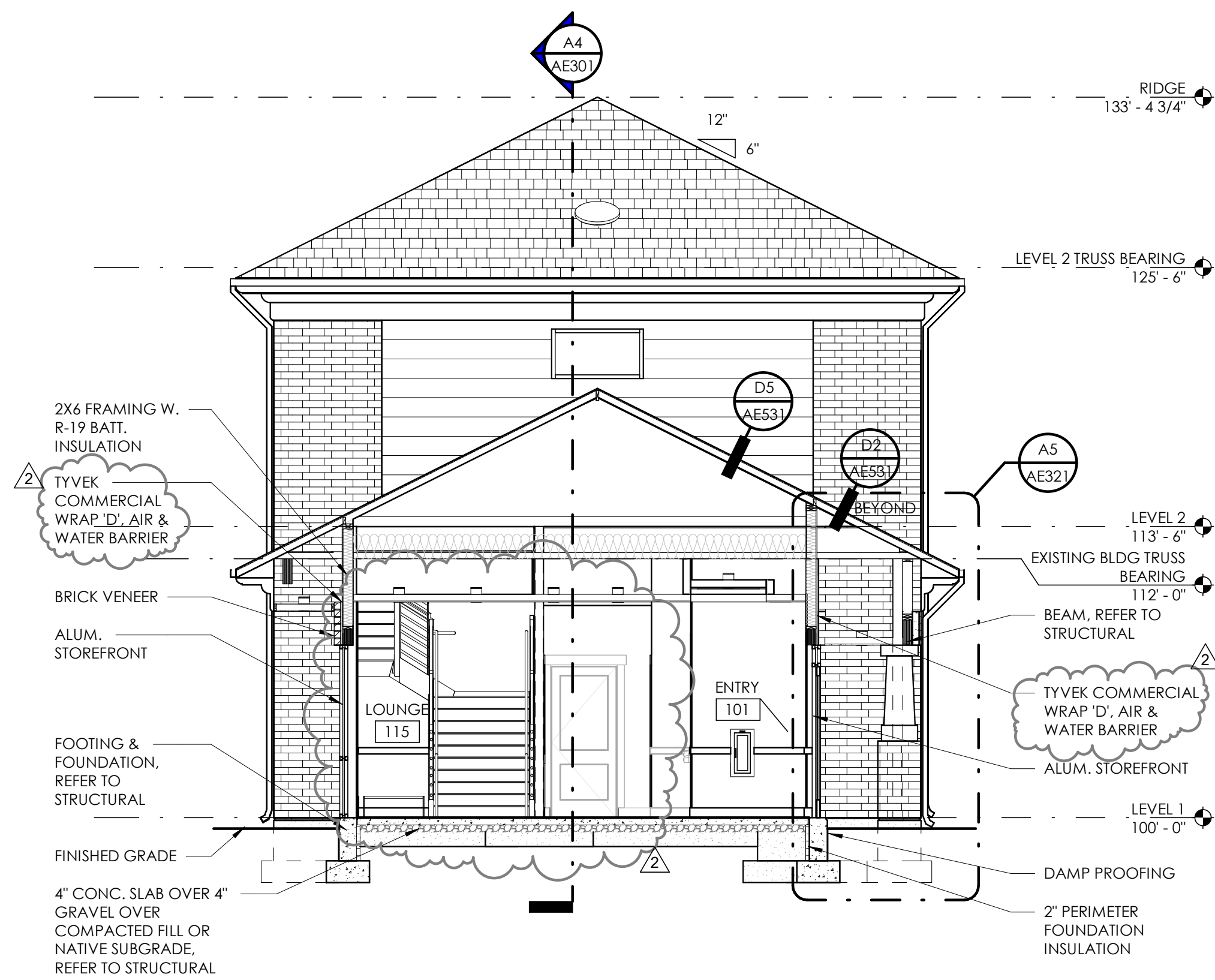
Sheet Number

AE202

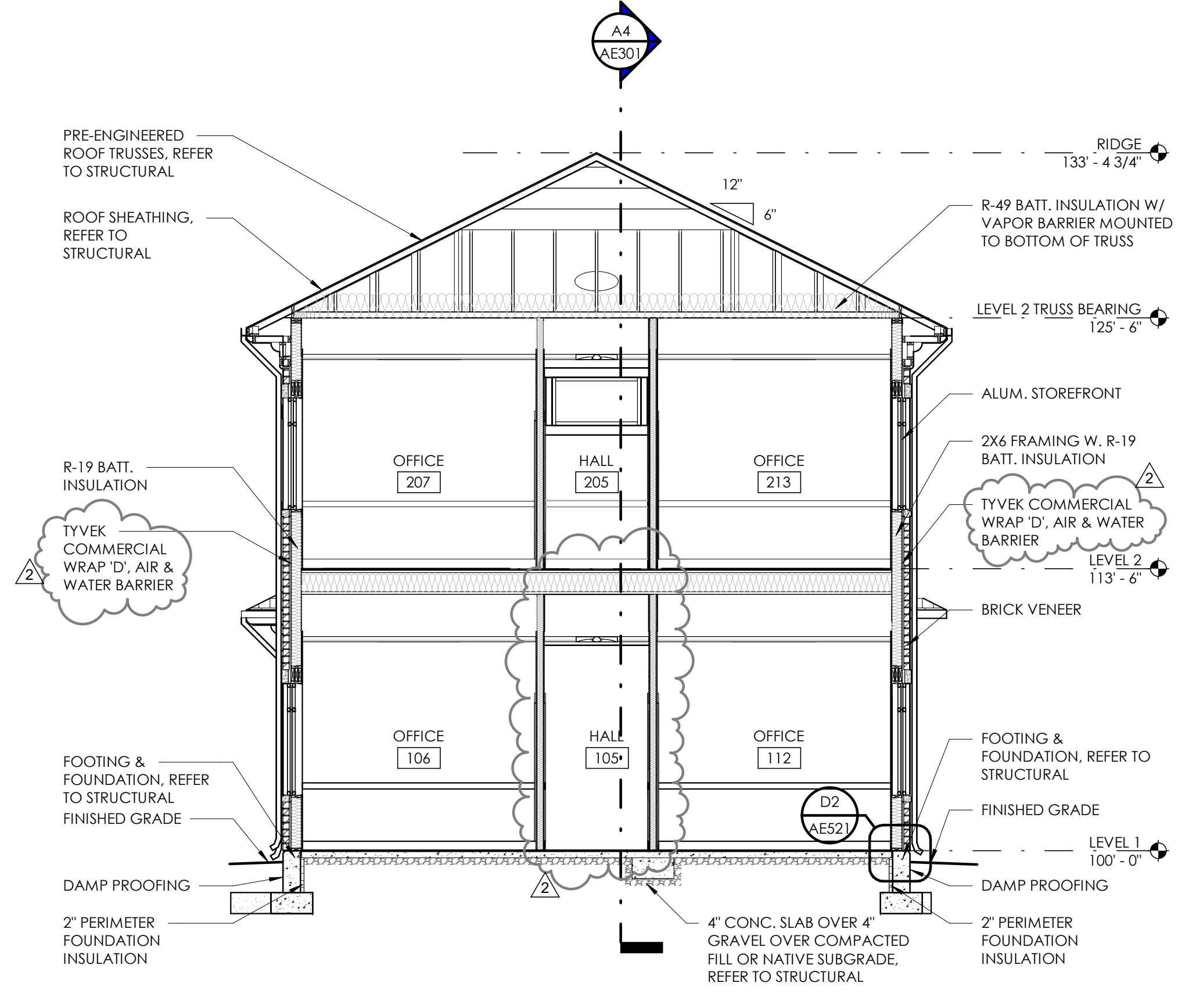




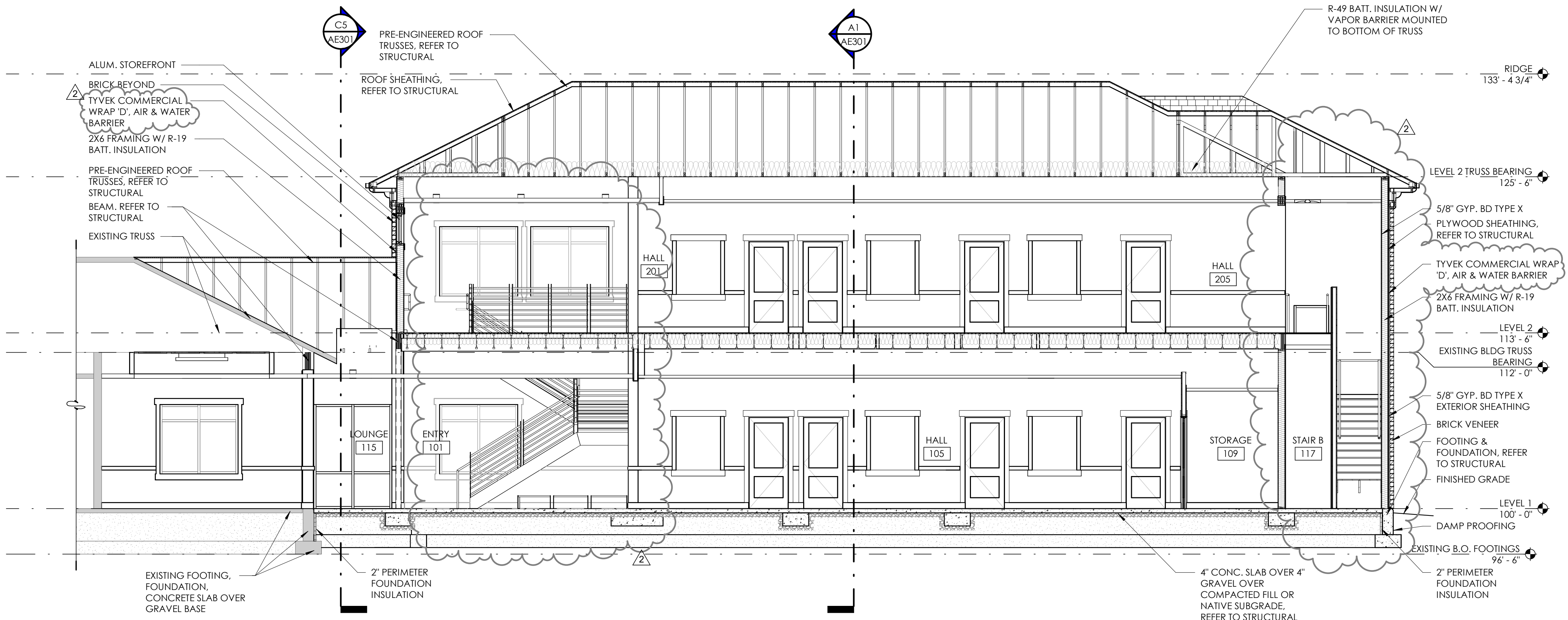
Consultant



**C5** BUILDING SECTION  
3/16" = 1'-0"



**A1** BUILDING SECTION  
3/16" = 1'-0"



**A4** BUILDING SECTION  
3/16" = 1'-0"

**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

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| Revision No. | Date     | Description          |
|--------------|----------|----------------------|
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

SA Project No. 2022-11  
Drawing Title

BUILDING SECTIONS

Sheet Number

**AE301**





Consultant

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CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

Project Name

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| 1          | 09.21.23 | PLAN REVIEW |
| 2          | 02.29.24 | PLAN REVIEW |

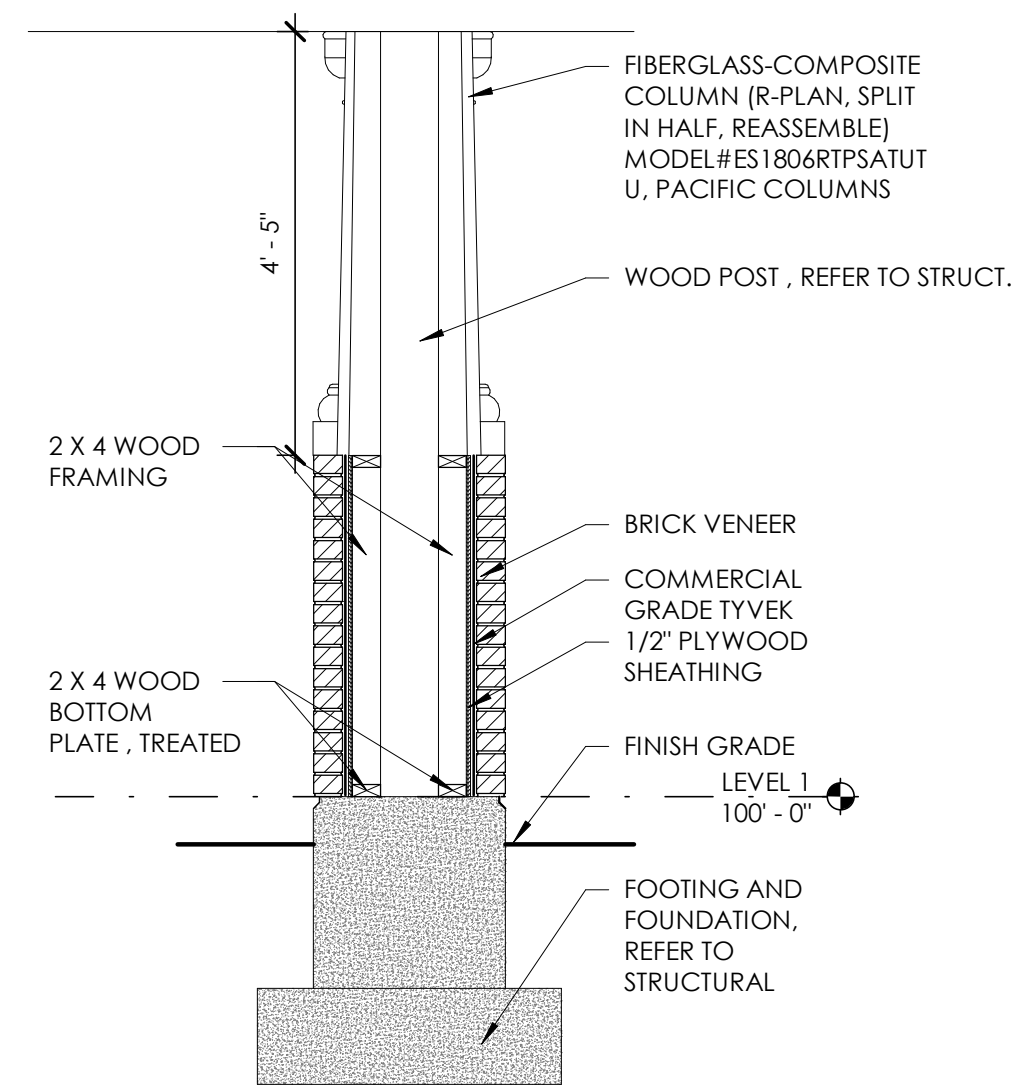
| Revision No. | Date     | Description          |
|--------------|----------|----------------------|
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

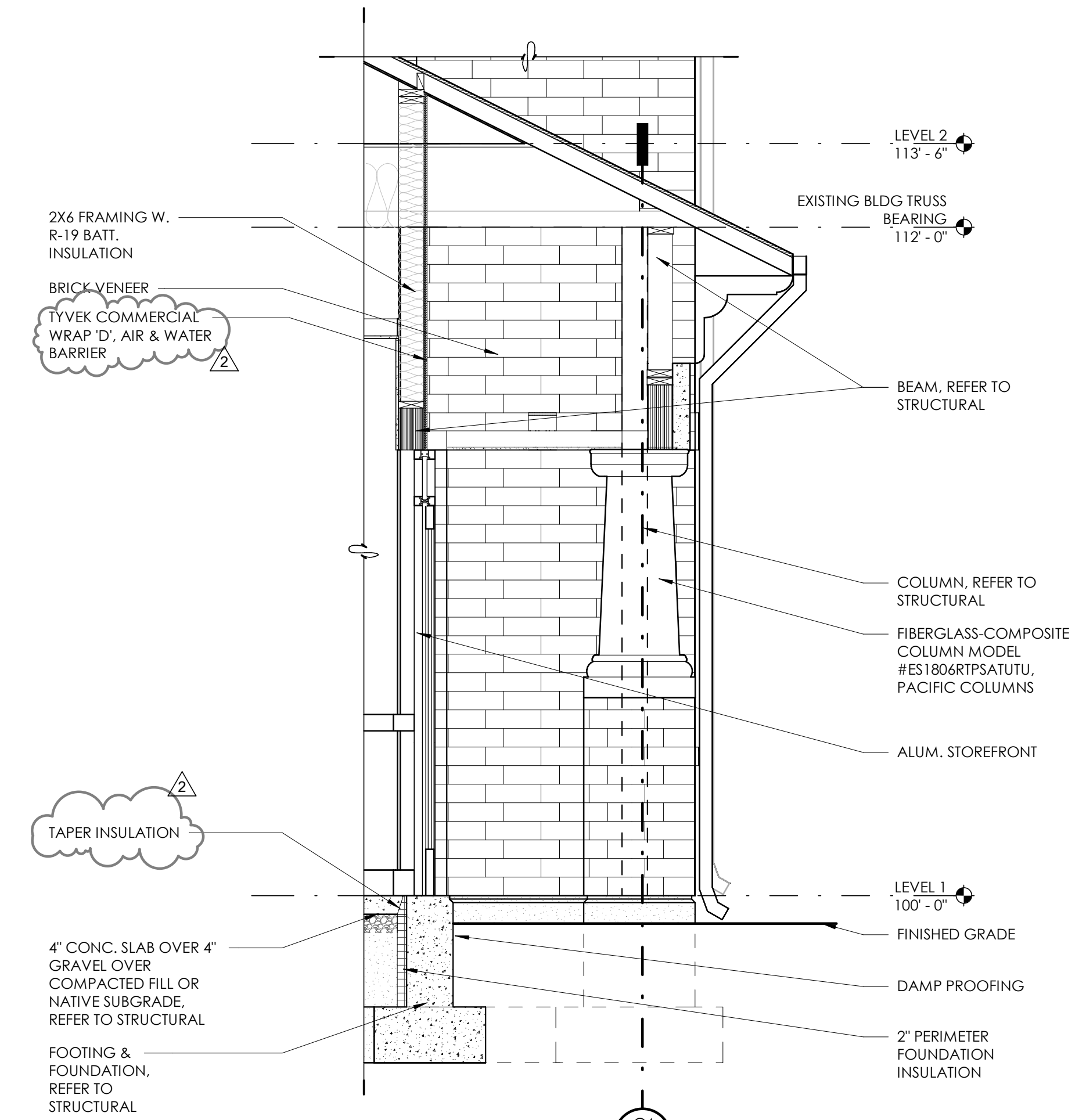
WALL SECTIONS

Sheet Number

**AE321**



**C4** COLUMN SECTION  
1/2" = 1'-0"



**A5** WALL SECTION  
1/2" = 1'-0"



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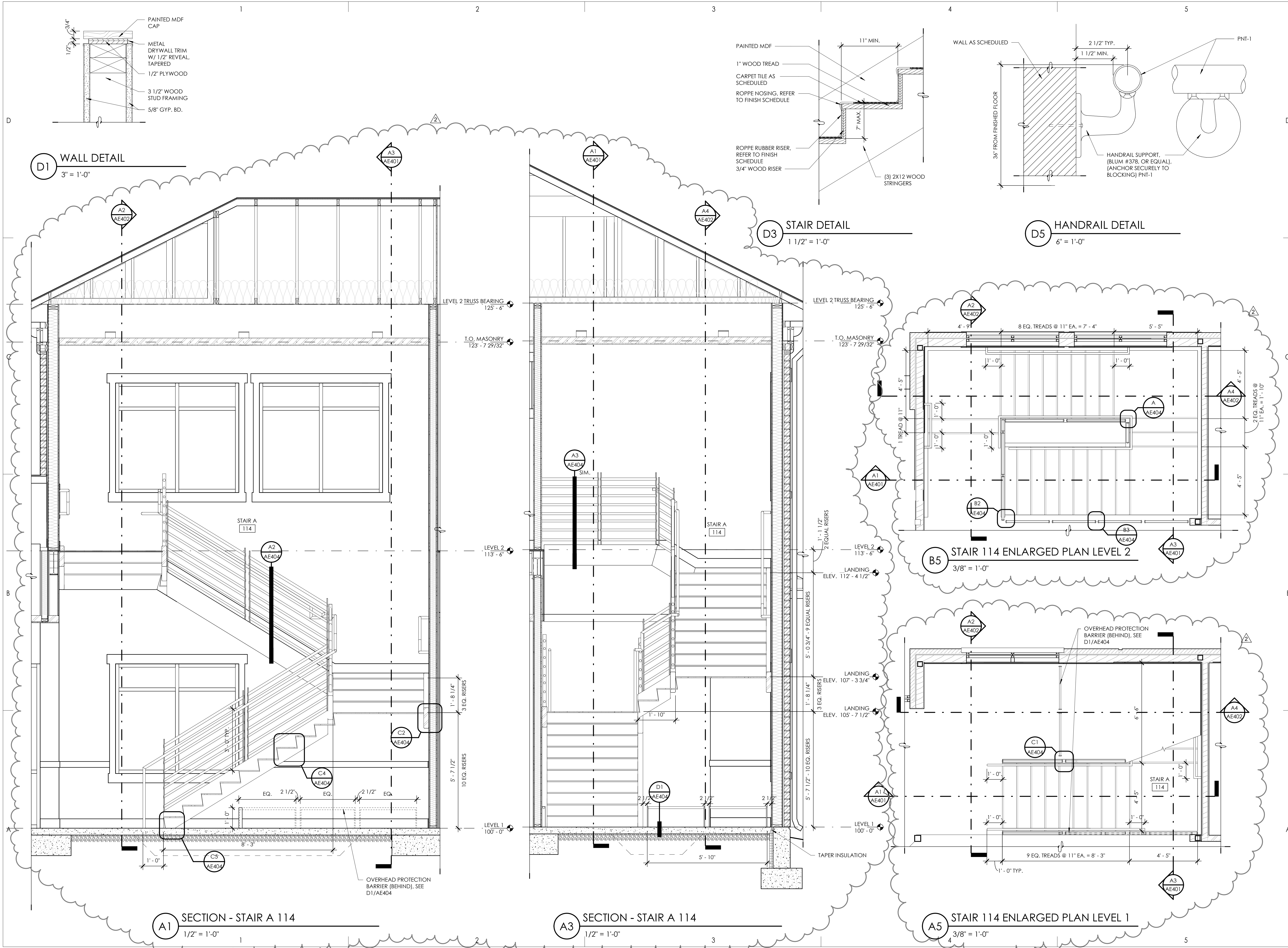
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|--------------|----------|----------------------|
| 1            | 10.30.23 | ADDENDUM #1          |
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

STAIR PLANS, DETAILS & SECTIONS

Sheet Number

**AE401**







Consultant

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CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

Project Name

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| Revision No. | Date     | Description          |
|--------------|----------|----------------------|
| 1            | 10.30.23 | ADDENDUM #1          |
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

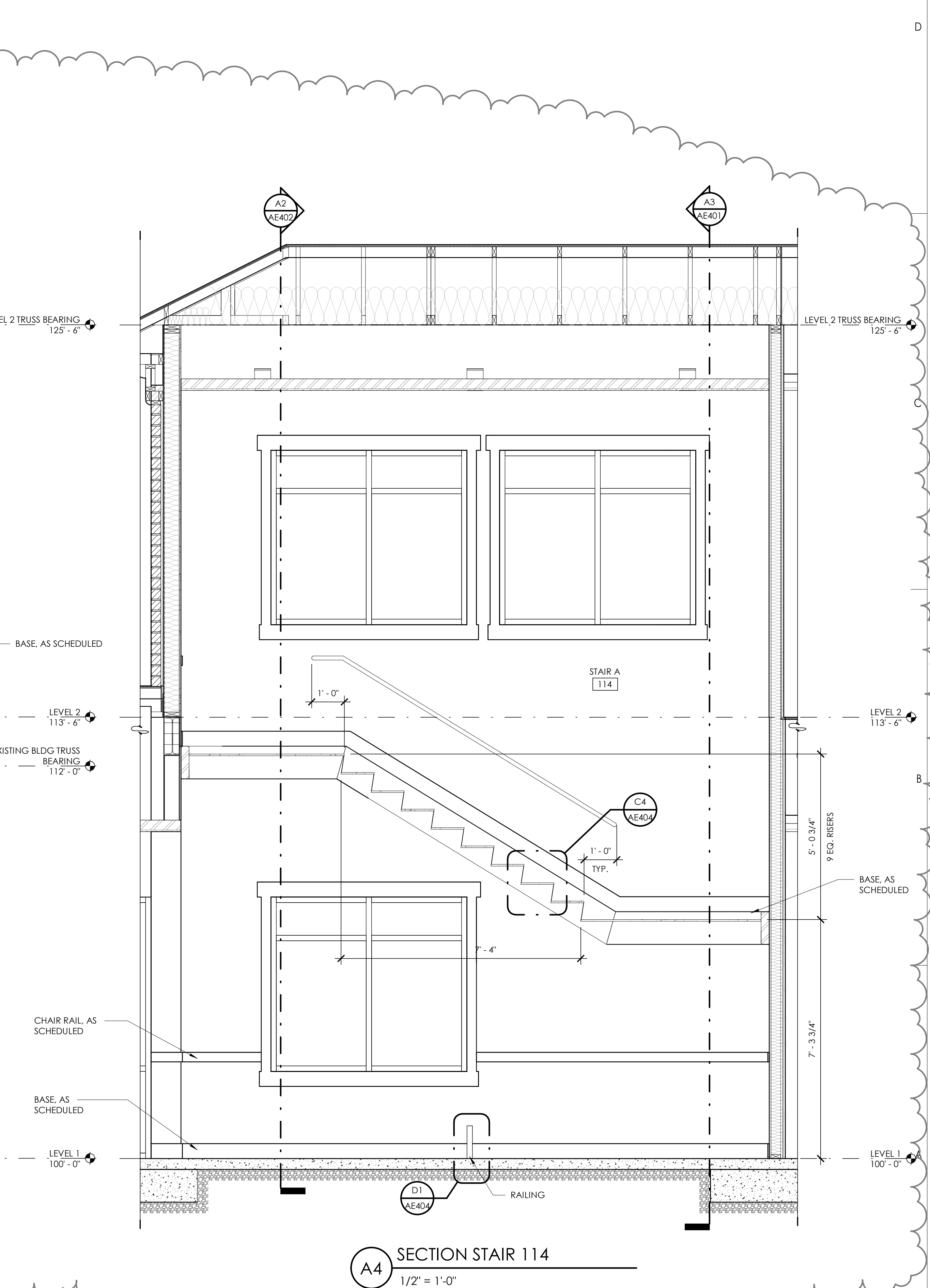
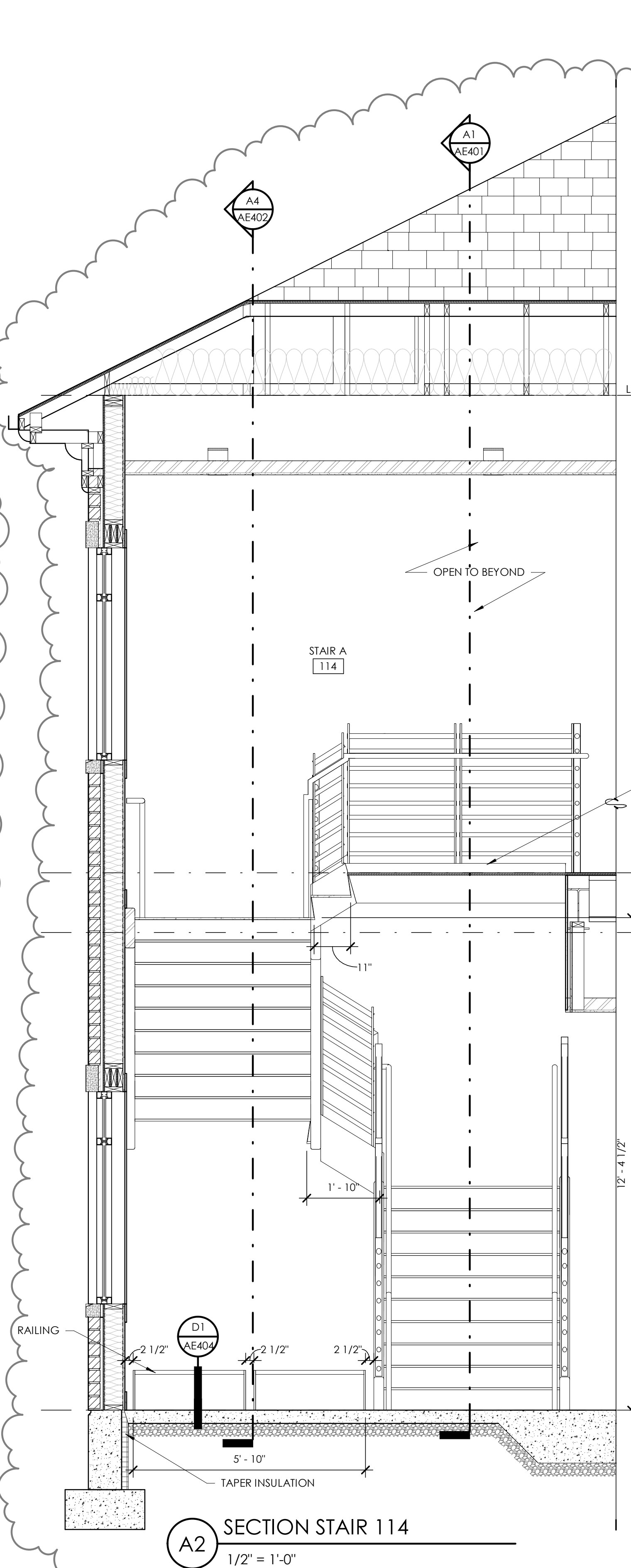
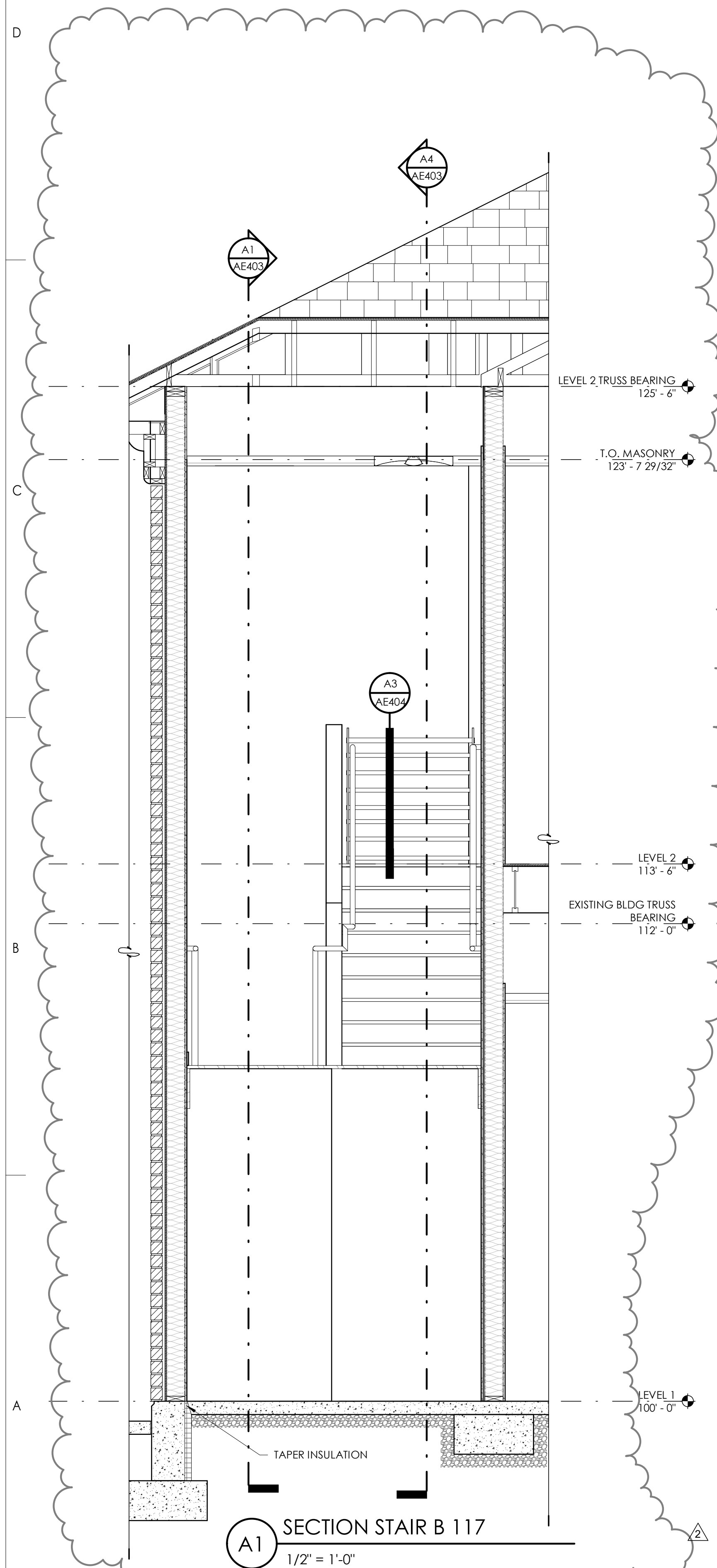
SAA Project No. 2022-11

Drawing Title

STAIR SECTIONS

Sheet Number

**AE402**







Consultant

**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

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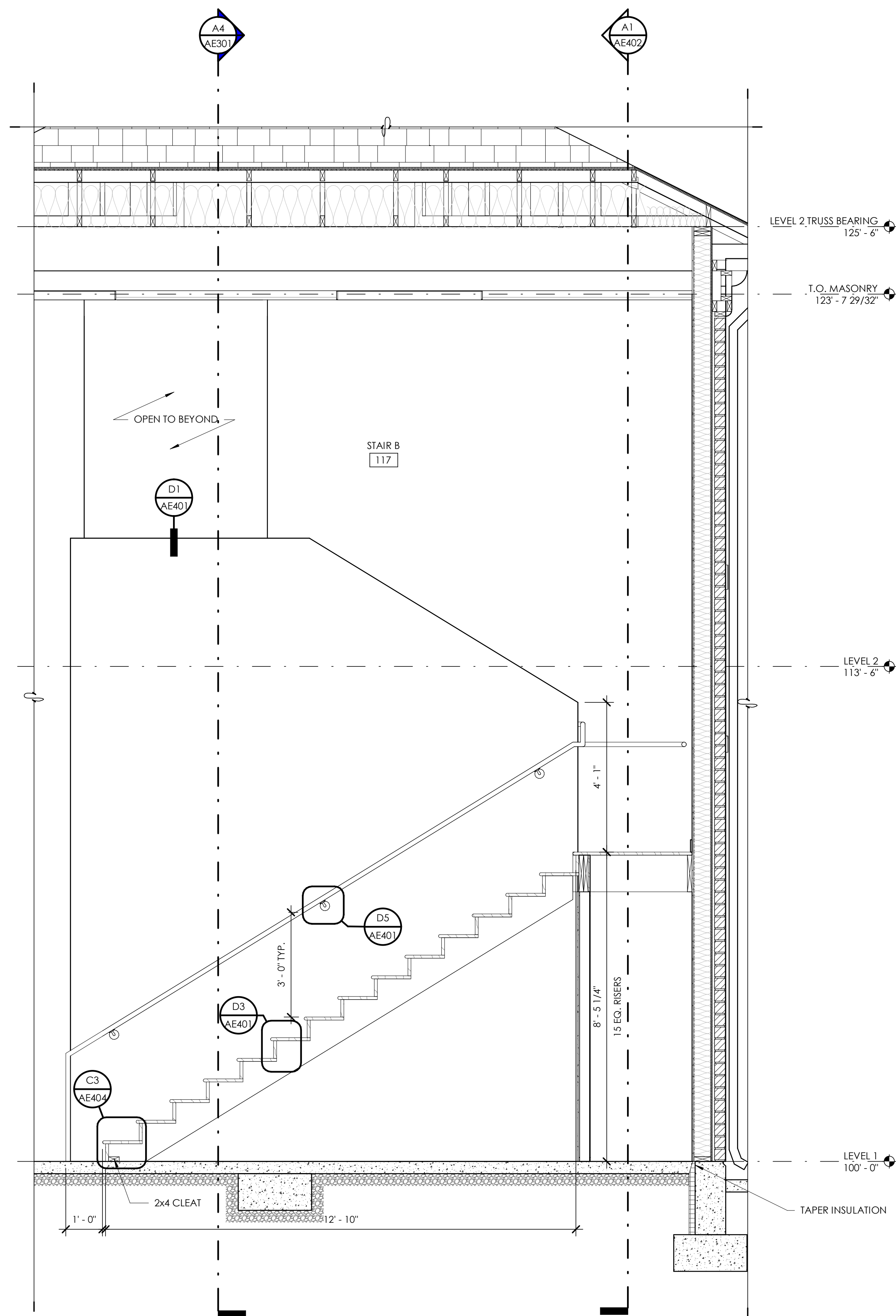
| Revision No. | Date     | Description          |
|--------------|----------|----------------------|
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

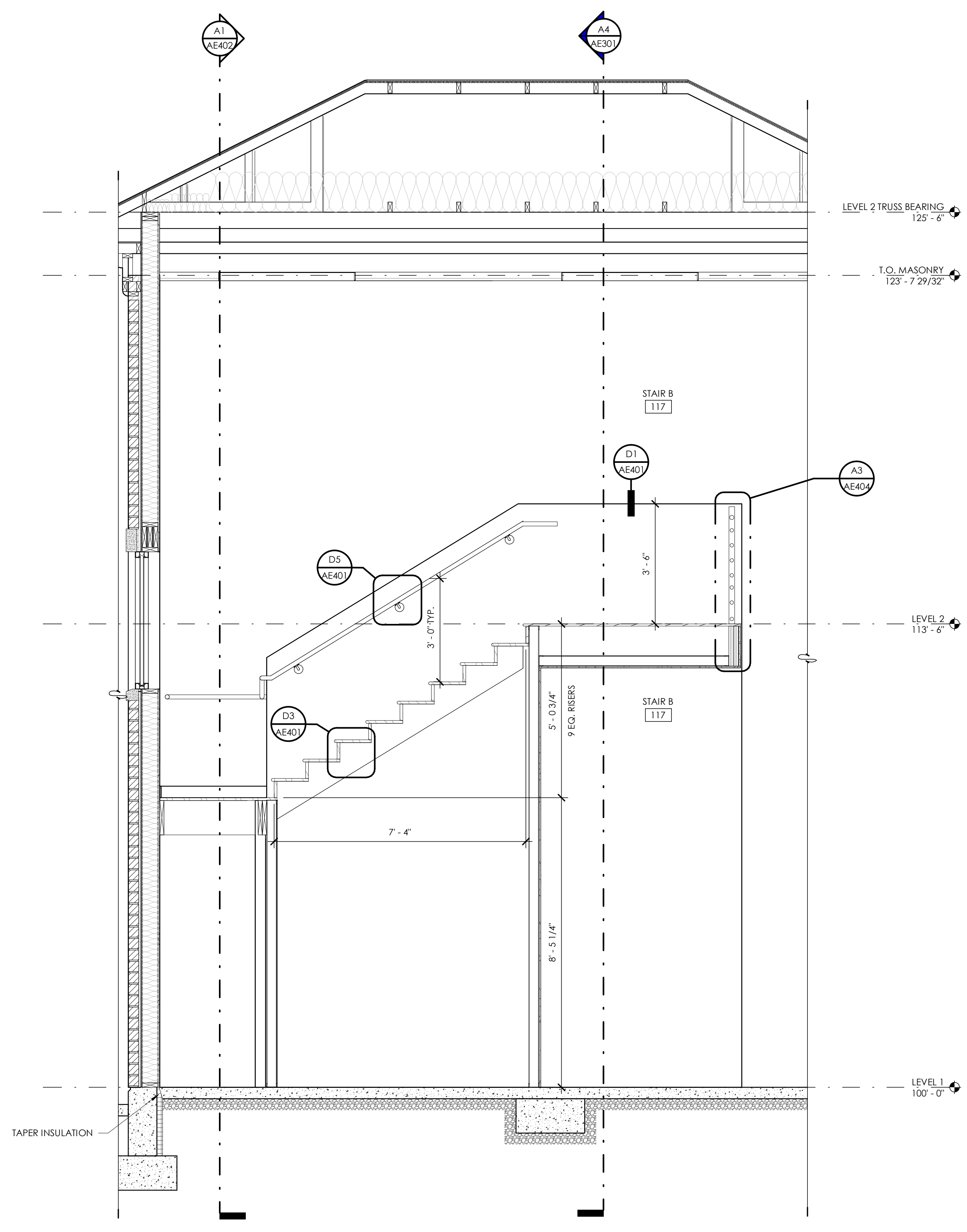
STAIR SECTIONS

Sheet Number

**AE403**



**A1** SECTION - STAIR B 117  
1/2" = 1'-0"



**A4** SECTION - STAIR B 117  
1/2" = 1'-0"



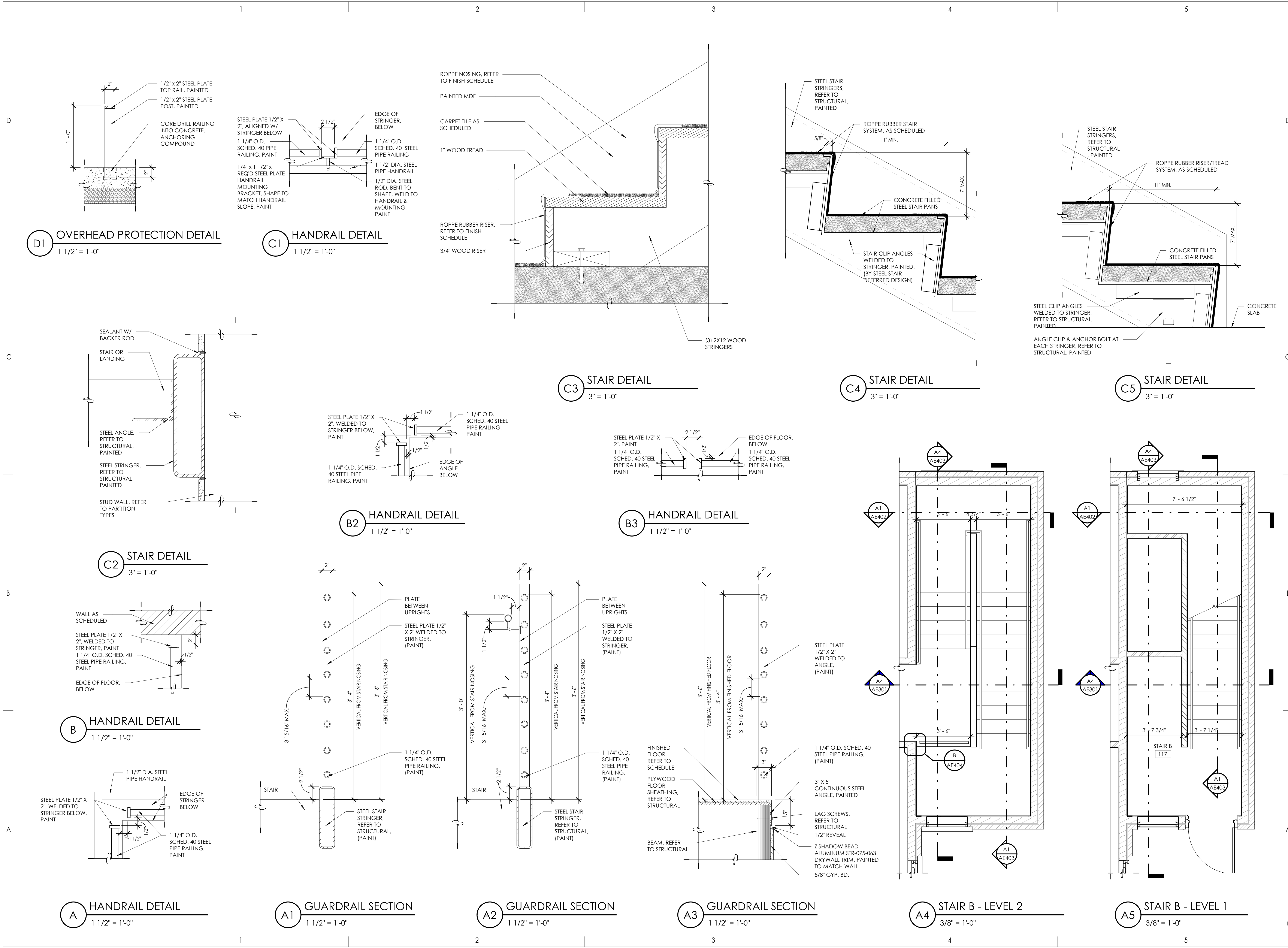
| Issued No. | Date     | Description |
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| Revision No. | Date     | Description          |
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| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

SAA Project No. 2022-11  
Drawing Title

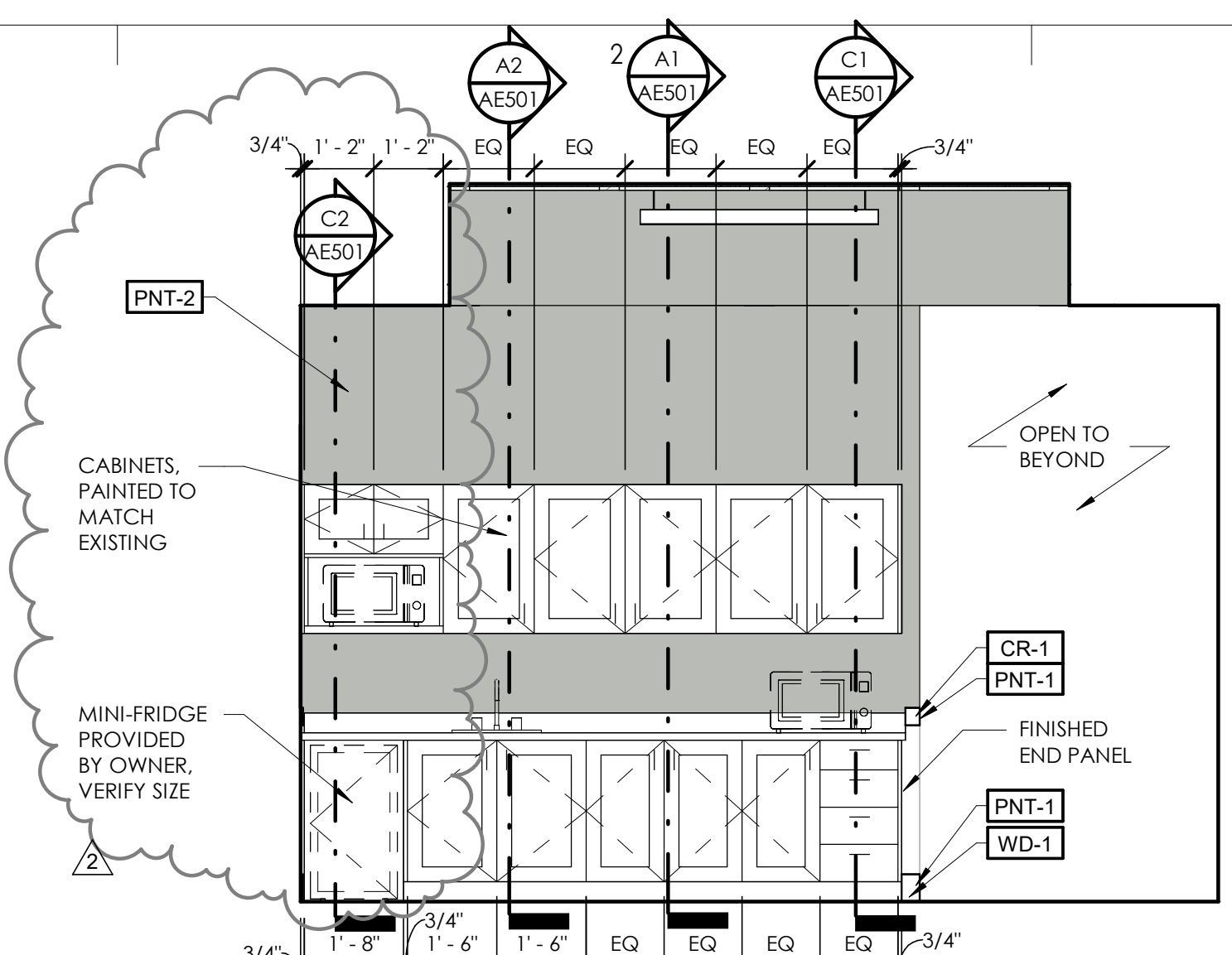
STAIR PLANS AND DETAILS

Sheet Number  
**AE404**

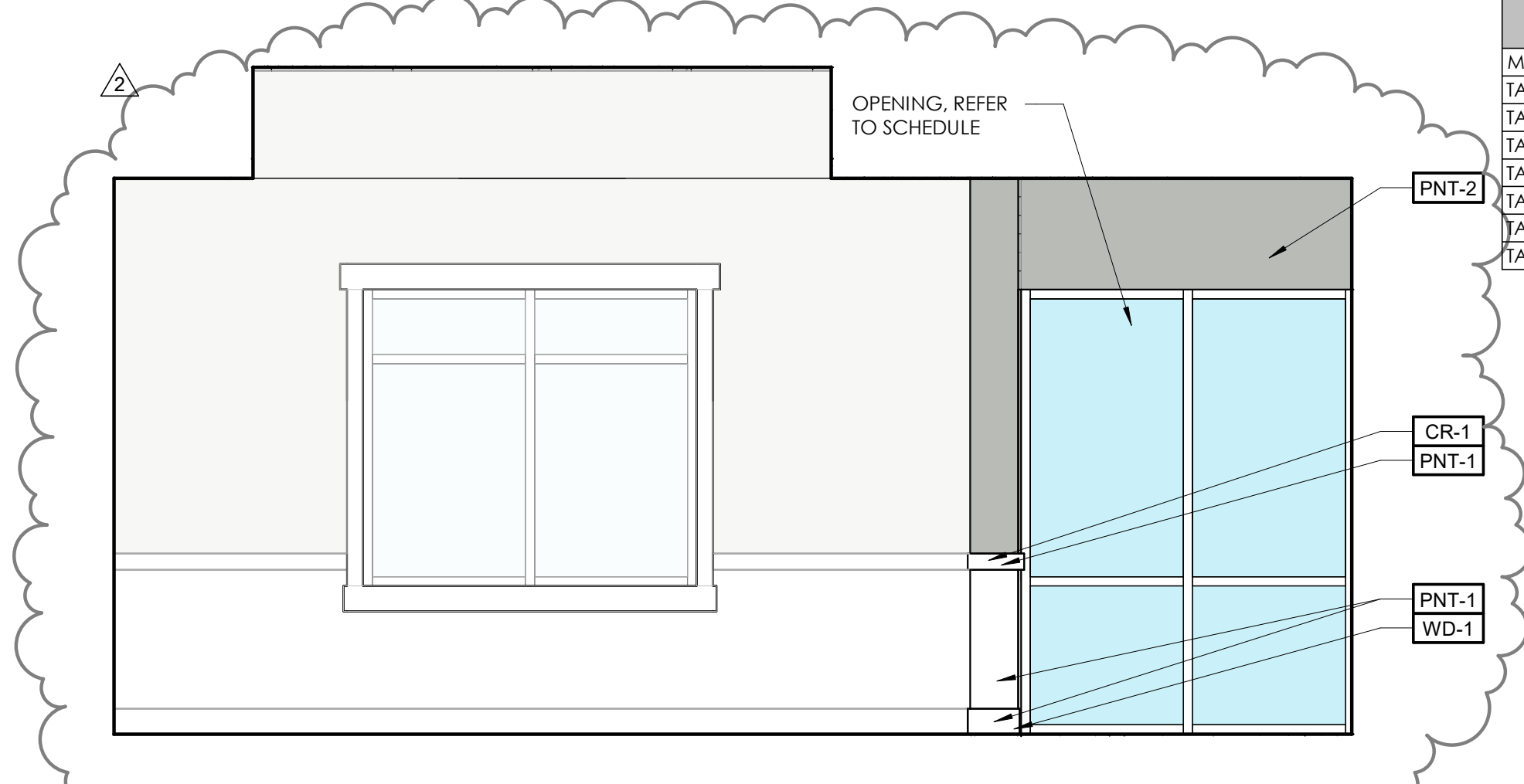




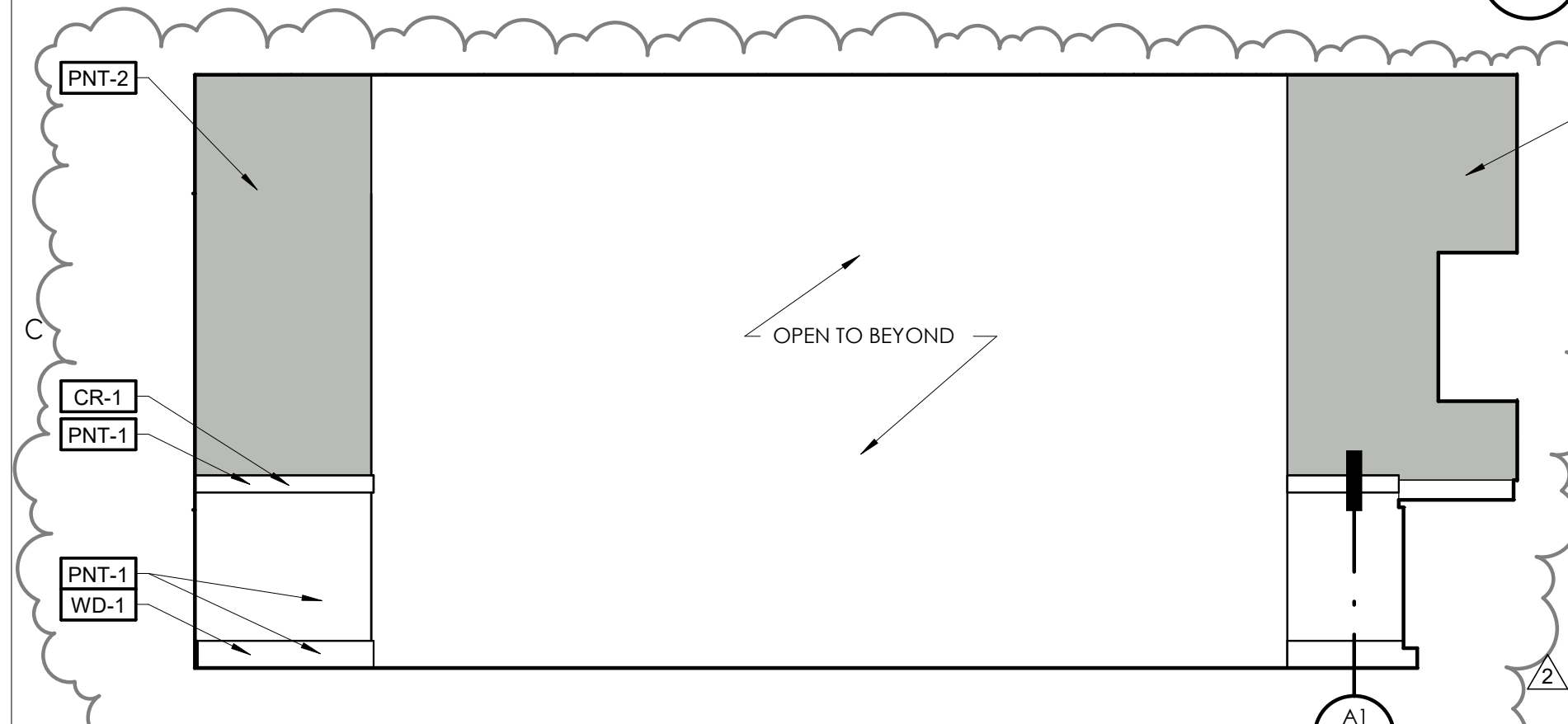
| TOILET ACCESSORY SCHEDULE |                                |                          |
|---------------------------|--------------------------------|--------------------------|
| MARK                      | MODEL                          | PROVIDED BY/INSTALLED BY |
| TA-1                      | 42" GRAB BAR                   | CONTRACTOR/ CONTRACTOR   |
| TA-2                      | 36" GRAB BAR                   | CONTRACTOR/ CONTRACTOR   |
| TA-3                      | 18" GRAB BAR                   | CONTRACTOR/ CONTRACTOR   |
| TA-4                      | 24" X 36" MIRROR BOBBICK B-290 | CONTRACTOR/ CONTRACTOR   |
| TA-7                      | SOAP DISPENSER                 | CONTRACTOR/ CONTRACTOR   |
| TA-8                      | TOILET PAPER DISPENSER         | CONTRACTOR/ CONTRACTOR   |
| TA-9                      | NAPKIN DISPOSAL                | CONTRACTOR/ CONTRACTOR   |



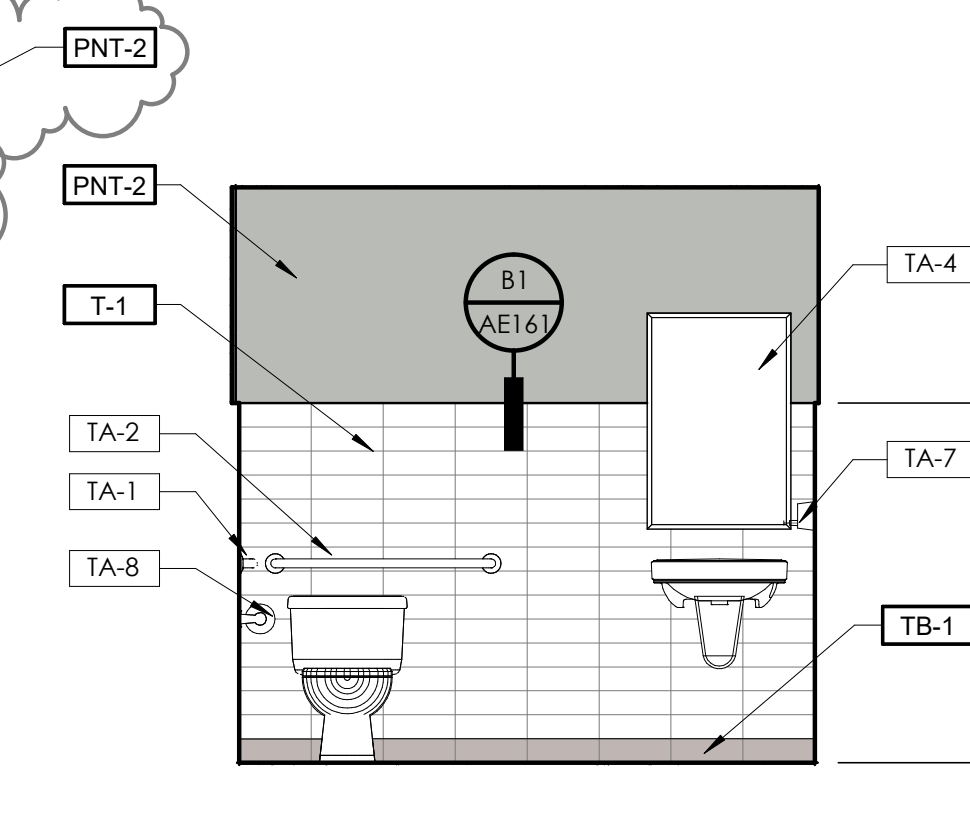
**D2** INTERIOR ELEVATION - LOUNGE 115  
3/8" = 1'-0"



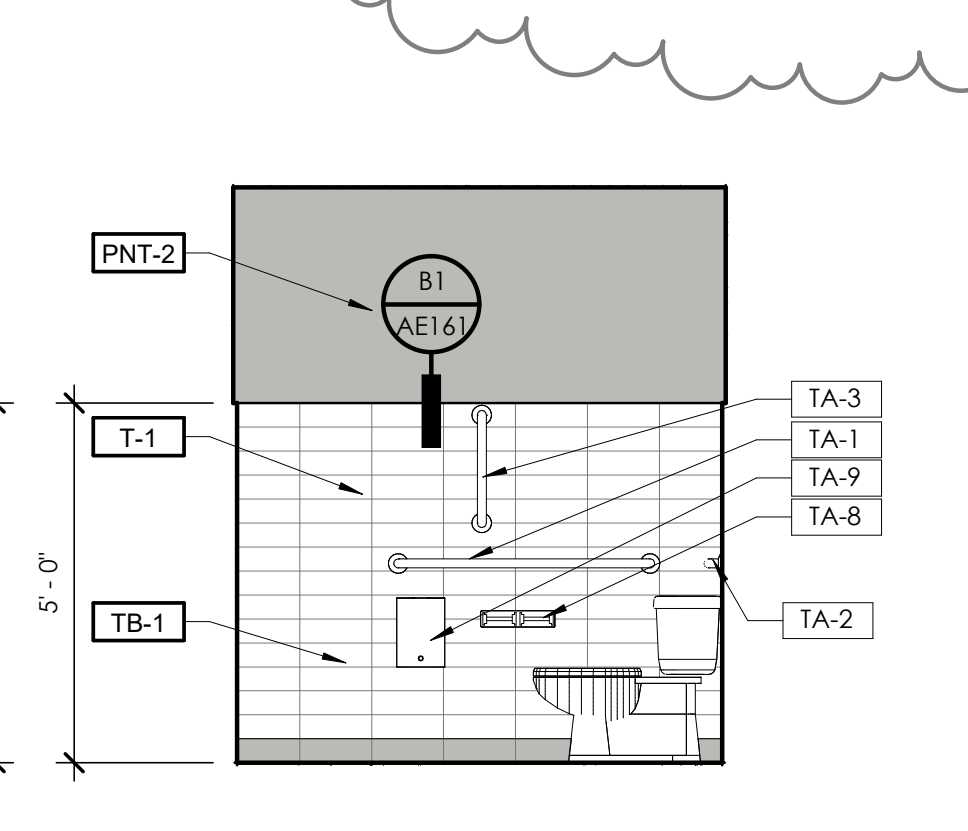
**D3** INTERIOR ELEVATION - LOUNGE 115  
3/8" = 1'-0"



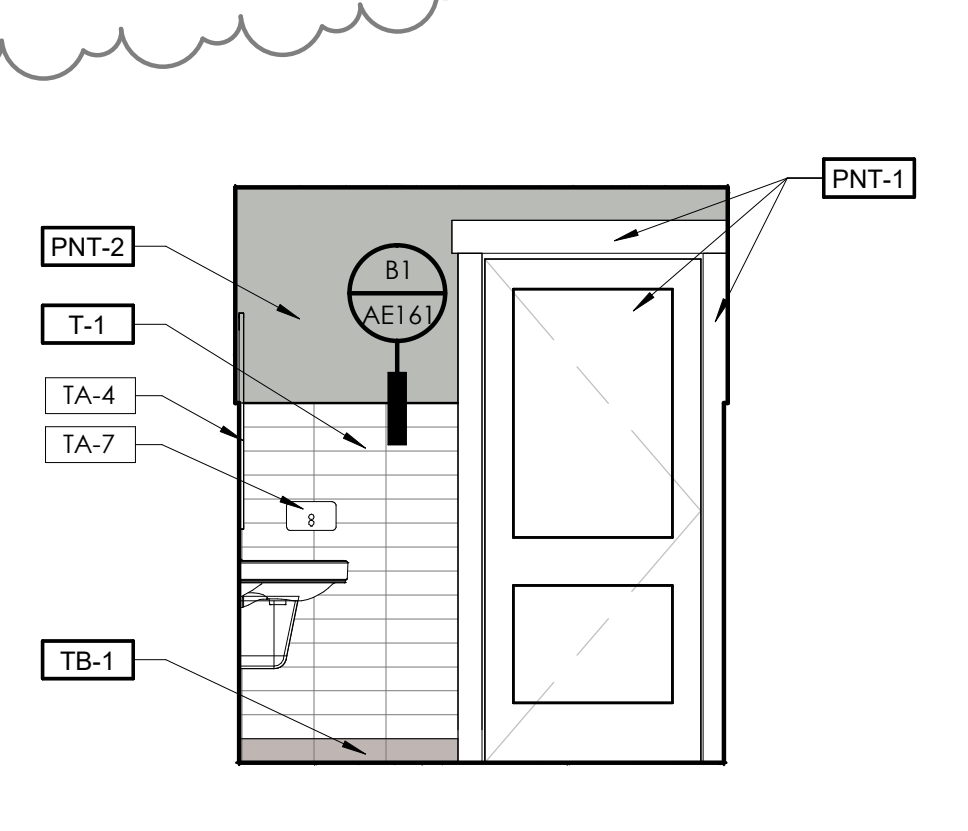
**C1** INTERIOR ELEVATION - LOUNGE 115  
3/8" = 1'-0"



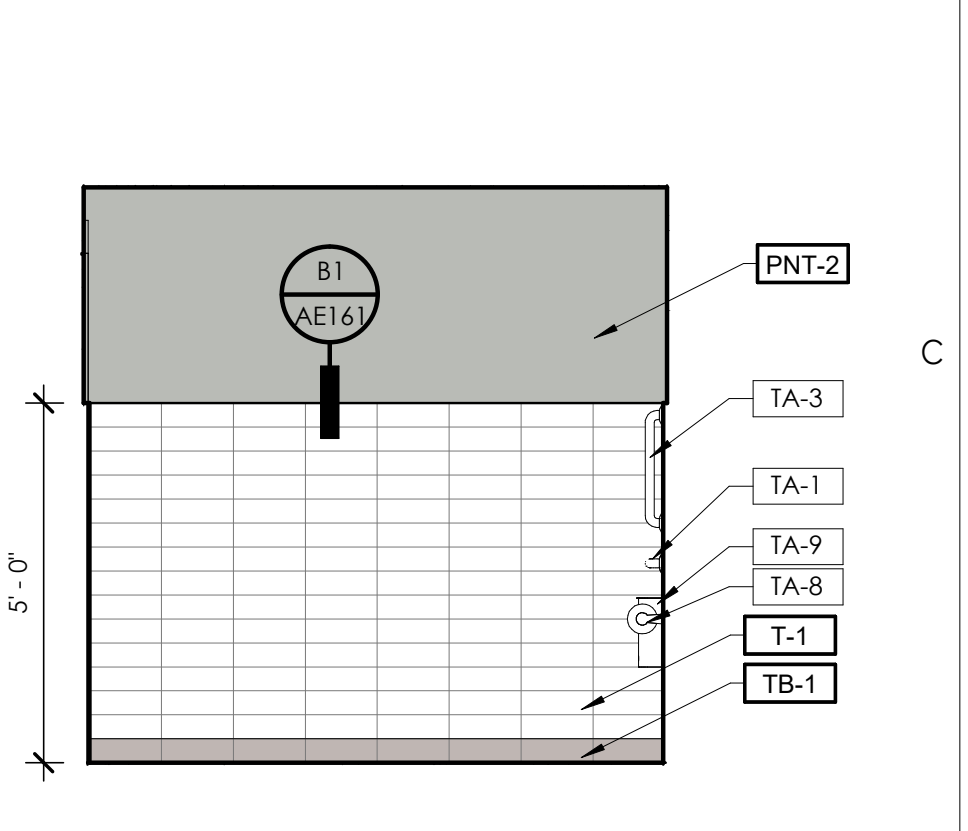
**C2** INTERIOR ELEVATION - WOMEN 103  
3/8" = 1'-0"



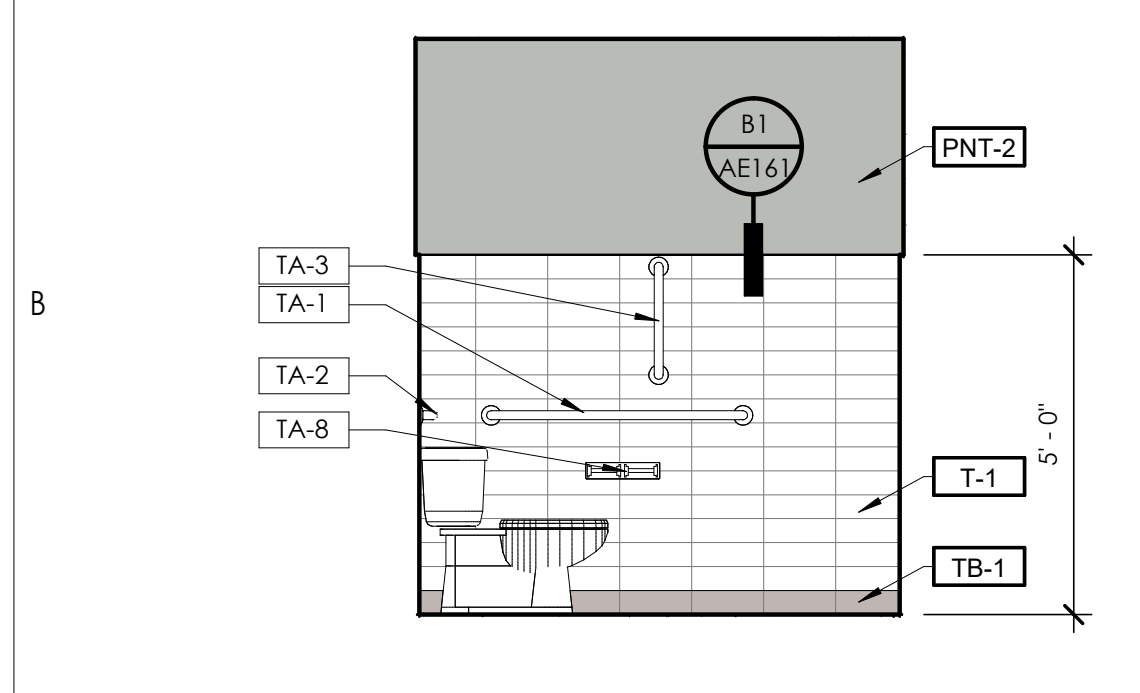
**C3** INTERIOR ELEVATION - WOMEN 103  
3/8" = 1'-0"



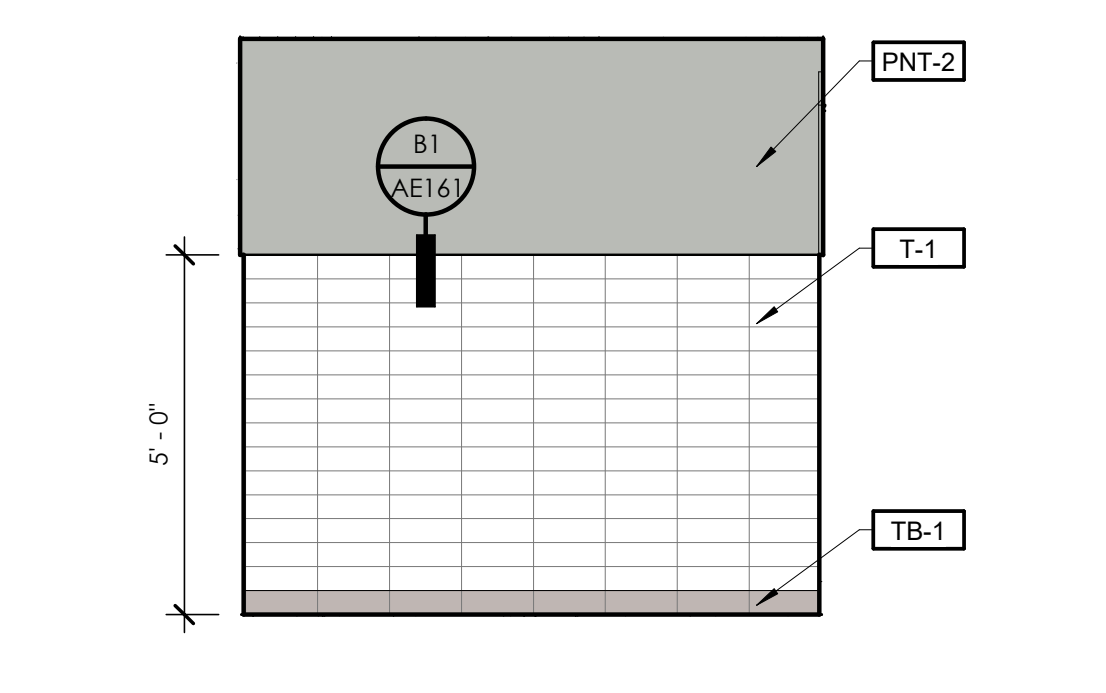
**C4** INTERIOR ELEVATION - WOMEN 103  
3/8" = 1'-0"



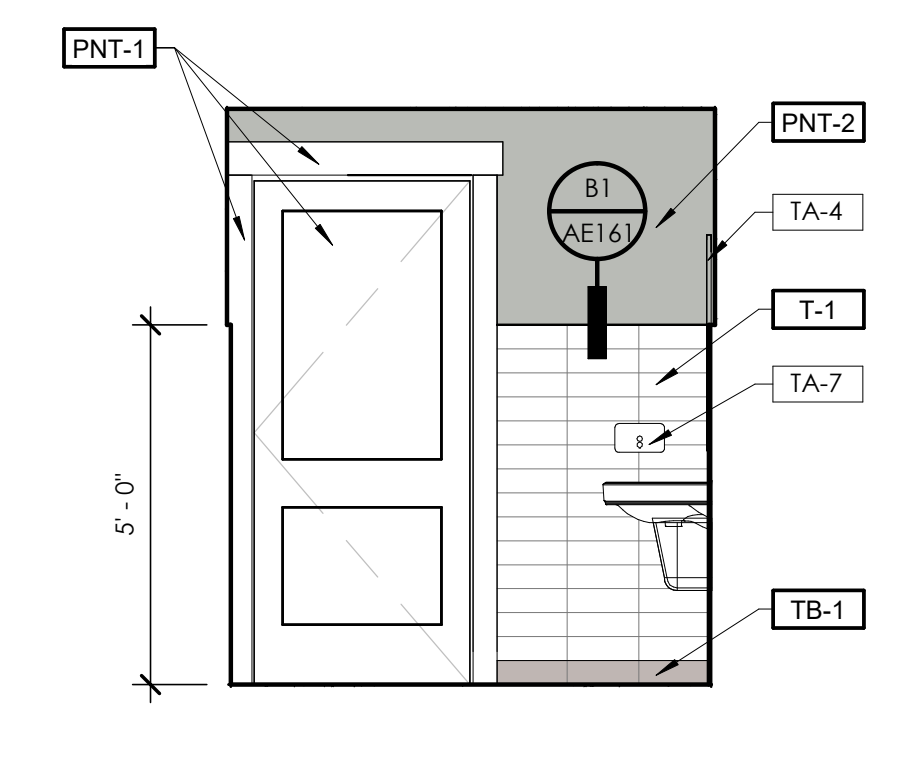
**C5** INTERIOR ELEVATION - WOMEN 103  
3/8" = 1'-0"



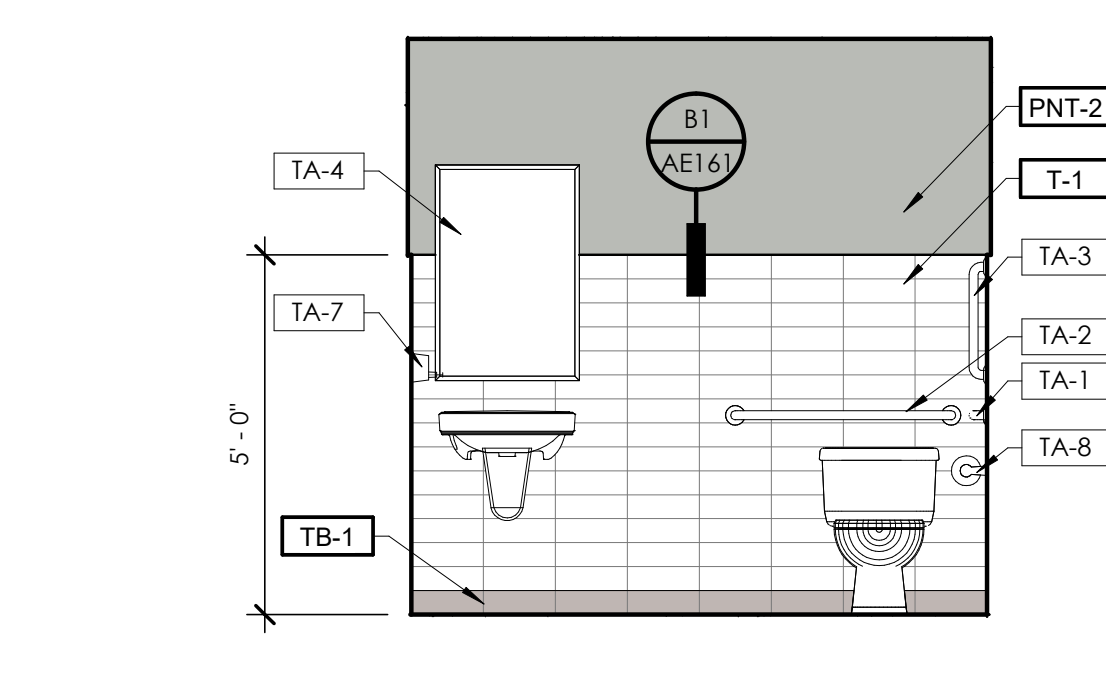
**B1** INTERIOR ELEVATION - MEN 102  
3/8" = 1'-0"



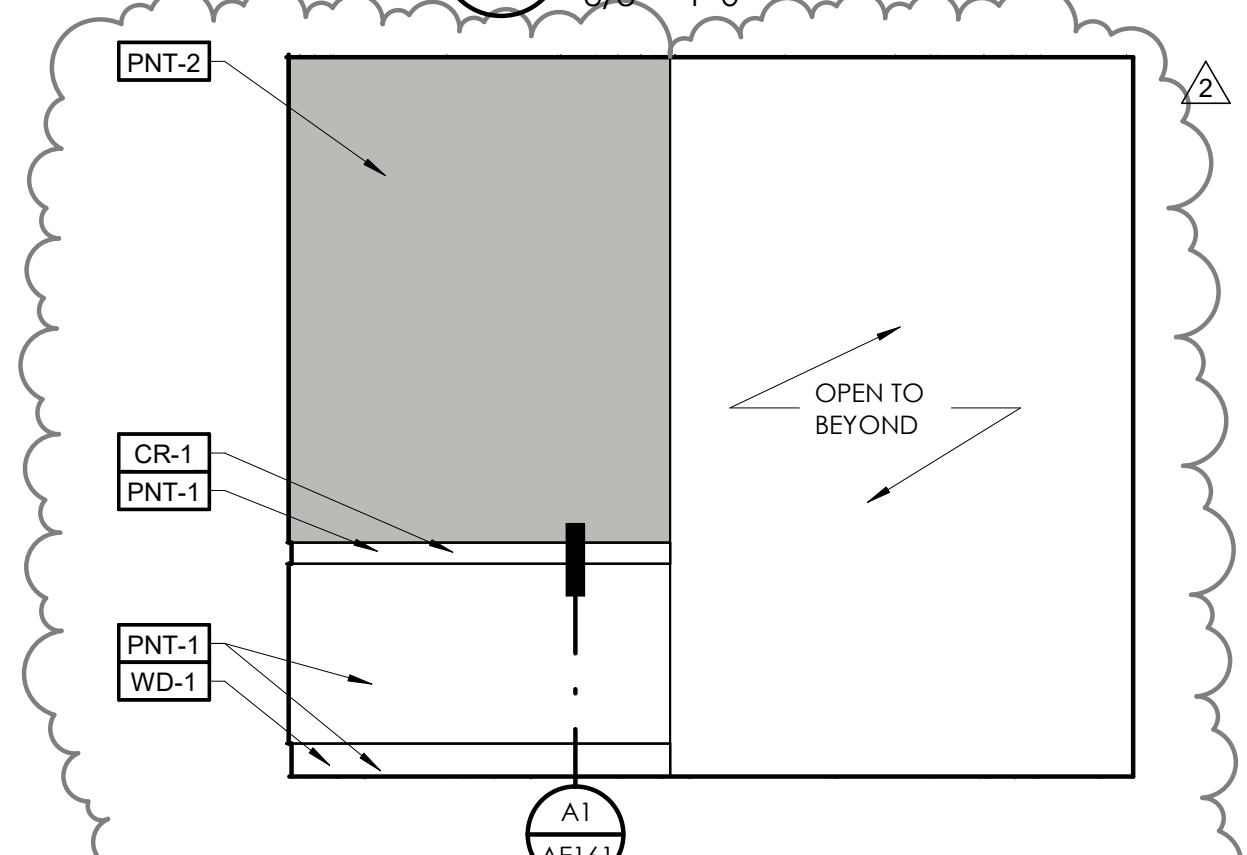
**B2** INTERIOR ELEVATION - MEN 102  
3/8" = 1'-0"



**B3** INTERIOR ELEVATION - MEN 102  
3/8" = 1'-0"



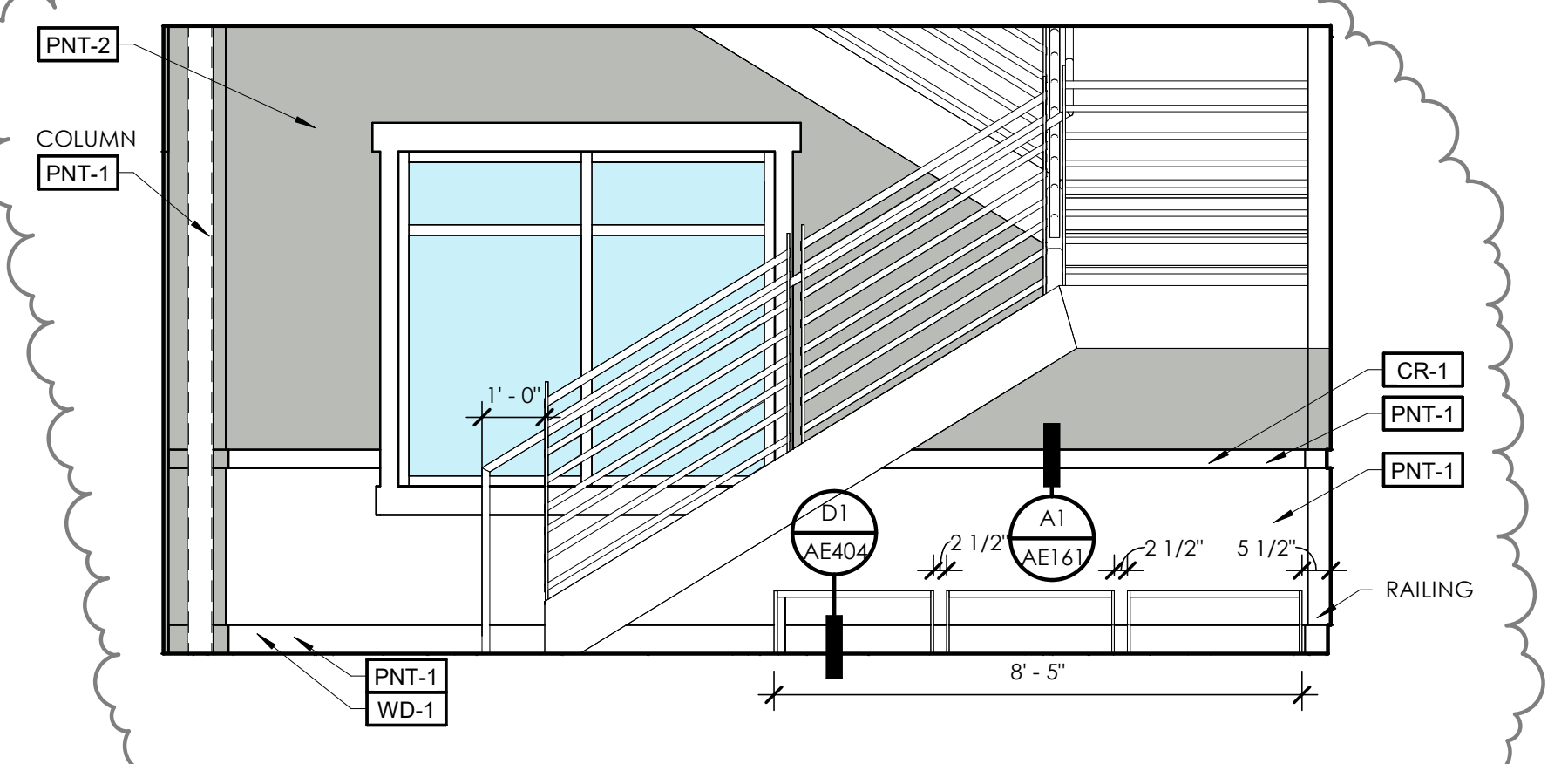
**B4** INTERIOR ELEVATION - MEN 102  
3/8" = 1'-0"



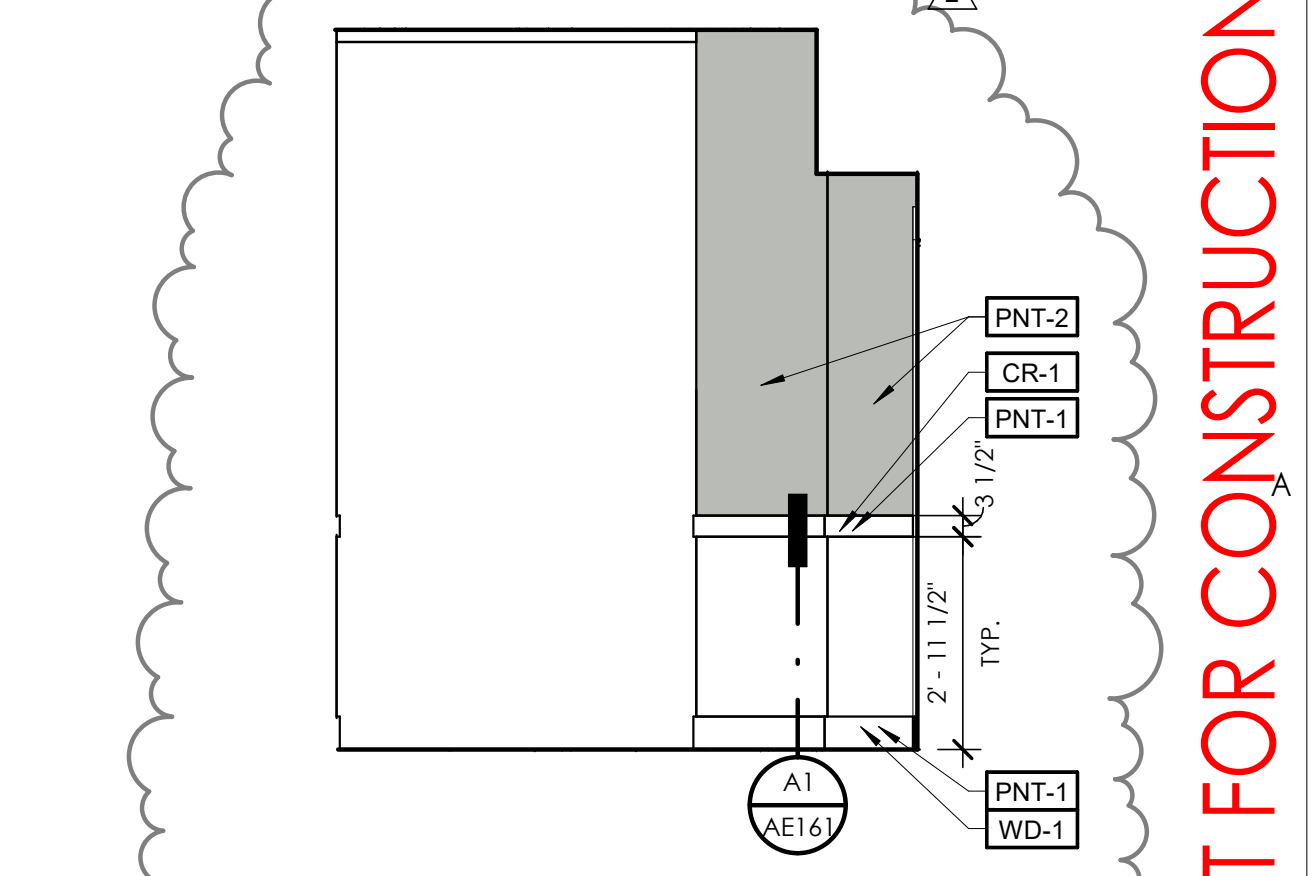
**B5** INTERIOR ELEVATION - ENTRY 101  
3/8" = 1'-0"



**A1** INTERIOR ELEVATION - ENTRY 101  
3/8" = 1'-0"



**A3** INTERIOR ELEVATION - ENTRY 101  
3/8" = 1'-0"



**A5** INTERIOR ELEVATION - ENTRY 101  
3/8" = 1'-0"

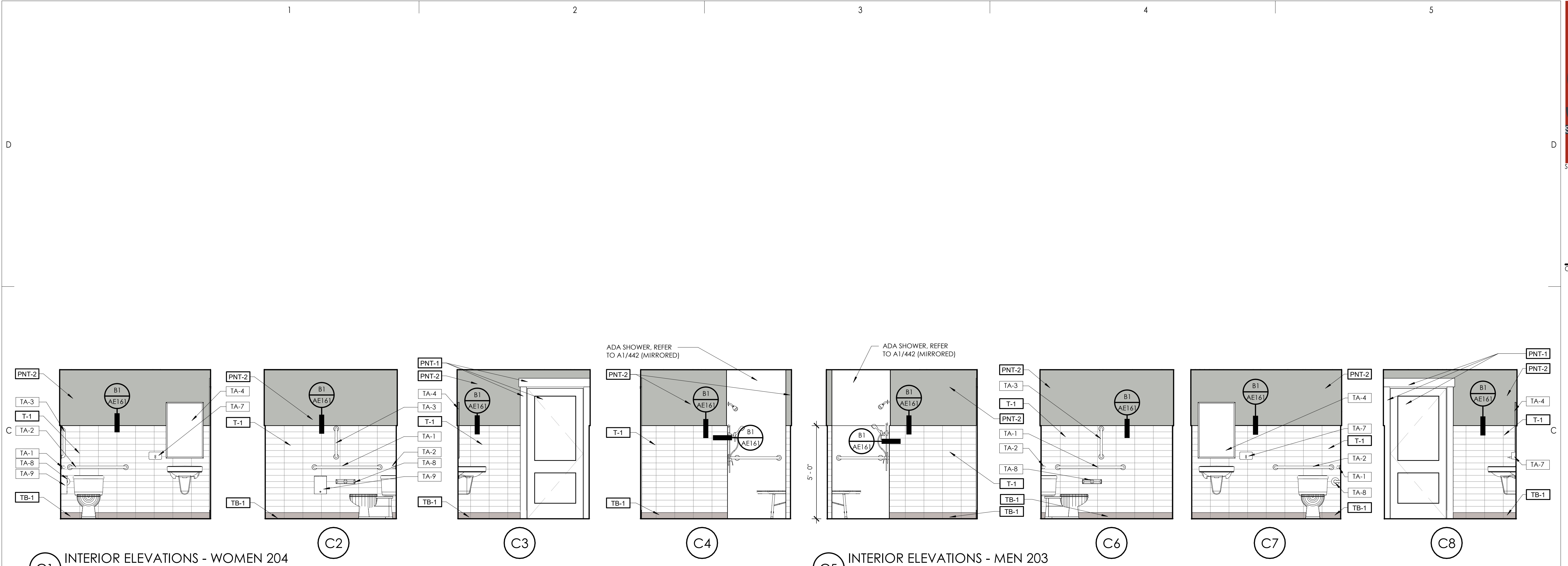
| Revision | No. | Date     | Description          |
|----------|-----|----------|----------------------|
|          | 1   | 09.21.23 | PLAN REVIEW          |
|          | 2   | 02.01.24 | PLAN REVIEW/REDESIGN |

| SAA Project No. | 2022-11             |
|-----------------|---------------------|
| Drawing Title   | INTERIOR ELEVATIONS |

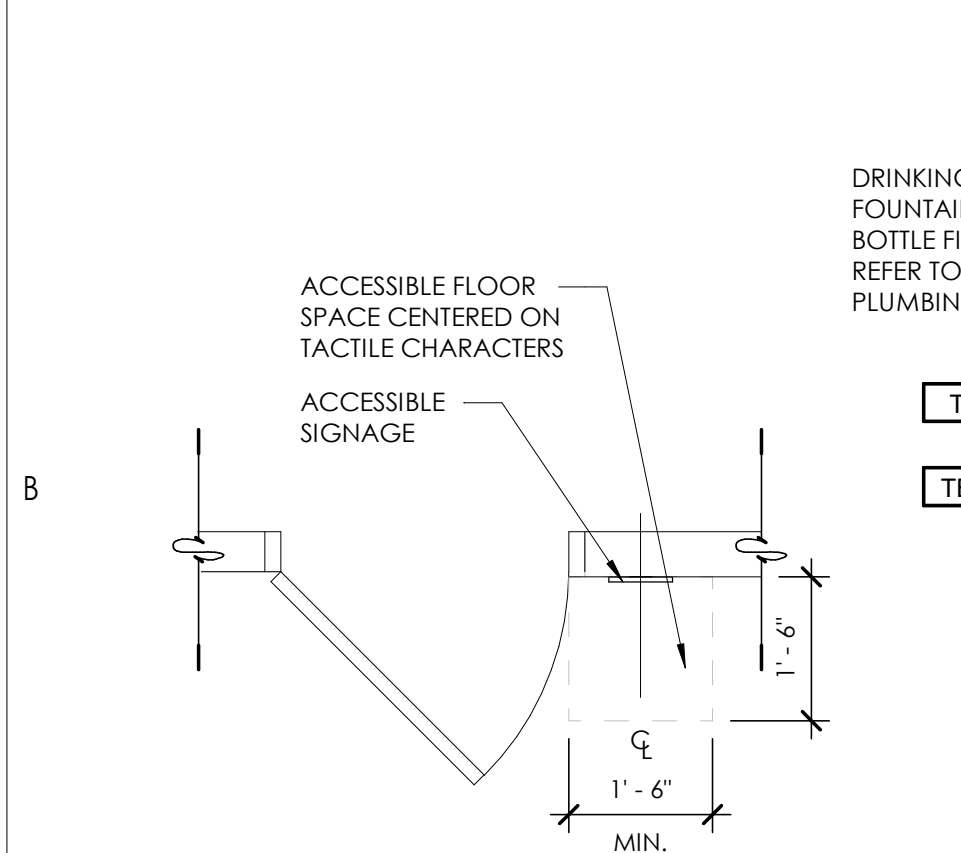
| Sheet Number | AE441 |
|--------------|-------|
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**NOT FOR CONSTRUCTION**

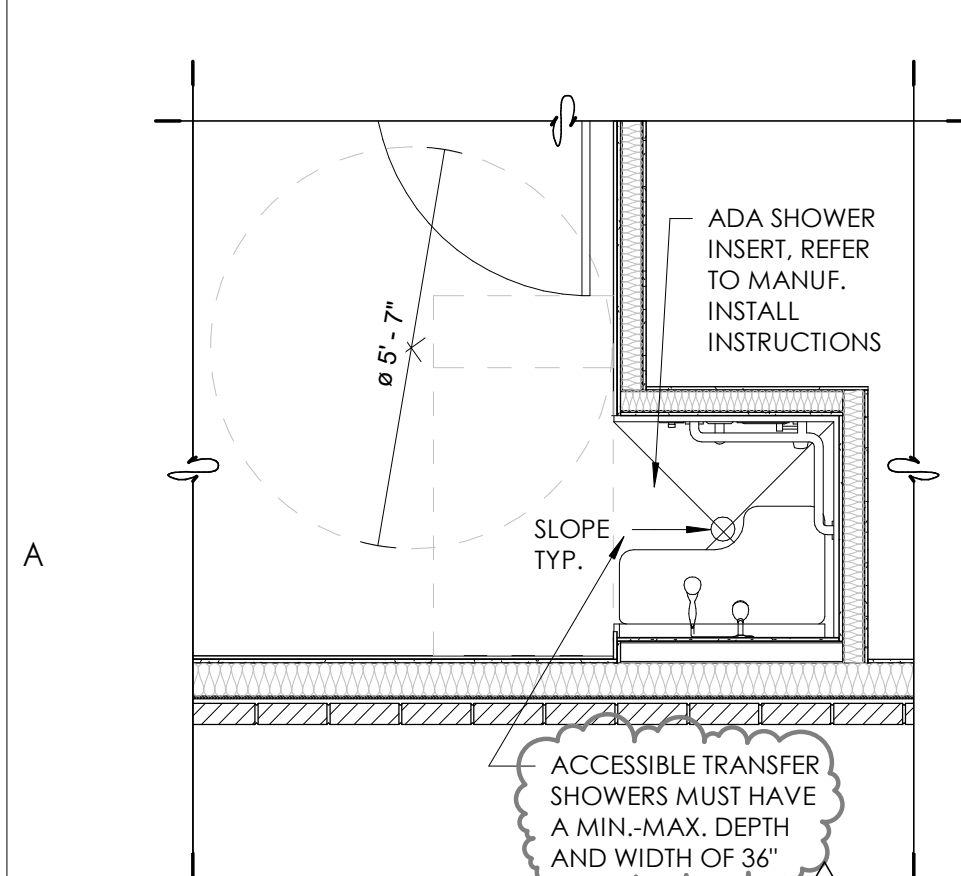




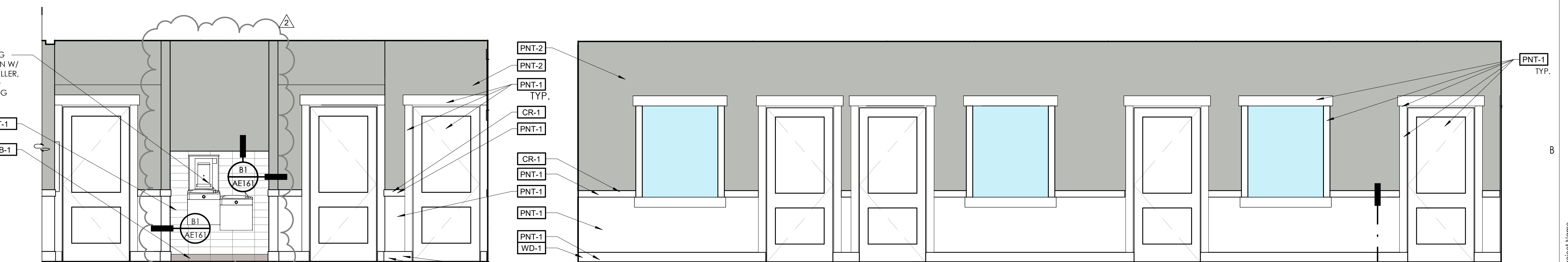
C1 INTERIOR ELEVATIONS - WOMEN 204 3/8" = 1'-0"  
C2 C3 C4 C5 INTERIOR ELEVATIONS - MEN 203 3/8" = 1'-0"  
C6 C7 C8



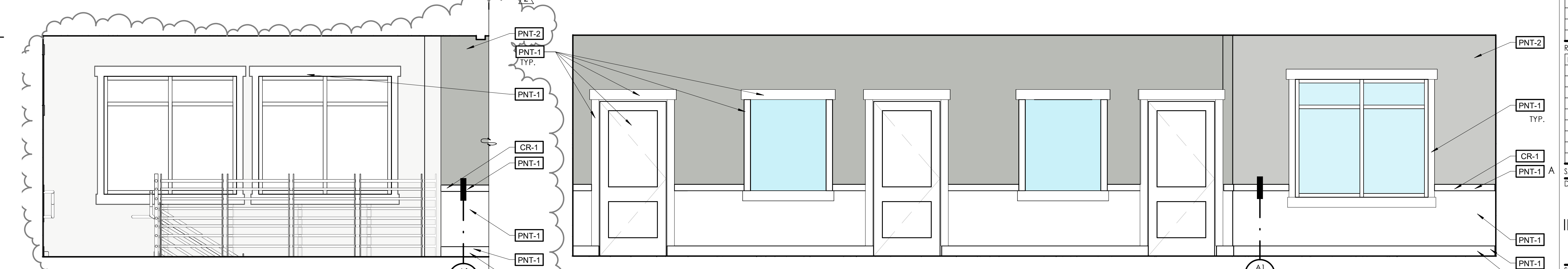
B1 ADA SIGNAGE 1/2" = 1'-0"



A1 ADA SHOWER 3/8" = 1'-0"



B2 INTERIOR ELEVATION - HALL 201 3/8" = 1'-0"  
B4 INTERIOR ELEVATION - HALL 105 3/8" = 1'-0"



A2 INTERIOR ELEVATION - HALL 201 3/8" = 1'-0"  
A4 INTERIOR ELEVATION - RECEPTION 104 3/8" = 1'-0"

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CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

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|------------|----------|-------------|
| 1          | 09.21.23 | PLAN REVIEW |
| 2          | 02.29.24 | PLAN REVIEW |

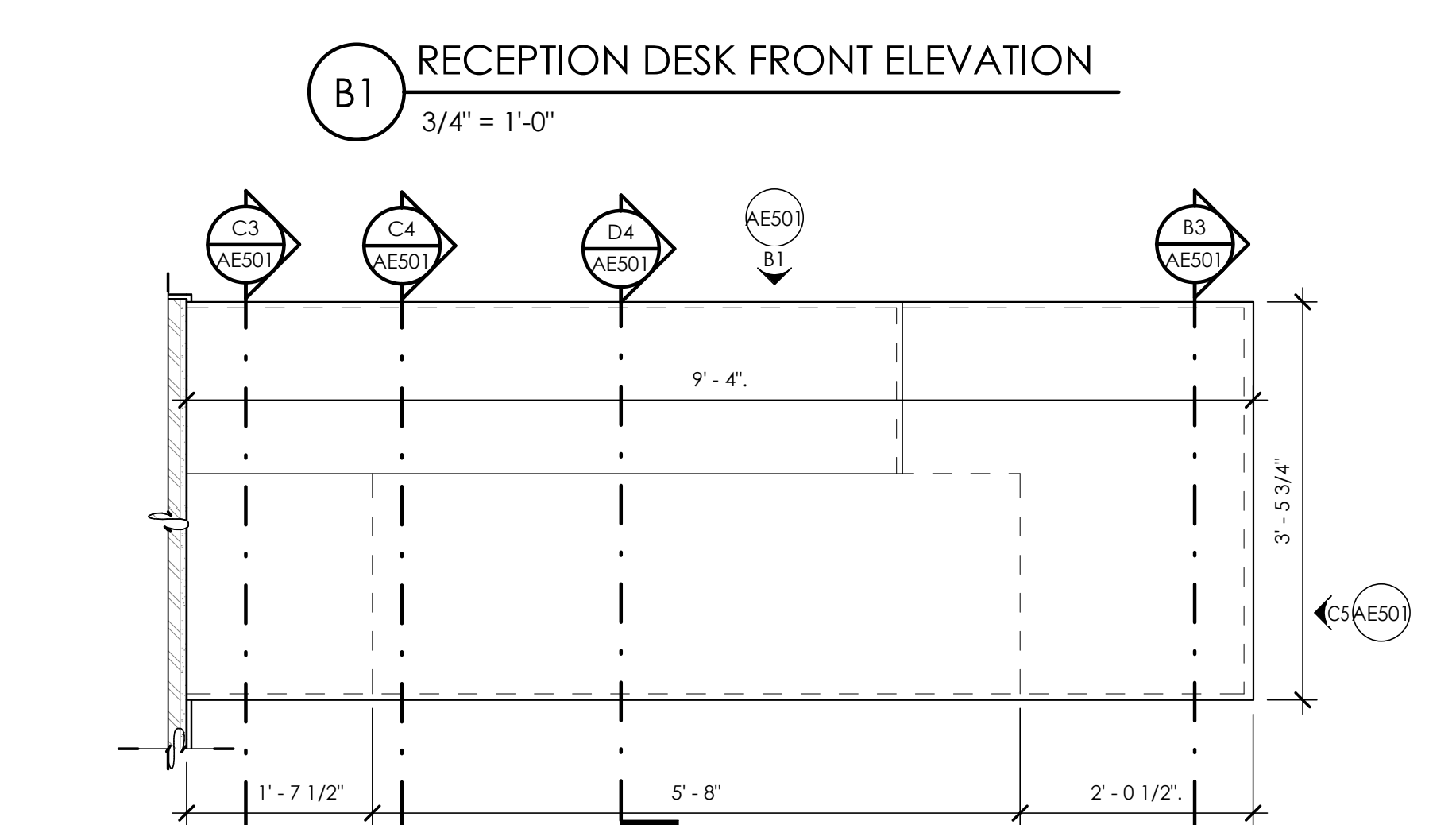
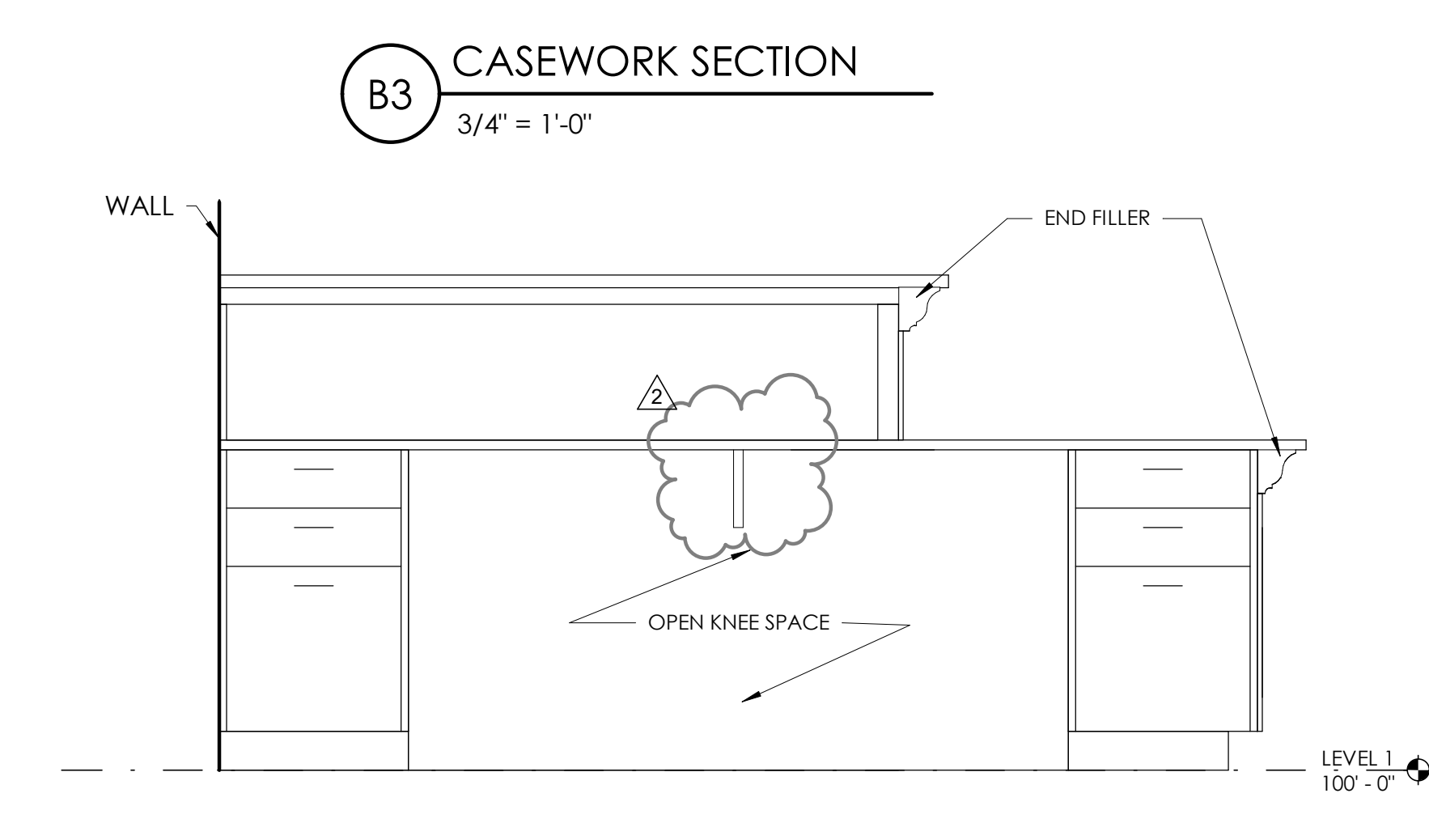
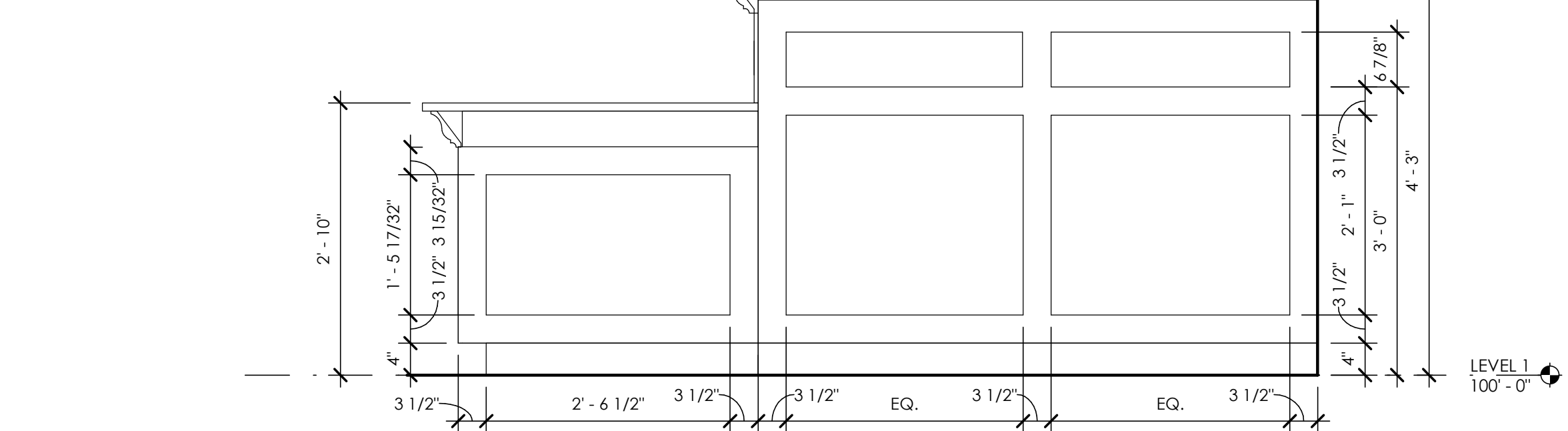
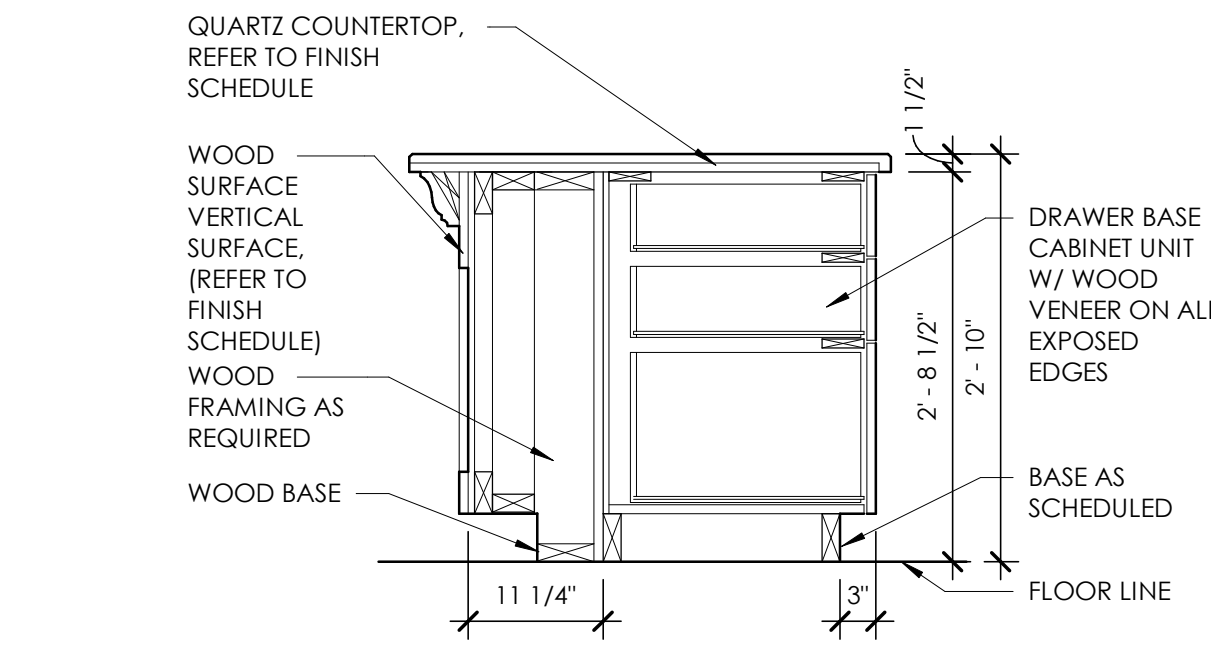
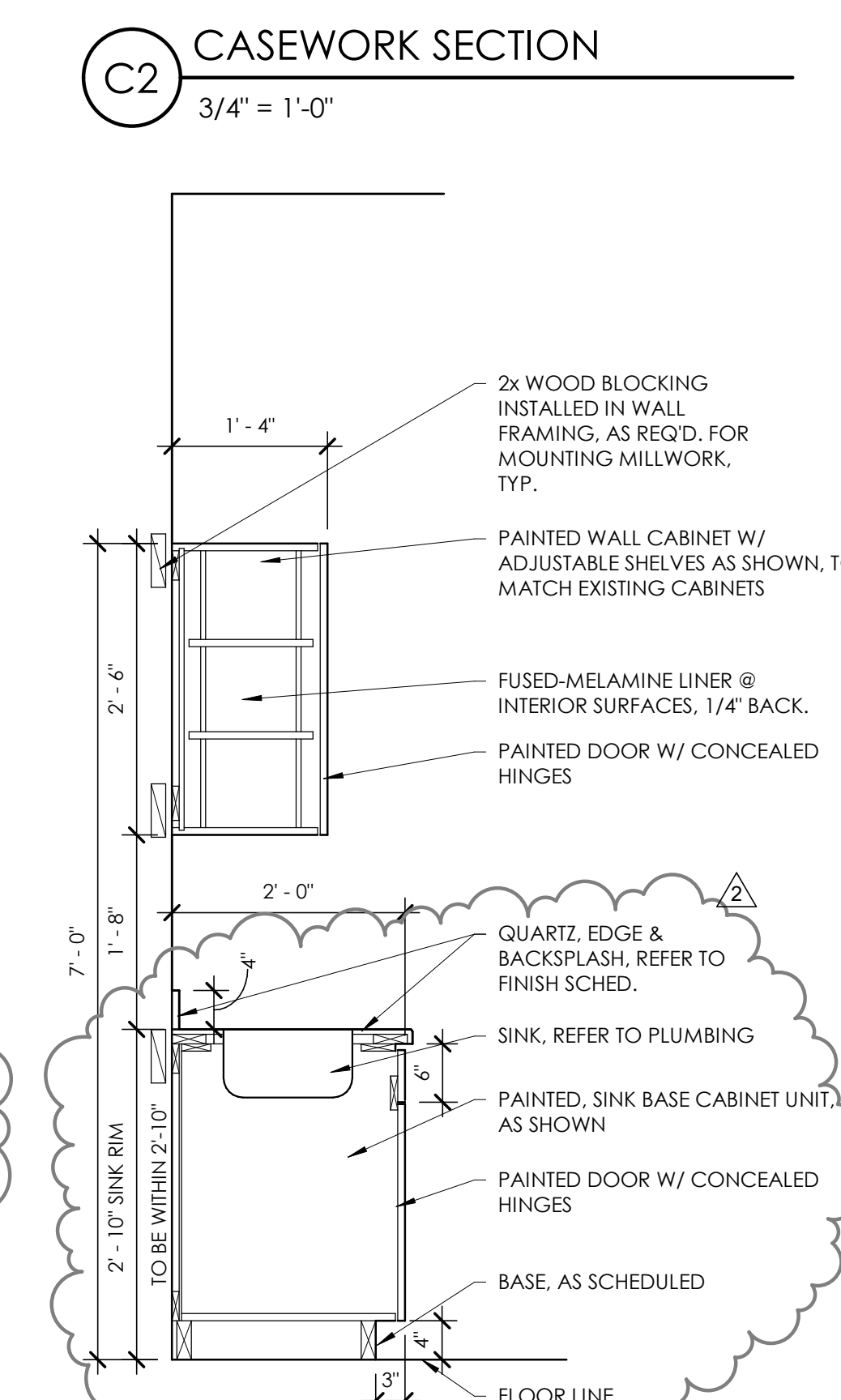
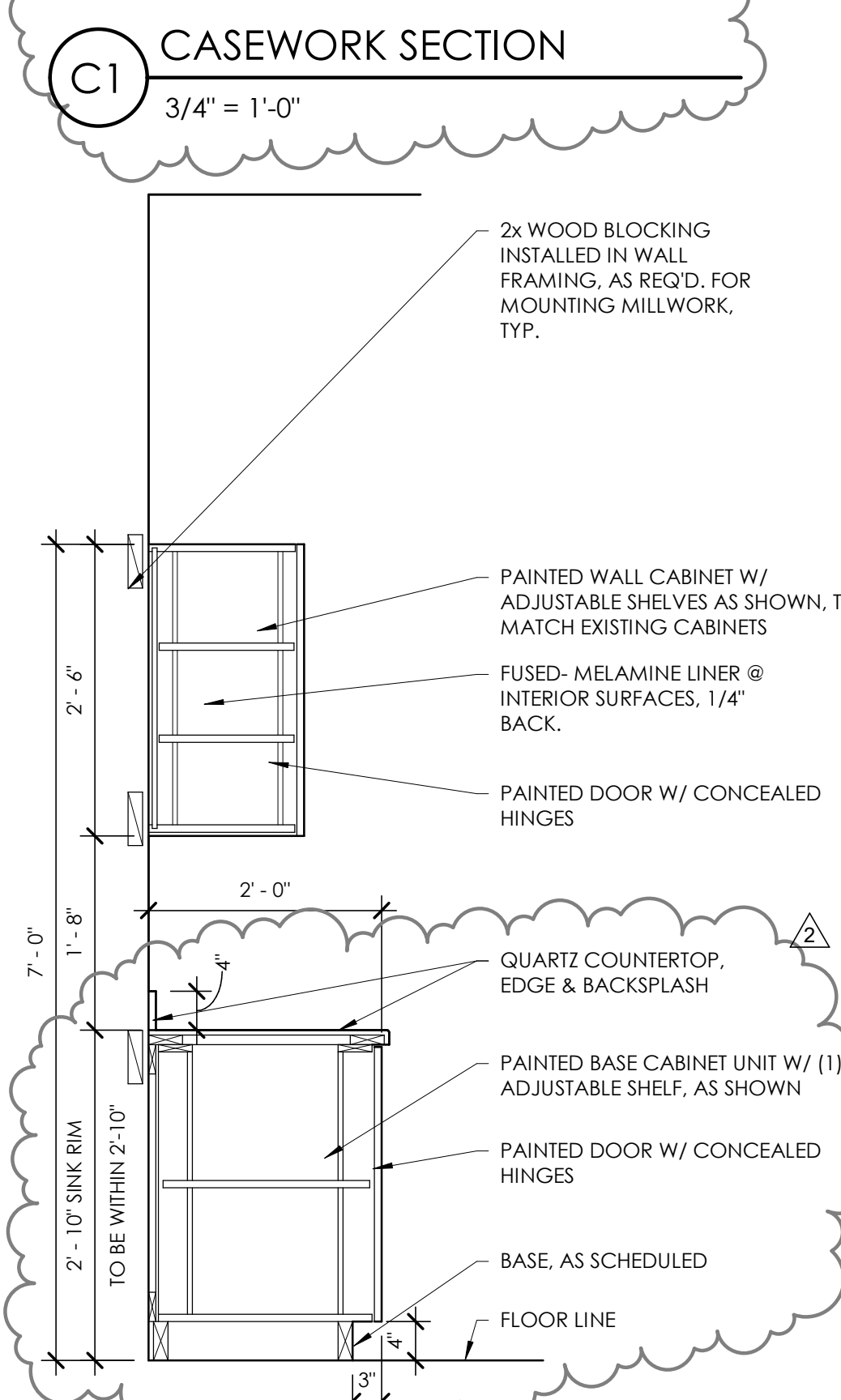
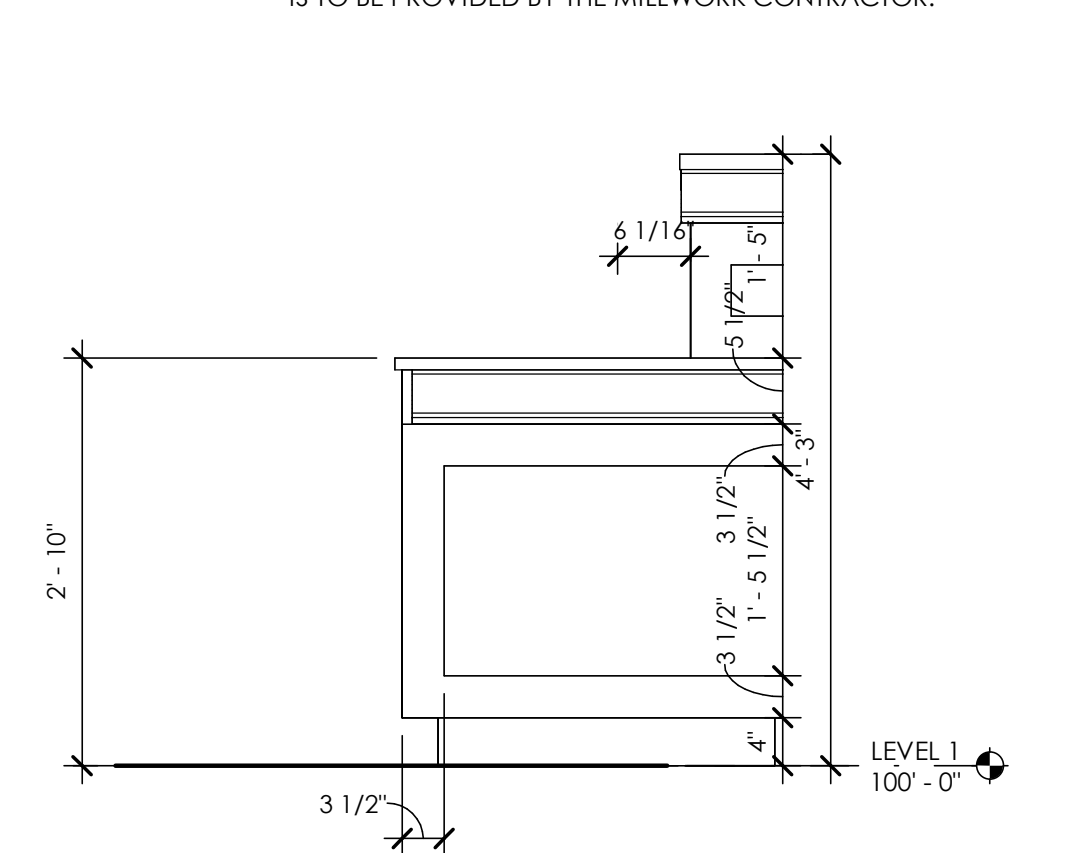
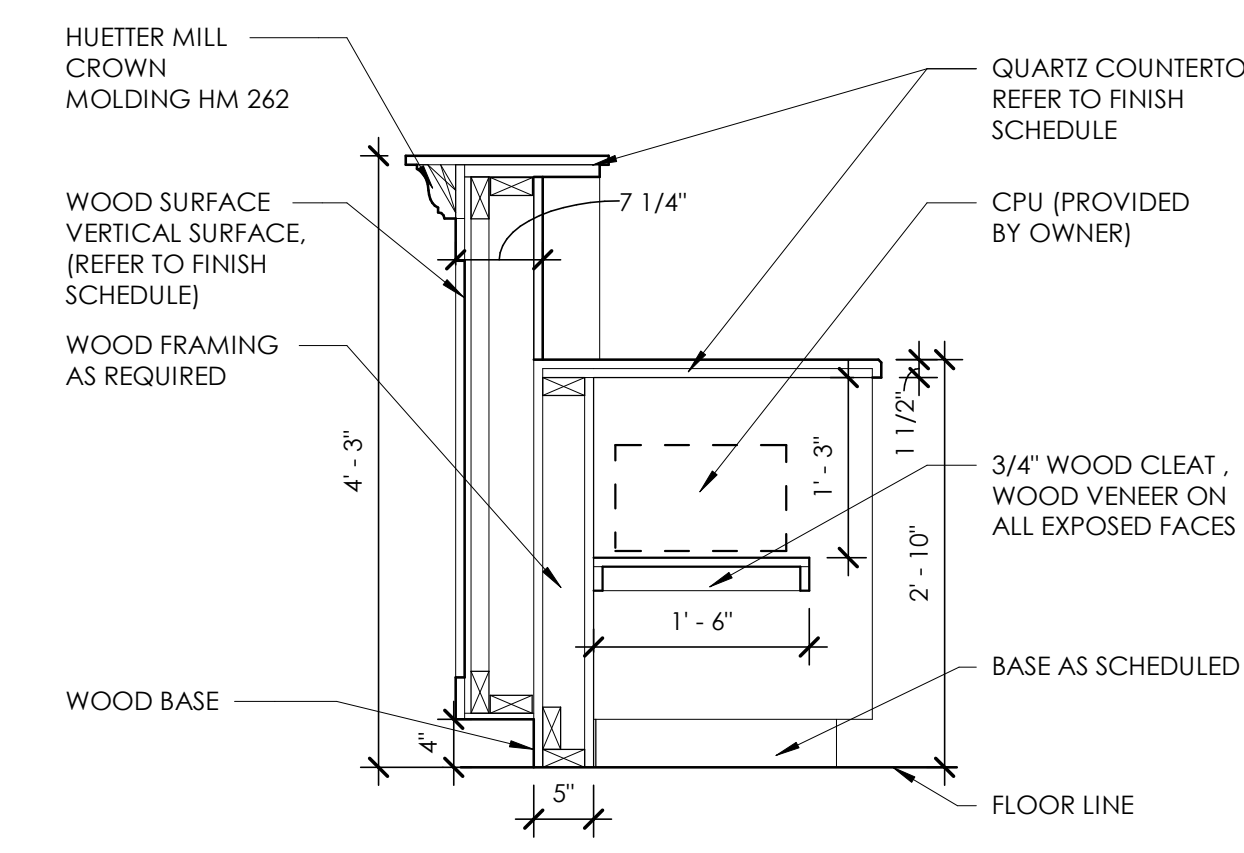
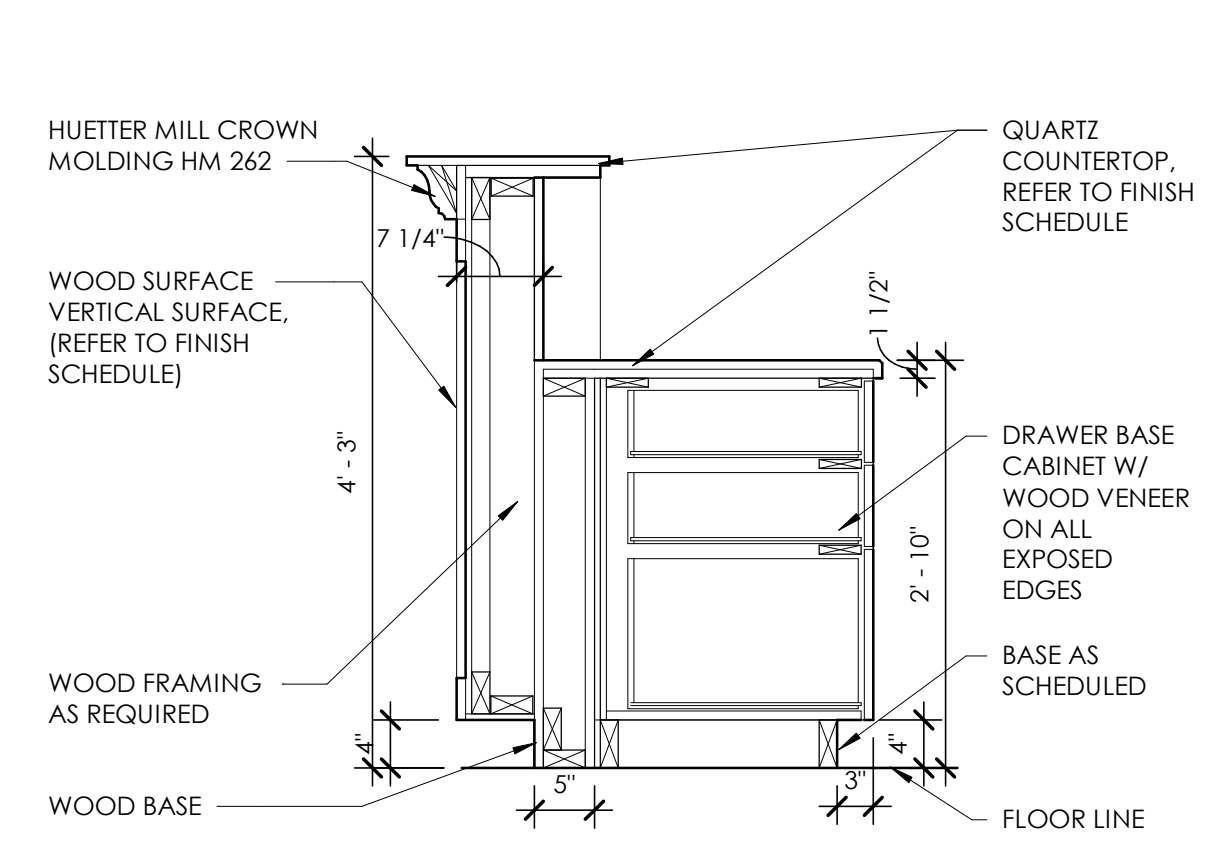
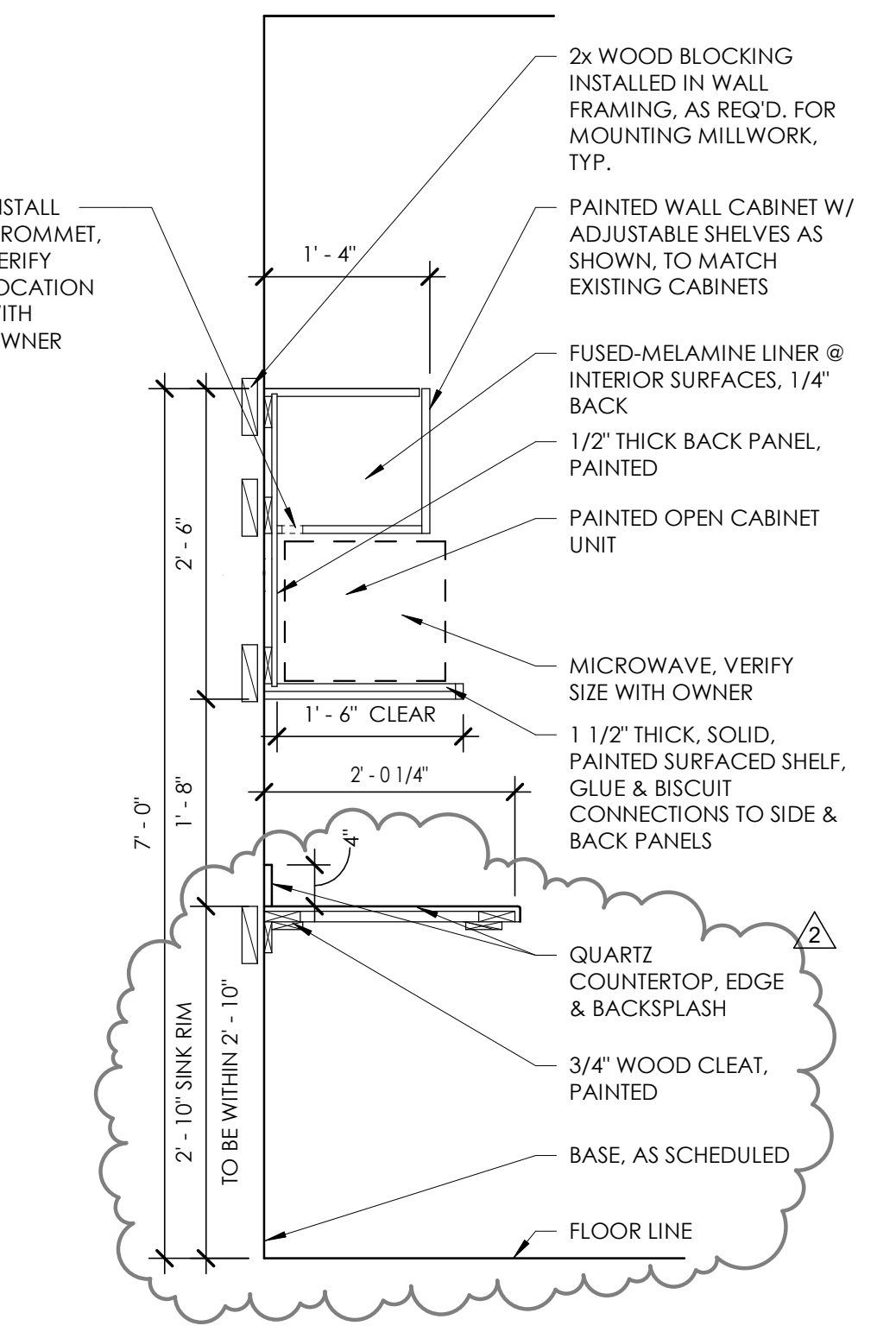
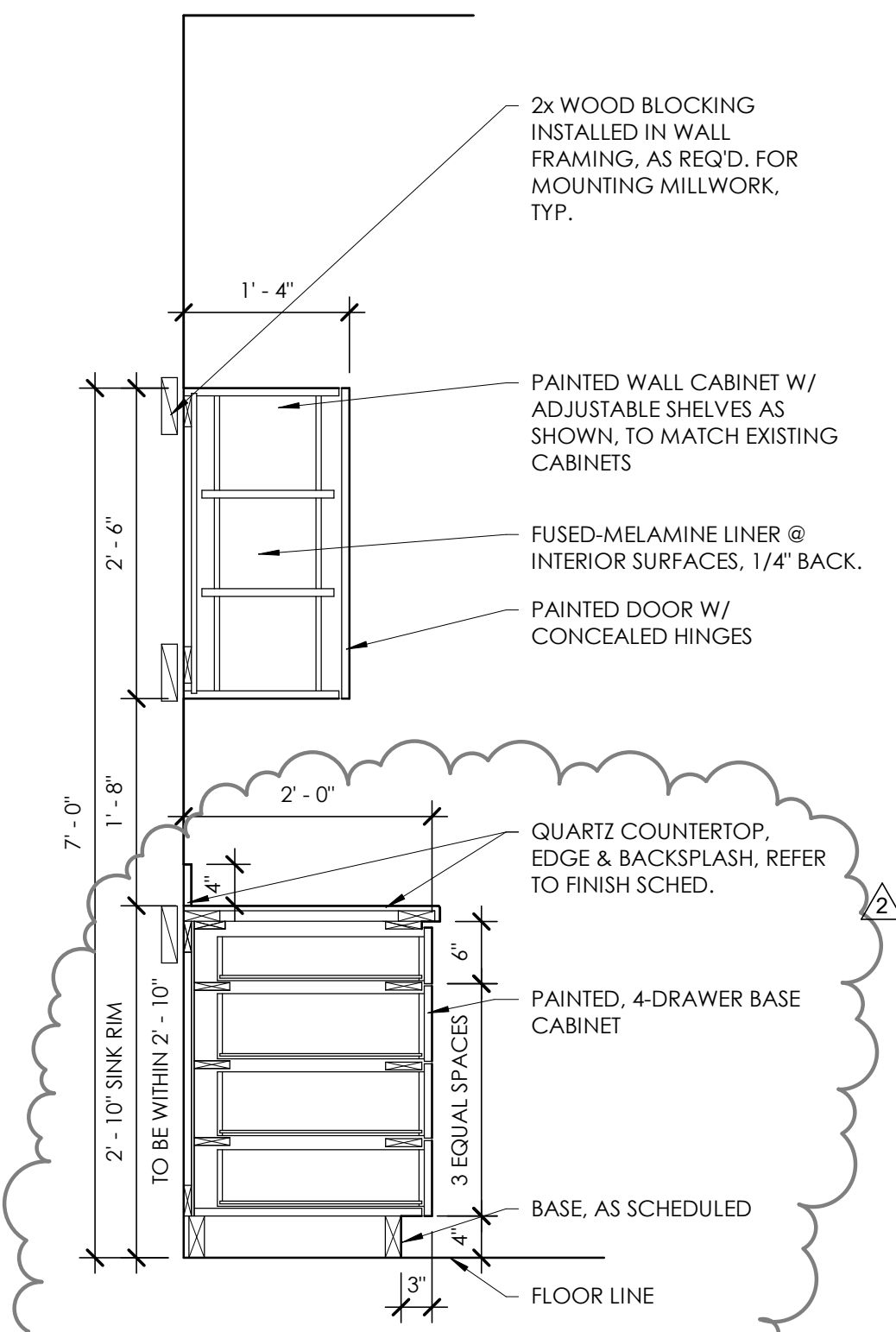
| Revision No. | Date     | Description          |
|--------------|----------|----------------------|
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

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Drawing Title  
**INTERIOR ELEVATIONS**  
Sheet Number  
**AE442**

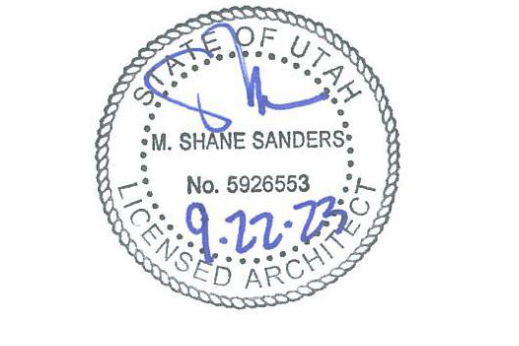


| MILLWORK HARDWARE SCHEDULE |  |
|----------------------------|--|
| TYPE                       | DESCRIPTION  |
| HINGES                     | BLUM #7411590B (OR EQUAL)  |
| DRAWER SLIDES              | DRAWER SLIDES FOR STANDARD DRAWERS SHALL BE BLUM B2530E, OR EQUAL WITH 100 POUND RATING AND BAKED ENAMEL CORROSION RESISTANT FINISH. FILE DRAWERS AND PAPER DRAWERS SLIDES SHALL BE KV 8500, OR EQUAL FULL EXTENSION WITH 150 POUND RATING |
| PULLS                      | LIBERTY HARDWARE OR EQUIVALENT, SENI CIRCULAR WIRE STEEL PULL WITH SATIN NICKLE FINISH, 128 MM C-TO-C, MODEL NO. P84612-SN-C   |
| CATCHES                    | FRICITION ROLLER CATCH EQUAL TO HAFELE 241.01.719 OR AMEROCK 9823-2G   |
| FILE DRAWER SLIDES         | KV 8500 FULL EXTENSION   |
| SCREW                      | REED AND PRINCE SQUARE DRIVE SCREWS, STANDARD WOOD SCREWS AND SHEET METAL SCREWS ARE NOT ACCEPTABLE  |
| CABLE GROMMETS             | HAFELE 429.94.310, ZINC DIE-CAST, BLACK FINISH (2 PER RECEPTION COUNTERS)  |

GENERAL NOTES:  
BREAK ROOM COUNTERS, LAVATORY, FAUCET, CABINETS AND APPLIANCES TO BE PROVIDED WITH REACH, HEIGHT AND GRASP IN CONFORMANCE WITH ALL ACCESSIBLE REQUIREMENTS.



- GENERAL MILLWORK NOTES**
- GENERAL NOTE: WALL MOUNTED MECHANICAL AND ELECTRICAL DEVICES, SUCH AS , BUT NOT LIMITED TO : POWER, DATA, AV OUTLETS, HORNSTROBE, SWITCHES, CO2 SENSORS, AND THERMOSTATS, ARE TO BE INSTALLED AS LOCATED ON THE ARCHITECTURAL ELEVATIONS. MECHANICAL AND ELECTRICAL CONTRACTORS ARE TO COORDINATE WITH STUD FRAMING PRIOR TO ROUGH-IN TO ENSURE PRECISE LOCATIONS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR TYPE AND QUANTITY. WHERE NOT INDICATED REFER TO ADA MOUNTING HEIGHTS FOR MOUNTING LOCATION GUIDELINES.
1. ALL MILL WORK DIMENSIONED FROM BASE TO TOP OF IDENTIFIED COUNTERTOP, TYP.
  2. CABINET DEPTHS IS MEASURED FROM THE WALL TO THE FACE OF THE DOOR OR DRAWER FRONT (WHERE APPLICABLE)
  3. PROVIDE BASE AT ALL CABINET TOE SPACE, UNLESS NOTED OTHERWISE
  4. PROVIDE GROMMET WHERE "G" IS LABELED ON PLANS OR ELEVATIONS
  5. ALL COUNTERTOPS AT SINK LOCATIONS TO HAVE A 4" BACKSPLASH, UNLESS NOTED OTHERWISE TO MATCH COUNTERTOP, ON BACK SIDE WALLS
  6. PROVIDE FILLER PANELS TO SEAL SIDES AND TOPS OF ALL CABINETS PLACES AT AN ANGLE TO ADJACENT WALL
  7. ALL MILLWORK TO BE FINISHED ON ENDS, TYP.
  8. CONTRACTOR TO PROVIDE BLOCKING BEHIND ALL CABINETS , AS WELL AS ALL WALL MOUNTED ACCESSORIES, INCLUDING WHITE BOARDS, TACK BOARDS, TOILET AND URINAL PARTITIONS AND TOILET ROOM ACCESSORIES ECT., NOTE: ONLY 2X WOOD BLOCKING ACCEPTABLE BEHIND MILLWORK AND TOILET ROOM PARTITIONS
  9. REFER TO SPECIFICATIONS FOR FINISH COLORS ON ALL MILLWORK AND CASEWORK
  10. GLASS ATTACHED TO THE MILLWORK CABINETS AND COUNTERS IS TO BE PROVIDED BY THE MILLWORK CONTRACTOR.



Consultant

**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

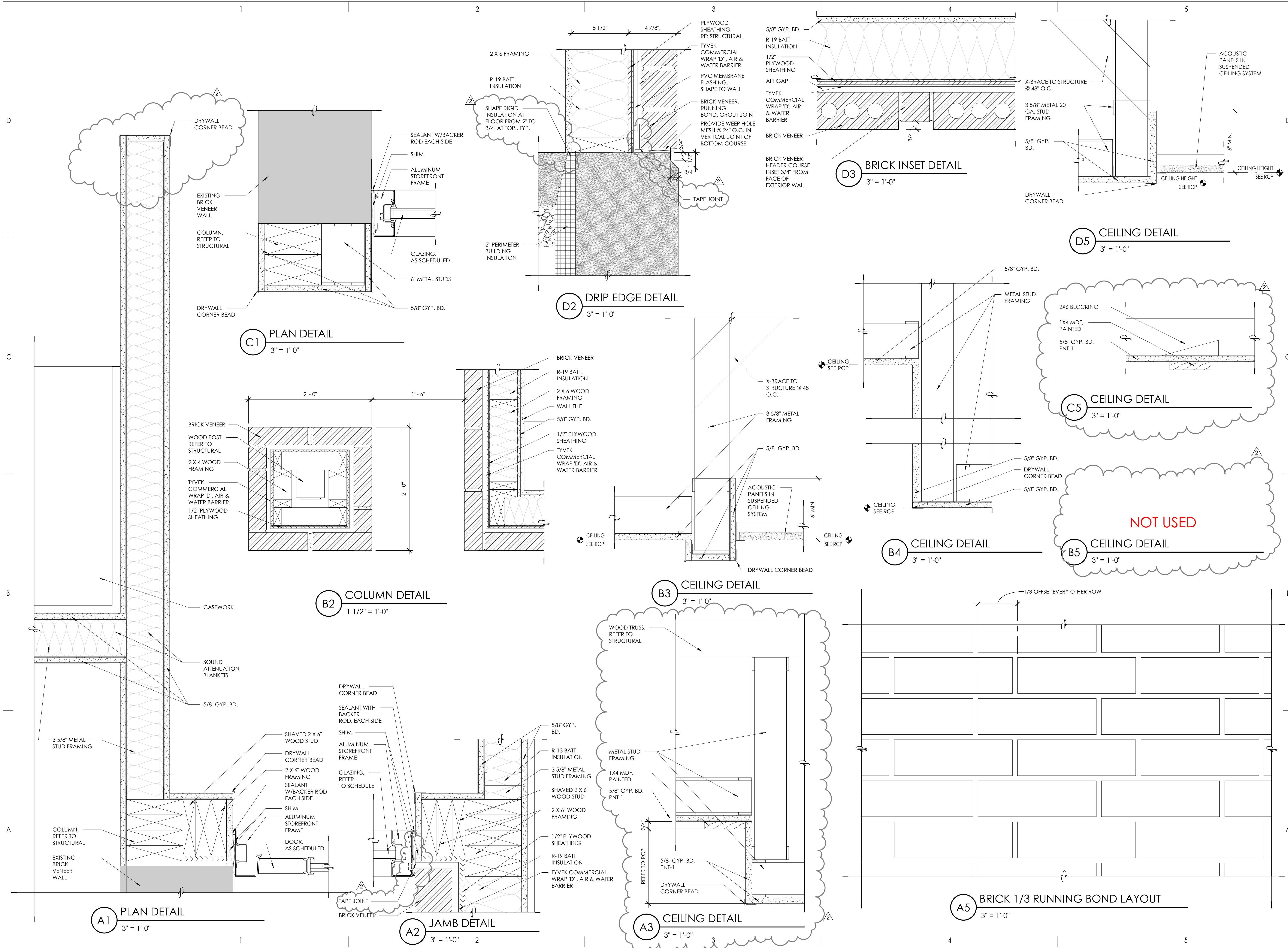
| Issued |          |             |
|--------|----------|-------------|
| No.    | Date     | Description |
| 1      | 09.21.23 | PLAN REVIEW |
| 2      | 02.29.24 | PLAN REVIEW |

| Revision |          |                      |
|----------|----------|----------------------|
| No.      | Date     | Description          |
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Drawing Title  
**MILLWORK DETAILS**  
Sheet Number  
**AE501**





**JONES & ASSOCIATES**  
CONSULTING ENGINEERS  
6080 S FASHION POINT DRIVE  
SOUTH OGDEN, UT 84405

Project Name

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| 1          | 09.21.23 | PLAN REVIEW |
| 2          | 02.29.24 | PLAN REVIEW |

Revision

| No. | Date     | Description          |
|-----|----------|----------------------|
| 1   | 02.01.24 | PLAN REVIEW/REDESIGN |
| 2   |          |                      |

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Drawing Title

PLAN & CEILING DETAILS

Sheet Number

**AE521**



Project Name

| Issued No. | Date     | Description |
|------------|----------|-------------|
| 1          | 09.21.23 | PLAN REVIEW |
| 2          | 02.29.24 | PLAN REVIEW |

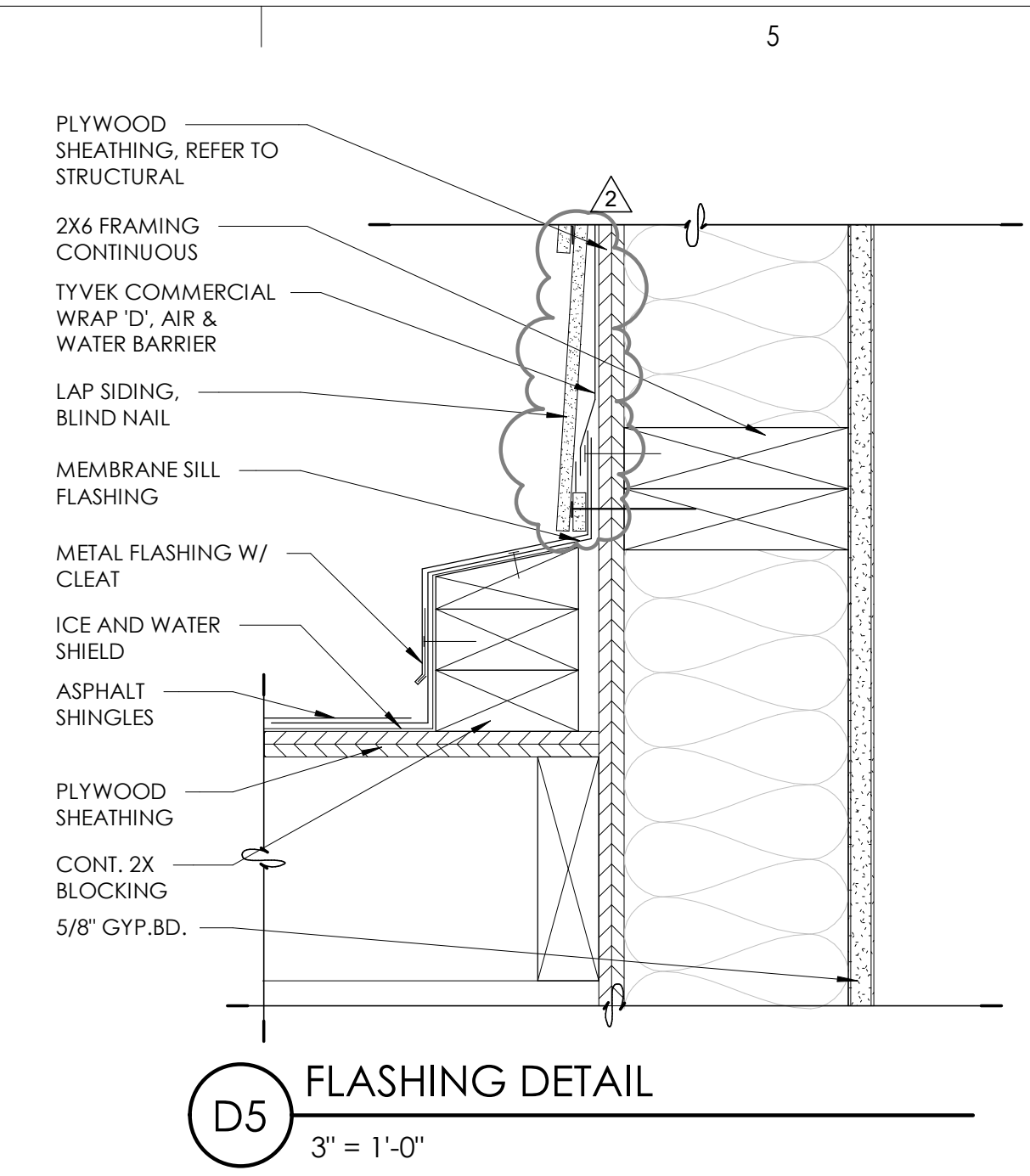
| Revision No. | Date     | Description          |
|--------------|----------|----------------------|
| 2            | 02.01.24 | PLAN REVIEW/REDESIGN |

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Drawing Title

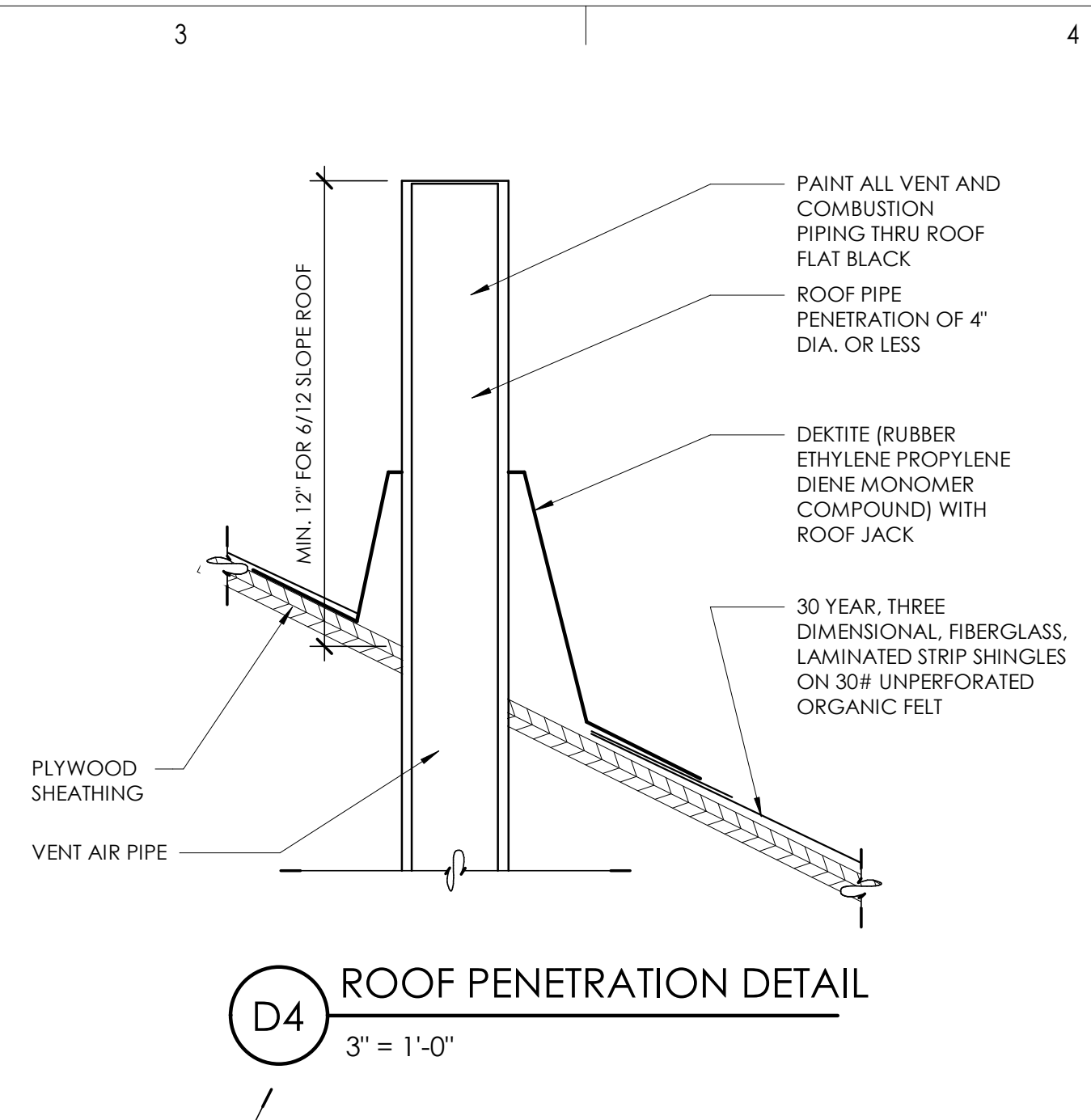
ROOF DETAILS

Sheet Number

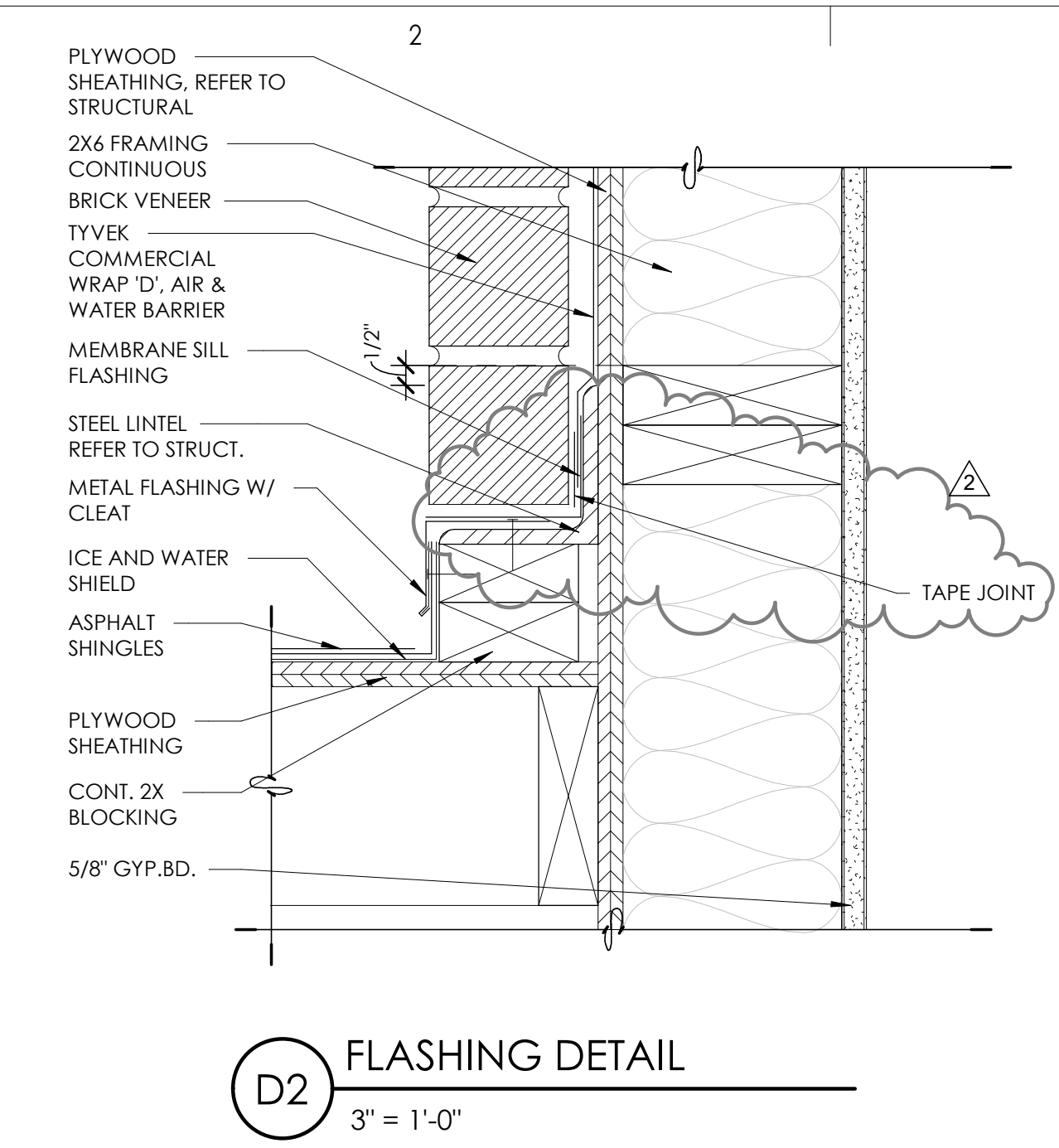
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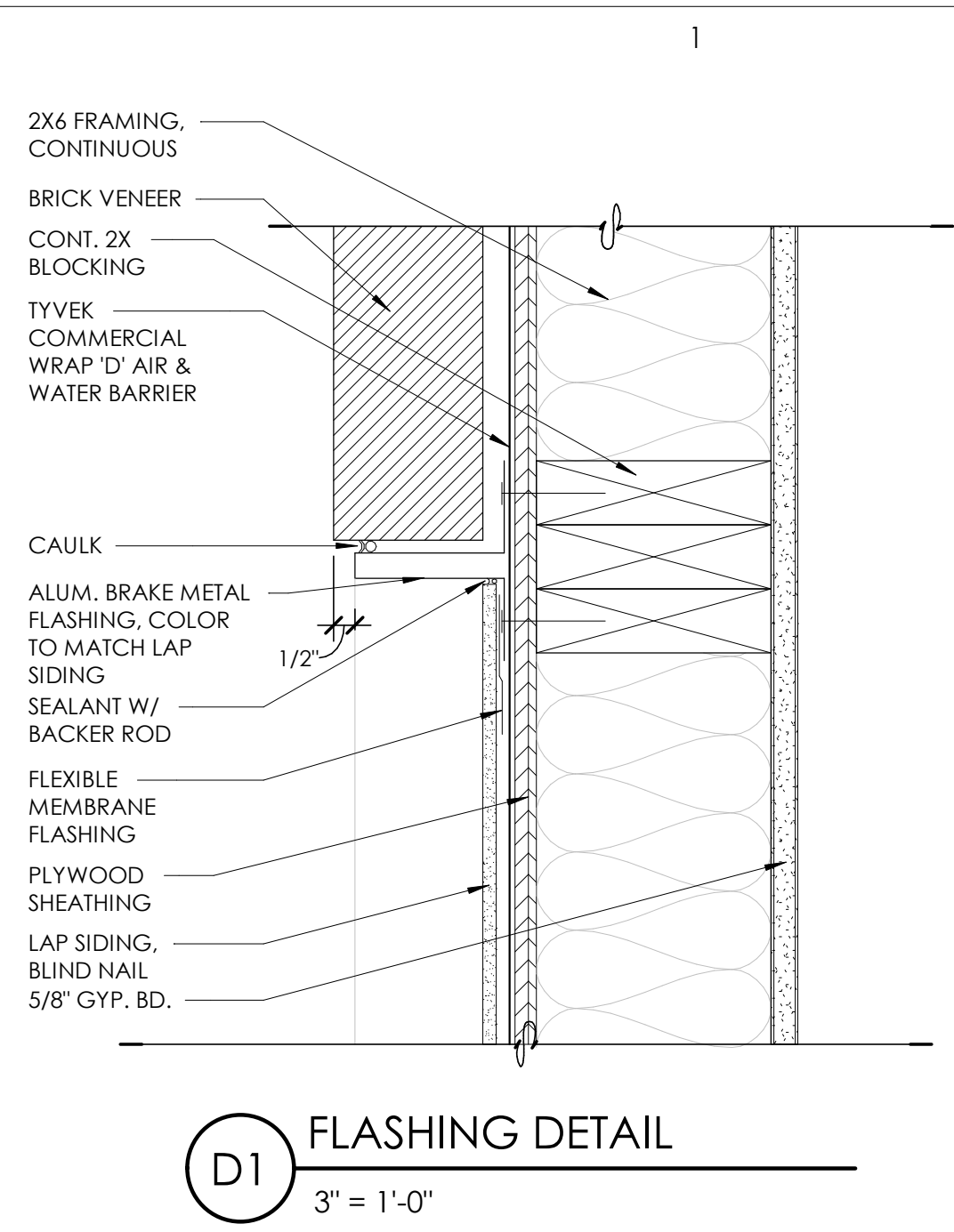
**D5** FLASHING DETAIL  
3" = 1'-0"



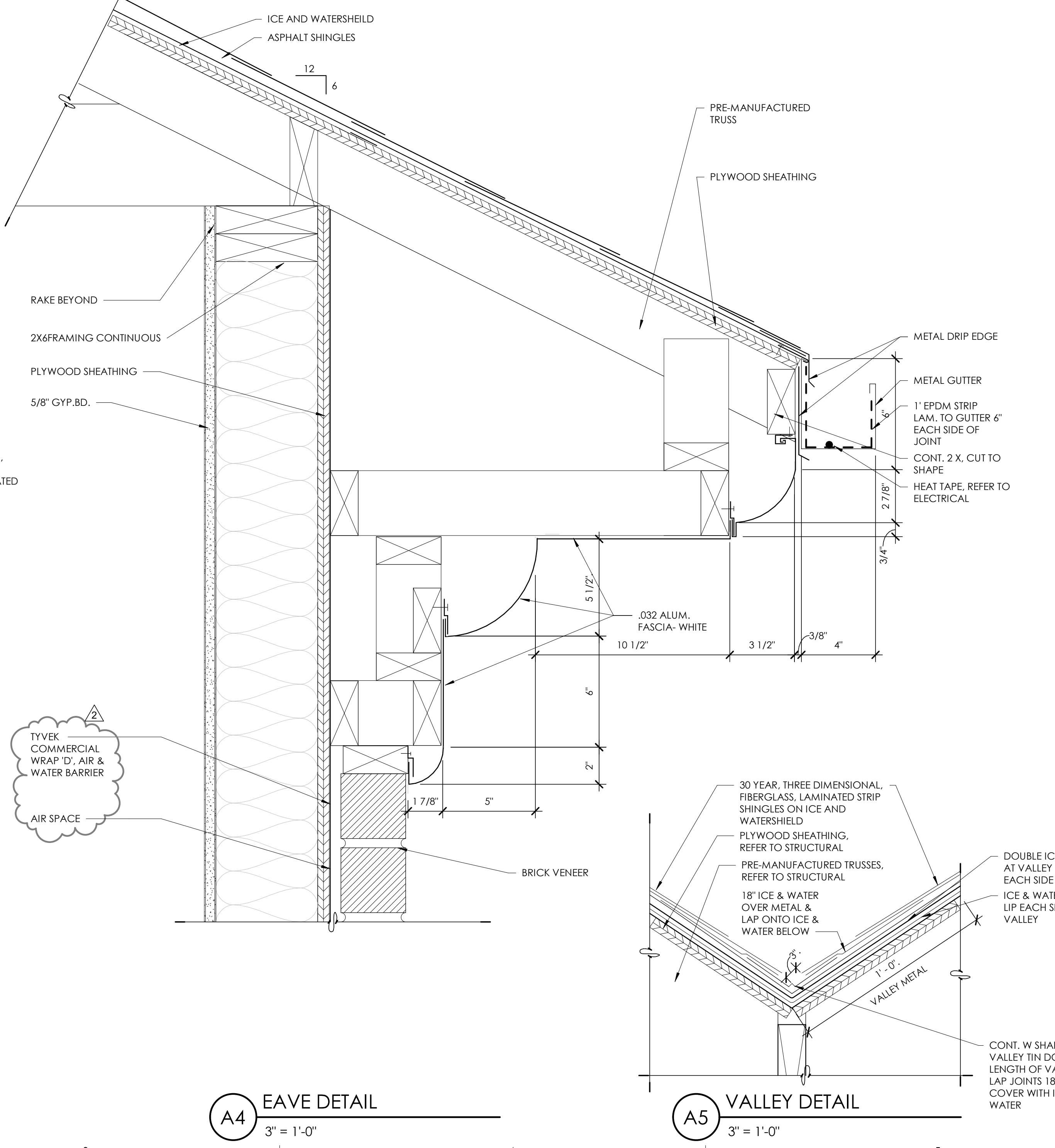
**D4** ROOF PENETRATION DETAIL  
3" = 1'-0"



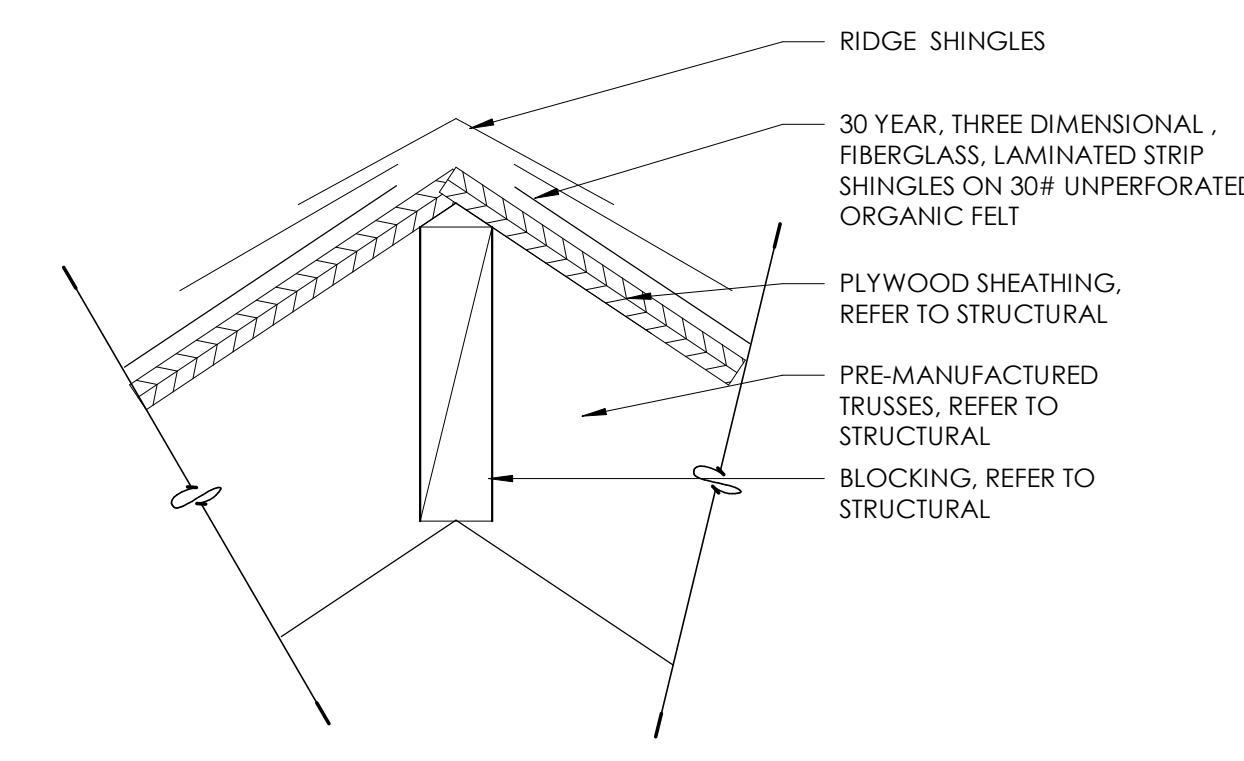
**D2** FLASHING DETAIL  
3" = 1'-0"



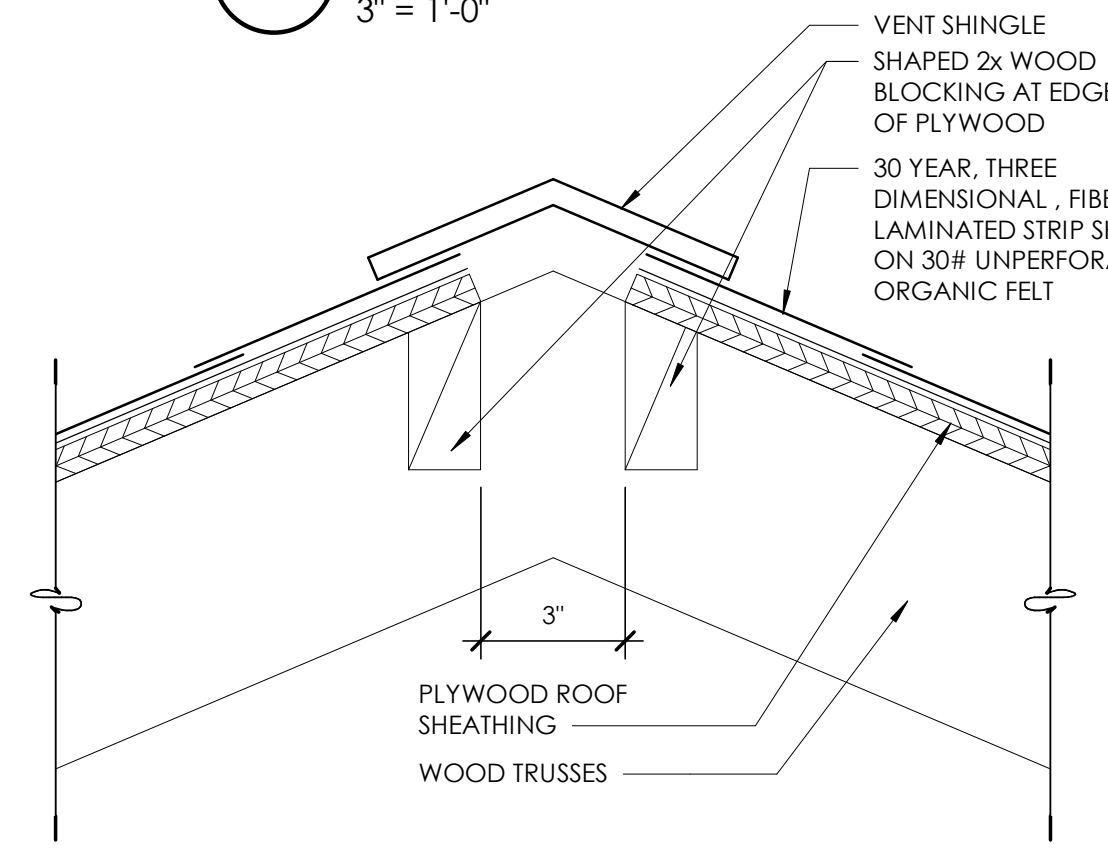
**D1** FLASHING DETAIL  
3" = 1'-0"



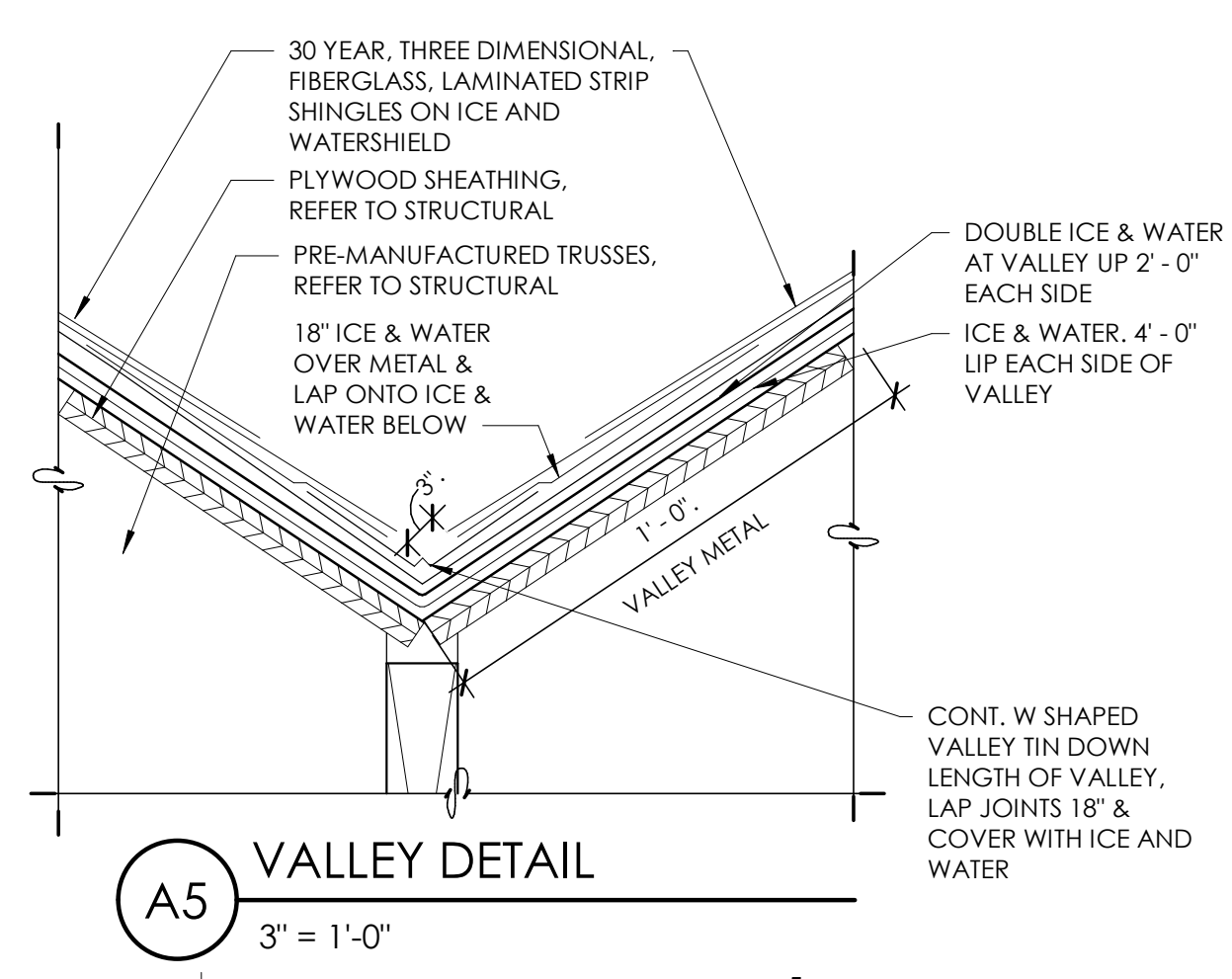
**A4** EAVE DETAIL  
3" = 1'-0"



**B3** RIDGE DETAIL  
3" = 1'-0"



**A3** RIDGE VENT DETAIL  
3" = 1'-0"



**A5** VALLEY DETAIL  
3" = 1'-0"