



# ADDENDUM

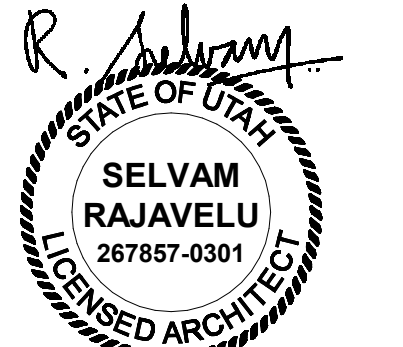
|                  |  |
|------------------|--|
| Date Issued:     | Jan 19, 2019   |
| Project:         | Intermountain Healthcare<br>LDS Hospital, OR Remodel<br>8 <sup>th</sup> Avenue, C Street<br>Salt Lake City, Utah 84143 |
| Addendum Number: | 1  |

The Contractors submitting proposals on the above-captioned project shall be governed by the following addendum, changes and explanations to the drawings and specifications and shall submit their bids in accordance therewith.

| Sheet Number                  | Drawings   |
|-------------------------------|--|
| <b>Architectural Drawings</b> |  |
| A-111                         | Added a dust proof partition wall with a 4'-0" door to create an Ante Room during construction. Construction debris to be hauled off in closed containers. Other ICRA requirements mentioned on Sheet G002   |
| A-102                         | Extended the scope of terrazzo flooring at existing wall/wall to be demolished to extend 6" beyond face of wall on either side. The department of health does not accept metal strips in the floor so these should be removed. Flooring to be smooth and monolithic. |

**Attachments:**

Drawings: A111 and A112

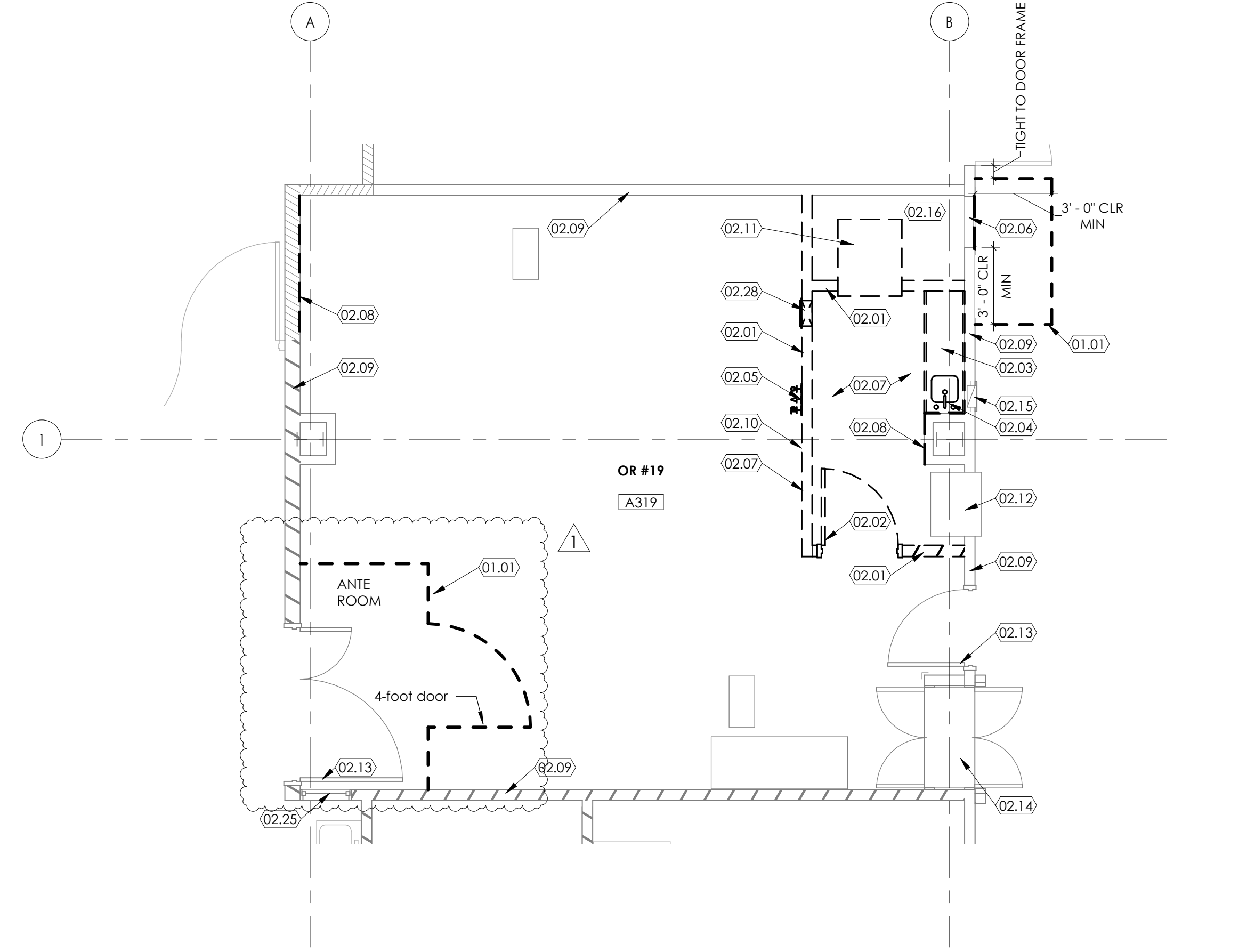


**KEYED NOTES**

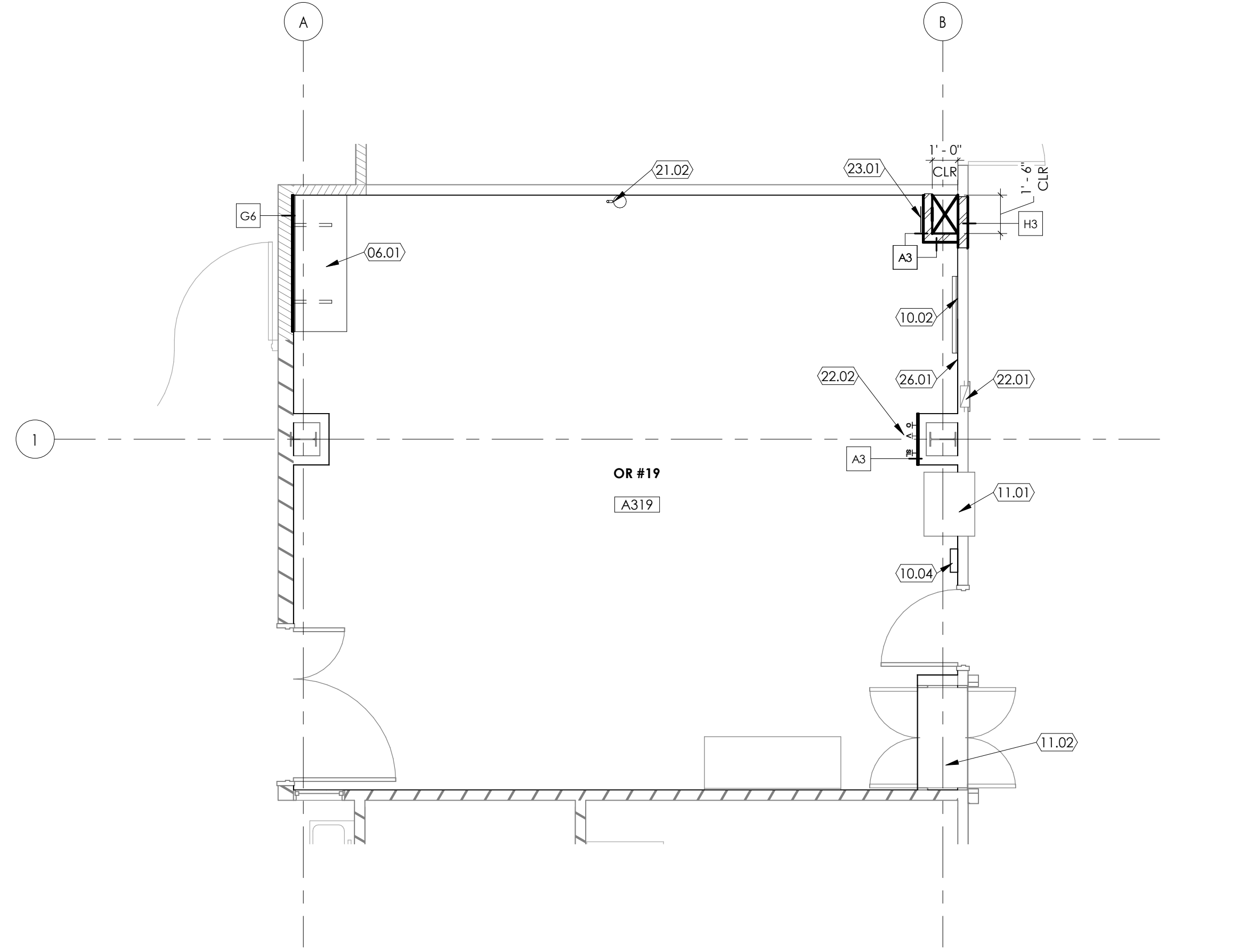
- 01.01 DASHED LINE INDICATES FLOOR TO CEILING DUST PROOF CONSTRUCTION BARRIER TO PREVENT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS OCCUPIED BY THE OWNER FROM FUMES AND NOISE. CONSTRUCTION BARRIER TO BE ERECTED WITH 3/8" X 20 GA. MIL STUDS @ 14" O.C. FRAMING WITH 5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES. TAPE AND SEAL ALL JOINTS AND OPENINGS. SEAL JOINTS AT PERIMETER. PAINT WALL ON EXISTING CORRIDOR SIDE. PARTITION TO BE EQUIPPED WITH 3'-0" LOCKABLE MAN DOOR WITH STICKY MATS ON BOTH SIDES OF DOOR. COORDINATE WITH OWNER FOR EXACT LOCATION OF CONSTRUCTION BARRIER.
- 02.01 REMOVE EXISTING METAL STUD WALL INCLUDING STUDS, GYPSUM BOARD, STUD BRACING ABOVE CEILING, ELECTRICAL, MECHANICAL, AND PLUMBING ITEMS LOCATED IN THE WALL.
- 02.02 REMOVE EXISTING DOOR, HARDWARE AND FRAME.
- 02.03 REMOVE EXISTING CASEWORK, INCLUDING BASE CABINETS, COUNTERTOPS, CLOSER PANELS, ETC.
- 02.04 REMOVE PLUMBING FIXTURES. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 02.05 REMOVE WALL MOUNTED MED GASES AND PIPING. SEE PLUMBING DRAWINGS.
- 02.06 REMOVE EXISTING ACCESS DOOR. REPAIR WALL PER WALL TYPE 'C3' ON SHEET A501A. AND PAINT TO MATCH ADJACENT EXISTING.
- 02.07 CAREFULLY REMOVE AND SALVAGE ALL WALL MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO SOAP AND PAPER TOWEL DISPENSER, WHITE BOARDS, GLOVE DISPENSER, ETC. RETURN SALVAGED ITEMS TO OWNER.
- 02.08 EXISTING WALL TO REMAIN. REMOVE GYPSUM BOARD AS REQUIRED FOR INSTALLATION OF NEW IN-WALL METAL SUPPORTS AND M/E/P ITEMS. PATCH OPENING WITH NEW 5/8" THICK TYPE 'X' GYPSUM BOARD. PATCH AND REPAIR FLOOR AND BASE AS REQUIRED. PAINT PER FINISH SCHEDULE.
- 02.09 EXISTING WALL TO REMAIN. PROTECT DURING CONSTRUCTION. PAINT PER FINISH SCHEDULE.
- 02.10 CAREFULLY REMOVE AND STORE ISOLATION MONITOR FOR RELOCATION. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 02.11 EXISTING AUTOCLAVE TO BE CAREFULLY REMOVED AND RETURNED TO OWNER. ALSO REMOVE ALL ASSOCIATED PLUMBING. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 02.12 EXISTING PASS-THROUGH BLANKET WARMER TO REMAIN. PROTECT DURING CONSTRUCTION.
- 02.13 EXISTING DOOR TO REMAIN. PROTECT DURING CONSTRUCTION.
- 02.14 EXISTING STAINLESS STEEL PASS-THROUGH CABINET TO REMAIN. PROTECT DURING CONSTRUCTION.
- 02.15 EXISTING MED GAS SHUT OFF TO REMAIN. PROTECT DURING CONSTRUCTION. SEE M/E/P DRAWINGS.
- 02.16 CLEAN AND PREP EXPOSED CONCRETE FOR NEW FLOORING. REMOVE EXISTING FLOOR SINK. FILL OPENING WITH CONCRETE AND METAL DECK. GRIND SMOOTH TO MATCH ADJACENT EXISTING.
- 02.20 REMOVE WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 02.21 REMOVE EXISTING GYPSUM BOARD SOFFIT/CEILING AND FRAMING SYSTEM, INCLUDING ALL EXISTING LIGHT FIXTURES, HVAC DIFFUSERS, SPRINKLERS AND OTHER CEILING MOUNTED ITEMS. REFER TO M/E/P DRAWINGS. SALVAGE LIGHT FIXTURES AND HVAC GRILLS AND RETURN TO OWNER.
- 02.22 REMOVE EXISTING CEILING TILES AND GRIDS. AND REFER TO M/E/P DRAWINGS FOR ADDITIONAL ITEMS.
- 02.23 EXISTING GYPSUM BOARD CEILING AND CEILING MOUNTED OPERATING ROOM EQUIPMENT TO REMAIN. PROTECT DURING CONSTRUCTION. PATCH AND REPAIR AS REQUIRED FOR ITEMS REMOVED. RE-PAIN ENTIRE CEILING. SEE FINISH SCHEDULE.
- 02.24 CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURE FOR RELOCATION. PATCH AND REPAIR CEILING AS REQUIRED FOR RELOCATION.
- 02.25 EXISTING WINDOW TO REMAIN. PROTECT DURING CONSTRUCTION.
- 02.26 REMOVE CEILING MOUNTED UNISTRUT. REMOVE INFRASTRUCTURE ABOVE AS REQUIRED FOR CEILING STRUCTURE TO BE SMOOTH AND CONTINUOUS WITH ADJACENT EXISTING. PATCH AND REPAIR CEILING AS REQUIRED TO MATCH ADJACENT EXISTING. RE-PAINT ENTIRE CEILING.
- 02.27 EXISTING CEILING MOUNTED FIXTURES TO REMAIN, INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, AIR TERMINALS, BOOMS, ETC.. PROTECT DURING CONSTRUCTION.
- 02.28 REMOVE LOW AIR RETURN AND ALL ASSOCIATED DUCTWORK. SEE MECHANICAL DRAWINGS.
- 06.01 SOLID SURFACE COUNTERTOP AND INTEGRAL BACKSPASH. SEE DETAIL 13/A503A AND 14/A503A. COORDINATE WITH ELECTRICAL DRAWINGS FOR POWER/DATA REQUIREMENTS ABOVE/BELOW COUNTERTOP.
- 08.01 24" X 24" GASKETED GFRG ACCESS PANELS. BASIS OF DESIGN: BAUCO PLUS II ARCHITECTURAL ACCESS PANEL WITH CONCEALED HARDWARE AND GYPSUM BOARD INLAY. MODEL NUMBER 20-58-2424. COORDINATE LOCATION OF ACCESS PANELS WITH M/E/P.
- 09.02 NEW GYPSUM BOARD CEILING. FIELD VERIFY AND MATCH HEIGHT OF ADJACENT EXISTING. PATCH AND REPAIR AS REQUIRED FOR SMOOTH TRANSITION FROM EXISTING CEILING AND PAINT ENTIRE CEILING PER FINISH SCHEDULE. SEE SHEET A112. SEE DETAILS ON SHEET A503A.
- 10.02 EXISTING MARKER BOARD TO BE RELOCATED TO THIS LOCATION AT 42" AFF.
- 10.04 GLOVE DISPENSER, OFCL.
- 11.01 EXISTING PASS-THROUGH BLANKET WARMER TO REMAIN. PROTECT DURING CONSTRUCTION.
- 11.02 EXISTING STAINLESS STEEL PASS-THROUGH CABINETS. PROTECT DURING CONSTRUCTION.
- 21.02 WALL MOUNTED FIRE EXTINGUISHER, O.F.C.I., CONTRACTOR TO COORDINATE WITH OWNER FOR EXACT LOCATION.
- 22.01 EXISTING MED GAS SHUT OFF VALVE TO REMAIN. SEE M/E/P DRAWINGS.
- 22.02 WALL MOUNTED MED GAS OUTLETS. SEE MED GAS DRAWINGS.
- 23.01 LOW AIR RETURN. SEE MECHANICAL DRAWINGS.
- 26.01 NEW LOCATION OF ISOLATION PANEL. SEE ELECTRICAL DRAWINGS. HEIGHT TO MATCH EXISTING.
- 26.02 RELOCATED LIGHT FIXTURES. COORDINATE WITH ELECTRICAL DRAWINGS.
- 26.03 NEW 2' X 4' LED LIGHT FIXTURE TO MATCH ADJACENT EXISTING. SEE ELECTRICAL DRAWINGS.

**GENERAL NOTES**

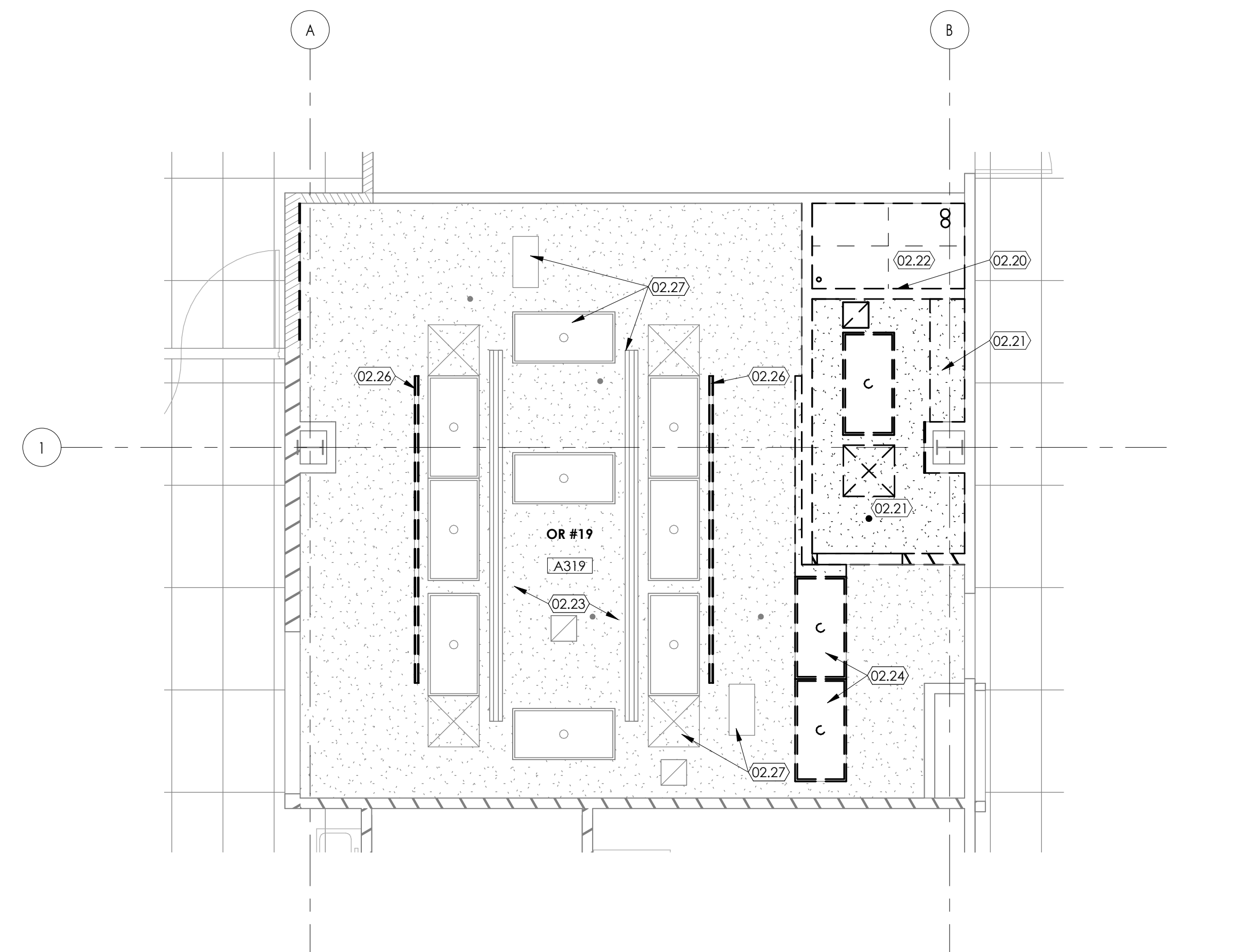
- A. SEE SHEET G003 AND G005 FOR SYMBOLS, GENERAL NOTES AND LEGEND.
- B. SEE SHEET A112 FOR FINISH SCHEDULE.



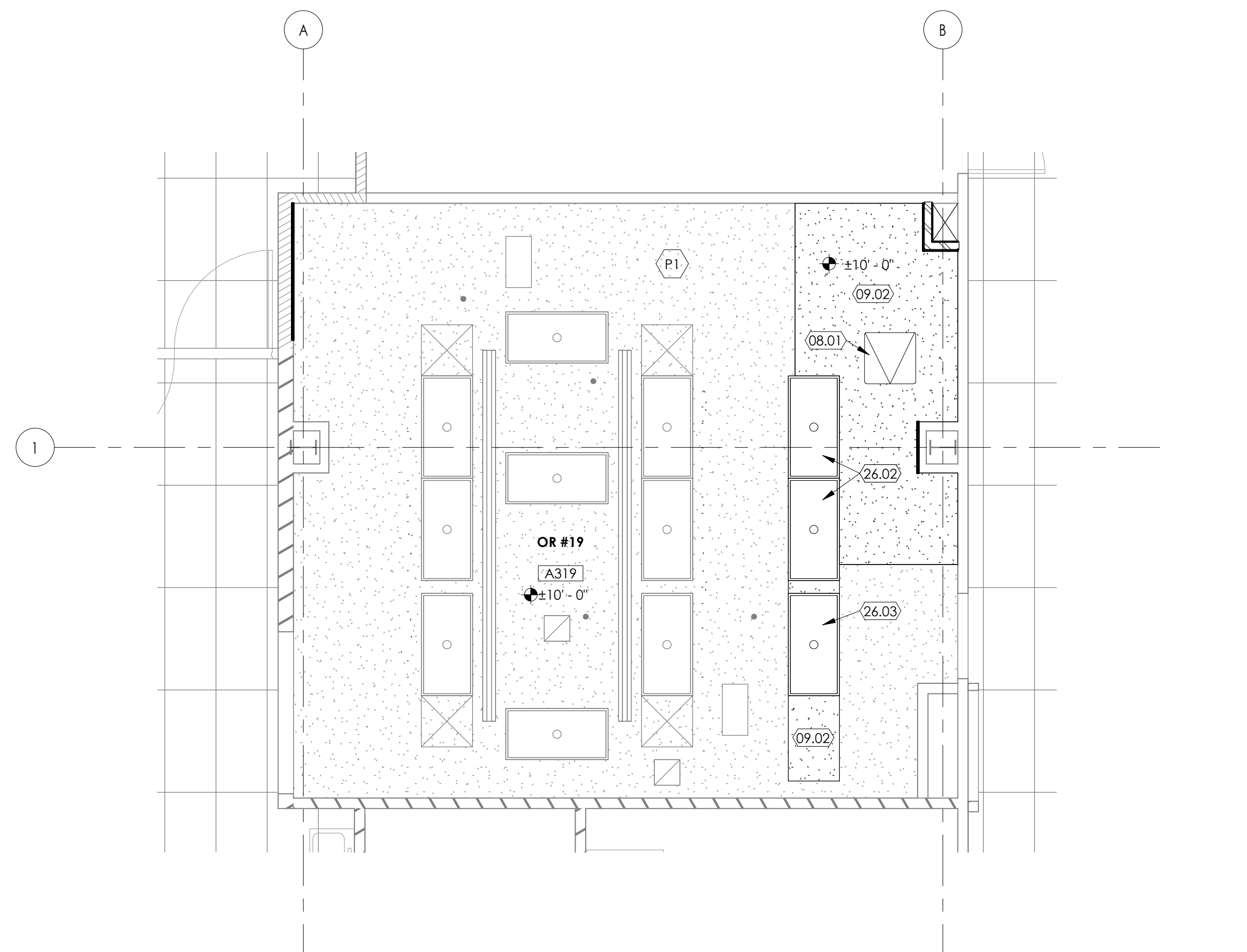
**1 Demolition Floor Plan Level 3**  
SCALE: 1/4" = 1'-0"  
NORTH



**2 Floor Plan Level 3**  
SCALE: 1/4" = 1'-0"  
NORTH



**3 Reflected Ceiling Demolition Plan Level 3**  
SCALE: 1/4" = 1'-0"  
NORTH



**4 Reflected Ceiling Plan Level 3**  
SCALE: 1/4" = 1'-0"  
NORTH



| FINISH SCHEDULE |                        |  |                  |                       |         |                         |          |
|-----------------|------------------------|--|------------------|-----------------------|---------|-------------------------|----------|
| TAG             | FINISH TYPE            | MATERIAL DESCRIPTION                   | MANUFACTURER     | STYLE                 | MODEL # | COLOR                   | COMMENTS |
| F1              | FLOOR FINISH           | TERRAZZO FLOORING                      | -                | -                     | -       | MATCH EXISTING          | 2        |
| B1              | WALL BASE              | 4" HIGH TERRAZZO COVE BASE             | -                | -                     | -       | MATCH EXISTING FLOORING | -        |
| P1              | WALL AND CEILING PAINT | EPOXY FIELD PAINT                      | SHERWIN WILLIAMS | EPOXY/SATIN           | SW 7005 | PURE WHITE              | 1        |
| P2              | FRAME PAINT            | DOOR AND WINDOW TRIM PAINT             | SHERWIN WILLIAMS | SEMI-GLOSS            | -       | MATCH EXISTING          | 4        |
| SS1             | SOLID SURFACE          | HORIZONTAL COUNTERTOP                  | DUPONT           | CORIAN                | -       | NEUTRAL CONCRETE        | -        |
| CG1             | CORNER GUARD           | 3 1/2" X 3 1/2" X 4' - 0" CORNER GUARD | INPRO            | TYPE 304              | 1.6 GA  | STAINLESS STEEL         | 3        |
| WP1             | WALL PROTECTION        | 0.06" THICK WALL PROTECTION WAINSCOT   | KOROGARD         | RIGID WALL PROTECTION | -       | VAPOR                   | 3        |

**COMMENTS**

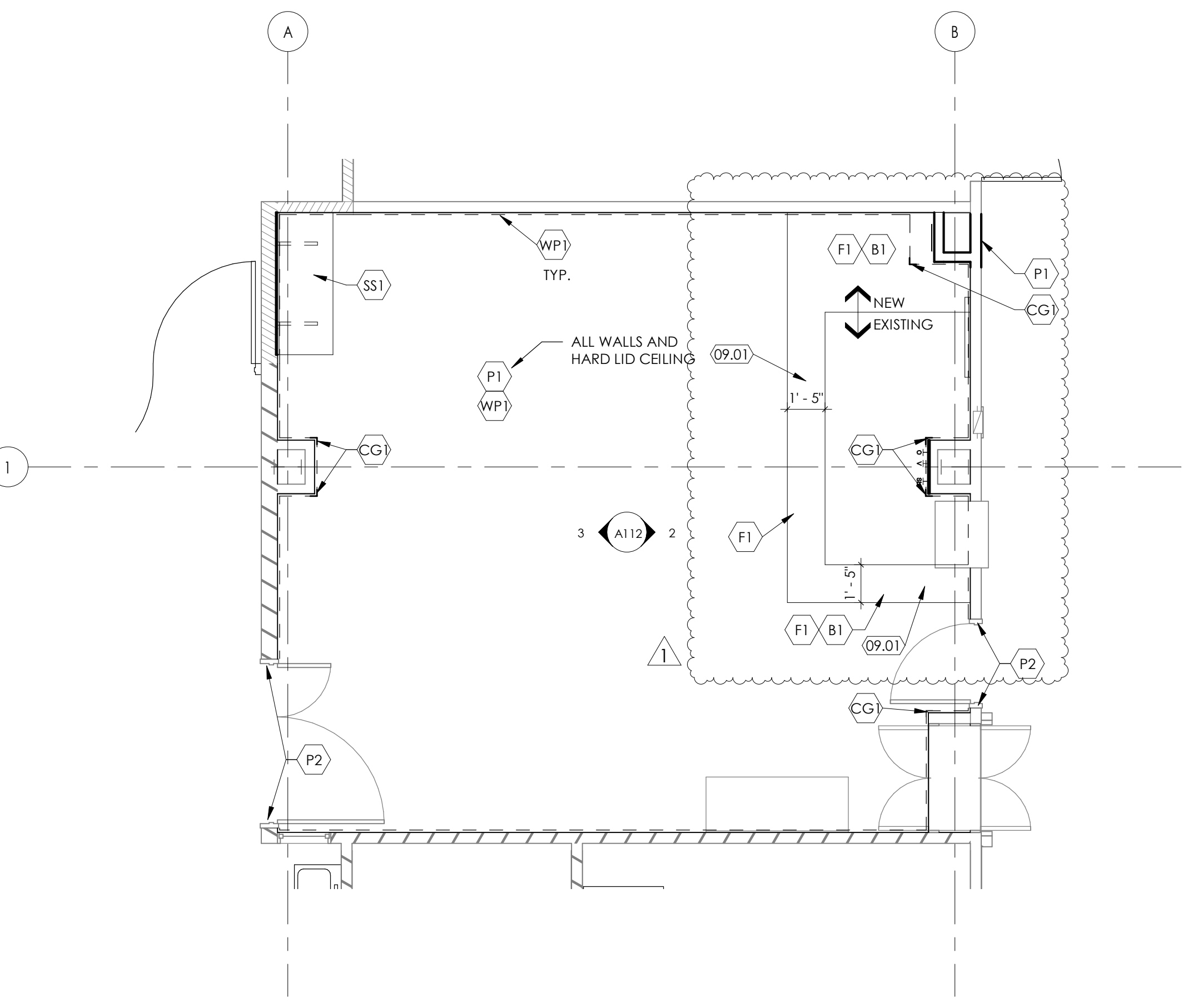
- EPOXY PAINT TO BE USED FOR ALL WALLS AND GYPSUM BOARD CEILING.
- MATCH AS CLOSE AS POSSIBLE EXISTING TERRAZZO FLOOR FINISH AND BASE IN ALL AREAS AS REQUIRED TO MAKE A SMOOTH AND CONTINUOUS SURFACE.
- WALL PROTECTION TO BE 4' - 0" HIGH FROM TOP OF COVE BASE. ALIGN WALL PROTECTION WITH TOP OF CORNER GUARD WHERE OCCURS.
- TYPICAL PAINT FOR DOORS AND FRAMES, SEMI GLOSS PAINT TO MATCH EXISTING FINISH ON ALL DOOR AND WINDOW FRAMES.

**KEYED NOTES**

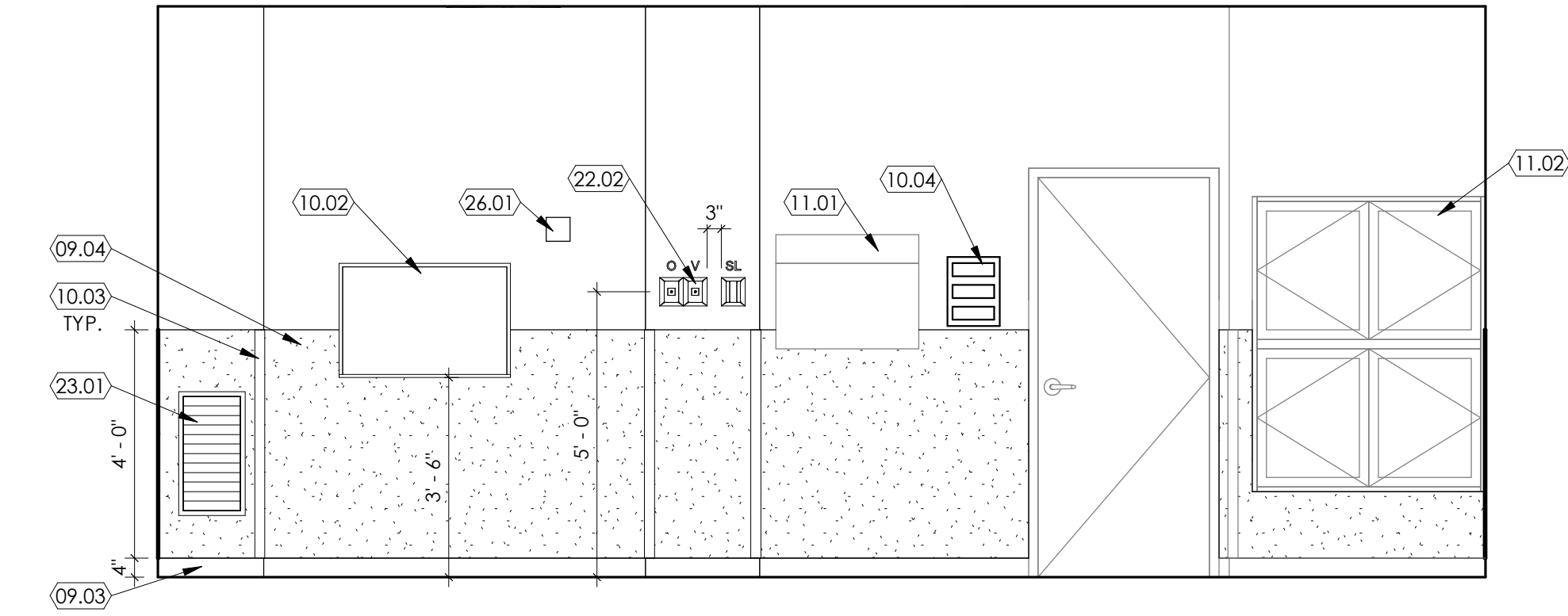
- 05.01 IN-WALL COUNTERTOP SUPPORT. SEE DETAIL 13/A503A. PAINT TO MATCH WALL COLOR.
- 06.01 SOLID SURFACE COUNTERTOP AND INTEGRAL BACKSPLASH. SEE DETAIL 13/A503A AND 14/A503A. COORDINATE WITH ELECTRICAL DRAWINGS FOR POWER/DIMMER REQUIREMENTS ABOVE/BELOW COUNTERTOP.
- 09.01 NEW FLOORING. PATCH AND REPAIR FLOORING AS REQUIRED FOR REMOVAL OF WALLS TO MATCH ADJACENT EXISTING. FLOORING TO EXTEND 6" BEYOND OF THE FACE OF EXISTING WALLS. REMOVE ANY AND ALL METAL STRIPS/CONTROL JOINTS IN THE FLOORING. FLOOR HAS TO BE SMOOTH AND MONOLITHIC WITHOUT ANY METAL STRIPS/JOINTS.
- 09.03 TERRAZZO COVE BASE. FIELD VERIFY AND MATCH EXISTING HEIGHT AND COLOR FOR NEW BASE. AS OCCURS. PATCH AND REPAIR TO MATCH EXISTING AS REQUIRED.
- 09.04 NEW WALL PROTECTION WAINSCOT, 4' - 0" HIGH ABOVE COVE BASE. SEE FINISH SCHEDULE.
- 10.02 EXISTING MARKER BOARD TO BE RELOCATED TO THIS LOCATION AT 42" AFF.
- 10.03 3 1/2" X 3 1/2" X 4' - 0" SURFACE MOUNTED STAINLESS STEEL CORNER GUARD. BASIS OF DESIGN INPRO CORPORATION. TOP OF CORNER GUARD TO ALIGN WITH TOP OF WALL PROTECTION WAINSCOT.
- 10.04 GLOVE DISPENSER, OFCI.
- 11.01 EXISTING PASS-THROUGH BLANKET WARMER TO REMAIN. PROTECT DURING CONSTRUCTION.
- 11.02 EXISTING STAINLESS STEEL PASS-THROUGH CABINETS. PROTECT DURING CONSTRUCTION.
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- 26.01 NEW LOCATION OF ISOLATION PANEL. SEE ELECTRICAL DRAWINGS. HEIGHT TO MATCH EXISTING.

**GENERAL NOTES**

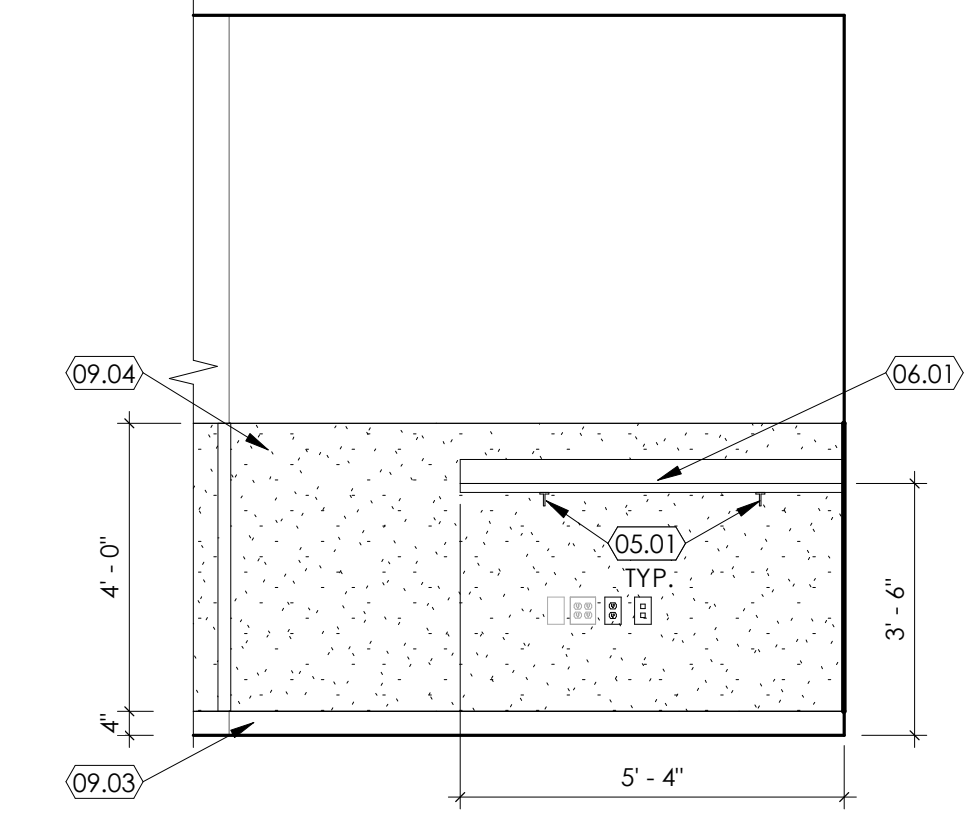
- A. SEE SHEET G003 AND G005 FOR SYMBOLS, GENERAL NOTES AND LEGEND.
- B. SEE SHEET A112 FOR FINISH SCHEDULE.



**1** Finish Floor Plan Level 3 - Overall  
SCALE: 1/4" = 1'-0"



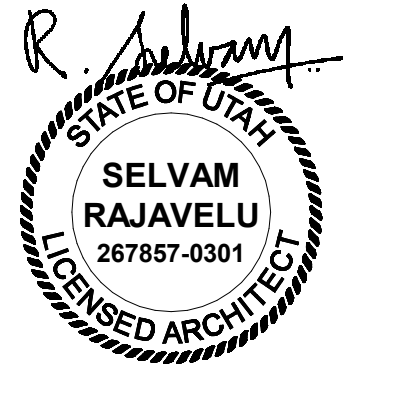
**2** East Elevation  
SCALE: 3/8" = 1'-0"



**3** West Elevation  
SCALE: 3/8" = 1'-0"



NJRA Architects, Inc.  
5272 S. College Drive, Suite 104  
Murray, Utah 84123  
801.364.9259  
www.njraarchitects.com



Intermountain Healthcare  
LDS Hospital  
OR Remodel

8th Avenue, C.S.I.  
Salt Lake City, Utah 84143

NJRA Project # 19210.00  
Construction Documents July 3, 2019  
1 Addendum #01 July 19, 2019

Finish Plan &  
Schedule &  
Interior  
Elevations

**A112**

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