

Intermountain Healthcare LDS Hospital Operating Rooms 2 & 3 Diffuser Replacement

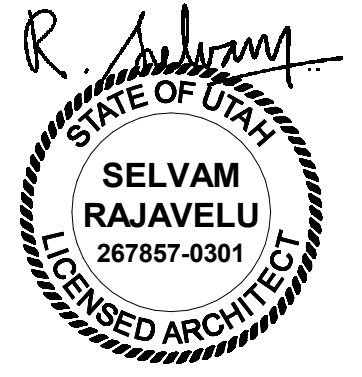
8th Avenue, C Street
Salt Lake City, UT 84143

Construction Documents

DESIGN TEAM	
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Intermountain Healthcare
LDS Hospital
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NJRA Project # 21202.00
Construction Documents May 20, 2021

Cover Sheet

G001

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INTERIM LIFE SAFETY MEASURES

IMPLEMENTATION OF INTERIM LIFE SAFETY MEASURES (ILSM) IS REQUIRED IN OR ADJACENT TO ALL CONSTRUCTION AREAS AND THROUGHOUT BUILDINGS WITH EXISTING LSC DEFICIENCIES. ILSM APPLY TO ALL PERSONNEL INCLUDING CONSTRUCTION WORKERS. MUST BE IMPLEMENTED UPON PROJECT DEVELOPMENT, AND CONTINUOUSLY ENFORCED THROUGH PROJECT COMPLETION. ILSM ARE INTENDED TO PROVIDE A LEVEL OF LIFE SAFETY COMPARABLE TO THAT DESCRIBED IN CHAPTERS 1 THROUGH 7, 31 AND THE APPLICABLE OCCUPANCY CHAPTERS OF THE LSC. EACH ILSM ACTION MUST BE DOCUMENTED THROUGH WRITTEN POLICIES AND PROCEDURES, EXCEPT AS STATED BELOW. FREQUENCIES FOR INSPECTION, TESTING, TRAINING, AND ILSM CONSIST OF THE FOLLOWING ACTIONS:

- ENSURING EXITS PROVIDE FREE AND UNOBSTRUCTED EGRESS. PERSONNEL SHALL RECEIVE TRAINING IF ALTERNATIVE EXITS MUST BE DESIGNATED. BUILDINGS OR AREAS UNDER CONSTRUCTION MUST MAINTAIN ESCAPE FACILITIES FOR CONSTRUCTION WORKERS AT ALL TIMES. MEANS OF EGRESS IN CONSTRUCTION AREAS MUST BE INSPECTED DAILY.
- ENSURING FREE AND UNOBSTRUCTED ACCESS TO EMERGENCY DEPARTMENTS/ SERVICES AND FOR EMERGENCY FORCES.
- ENSURE FIRE ALARM, DETECTION, AND SUPPRESSION SYSTEMS ARE NOT IMPAIRED. A TEMPORARY, BUT EQUIVALENT, SYSTEM SHALL BE PROVIDED WHEN ANY FIRE SYSTEM IS IMPAIRED. TEMPORARY SYSTEMS MUST BE INSPECTED AND TESTED MONTHLY.
- ENSURING TEMPORARY CONSTRUCTION PARTITIONS ARE SMOKE TIGHT AND BUILT OF NONCOM OR LIMITED COMBUSTIBLE MATERIALS THAT WILL NOT CONTRIBUTE TO THE DEVELOPMENT OR SPREAD OF FIRE.
- PROVIDING ADDITIONAL FIRE-FIGHTING EQUIPMENT AND USE TRAINING OF PERSONNEL.
- PROHIBITING SMOKING IN ACCORDANCE WITH MA.1.3.1.5 AND IN OR ADJACENT TO ALL CONSTRUCTION AREAS.
- DEVELOPING AND ENFORCING STORAGE, HOUSEKEEPING, AND DEBRIS REMOVAL PRACTICES THAT REDUCE THE FLAMMABLE AND COMBUSTIBLE FIRE LOAD OF THE BUILDING TO THE LOWEST LEVEL NECESSARY FOR DAILY OPERATIONS.
- CONDUCTING A MINIMUM OF TWO FIRE DRILLS PER SHIFT PER QUARTER.
- INCREASING HAZARD SURVEILLANCE OF BUILDINGS, GROUNDS, AND EQUIPMENT WITH SPECIAL ATTENTION TO EXCAVATIONS, CONSTRUCTION AREAS CONSTRUCTION STORAGE, AND FIELD OFFICES.
- TRAINING PERSONNEL WHEN STRUCTURAL OR COMPARTMENT FEATURES OF FIRE SAFETY ARE COMPROMISED.
- CONDUCTING ORGANIZATION WIDE SAFETY EDUCATION PROGRAMS TO ENSURE AWARENESS OF ANY LSC DEFICIENCIES, CONSTRUCTION HAZARDS, AND THESE ILSM.

PROJECT DESCRIPTION

AT LDS HOSPITAL, THERE ARE A FEW OPERATING ROOMS IN THE SURGERY SUITE WITH FULL WALL TYPE DIFFUSERS. THESE DIFFUSERS ARE SEVERAL YEARS OLD AND FILTER REPLACEMENT IS GETTING HARDER. AS PART OF THIS PROJECT, THE DIFFUSERS ARE BEING REPLACED WITH NEW AND ADVANCED FILTERS IN THE OPERATING ROOMS 2 AND 3.

APPROVALS

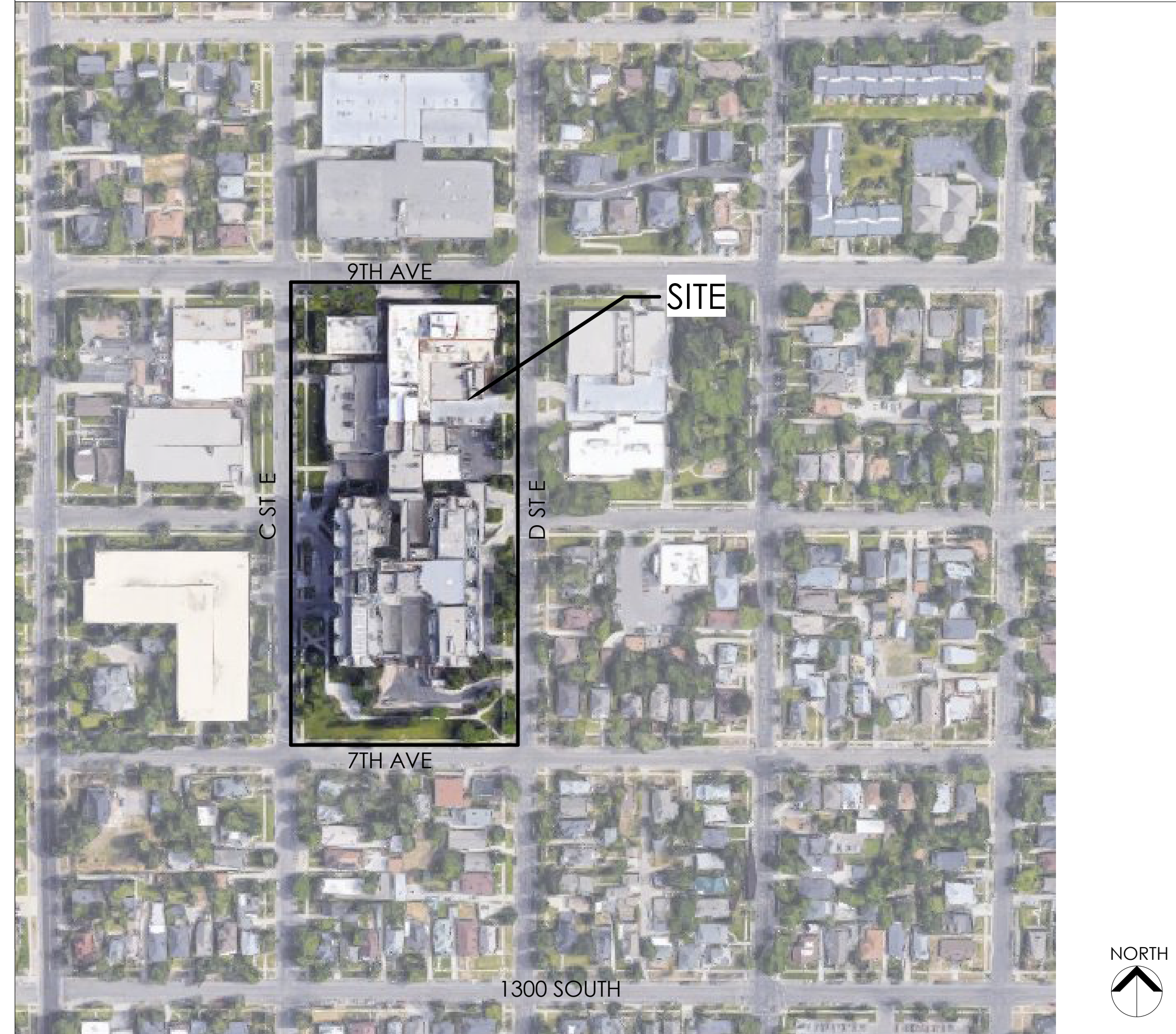
Approver Name, Title _____ Date _____

Approver Name, Title _____ Date _____

Approver Name, Title _____ Date _____

Approver Name, Title _____ Date _____

VICINITY MAP



DRAWING INDEX

GENERAL

G001	Cover Sheet
G002	General Information
G003	General Information
G005	General Legend & Notes

ARCHITECTURAL

A131A	Demolition Floor Plan Level 3
A133	Floor Plan Level 3 - Overall
A133A	Floor Plan Level 3

MECHANICAL

ME000	Mechanical Symbols & Legend
M133	Mechanical Plan Level 3 - Overall
MD131A	Mechanical Demolition Plan Level 3
M133A	Mechanical Plan Level 3

INFECTION CONTROL RISK ASSESSMENT

CONSTRUCTION ACTIVITY TYPE

Major demolition or construction that creates major disruption, i.e. noise, dust, vibration, odor, or mechanical systems includes, but not limited to:

- heavy demolition or removal of a complete ceiling system
- new construction or buildout of shielded space

INFECTION CONTROL RISK GROUP

Highest: Operating Room

CONSTRUCTION CLASS

Construction Activity Type:

IC Risk Group	Type A	Type B	Type C	Type D
Lowest	Class I	Class II	Class III	Class IV
Medium	Class I	Class II	Class III	Class IV
High	Class I	Class II	Class III	Class IV
Highest	Class I	Class II	Class III	Class IV

INFECTION CONTROL PROTOCOLS

- During Construction (Class IV):
- Platform work using methods to minimize raising dust or tracking dust into other areas.
 - Immediately replace ceiling tile upon completion of inspection.
 - Use active dust control measures.
 - Use water mist to control dust while cutting.
 - Seal doors, ducts, vents and HVAC units.
 - Place dust control mats at entries to work area; keep them clean and effective.
 - Remove debris only in tightly covered containers.
 - Construct barriers to prevent dust and other contaminant migration prior to beginning work.
 - Maintain negative air pressure in work space using HEPA filtration units.
 - Seal all pipes, conduits and penetrations.
 - Construct and use anteroom for all entry to work area; HEPA vacuum all personnel, or have them change clothing before they leave the work area.
 - All personnel wear shoe covers while in the work area and remove them before entering the hospital.

Upon Completion (Class IV):

- Clean work area.
- Wipe all horizontal surfaces with disinfectant.
- Remove final debris only in tightly covered containers.
- Vacuum using HEPA filtered vacuum; mop with disinfectant as appropriate.
- Remove oil seeds from doors, ducts, vents and HVAC units.
- Remove construction barriers in a manner that minimizes the spread of dust and debris.

ABBREVIATIONS

&	AND	DWL	DOWEL	INT.	INTERIOR	P.S.F.	POUNDS PER SQUARE FOOT	V.C.P.	VITREOUS CLAY PIPE
@	AT	DN.	DOWN	INV.	INVERT	R	RADIUS	W	WATER CLOSET
Ø	DIAMETER	D.S.	DOWN SPOUT	J	JANITOR	RAO.	RECOMMENDATION	W.C.	WATER HEATER
(E), EXIST.	EXISTING	D.W.V.	DRAINAGE WASTE VENT	JT.	JOINT	REG.	REGISTER	W.R.	WATER RESISTANT
(N)	NEW	DWG.	DRAWING	JST.	JOIST	REQ'D	REQUIRED	W.P.	WATERPROOF
d	PENNY	E	EACH	L	LAMINATED	R.A.	RETURN AIR	W.W.F.	WELED WIRE FABRIC
#	POUND OR NUMBER	E.A.	ELEC. WATER COOLER	L.A.M.	LAMINATED	REV.	REVISION	W.F.	WIDE FLANGE
A	ACOUSTIC	EL./ELEC.	ELECTRIC	LDG.	LANDING	R.D.	ROOF DRAIN	W.D.W.	WINDOW
AC	ADDENDUM	ELEV.	ELEVATION	LAV.	LAVATORY	RFG.	ROOFING	W/	WITH
A/C	AIR CONDITIONING	EQ.	EQUAL	LT.	LIGHT	RM.	ROOM	W/O	WITHOUT
ALT.	ALTERNATE	EQUIP.	EQUIPMENT	L.V.C.	LIGHT WEIGHT CONCRETE	RGH.	ROUGH	WD.	WOOD
AL	ALUMINUM	EXH.	EXHAUST	LVR.	LOUVER	RND.	ROUND		
A.B.	ANCHOR BOLT	EXST.	EXISTING	M	MACHINE BOLT	SCR.	SCREW		
ARCH	ARCHITECT(JURAL)	E.J.	EXPANSION JOINT	M.B.	MACHINE BOLT	SECT.	SECTION		
ASP.	ASPHALT	EXT.	EXTERIOR	MFR.	MANUFACTURER	SEL.	SELECT		
B	BASEMENT	F	FEET	M.O.	MASONRY OPENING	SHT.	SHEET		
BSMT.	BASEMENT	FV/F.V.	FIELD VERIFY	MATL.	MATERIAL	SM.	SIMILAR		
B.M.	BENCHMARK	FIN.	FINISHED	MAX.	MAXIMUM	SLDG.	SLIDING		
BLKG.	BLOCKING	F.E.	FIRE EXTINGUISHER	MECH.	MECHANICAL	S.M.	SMOOTH		
BD.	BOARD	F.E.C.	FIRE EXTINGUISHER CABINET	MTL.	METAL	SPEC.	SPECIFICATION		
B.O.	BOTTOM OF BLDG.	FIXT.	FIXTURE	MIN.	MINIMUM	SPL.	SPLASH		
C	CABINET	FL.	FLASHING	MLDG.	MOLDING	SQ.	SQUARE		
CABT	CABINET	G	GALVANIZED	MULL.	MULLION	S.S.	STAINLESS STEEL		
C.I.P.	CATCH IN PLACE	GALV.	GALVANIZED	N	NATURAL GRADE	STD.	STANDARD		
C.B.	CATCH BASIN	GA.	GAUGE	N.G.	NATURAL GRADE	STRUC.	STRUCTURE		
CLG.	CEILING	G.C.	GENERAL CONTRACTOR	NDM.	NOMINAL	S.A.	SUPPLY AIR		
CL	CENTER LINE	G.S.N.	GENERAL STRUCTURAL NOTES	N/A	NOT APPLICABLE	SUSP.	SUSPENDED		
C.T.	CERAMIC TILE	GL.	GLASS	N.I.C.	NOT IN CONTRACT	SW.BD.	SWITCHBOARD		
CH	CHANNEL	GD.	GRADE	N.T.S.	NOT TO SCALE	T	TELEPHONE COMPANY		
C.O.	CLEAN OUT	GR.	GRILLE	O	ON CENTER	TELCO	TELEPHONE COMPANY		
CLR.	CLEAR	GRD.	GROUND	O.C.	ON CENTER	I.G.	TEMPERED GLASS		
CL	CLOSET	GYP.	GYP-SUM	O.D.	OUTSIDE DIAMETER	T&G	TONGUE & GROOVE		
COL.	COLUMN	H	HARDWARE	O.R.D.	OVERFLOW ROOF DRAIN	T&B	TOP & BOTTOM		
CONC.	CONCRETE	HDW.	HARDWARE	O.F.S.	OVERFLOW SCUPPER	T.O.	TOP OF		
CMU	CONCRETE MASONRY UNIT	HDWD.	HARDWOOD	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	T.O.C.	TOP OF CURB		
COND.	CONDITION	HTR.	HEATER	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	T.O.D.	TOP OF DECK		
CONN.	CONNECTION	HT.	HEIGHT	P	PAINT	T.O.P.	TOP OF PARAPET		
CONST.	CONSTRUCTION	H.P.	HIGH POINT	PT.	PAINT	TYP.	TYPICAL		
CONT.	CONTINUOUS	H.M.	HOLLOW METAL	FTD.	PAINTED	U	UNLESS NOTED OTHERWISE		
CJ	CONTROL JOINT	HORIZ.	HORIZONTAL	PR	PAIR	U.N.O.	UNLESS NOTED OTHERWISE		
D	DAMP PROOFING	H.B.	HOSE BIB	PNL.	PANEL	V	VENT		
D.P.	DAMP PROOFING	H.W.	HOT WATER	d	PENNY	V.T.R.	VENT THROUGH ROOF		
D.B.	DECK BEARING	HR.	HOUR	P.L.	PLASTIC LAMINATE	VERT.	VERTICAL		
DIAG.	DIAGONAL	I	INCH	PL	PLATE	V.G.	VERTICAL GRAIN		
DIA.	DIAMETER	IN.	INCH	PLBG.	PLUMBING	VEST.	VESTIBULE		
DIM.	DIMENSION	I.D.	INSIDE DIAMETER	P.S.I.	POUND PER SQUARE INCH	V.C.T.	VINTL COMPOSITION TILE		
DISP.	DISPENSER	INSUL.	INSULATION						

CODE ANALYSIS

NO CHANGES ARE BEING MADE TO WALLS AND DOORS IN THIS PROJECT. THIS IS CONSIDERED AS A ROUTINE MAINTENANCE PROJECT TO REPLACE DIFFUSERS AND FILTERS. NO EXITING PATH OR OCCUPANT LOAD WILL BE CHANGED DUE TO THIS PROJECT.

DEFERRED SUBMITTALS

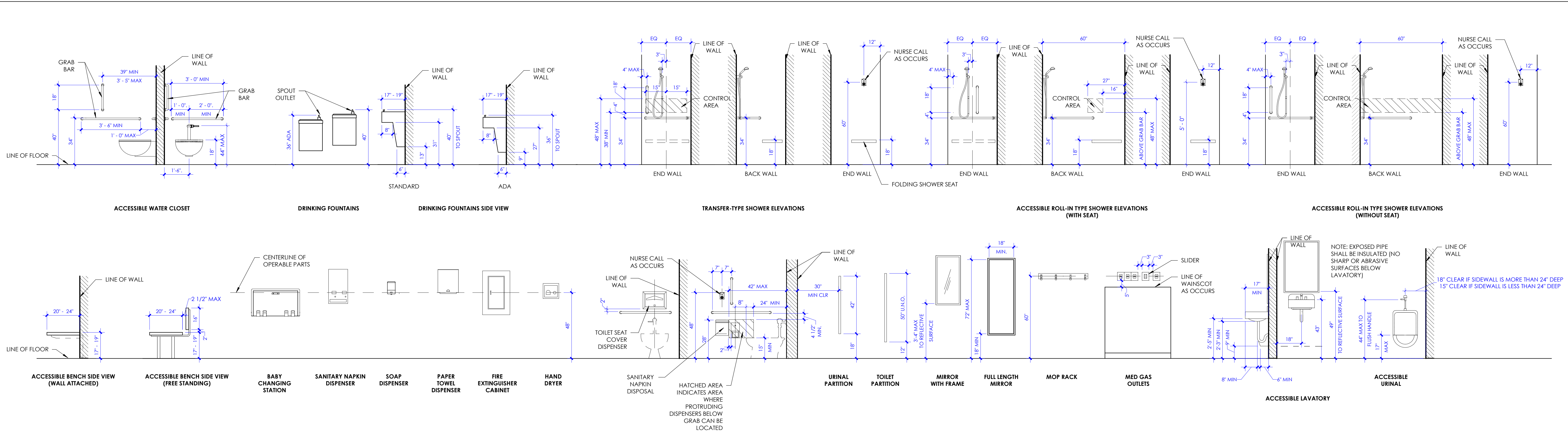
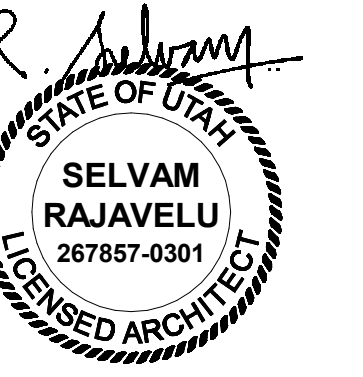
NONE.

SPECIAL INSPECTIONS

NONE.

DEFINITIONS

- GENERAL: BASIC CONTRACT DEFINITIONS ARE INCLUDED IN THE CONDITIONS OF THE CONTRACT.
- "APPROVED": WHEN USED TO CONVEY ARCHITECTS ACTION ON CONTRACTOR'S SUBMITTALS, APPLICATIONS, AND REQUESTS, "APPROVED" IS LIMITED TO ARCHITECT'S DUTIES AND RESPONSIBILITIES AS STATED IN THE CONDITIONS OF THE CONTRACT.
- "DIRECTED": A COMMAND OR INSTRUCTION BY ARCHITECT, OTHER TERMS INCLUDING "REQUESTED," "AUTHORIZED," "SELECTED," "REQUIRED," AND "PERMITTED" HAVE THE SAME MEANING AS "DIRECTED."
- "INDICATED": REQUIREMENTS EXPRESSED BY GRAPHIC REPRESENTATIONS OR IN WRITTEN FORM ON DRAWINGS, IN SPECIFICATIONS, AND IN OTHER CONTRACT DOCUMENTS, OTHER TERMS INCLUDING "SHOWN," "NOTED," "SCHEDULED," AND "SPECIFIED" HAVE THE SAME MEANING AS "INDICATED."
- "REGULATIONS": LAWS, ORDINANCES, STATUTES, AND LAWFUL ORDERS ISSUED BY AUTHORITIES HAVING JURISDICTION, AND RULES, CONVENTIONS, AND AGREEMENTS WITHIN THE CONSTRUCTION INDUSTRY THAT CONTROL PERFORMANCE OF THE WORK.
- "TURNISH": SUPPLY AND DELIVER TO PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS.
- "INSTALL": UNLOAD, TEMPORARILY STORE, UNPACK, ASSEMBLE, ERECT, PLACE, ANCHOR, APPLY, WORK TO DIMENSION, FINISH, CURE, PROTECT, CLEAN, AND SIMILAR OPERATIONS AT PROJECT SITE.
- "PROVIDE": FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
- "PROJECT SITE": SPACE AVAILABLE FOR PERFORMING CONSTRUCTION ACTIVITIES. THE EXTENT OF PROJECT SITE IS SHOWN ON DRAWINGS AND MAY OR MAY NOT BE IDENTICAL WITH THE DESCRIPTION OF THE LAND ON WHICH PROJECT IS TO BE BUILT.



1 Typical Mounting Heights
SCALE: 3/8" = 1'-0"

LEGEND - MATERIALS

HATCH PATTERN BELOW INDICATES REPRESENTATION OF BUILDING MATERIALS IN BUILDING SECTIONS, WALL SECTIONS AND DETAILS.

Concrete	Finish Wood
Gypsum Board	Blocking
Steel	Stone
Earth	Gravel
Masonry Concrete Block	Ball Insulation
Masonry Brick	Insulation Rigid

GENERAL INFORMATION SYMBOLS & TAGS

<p>SHEET NUMBERING SYSTEM</p> <p>A100A</p> <ul style="list-style-type: none"> PROJECT AREA SHEET NUMBER SEQUENCE SHEET TYPE DISCIPLINE 	<p>ROOM TAG</p> <p>ROOM NAME: OFFICE-4, 155 SF, A324 (O.L. 999)</p> <p>ROOM COUNT DESIGNATION: 155 SF</p> <p>DENOTES OCCUPANT LOAD IN CODE COMPLIANCE PLANS.</p> <p>DENOTES ROOM AREA OF 155 SQUARE FEET</p> <p>ROOM NUMBER, LETTER "A" IN THE ROOM NUMBER DENOTES "AREA A" IN THE PROJECT, NUMBER "3" DENOTES "FLOOR LEVEL 3", NUMBER "24" DENOTES ROOM NUMBERING SEQUENCE IN THE PROJECT AREA.</p>	<p>DOOR TAG</p> <p>DOOR TAGS ARE INDICATED ON DIMENSION FLOOR PLANS</p> <p>THE FIRST LETTER "A" AND THE FOLLOWING THREE DIGITS "124" DENOTES ROOM NUMBER</p> <p>SUFFIX "C" DENOTES SEQUENCE OF DOOR ACCESSING THE ROOM.</p> <p>A124C</p>
<p>GRID TAG</p> <p>GRID REFERENCE LETTER - A, B, C, ETC. (USED FOR HORIZONTAL GRID SEQUENCE, TYPICALLY FROM LEFT TO RIGHT)</p> <p>GRID REFERENCE NUMBER - 1, 2, 3, ETC. (USED FOR VERTICAL GRID SEQUENCE, TYPICALLY FROM TOP TO BOTTOM)</p> <p>A B</p> <p>1 2</p> <p>GRID LINE</p>	<p>DATUM POINT TAG</p> <p>+</p>	<p>WINDOW TAG</p> <p>WINDOWS TAGS ARE INDICATED ON DIMENSION FLOOR PLANS</p> <p>A</p>
<p>NORTH ARROW</p> <p>NORTH</p> <p>↑</p>	<p>CEILING HEIGHT TAG</p> <p>B.O.C. BOTTOM OF CEILING</p> <p>B.O.H. BOTTOM OF HEADER</p> <p>HEIGHT ABOVE FINISH FLOOR</p> <p>B.O.C. 9'-0"</p>	<p>FLOOR FINISH TAG</p> <p>TAGS ARE INDICATED ON FINISH FLOOR PLAN. SEE FINISH SCHEDULE, SHEET A603A. FOR FLOOR COVERING AND FINISHES REQUIRED.</p> <p>F2</p>
<p>BUILDING SECTIONS</p> <p>SECTION TAGS ARE INDICATED ON OVERALL DIMENSION FLOOR PLANS</p> <p>1 BUILDING SECTION</p> <p>2 SHEET WHERE DRAWN</p> <p>A101</p>	<p>SPOT ELEVATION</p> <p>DENOTES BUILDING REFERENCE ELEVATION</p> <p>T.O.W. TOP OF WALL</p> <p>T.O.C. TOP OF CURB</p> <p>D.B.E. DECK BEARING ELEVATION</p> <p>F.F.E. FINISH FLOOR ELEVATION</p> <p>B.O.V. BOTTOM OF VENEER</p> <p>T.O.S. TOP OF SIDEWALK</p> <p>T.O.C. TOP OF CURB</p> <p>T.O.W. 100'-0"</p>	<p>WALL FINISH TAG</p> <p>TAGS ARE INDICATED ON FINISH FLOOR PLAN. SEE FINISH SCHEDULE, SHEET A603A. FOR WALL FINISHES REQUIRED.</p> <p>W1</p>
<p>WALL SECTIONS</p> <p>SECTION TAGS ARE INDICATED ON DIMENSION FLOOR PLANS</p> <p>1 WALL SECTION</p> <p>2 SHEET WHERE DRAWN</p> <p>A101</p>	<p>VERTICAL ELEVATION</p> <p>DENOTES FLOOR LEVEL</p> <p>DENOTES BUILDING REFERENCE ELEVATION</p> <p>LEVEL 100'-0"</p>	<p>WALL BASE TAG</p> <p>TAGS ARE INDICATED ON FINISH FLOOR PLAN. SEE FINISH SCHEDULE, SHEET A603A. FOR WALL BASE TYPE.</p> <p>W1</p>
<p>DETAIL TAGS</p> <p>DETAIL NUMBER</p> <p>SHEET WHERE DRAWN</p> <p>A506</p>	<p>FLOOR PLAN MATCHLINE</p> <p>DETAIL LOCATION NUMBER</p> <p>SHEET WHERE DRAWN</p> <p>3 / A101</p> <p>MATCHLINE</p>	<p>CEILING FINISH TAG</p> <p>TAGS ARE INDICATED ON REFLECTED CEILING PLAN. SEE FINISH SCHEDULE, SHEET A603A. FOR CEILING FINISHES REQUIRED.</p> <p>C1</p>
<p>DETAIL TAGS</p> <p>DETAIL NUMBER</p> <p>SHEET WHERE DRAWN</p> <p>A506</p>	<p>REVISION TAG</p> <p>CLOUD INDICATES DRAWING REVISION AREA</p> <p>REVISION NUMBER</p> <p>0020</p>	<p>OTHER FINISH TAG</p> <p>TAGS ARE INDICATED ON FINISH FLOOR PLAN & INTERIOR ELEVATIONS. SEE FINISH SCHEDULE, SHEET A603A. FOR FINISHES REQUIRED.</p> <p>(MS) (MM) (WP) (FL) (WC) (AC)</p>
<p>EXTERIOR ELEVATION TAGS</p> <p>TAGS ARE INDICATED ON OVERALL DIMENSION FLOOR PLANS AND KEY PLAN</p> <p>EXTERIOR ELEVATION NUMBER</p> <p>SHEET WHERE DRAWN</p> <p>2 A202</p>	<p>KEYED NOTES - PROJECT SPECIFIC</p> <p>KEYED NOTES THAT ARE PROJECT SPECIFIC AS INDICATED ON PLANS, SECTIONS AND ELEVATIONS</p> <p>DIVISION #</p> <p>DIVISION NOTE</p> <p>0020</p>	<p>CABINET TAG</p> <p>CABINET TYPES ARE INDICATED ON INTERIOR ELEVATIONS & CABINET LEGEND, SHEET A505A.</p> <p>W14</p>
<p>INTERIOR ELEVATION TAGS</p> <p>TAGS ARE INDICATED ON FINISH FLOOR PLANS</p> <p>INTERIOR ELEVATION NUMBER</p> <p>SHEET WHERE DRAWN</p> <p>1 A232</p>	<p>KEYED NOTES - GENERIC</p> <p>KEYED NOTES THAT ARE NOT PROJECT SPECIFIC AS INDICATED ON GENERIC, TYPICAL DETAILS.</p> <p>02</p>	<p>SIGN TAG</p> <p>TAGS ARE INDICATED ON FINISH FLOOR PLAN. SEE SIGN TYPE DETAIL - /...</p> <p>S2</p>
	<p>WALL TAG</p> <p>WALL TAGS ARE INDICATED ON DIMENSION FLOOR PLANS. WALL TYPES ARE INDICATED IN SHEET A501A.</p> <p>A1</p>	

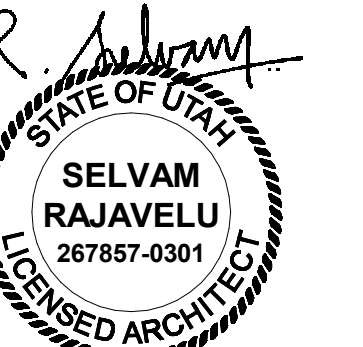
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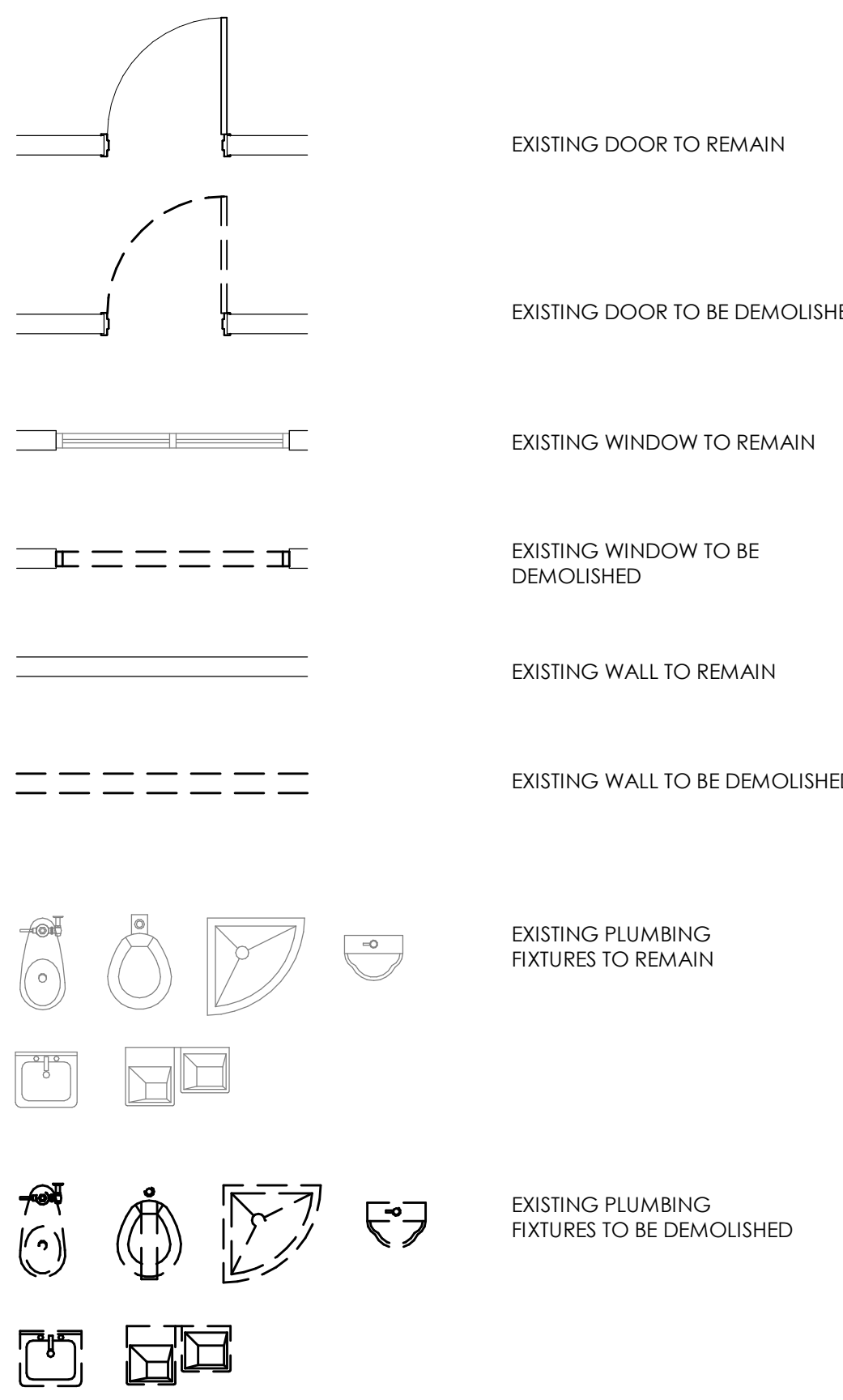


GENERAL NOTES

- STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS (IF PRESENT) ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF MECHANICAL OR ELECTRICAL CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND CONSULTING ENGINEERS DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION. ANY CONSTRUCTION INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS/HER OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- ALL WORK SHALL COMPLY WITH THE CURRENT ADA ACCESSIBILITY GUIDELINES (AMERICANS WITH DISABILITIES ACT).
- REFER TO THE CODE COMPLIANCE PLAN FOR APPLICABLE CODES GOVERNING THIS WORK. CODE REQUIREMENTS AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM. WHERE THE CONTRACT DOCUMENTS EXCEED (WITHOUT VIOLATING) CODE AND REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. IF CONFLICT EXIST, THE MORE STRINGENT SHALL APPLY, COMPLY WITH REQUIREMENTS OF THE ADOPTED EDITIONS OF THE INTERNATIONAL CODE COUNCIL CODES, THE CODES AND STANDARDS REFERENCED WITHIN THE ICC CODES AND THE AMERICANS WITH DISABILITIES ACT.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BARRICADES AND PROTECTIVE DEVICES SEPARATING CONSTRUCTION AREAS. TEMPORARY PASSAGES SHALL BE PROVIDED AS REQUIRED, PRIOR TO DELIVERY OF MATERIALS TO CONSTRUCTION ZONE AND REMOVAL OF WASTE FROM SITE. THE CONTRACTOR SHALL CHECK WITH THE OWNER FOR AN ACCEPTABLE ROUTE AND TIME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND SIZE OF OPENINGS FOR ALL TRADES AND SHALL COORDINATE ALL CONSTRUCTION AS INDICATED BY THE CONTRACT DOCUMENTS, INCLUDING SHOP DRAWINGS REVIEWED BY THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- FOR ALL REMODEL WORK AS OCCURS, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ALL MEASURES TO ACCOMPLISH THE WORK WITH THE MINIMUM OF INTERRUPTION TO NORMAL BUILDING PROCEDURES, SYSTEM SHUTDOWNS OF HVAC, PLUMBING, ELECTRICAL, AND NOISY CONSTRUCTION INCLUDING ROTO HAMMER, SAW CUTTING, CONCRETE ANCHORS, ETC. SHALL BE COORDINATED WITH THE OWNER AT LEAST 72 HOURS PRIOR TO COMMENCEMENT.
- ALL DIMENSIONS ARE SHOWN TO FACE OF GYPSUM BOARD OF NEW CONSTRUCTION OR STRUCTURAL WALL, UNLESS NOTED OTHERWISE.
- ALL DRAWINGS, THOUGH NOTED TO SCALE ARE FOR ILLUSTRATION ONLY. THE CONTRACTOR SHALL NOT SCALE DRAWINGS.
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- DRAWINGS HAVE BEEN DETAILED IN COMPLIANCE WITH U.L. LISTING REQUIREMENTS AND ICBO REPORTS FOR THE MATERIALS SPECIFIED. IF AN ALTERNATE OR SUBSTITUTED MATERIAL IS ACCEPTED AS AN EQUAL BY THE GENERAL CONTRACTOR, HE/SHE WILL ASSUME THE RESPONSIBILITY FOR WHATEVER CONSTRUCTION MODIFICATION AND/OR ADDITIONAL COSTS ARE REQUIRED.
- ALL TRASH SHALL BE REMOVED DAILY. BUILDING MATERIALS MAY NOT BE STORED IN THE CORRIDORS AT ANY TIME. BLOCKAGE OF ANY REQUIRED EXIT IS PROHIBITED.
- ALL PENETRATIONS INTO SOUND OR FIRE RATED PARTITIONS, FLOORS OR CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT. REFER TO IBC, CURRENT VERSION FOR REQUIREMENTS FOR OPENINGS IN FIRE RATED WALLS. FOR OPENINGS LESS THAN 16 SQUARE INCHES, THE SPACE BETWEEN THE WALL AND ALLOWED PENETRATIONS MUST BE SEALED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES, ELECTRICAL DEVICES, RECESSED CABINETS, ETC. SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE INTEGRITY OF THE ASSEMBLY. SEE PENETRATION DETAILS.
- ABBREVIATIONS THROUGHOUT THE PLAN ARE THOSE IN COMMON USE. THE ARCHITECT SHALL DEFINE THE INTENT OF ANY IN QUESTION.
- THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF WATER AND DRAIN INSTALLATIONS AND OTHER REQUIRED SERVICES WITH EQUIPMENT MANUFACTURERS.
- MAINTAIN ALL EXISTING SPRAY-APPLIED FIRE PROOFING ON STEEL STRUCTURAL MEMBERS, WHERE EXISTING FIRE PROOFING IS REMOVED FOR INSTALLATION OF NEW BEAMS, UNISTRUTS, ETC. THE CONTRACTOR SHALL PATCH AGAIN WITH EQUIVALENT FIRE PROOFING MATERIAL TO MATCH ADJACENT EXISTING MATERIAL.
- ALL WOOD CANTS, MOLDINGS, CURBS, ETC. THROUGHOUT JOB SHALL BE FIRE RETARDANT PRESSURE-TREATED, AS PER I.B.C., CURRENT VERSION. SEE RELEVANT DETAILS.
- CONTRACTOR SHALL REFER TO THE PROJECT MANUAL FOR A COMPLETE LIST OF GENERAL CONDITIONS, SPECIAL CONDITIONS AND OTHER NOTES.

LEGEND - DEMOLITION FLOOR PLAN

BUILDING COMPONENTS (DOORS, WALLS, ETC) INDICATED BELOW IN THIS LEGEND ARE DRAWN AT 1/4" = 1'-0" SCALE. COMPONENTS SHALL APPEAR HALF THE SIZE (SMALLER) ON PLANS DRAWN AT 1/8" = 1'-0" SCALE.

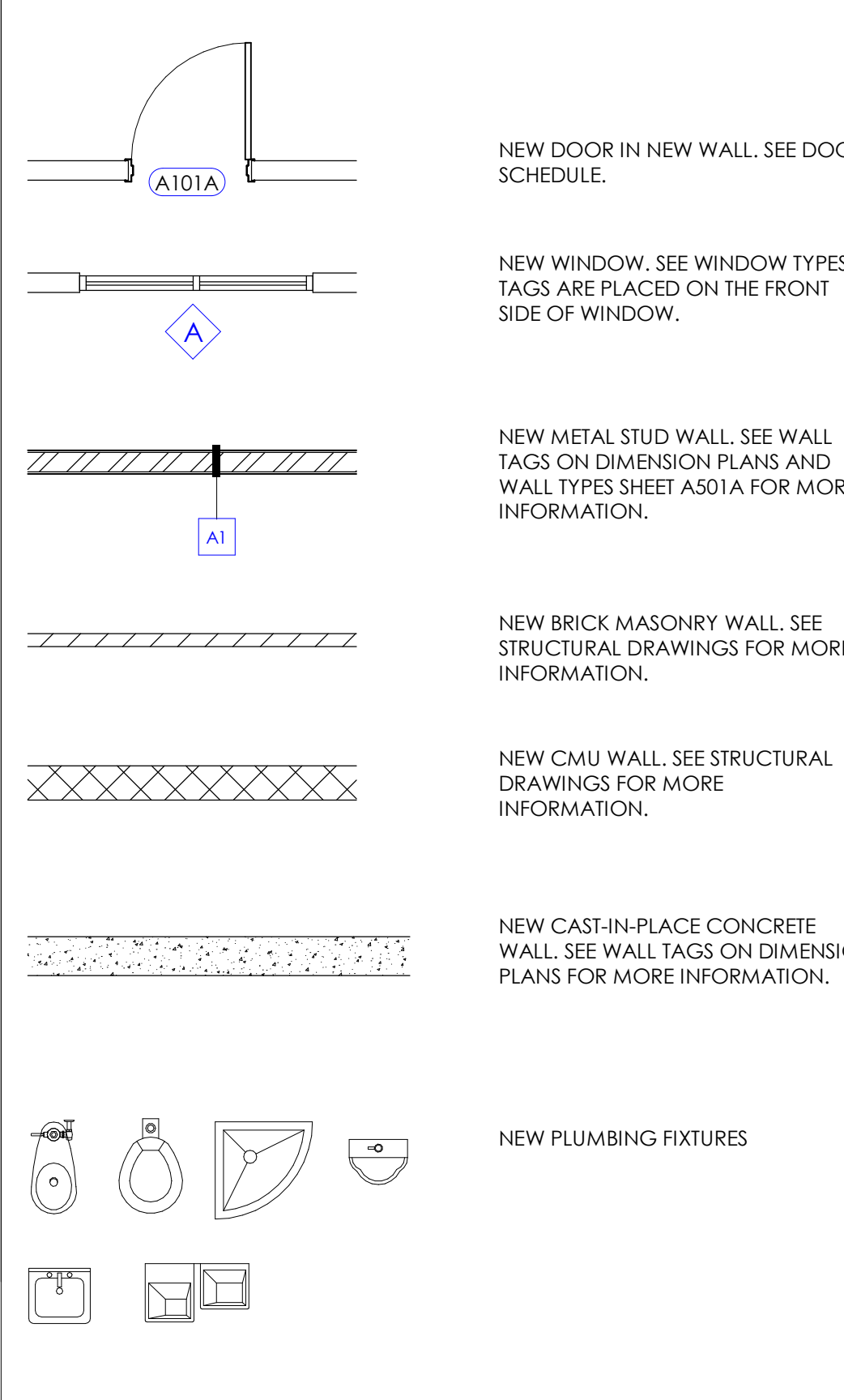


GENERAL NOTES - DEMOLITION FLOOR PLAN

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS INCLUDING UNDERGROUND UTILITIES AND SERVICE LINES, IRRIGATION LINES AND SUB SURFACE STRUCTURES AND ALL OTHER EXISTING CONSTRUCTION BOTH ABOVE AND BELOW GRADE.
- PRIOR TO REMOVAL OF EXISTING BUILDING MATERIALS (INCLUDING WALLS, DOORS, WINDOWS, CEILING, ETC.) INDICATED IN THE DEMOLITION PLANS, CONTRACTOR SHALL THOROUGHLY COORDINATE ARCHITECTURAL FLOOR PLANS, CEILING PLANS, FINISH SCHEDULES AND ALL CONSULTANT DRAWINGS TO DETERMINE EXACT EXTENT OF REMOVAL.
- COORDINATE WITH OWNER'S REPRESENTATIVE REGARDING ITEMS SHOWN TO BE REMOVED THAT WILL BECOME PROPERTY OF THE OWNER. CAREFULLY REMOVE SUCH ITEMS SO AS NOT TO DAMAGE THEM.
- IN EXISTING WALLS THAT ARE NOTED TO REMAIN, ANY NAILS, SCREWS, OR OPENINGS THAT REMAIN AS A RESULT OF EXISTING EQUIPMENT REMOVAL OR WALL REMOVAL SHALL BE PATCHED WITH SMOOTH, EVEN, INVISIBLE TRANSITION. IN PLACES WHERE THE EXISTING WALL IS CUT FOR INSTALLATION OF POWER OUTLETS, SWITCH, THERMOSTAT, ETC. PATCH OPENINGS IN WALL WITH GYPSUM BOARD. PROVIDE SMOOTH, EVEN, INVISIBLE TRANSITION BETWEEN NEW AND EXISTING WALL FINISH.
- THE OWNER'S STAFF WILL CONTINUE TO OCCUPY AREAS DIRECTLY ADJACENT TO THE CONSTRUCTION AREA. THE CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE DISRUPTION ACTIVITIES CONDUCTED BY THE OWNER'S STAFF. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF NOISY ACTIVITIES, SHUT-DOWNS, AND ANY OTHER ACTIVITIES WHICH MAY DISRUPT NORMAL OPERATIONS PRIOR TO PERFORMING THE WORK.
- ONCE FLOORING DEMOLITION HAS OCCURRED, CLEAN AND PREPARE FLOOR TO RECEIVE NEW FLOOR COVERINGS. THIS SHALL BE COORDINATED WITH THE FINISH SCHEDULE AND MANUFACTURER OF NEW PRODUCTS FOR FLOOR PREPARATION REQUIREMENTS.
- ITEMS SHOWN ON THESE FLOOR PLANS FOR REMOVAL ARE BUILT-IN ITEMS, EQUIPMENT, FURNITURE, & OTHER ITEMS EXISTING IN THE SPACE THAT ARE NOT BUILT-IN SHALL BE REMOVED OR CLEARED TEMPORARILY BY THE OWNER.

LEGEND - FLOOR & DIMENSION PLANS

BUILDING COMPONENTS (DOORS, WALLS, ETC) INDICATED BELOW IN THIS LEGEND ARE DRAWN AT 1/4" = 1'-0" SCALE. COMPONENTS SHALL APPEAR HALF THE SIZE (SMALLER) ON PLANS DRAWN AT 1/8" = 1'-0" SCALE.

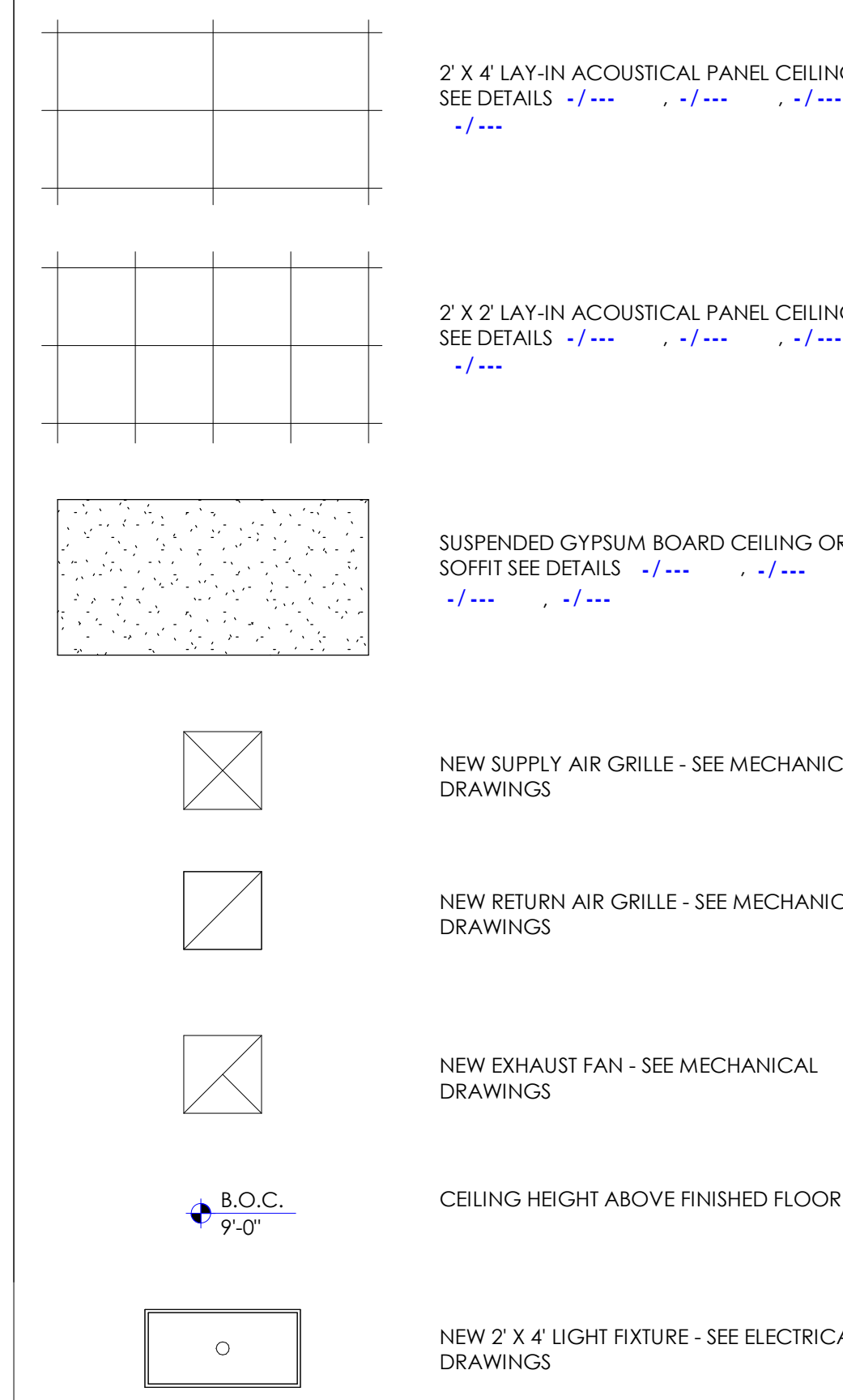


GENERAL NOTES - FLOOR & DIM. PLANS

- REFER TO THE CODE COMPLIANCE PLANS FOR INDICATION OF FIRE RATED WALLS.
- AT LOCATIONS WITHOUT CEILINGS (ROOMS OPEN TO STRUCTURE ABOVE), EXTEND ALL WALLS, SOFFITS, AND HEADERS (INCLUDING ALL STUD FRAMING, GYPSUM BOARD, INSULATION & CMU, WHERE APPLICABLE) TO THE METAL ROOF DECK ABOVE.
- WHEN FLOOR HEIGHT VARIES IN A ROOM, THE CEILING HEIGHT SHOWN IS THE HEIGHT ABOVE THE FLOOR AT THE ENTRY, UNO.
- SEE INTERIOR ELEVATIONS FOR TOILET AND BATHROOM ACCESSORIES (GRAB BARS, MIRRORS, DISPENSERS, ETC.).
- AT ALL VERTICAL EDGES OF INTERIOR CMU WALLS THAT ARE VISIBLE, USE BULLNOSE CMU BLOCKS FROM FINISHED FLOOR ELEVATION TO A HEIGHT OF 7'-4".
- FOR CLARITY SAKE, DIMENSIONS ARE NOT SHOWN AT THE FOLLOWING LOCATIONS:
 - WHERE THE FACE OF WALL COINCIDES WITH THE MAIN GRID LINE OR 4'-0" X 4'-0" SUBGRID.
 - WHERE THE CENTER OF WALL COINCIDES WITH THE MAIN GRID LINE OR 4'-0" X 4'-0" SUBGRID.
- VERIFY WITH ARCHITECT FOR DIMENSIONS NOT SHOWN.
- SEE STRUCTURAL DRAWINGS FOR CMU WALLS, MASONRY COLUMNS, AND MASONRY BEAMS. SEE BUILDING EXTERIOR ELEVATIONS FOR VENEER TYPES. SEE FINISH SCHEDULE FOR CMU THAT IS HONED, SCORED, SEALED, PAINTED, ETC.
- SEE CIVIL, FOOD SERVICE, PLUMBING, AND MECHANICAL DRAWINGS FOR FLOOR SINKS, FLOOR DRAINS, AND OPENINGS IN FLOOR SLABS AND ROOFS FOR DUCTWORK, ETC.
- SEE DOOR AND WINDOW SCHEDULE FOR THE REQUIRED DOOR AND WINDOW OPENING SIZES
- SEE FINISH SCHEDULE AND STRUCTURAL DRAWINGS AND PROVIDE RECESS IN CONCRETE FLOOR SLAB THAT IS ON GRADE, SHALL BE RECESSED AS REQUIRED, FOR A THICK SET MORTAR FOR CERAMIC TILE FINISH. SLOPE SHALL BE AT 1/8" PER FOOT TOWARDS THE FLOOR DRAIN. CONCRETE FLOOR SLAB THAT IS NOT ON GRADE, NEED NOT BE RECESSED. IN SUCH LOCATION, USE THIN SET MORTAR FOR CERAMIC TILE FINISH WITH A GENTLE SLOPE TOWARDS DRAIN.
- ALL PENETRATIONS (PIPES, CONDUITS, JOISTS, ETC.) THROUGH FIRE RATED BARRIER WALLS SHALL BE SEALED COMPLETELY WITH FIRE RATED SEALANTS. FILL GAP BETWEEN FLUTES OF THE METAL DECK AND METAL TRACK TOP RUNNER WITH FIRE RATED SEALANTS. SEAL TIGHTLY AROUND PIPES, CONDUITS, DUCTS, ETC. THAT PENETRATES THE FIRE BARRIER WALL WITH FIRE RATED SEALANTS. APPLY SEALANT AS PER MANUFACTURER'S RECOMMENDATIONS WITH ANY ADDITIONAL MATERIAL AS REQUIRED. INSTALL AROUND PENETRATIONS TO MAINTAIN THE INTEGRITY OF THE FIRE WALL. SEE MECHANICAL DRAWINGS FOR FIRE AND SMOKE DAMPERS.
- WALL CABINETS HAVE A DEPTH OF 1'-3" UNLESS NOTED OTHERWISE.
- ALL MASONRY MORTAR JOINTS LOCATED INSIDE THE BUILDING SHALL BE TOOLED JOINTS, UNLESS NOTED OTHERWISE. MASONRY JOINTS ON THE BUILDING EXTERIOR SIDE SHALL BE RAKED JOINTS AS INDICATED IN BUILDING EXTERIOR ELEVATIONS.
- SEE OVERALL FLOOR PLAN SHEETS FOR ANGLES, PIVOT POINT AND DIMENSIONS BETWEEN GRID LINES.
- SEE CODE COMPLIANCE FLOOR PLANS FOR LOCATION OF FIRE BARRIER, NON RATED WALLS, ETC.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL DIMENSIONS.
- IN SOME PROJECTS, DUE TO THE LARGE BUILDING FOOTPRINT SIZE, FLOOR PLANS ARE SPLIT AS AREAS A, B, C, ETC. AND EACH AREA IS INDICATED ON SEPARATE SHEETS. MATCH LINES INDICATE THE BOUNDARIES OF EACH AREA. WHEN CONTRACTORS ARE PREPARING BID FOR THE PROJECT, COST SHALL INCLUDE ONLY THE BUILDING ELEMENTS AND ASSOCIATED CONSTRUCTION WORK CALLED OUT WITH KEYED NOTES IN THE AREA INDICATED ON THE SHEET. KEYED NOTES INDICATED OUTSIDE THE MATCH LINE IN ADJACENT FLOOR AREAS SHALL NOT BE COUNTED FOR THAT AREA. THIS AVOIDS DUPLICATION OF BUILDING ELEMENTS AND CONSTRUCTION WORK.

LEGEND - REFLECTED CEILING PLAN

BUILDING COMPONENTS (CEILING, LIGHT FIXTURES, ETC) INDICATED BELOW IN THIS LEGEND ARE DRAWN AT 1/4" = 1'-0" SCALE. COMPONENTS SHALL APPEAR HALF THE SIZE (SMALLER) ON PLANS DRAWN AT 1/8" = 1'-0" SCALE.



GENERAL NOTES - REFLECTED CEILING PLAN

- SEE MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS IN CEILING. CONTRACTOR SHALL COORDINATE WITH LIGHT FIXTURES (AS INDICATED IN ELECTRICAL DRAWINGS) AND MOVE DIFFUSERS AROUND THE LIGHT FIXTURE IF THERE IS ANY CONFLICT BETWEEN THE TWO.
- SOME OF THE ITEMS ON CEILING INDICATED IN MECHANICAL AND ELECTRICAL DRAWINGS, MAY OR MAY NOT BE INDICATED ON ARCHITECTURAL CEILING PLANS. SEE MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE WITH ARCHITECT FOR ANY REQUIRED CLARIFICATIONS.
- CONTRACTOR SHALL NOT HANG CEILING TILES AND LIGHTS FROM DUCTS. FOR AREAS ABOVE THE CEILING WHERE OVERSIZE DUCTS OCCUR SEE DETAIL 1-1-1.
- PAINT ALL VISIBLE EXPOSED ITEMS LIKE METAL DECK, STEEL ANGLES, STEEL BEAMS, STEEL TRUSSES, MISCELLANEOUS EXPOSED STEEL STRUCTURAL COMPONENTS, HOLLOW METAL DOORS, DOOR FRAMES & WINDOW FRAMES, PAINT EXPOSED SURFACES (WITH COLORS AND ACCENT COLORS AS SELECTED BY ARCHITECT) EXCEPT WHERE NATURAL FINISH OR MATERIAL IS SPECIFICALLY NOTED AS A SURFACE NOT TO BE PAINTED. DO NOT PAINT CONCEALED SURFACES, FINISHED METAL SURFACES, OPERATING PARTS AND PRE FINISHED ITEMS.

GENERAL NOTES - INTERIOR ELEVATIONS

- PROVIDE LOCKS FOR CABINETS AS INDICATED ON THE CABINET LEGEND ON SHEET A505A AND IF INDICATED ON INTERIOR ELEVATIONS.
- IN ROOMS WHERE CABINETS ARE REQUIRED TO BE LOCKED, PROVIDE LOCKS OPERABLE WITH SINGLE KEY.
- FOR TYPICAL MOUNTING HEIGHTS, SEE SHEET G003. FOLLOW THE HEIGHT UNLESS NOTED OTHERWISE IN INTERIOR ELEVATIONS. VERIFY WITH ARCHITECT FOR ITEMS NOT INDICATED.
- CONTRACTOR SHALL VERIFY WITH OWNER FOR OWNER FURNISHED CONTRACTOR INSTALLED ITEMS AND PROVIDE BACKING IN WALL AS REQUIRED FOR INSTALLATION.
- INTERIOR ELEVATIONS OF CERTAIN ROOMS ARE NOT DRAWN AND ARE NOTED AS SIMILAR ELEVATIONS OF ROOMS THAT ARE INDICATED IN THE DRAWINGS.
- CONTRACTOR SHALL PROVIDE FILLER PANELS (PLASTIC LAMINATE WRAPPED OVER 5/8" PARTICLE BOARD) WHEREVER GAP OCCURS BETWEEN CABINETS AND WALL.
- SEE FINISH FLOOR PLANS AND FINISH SCHEDULE A603A FOR WALL, CABINET AND COUNTERTOP FINISHES.
- SEE SHEET A505A FOR CABINET LEGEND (TYPES B1, W1, T1, ETC.). UNLESS NOTED OTHERWISE, ALL THE CABINETS AND COUNTERTOPS IN EACH ROOM SHALL BE OF THE SAME FINISH (P1, PL2, SS1, ETC.) AS INDICATED ON THE INTERIOR ELEVATION OF EACH ROOM, WHERE MULTIPLE FINISHES ARE REQUIRED FOR CABINETS, WALLS, ETC. IN THE ROOM, EACH FINISH IS INDICATED SEPARATELY. CONTACT ARCHITECT FOR REQUIRED CLARIFICATIONS.
- COUNTERTOPS ARE TYPICALLY SUPPORTED BY WALLS AND BASE CABINETS. IN PLACES WHERE COUNTERTOP SPAN EXCEEDS 4'-0", STEEL SUPPORTS SHALL BE PROVIDED AS INDICATED IN DETAILS 1-1-1 AND 1-1-2.
- AS INDICATED ON INTERIOR ELEVATIONS, WALL CABINETS AT CERTAIN LOCATIONS MAY REQUIRE A VERTICAL OR A SLOPED FASCIA PANEL.
- AN ENLARGED FLOOR PLAN HAS BEEN INCLUDED ALONG WITH INTERIOR ELEVATIONS FOR ROOMS THAT ARE COMPLEX IN DESIGN. SUCH COMPLEX ROOMS ARE INDICATED ON THE A400 SERIES SHEETS (STARTING WITH SHEET A401). ENLARGED FLOOR PLANS ARE NOT SHOWN FOR ROOMS THAT ARE SIMPLE IN DESIGN. INTERIOR ELEVATIONS OF SUCH SIMPLE ROOMS ARE INDICATED ON THE A250 SERIES SHEETS (STARTING WITH SHEET A251).
- FOR ALL CABINETS PROVIDE BACKING IN WALL AS PER DETAIL 3/A505B.

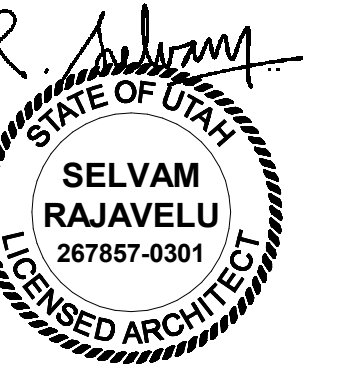
Intermountain Healthcare
LDS Hospital
Operating Rooms 2 & 3 Diffuser Replacement

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Construction Documents May 20, 2021

General
Legend &
Notes

G005



KEYED NOTES

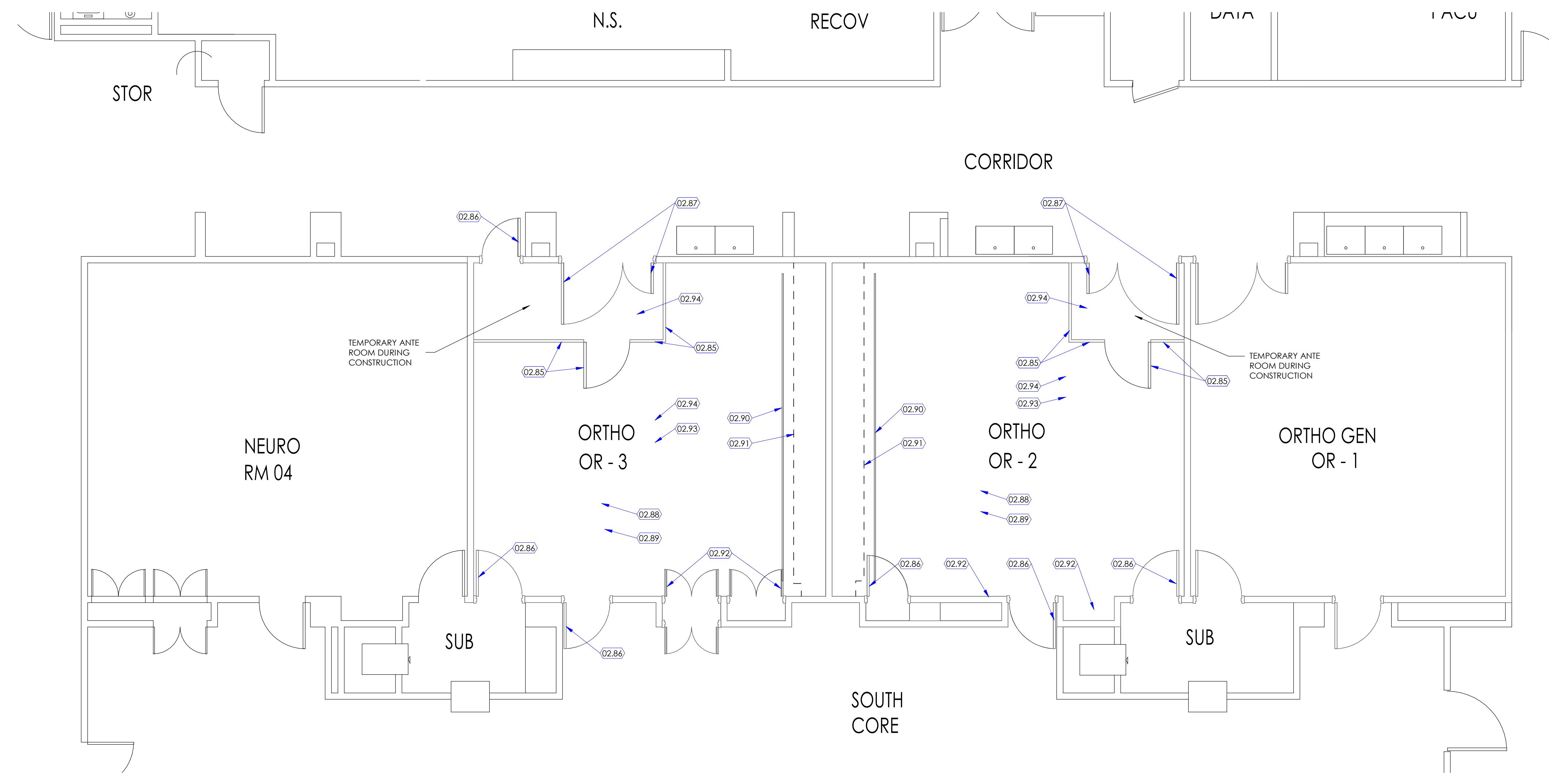
- 02.85 DUST PARTITION (FROM FLOOR TO CEILING) WITH DOORS AS REQUIRED TO ACCESS CONSTRUCTION ZONE. LOCATE AND ALIGN PARTITION WITH CEILING GRID (AND/OR GYPSUM BOARD CEILING WHERE OCCURS) ABOVE AS MUCH AS POSSIBLE FOR A TIGHT SEAL. IF THERE IS A CONFLICT, WHERE PARTITION ABUTS CEILING, MOVE ITEMS MOUNTED ON CEILING SUCH AS EXIT SIGN, FIRE/SMOKE ALARM, LIGHT FIXTURE, DIFFUSER, RETURN AIR GRILLE, SENSOR, ETC. TEMPORARILY AWAY FROM THE LOCATION. PROVIDE ANTE ROOM AS INDICATED. MAINTAIN NEGATIVE PRESSURE IN THE CONSTRUCTION ZONE WITH REQUIRED PORTABLE VACUUM MACHINE (OR EXHAUST FANS), WITH HEPA FILTERS. TEMPORARY FLEXIBLE HOSE TYPE DUCTS CONNECTED TO RETURN AIR DUCT IN THE CONSTRUCTION ZONE. DUST PARTITION SHALL BE FIRE RATED POLYCARBONATE, TRANSLUCENT, PLASTIC PANELS WITH METAL FRAMES ON ALL SIDES. INSTALL PARTITION PER MANUFACTURER'S RECOMMENDATIONS. PARTITION MANUFACTURER SHALL BE "EDGE-GUARDED" OR EQUIVALENT. MOVE ACCESS DOOR TO THE CONSTRUCTION ZONE AS REQUIRED DURING THE CONSTRUCTION PHASE. SEE "ICRA" (INFECTION CONTROL RISK ASSESSMENT) REQUIREMENTS ON SHEET 0202 AND ICRA WORK PERMIT FORM IN THE PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- 02.86 TIGHTLY SEAL WITH ADHESIVE TAPE BETWEEN DOOR AND DOOR FRAME AND DOOR AND FLOOR BELOW. THIS SEAL SHALL BE AIR TIGHT TO MAINTAIN THE NEGATIVE PRESSURE IN THE TEMPORARY ANTE ROOM AND CONSTRUCTION ZONE.
- 02.87 PROTECT THIS DOOR (WITH 1/4" THICK MASONITE BOARD FROM FLOOR TO 5'-0" HIGH TAPED TO THE EXISTING DOOR) FROM SCRATCH, DENT, ETC. DURING CONSTRUCTION.
- 02.88 PROTECT OVERHEAD OPERATING ROOM LIGHTS, BOOMS, EQUIPMENT THAT ARE ATTACHED TO WALLS AND CEILINGS FROM CONSTRUCTION DUST WITH FIRE RATED PLASTIC SHEET. SEAL TIGHTLY.
- 02.89 PROTECT EXISTING TERRAZO FLOOR COVERING IN THE OPERATING ROOM WITH 1/4" THICK MASONITE BOARD ON TOP. IF CRACKS AND CHIPS ARE DEVELOPED DURING CONSTRUCTION, IT IS VERY HARD AND EXPENSIVE TO FIX THE TERRAZO FLOOR COVERINGS. THE INFECTION RISK GOES UP AS WELL IF FLOOR COVERING IS DAMAGED.
- 02.90 EXISTING CART WHEEL STOP SHALL REMAIN. APPLY A COAT OF HIGH PERFORMANCE PAINT ON THE STEEL ANGLE INSTALLED ON THE FLOOR.
- 02.91 EXISTING DIFFUSER WALL PANEL TO BE REMOVED. SEE MECHANICAL DRAWINGS.
- 02.92 TIGHTLY SEAL WITH ADHESIVE TAPE BETWEEN DOOR AND DOOR FRAME OF THE STEEL STORAGE PASS THROUGH CABINETS. THIS SEAL SHALL BE AIR TIGHT TO MAINTAIN THE NEGATIVE PRESSURE IN THE TEMPORARY ANTE ROOM AND CONSTRUCTION ZONE.
- 02.93 TIGHTLY SEAL ALL THE RETURN AIR LOUVERS IN THE OPERATING ROOM, WHERE THE FLEXIBLE EXHAUST HOSE FROM THE HEPA FILTERED VACUUM MACHINE IS CONNECTED TEMPORARILY TO THE EXISTING RETURN AIR DUCTS. REMOVE THE EXISTING WALL GRILLE. PROVIDE A ESCUTCHEON TYPE MASONITE BOARD AROUND THE FLEXIBLE DUCT AND COVER THE GAP BETWEEN THE WALL AND DUCT. SEAL TIGHTLY.
- 02.94 PROVIDE VACUUM MACHINE TO MAINTAIN THE NEGATIVE PRESSURE IN THE ANTE ROOM AND A SEPARATE VACUUM MACHINE IN THE OPERATING ROOM. DURING CONSTRUCTION PHASE, MOUNT TEMPORARY PRESSURE MONITORS (WITH ALARM CAPABILITIES) ON THE WALL TO MAINTAIN REQUIRED NEGATIVE PRESSURE. ALL THE VACUUM MACHINES SHALL BE LEAK TESTED. IF NOT TESTED, THEN A DOUBLE HEPA FILTRATION SYSTEM WILL BE REQUIRED. TWO NEGATIVE PRESSURE READS PER DAY WILL BE REQUIRED.

PHASING NOTES

- A. THIS PROJECT SHALL BE DONE IN TWO PHASES. PHASE 1 INCLUDES FILTER AND DIFFUSER REPLACEMENT OF OPERATING ROOM #3. THE TOTAL DURATION FOR THIS PHASE IS A MAXIMUM OF 4 WEEKS. AFTER PHASE 1 IS FULLY COMPLETE AND OPERATIONAL, PHASE 2 SHALL START. PHASE 2 INCLUDES FILTER AND DIFFUSER REPLACEMENT OF OPERATING ROOM #2. THE TOTAL DURATION FOR THIS PHASE IS A MAXIMUM OF 4 WEEKS.

GENERAL NOTES

- A. ALL NEW CONSTRUCTION MATERIALS SHALL BE UNPACKED IN THE LOADING DOCK ON THE FACILITY AND BROUGHT TO THE CONSTRUCTION ZONE. IN ORDER TO MAINTAIN THE STERILE ENVIRONMENT IN THE SURGERY SUITE INCLUDING THE OPERATING ROOM CONSTRUCTION ZONE, NO UNPACKING SHALL BE ALLOWED.
- B. FOR THIS PROJECT TESTING AND CERTIFICATION OF THE LAMINAR FLOW IN THE OPERATING ROOMS IS REQUIRED. NICHOLAS RICE IS THE MANAGER OF THE CORPORATE INDUSTRIAL HYGIENE PROGRAM WHICH IS PART OF THE INTERMOUNTAIN HEALTHCARE SAFETY MANAGEMENT. IF NICK RICE IS NOT BEING ABLE TO LEAK TEST THE FILTERS, NICK SHALL HAVE HIS GROUP CONDUCT THE PERFORMANCE TESTING (VELOCITIES AND PARTICLE COUNTS - AIR CLEANLINESS). THIS SHOULD BE CONDUCTED AFTER CLEANING THE OPERATING ROOM BUT BEFORE ANTE ROOM IS DECONSTRUCTED. MAY NEED TO DO A VERIFICATION AFTER THE ANTE ROOM IS DECONSTRUCTED AND ROOM VENTILATION RESTORED. CONTRACTOR SHALL COORDINATE WITH NICK RICE (E-MAIL: NICK.RICE@IMAIL.ORG) ON THIS REQUIREMENT AND PRIOR TO REMOVING THE ANTE ROOM. IF PRECISION AIR HAS A MEANS FOR NICK'S GROUP TO CHALLENGE AND LEAK TEST THE FILTERS, THE TESTING AND CERTIFICATION TIME WILL BE LONGER.



1 Demolition Floor Plan Level 3
SCALE: 1/4" = 1'-0"

Intermountain Healthcare
LDS Hospital
Operating Rooms 2 & 3 Diffuser Replacement

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Demolition
Floor Plan
Level 3

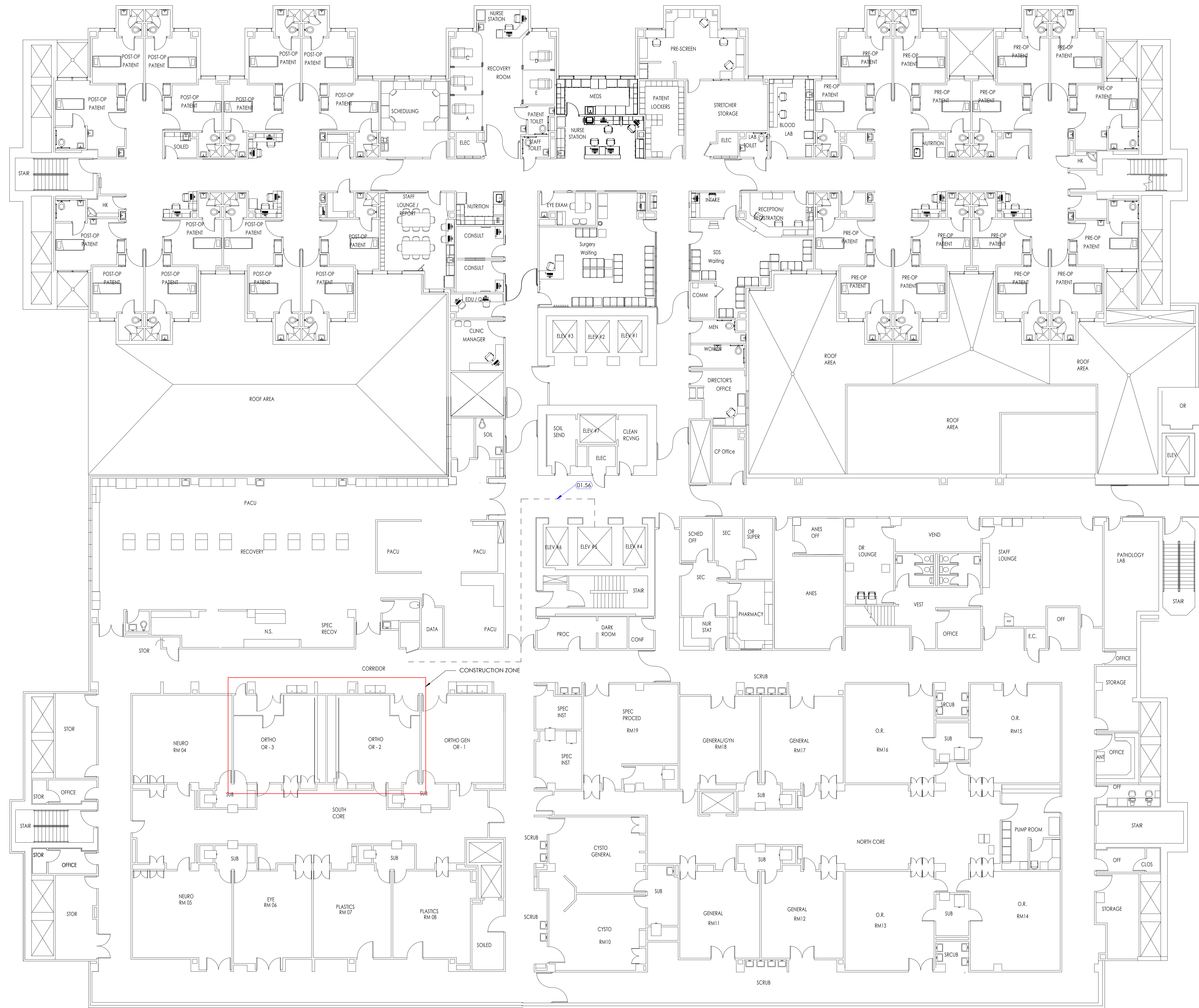
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1 Floor Plan Level 3 - Overall

SCALE: 3/32" = 1'-0"



KEYED NOTES

01.56 DASHED LINE INDICATES FACILITY PREFERRED ROUTE FOR CONSTRUCTION CREW AND CONSTRUCTION MATERIAL ACCESS FROM ELEVATOR TO CONSTRUCTION ZONE. SEE 'ICRA' (INFECTION CONTROL RISK ASSESSMENT) REQUIREMENTS ON SHEET 0022 AND ICRA WORK PERMIT FORM IN THE PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

NJRA ARCHITECTS

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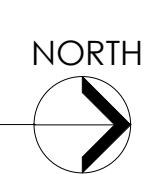
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LDS Hospital
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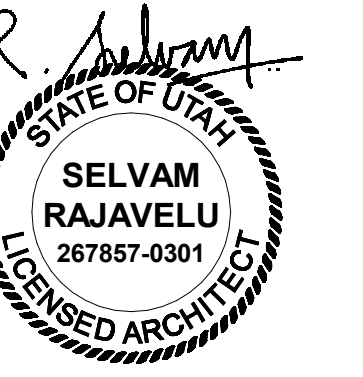
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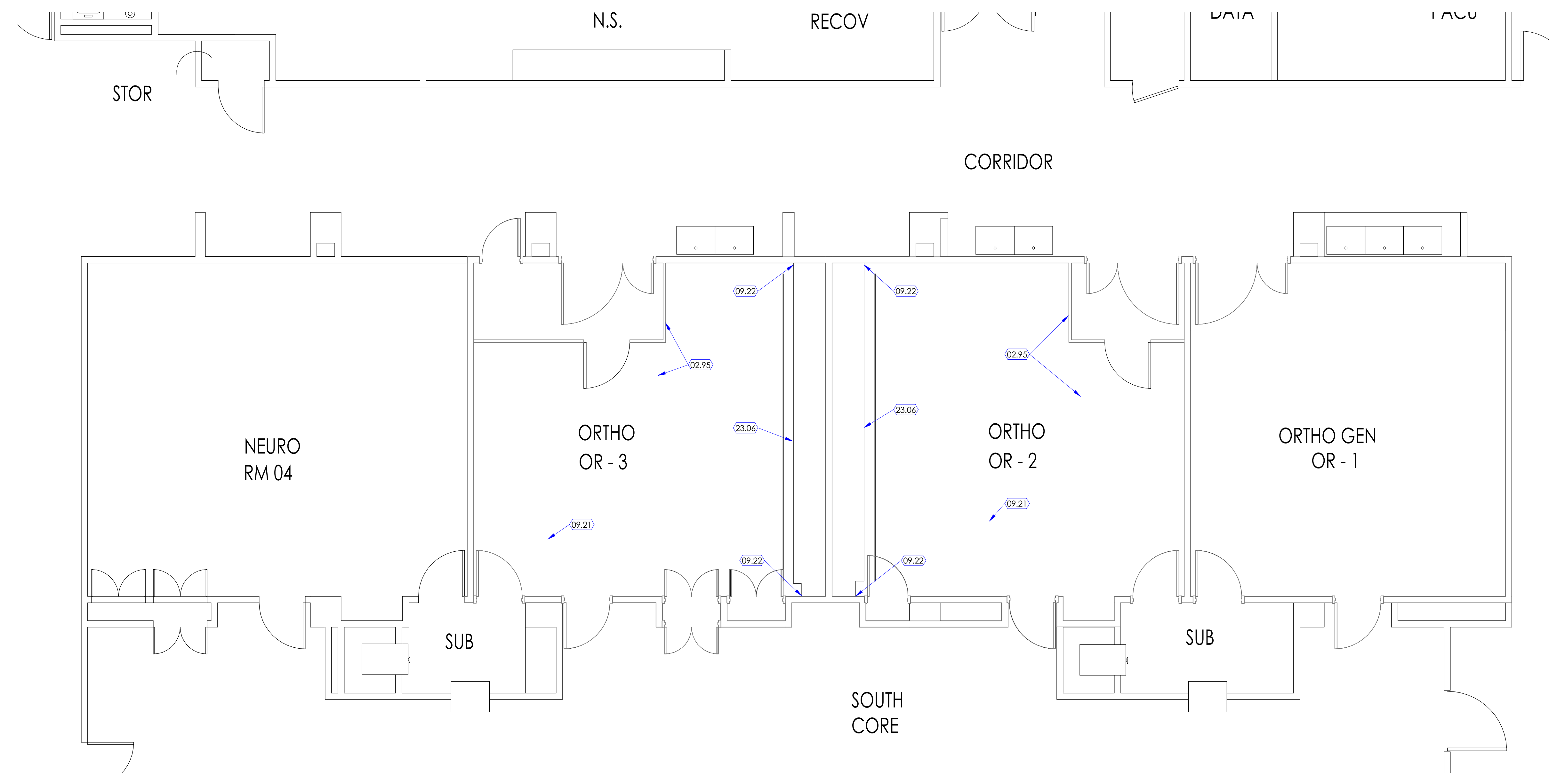
Floor Plan
Level 3 -
Overall



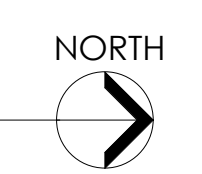
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KEYED NOTES	
02.95	AT THE END OF CONSTRUCTION PHASE, REMOVE DUST PARTITIONS, TEMPORARY DOORS, VACUUM MACHINE, ETC. AND RESTORE OPERATING ROOM TO THE ORIGINAL CONDITION. CLEAN ALL ADHESIVE MARKS LEFT BY TAPES, MOP FLOOR, CLEAN WALLS, AND REMOVE ALL PLASTIC WRAPS.
09.21	EXISTING PAINTING ON WALLS AND CEILING APPEAR TO BE IN GOOD CONDITION. NO PAINTING WILL BE REQUIRED. TOUCH UP PAINT SHALL BE REQUIRED ON A FEW SPTS ON DOORS, DOOR FRAMES, AND GYPSUM BOARD WALLS. CONTRACTOR SHALL OBSERVE REQUIRED TOUCH UPS DURING THE PRE-BID WALK THROUGH WITH OWNER AND ARCHITECT.
09.22	STAINLESS STEEL ANGLE, 4" X 4" X 1/16", SMOOTH FINISH, SHALL BE INSTALLED FROM FLOOR TO CEILING WHERE NEW DIFFUSER DUCT ABUTS EXISTING WALL.
23.06	WALL-MOUNTED DIFFUSER. SEE MECHANICAL DRAWINGS, IN THE OPERATING ROOM. ALL THE EXISTING RETURN AIR GRILLE SHALL BE REPLACED WITH NEW. PAINT AS REQUIRED TO MATCH WALL AND CEILING.



1 Floor Plan Level 3
SCALE: 1/4" = 1'-0"



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Floor Plan
Level 3

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LEGEND OF MECHANICAL SYMBOLS AND ABBREVIATIONS

DUCTWORK/GRILLES

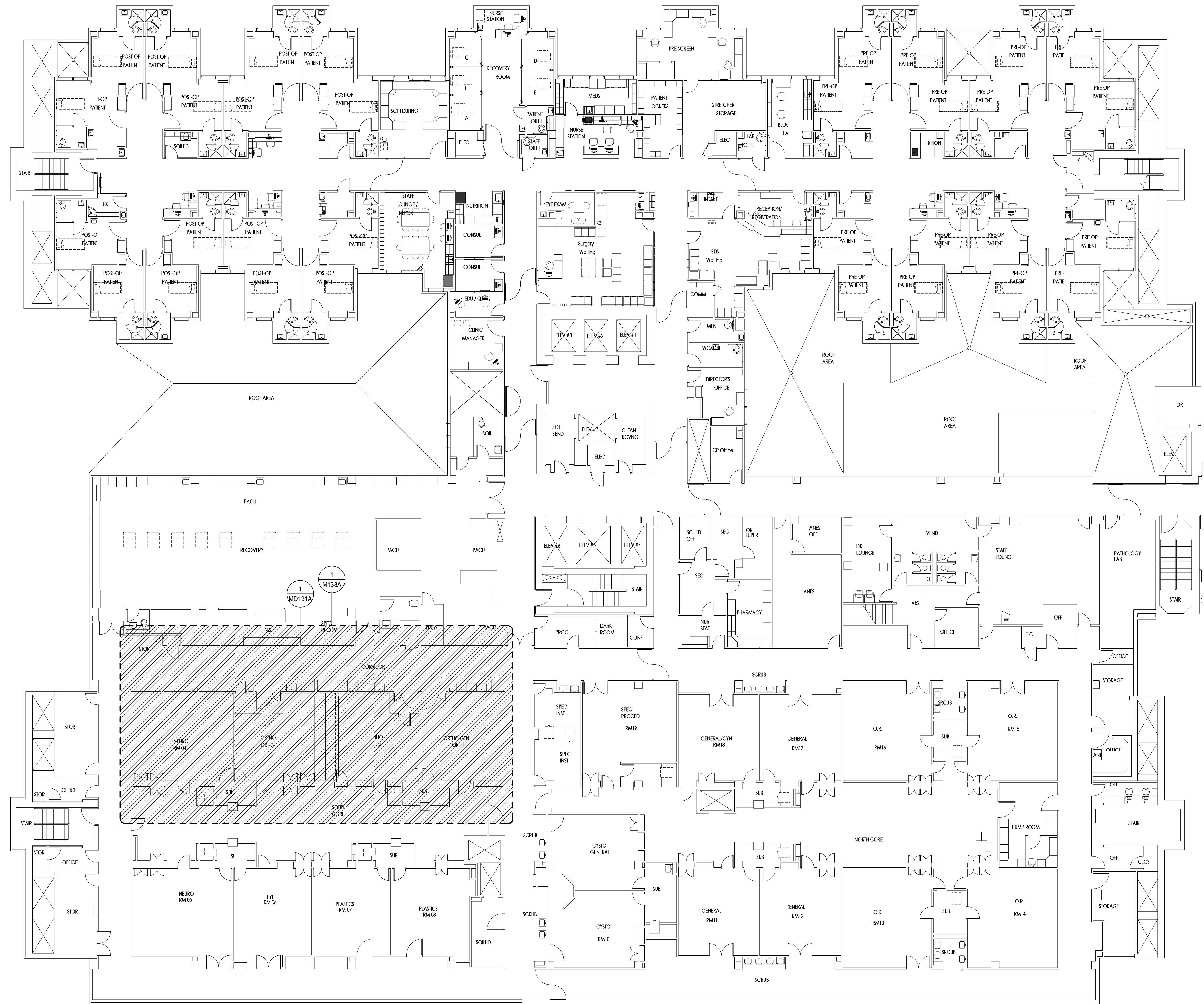
	POSITIVE PRESSURE DUCT - RISE
	POSITIVE PRESSURE DUCT - DROP
	NEGATIVE PRESSURE DUCT - RISE
	NEGATIVE PRESSURE DUCT - DROP
	ROUND DUCT - RISE
	ROUND DUCT - DROP
	UNDER FLOOR DUCT
	TURNING VANES
	FRESH AIR LOUVER
	RELIEF AIR OR EXHAUST AIR LOUVER
	CEILING SUPPLY DIFFUSER
	CEILING RETURN REGISTER
	CEILING EXHAUST REGISTER (BALANCE TO MATCH SUPPLY IF RETURN CFM IS NOT SHOWN)
	SIDEWALL SUPPLY REGISTER
	SIDEWALL EXHAUST OR RETURN REGISTER
	CEILING SUPPLY DIFFUSER WITH FLEXIBLE DUCT
	CEILING AIR GRILLE WITH FLEXIBLE DUCT
	CEILING RETURN AIR GRILLE W/ SOUND BOOT
	LINEAR DIFFUSER WITH PLENUM AND FLEXIBLE DUCT CONNECTION. NO. OF SLOTS & SIZE OF SLOT ON TOP. ACTIVE LENGTH AND CFM ON BOTTOM
	FLEXIBLE DUCT CONNECTION
	FLEXIBLE DUCT
	FLAT OVAL DUCT WITH NET INSIDE DIMENSIONS SHOWN IN INCHES.
	RECTANGULAR DUCT WITH NET INSIDE DIMENSIONS SHOWN IN INCHES.
	ROUND DUCT WITH NET INSIDE DIMENSIONS SHOWN IN INCHES.
	INCLINED RISE } WITH RESPECT TO AIR FLOW 15° NOMINAL INCLINE WITH RADIUS TURNS=DEPTH OF DUCT.
	R/W=1. ROUND DUCT SIMILAR TO RECTANGULAR
	RECTANGULAR TO RECTANGULAR OR ROUND TO ROUND DUCT TRANSFORMATION MAXIMUM 15° INCLUDED ANGLE EXCEPT WHERE SHOWN OTHERWISE.
	RECTANGULAR TO ROUND DUCT TRANSFORMATION
	BRANCH DUCT SPLIT WITH 6" WIDTH AND MIN. R=WIDTH OF BRANCH DUCT DOWNSTREAM. ELBOW TURNING VANE OPTIONAL.
	TAP ENTRY AREA EQUALS 150% OF BRANCH AREA
	HIGH EFFICIENCY FITTING
	MANUAL VOLUME DAMPER
	FIRE DAMPER IN DUCT, W/ ACCESS PANEL REQD.
	COMBINATION FIRE/SMOKE DAMPER W/ ACCESS PANEL
	SMOKE DAMPER W/ ACCESS PANEL
	BACK DRAFT DAMPER
	ATC DAMPER
	ACCESS PANEL IN DUCT OR PLENUM
	HEATING OR COOLING COIL IN DUCT
	SINGLE DUCT AIR TERMINAL BOX VARIABLE OR CONSTANT VOLUME. MIN. 1-1/2" TERMINAL INLET SIZE STRAIGHT DUCT AT TERMINAL INLET.
	4-WAY BLOW PATTERN
	3-WAY BLOW PATTERN
	2-WAY BLOW PATTERN
	2-WAY BLOW PATTERN
	1-WAY BLOW PATTERN
	DUCT SMOKE DETECTOR

ANNOTATIONS

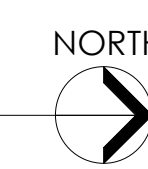
	PLUMBING FIXTURES
	POINT OF CONNECTION
	SECTION TAG - TOP FIGURE IS SECTION NO. BOTTOM FIGURE IS SHEET NO.
	DETAIL TAG - TOP FIGURE IS DETAIL NO. BOTTOM FIGURE IS SHEET NO.
	EQUIPMENT IDENTIFICATION
	KEYED NOTE IDENTIFICATION
	SWITCH
	SENSOR
	THERMOSTAT
	NIGHT THERMOSTAT

MECHANICAL GENERAL NOTES

1. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CAULKING AND SEALING ALL PENETRATIONS IN FIRE AND SMOKE RATED PARTITIONS TO MAINTAIN RATINGS. SEE SPECIFICATION, TYPICAL.
2. CONTRACTOR SHALL OFF-SET, TRANSITION AND PROVIDE CHANGES AS REQUIRED FOR COORDINATION WITH OTHER TRADES, TYPICAL.
3. DUCTWORK SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS. REFER TO MECHANICAL SPECIFICATIONS FOR EXTENT OF DUCT INSULATION AND LINER.
4. MECHANICAL CONTRACTOR SHALL ENSURE THAT ALL EQUIPMENT IS PROVIDED AND INSTALLED WITH CLEARANCES PER MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL MAINTAIN PROPER SERVICE SPACE FOR COIL PULLS, BAS DEVICES, MAINTENANCE ACCESS, ETC.
5. NEW DUCTWORK, PIPING AND EQUIPMENT SHALL BE COORDINATED WITH STRUCTURE, LIGHTS, REFLECTED CEILING PLANS, CABLE TRAY, ELECTRICAL CONDUIT, PLUMBING, MECHANICAL AND FIRE PROTECTION PIPING, MEDICAL GASES, ALL OTHER TRADES AND ALL OTHER EXISTING CONDITIONS.



1 Mechanical Floor Plan Level 3 - Overall
SCALE: 3/32" = 1'-0"

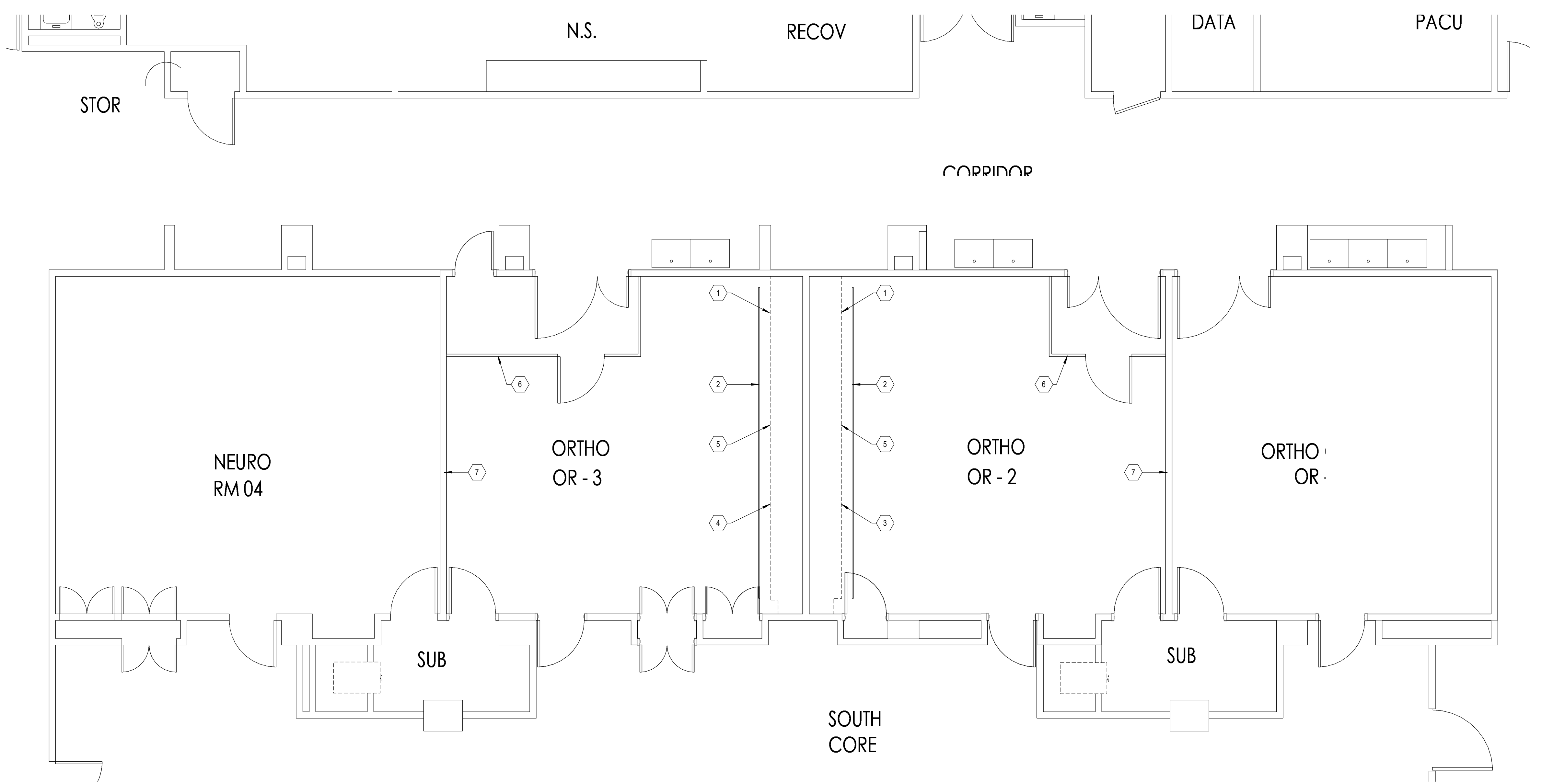


Mechanical
Plan Level 3 -
Overall

M133

KEYED NOTES

- EXISTING HEPA FILTER RACK WITH FILTERS AND SUPPORTING STRUCTURE SHALL BE DEMOLISHED. FIELD VERIFY DEMOLITION OF EXISTING WITH SUBMITTAL FOR NEW FILTER RACK SYSTEM.
- FLOOR MOUNTED ANGLE FOR FILTER RACK PROTECTION SEE ARCHITECTURAL DRAWINGS.
- COORDINATE WITH INTERMOUNTAIN TO SCHEDULE SHUTDOWN OF AH-10 SERVING OR-2 FOR DEMOLITION OF EXISTING AND INSTALLATION OF NEW FILTRATION SYSTEM.
- COORDINATE WITH INTERMOUNTAIN TO SCHEDULE SHUTDOWN OF AH-11 SERVING OR-3 FOR DEMOLITION OF EXISTING AND INSTALLATION OF NEW FILTRATION SYSTEM.
- CONTACT BTC SERVICES AT 801-974-5911 TO PROVIDE A PRE-READ OF THE EXISTING HEPA FILTER RACK SYSTEM PRIOR TO ANY DEMOLITION OR OTHER WORK AFFECTING AIRFLOW. SEND INVOICE TO VBFA FOR PAYMENT.
- ANTE-ROOM, SEE ARCHITECTURAL DRAWINGS.
- THE GENERAL CONTRACTOR SHALL PROVIDE (2) HEPA FILTERED NEGATIVE AIR MACHINES FOR EACH OR FOR THE MECHANICAL CONTRACTOR TO INSTALL. LOCATE EACH MACHINE ADJACENT TO THE LOW-WALL RETURN GRILLE. REMOVE RETURN AIR GRILLE AND PROTECT AND STORE FOR LATER RE-INSTALLATION. PROVIDE BLANK-OFF PANELS AT EACH LOW-WALL RETURN WITH INLET COLAR FOR CONNECTION TO FLEX DUCT OFF OF EACH NEGATIVE AIR MACHINE. MARK CURRENT POSITION OF DAMPER CONTROLLING RETURN AIRFLOW FROM OR AND ADJUST TO MAINTAIN APPROPRIATE NEGATIVE PRESSURE FOR CONSTRUCTION AND ACCESS. DIRECTION OF AIRFLOW SHALL BE FROM CORRIDOR, THROUGH ANTEROOM AND INTO OR.



1 Mechanical Demolition Plan Level 3
SCALE: 1/4" = 1'-0"

Intermountain Healthcare
LDS Hospital
Operating Rooms 2 & 3 Diffuser Replacement

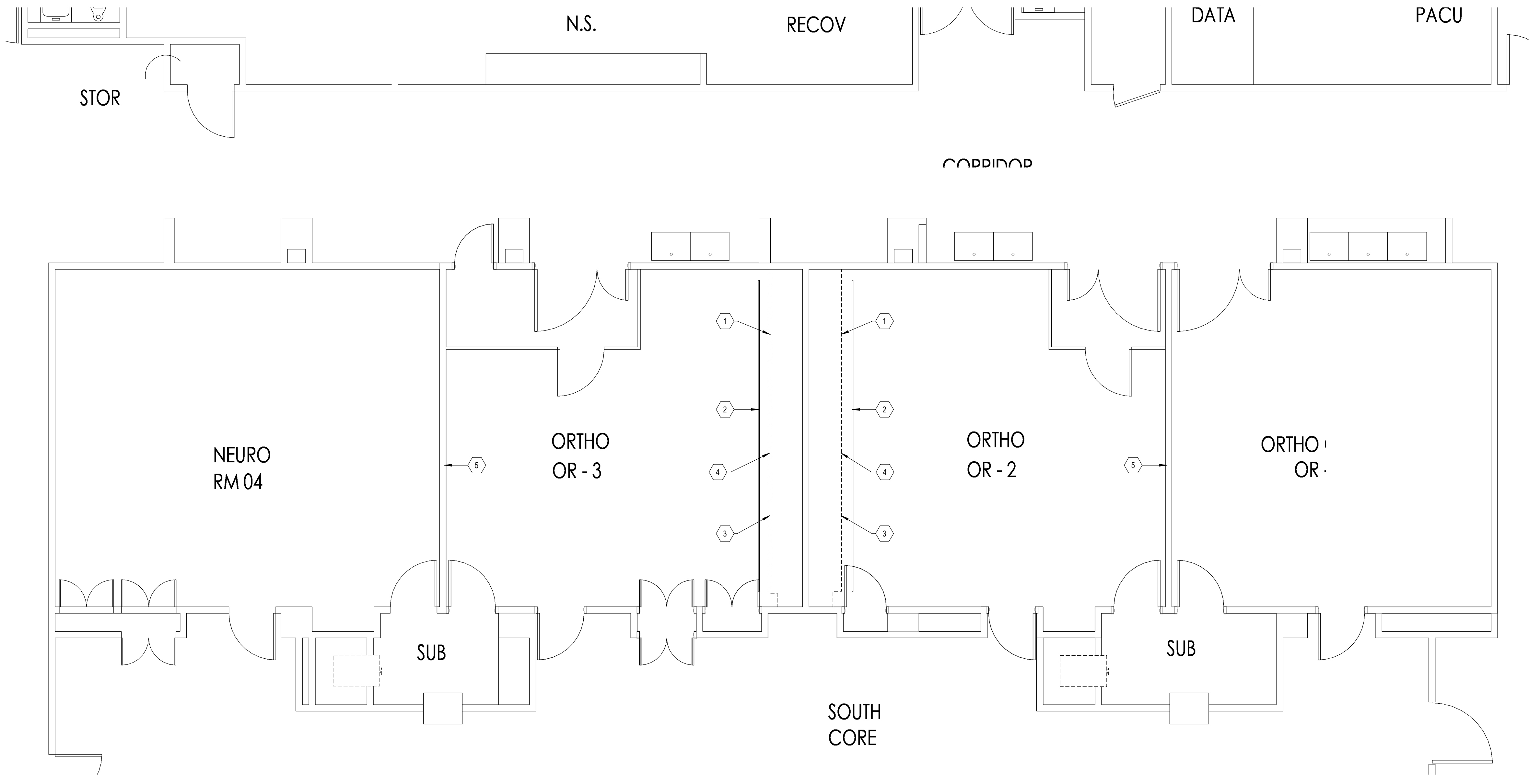
8th Avenue, C Street
Salt Lake City, UT 84143

NJRA Project # 21202.00
Construction Documents May 20, 2021

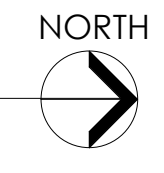
Mechanical
Demolition
Plan Level 3

MD131A

- # KEYED NOTES
1. PROVIDE AND INSTALL NEW HORIZONTAL LAMINAR - FILTER WALL SYSTEM WITH (7) MODULE FILTER WALL SYSTEM TO DELIVER HEPA FILTERED HORIZONTAL LAMINAR SUPPLY AIR. ACTIVE AIRFLOW SURFACE SHALL BE NOMINAL 18" 8" WIDE BY 8' HIGH FOR INSTALLATION IN A 20' WIDE BY 10' HIGH WALL. (7) SPECIAL HIGH-CAPACITY, PERFORATED PANEL, HEPA FILTERED DIFFUSER PLENUMS TO CREATE 19" NOMINAL SIZE FILTER WALL OF LAMINAR-TYPE UNIDIRECTIONAL FLOW SUPPLY DIFFUSER CABINETS OF 22" DEPTH, WITH PERFORATED PROTECTIVE SCREEN BUMPER GUARD RAILS, TERMINAL 99.99% HEPA FILTERS, 1/2" POLYESTER URETHANE SOUND ATTENUATING INSULATION WITH FLAME-BONDED TUFTANE COATING, "KNIFE EDGE" FILTER ENGAGEMENT.
 2. FLOOR MOUNTED ANGLE FOR FILTER RACK PROTECTION SEE ARCHITECTURAL DRAWINGS.
 3. TERMINAL HEPA FILTERS SHALL BE 100 MM PACK MICROFIBER ALL-GLASS MEDIA, ASHRAE MINIMUM EFFICIENCY REPORTING VALUE (MERV) 18 - EFFICIENT TO 99.99% AT 0.3 MICRONS AND EXTRUDED ALUMINUM FILTER FRAME WITH GEL CHANNEL SEAL.
 4. CONTACT BTC SERVICES AT 801-974-5911 TO PROVIDE FINAL TEST AND BALANCE FOR THE NEW HEPA FILTER RACK SYSTEM AFTER COMPLETING INSTALLATION OF NEW WORK. SEND INVOICE TO VBFA FOR PAYMENT.
 5. AFTER COMPLETING INSTALLATION, THE CONTRACTOR SHALL REMOVE HEPA FILTERED NEGATIVE AIR MACHINES SERVING OR AND REPLACE RETURN AIR GRILLES AT EACH LOW-WALL RETURN.



1 Mechanical Plan Level 3
SCALE: 1/4" = 1'-0"



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Plan Level 3

M133A

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