



# ADDENDUM

Date Issued: July 5, 2022

Project: Intermountain Healthcare  
**LDS Hospital- Central Processing Remodel**  
 100 N Mario Capecchi Dr.  
 Salt Lake City, Utah 84113

Addendum Number: 1

The Contractors submitting proposals on the above-captioned project shall be governed by the following addendum, changes and explanations to the drawings and specifications and shall submit their bids in accordance therewith.

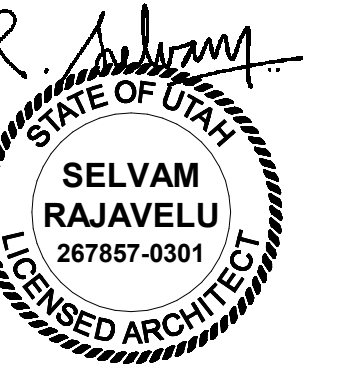
Item Number	General Items Description
1	All permit fees shall be paid by the Owner. Do not include in the bid.
2	The Central processing area shall remain occupied during the construction and some work will need to be coordinated and scheduled with the Owner.
3	Contractor shall field verify all dimensions and existing conditions before proceeding with the work.
4	Contractor shall coordinate & schedule work with the owner to avoid disruption to the adjacent occupied spaces as required. Coordinate all core drilling and cutting of the concrete slab with Mechanical, Plumbing, Electrical and equipment drawings. Patch & repair all un-used existing floor holes to match with adjacent existing after work is completed.
5	Owner will remove existing medical equipment from the remodel area before construction demolition starts. Coordinate with the owner before scheduling demolition.
6	Contractor shall remove and install owner furnished equipment like soap dispenser, paper towel dispenser etc. in the remodel area as required. Coordinate exact location with the Owner before proceeding with the work.
7	As discussed during the pre-bid walk, the sinks shall be construction in two phases as outlined in the construction documents so that the operation of the Central processing decontamination area will continue during construction. Phasing details on sheet A113A and as follows- <u>Phase 1</u> : The left small sink and the middle large sink and associated work on the Plan West and plan south side. <u>Phase 2</u> : The large sink and associated work on the Plan East side.  As notified by the infection control nurse- fire retardant visqueen sheet will be acceptable ICRA barrier to install and cover around each sink & construction area at the respective phases. Provide zipper at the sheet along with sticky mats at all entrance locations to restrict construction dust & dirt. Coordinate exact location with the Owner before installation.
8	Contractor to note that the adjustable height sinks in the project are provided and installed by Owner's vendor "Steris". Contact Steris to receive more information and



Item Number	General Items Description
	cutsheets along with all requirements of the sinks. Contractor is required to provide all hook ups, connections, brackets etc. required for complete installation and as outlined in the construction documents. The hookup points for electrical and plumbing to be installed as per requirements of Steris.
9	See Plumbing and Electrical drawings and coordinate where walls, ceilings and or floors are needed to be partially removed for installation of these items. Patch and repair walls, ceilings, and floors to match with adjacent where occurs after all work is completed. Sheetrock behind the sinks to be partially removed and replaced with new as required to run new plumbing lines.
10	Contractor to note that gypsum board sheathing behind the sinks will need to be removed and replaced with new if water damage is found, field verify existing conditions during construction. Notify Owner immediately if mold is noticed so that it can be mitigated before proceeding with construction.
11	Stainless steel wainscot has been extended in one portion of the wall as revised in the attached sheets. See revised sheets with revisions shown clouded.

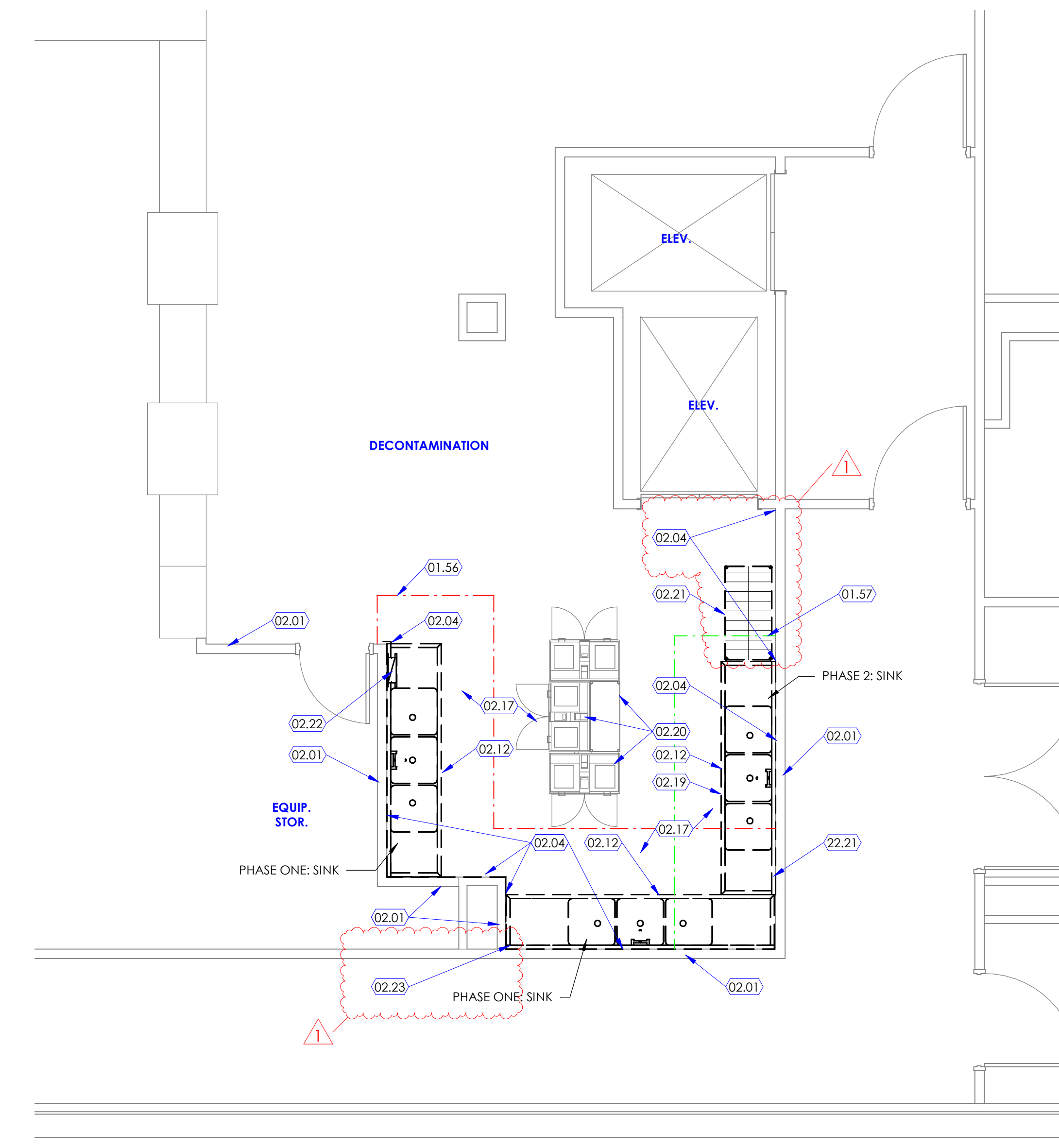
**Attachments:**

Drawings: Revised Sheets A1113A, A117A & A251

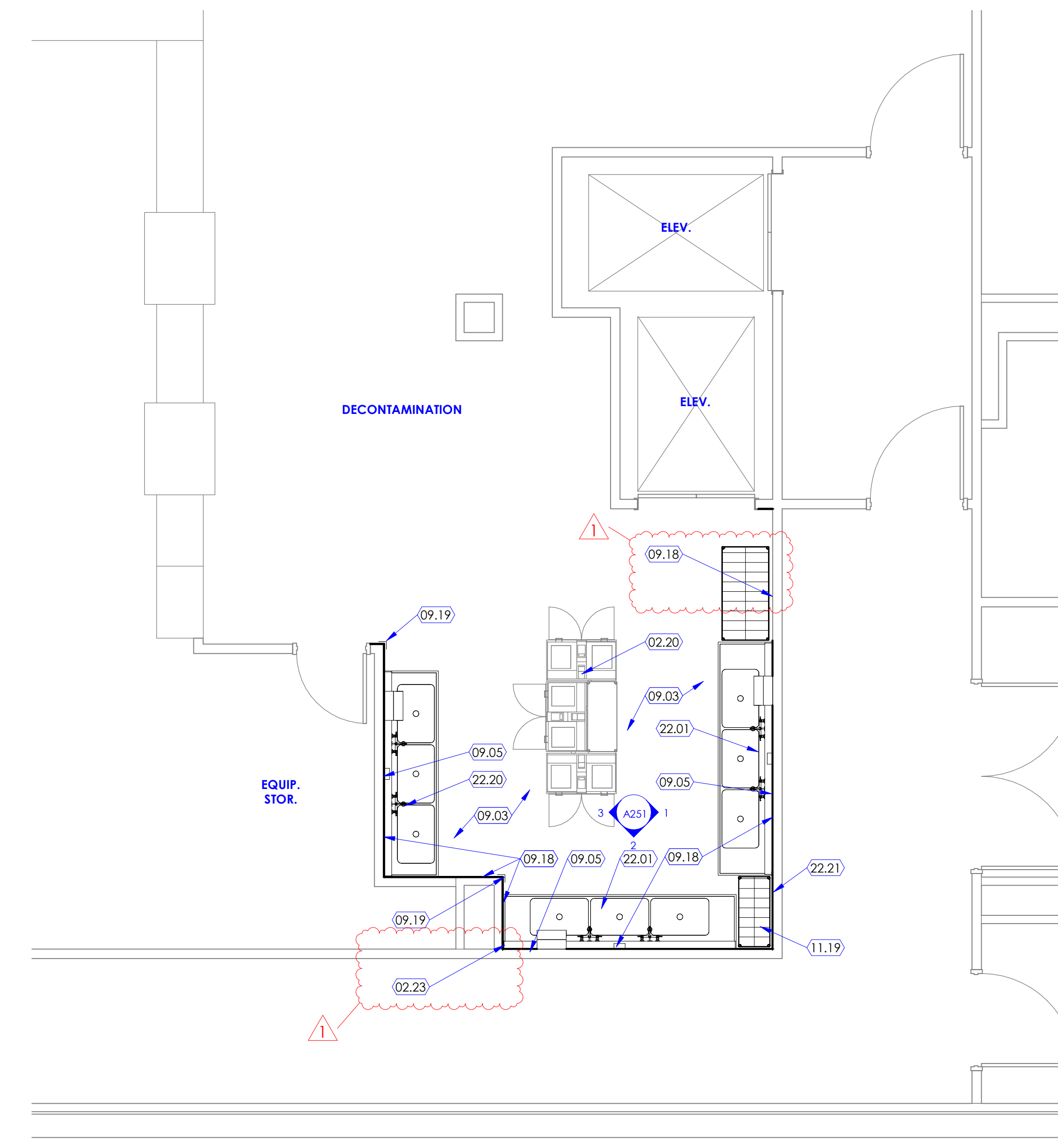


**KEYED NOTES**

- 01.56 PHASE 1: CONSTRUCTION DUST BARRIER- FIRE RETARDANT VISQUEEN SHEET FROM FLOOR TO THE CEILING ABOVE. PROVIDE ZIPPER FOR ACCESS AND TAPE AND SEAL ALL OPENINGS AND PERIMETER FOR A COMPLETE DUST PROOF BARRIER TO MEET HOSPITAL INFECTION CONTROL REQUIREMENTS. PROVIDE STICKY MATS AT THE ENTRANCE.
- 01.57 PHASE 2: CONSTRUCTION DUST BARRIER- FIRE RETARDANT VISQUEEN SHEET FROM FLOOR TO THE CEILING ABOVE. PROVIDE ZIPPER FOR ACCESS AND TAPE AND SEAL ALL OPENINGS AND PERIMETER FOR A COMPLETE DUST PROOF BARRIER TO MEET HOSPITAL INFECTION CONTROL REQUIREMENTS. PROVIDE STICKY MATS AT THE ENTRANCE.
- 02.01 WALL, EXISTING TO REMAIN. PROTECT WALL FROM DAMAGE DURING CONSTRUCTION.
- 02.04 REMOVE STAINLESS STEEL WAINSCOT FROM WALL ON THE ROOM SIDE. PATCH AND REPAIR GYPSUM SHEATHING WHERE DAMAGED TO INSTALL AND MODIFY PLUMBING LINES. EXISTING INDICATED IN THIS AREA TO BE REMOVED.
- 02.12 PLUMBING FIXTURE, STAINLESS STEEL SINK EXISTING INDICATED WITH DASHED LINE TO BE REMOVED. PATCH AND REPAIR FLOOR AND WALL AS REQUIRED AND PREPARE TO RECEIVE NEW FINISHES. EXISTING PLUMBING PIPING TO BE MODIFIED AND RECONNECTED TO NEW SINK. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 02.17 FLOOR COVERING, QUARRY TILES EXISTING TO REMAIN. PROTECT FLOOR FROM DAMAGE DURING CONSTRUCTION. REMOVE PORTIONS AS REQUIRED TO REMOVE SINKS. PATCH, REPAIR TILED FLOOR TO MATCH WITH ADJACENT EXISTING.
- 02.19 REMOVE EXISTING SINK BASE AND PREPARE FLOOR TO RECEIVE NEW FINISHES.
- 02.20 EXISTING EQUIPMENT TO REMAIN. PROTECT DURING CONSTRUCTION.
- 02.21 EXISTING EQUIPMENT TO BE TEMPORARILY RELOCATED DURING CONSTRUCTION.
- 02.22 REMOVE EXISTING NITROGEN PANEL AND OUTLET AT THIS LOCATION. PATCH AND REPAIR WALL TO ORIGINAL CONDITION AFTER WORK IS COMPLETED. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 02.23 REMOVE PORTION OF THE ABANDONED VENT LINE AT THE CEILING AT THIS LOCATION. CAP OFF ABOVE CEILING THEN PATCH, REPAIR AND PAINT CEILING REPAIR TO MATCH ADJACENT EXISTING.
- 09.03 PATCH AND REPAIR QUARRY TILE FLOOR AS NEEDED. FIELD VERIFY TO MATCH WITH ADJACENT EXISTING FLOORING.
- 09.05 PATCH, REPAIR AND FINISH GYPSUM BOARD SHEATHING ON STUD FRAMING WALL AS NEEDED TO COMPLETE PLUMBING AND ELECTRICAL WORK. INSTALL NEW STAINLESS STEEL WAINSCOT. SEE FINISH PLANS, ELECTRICAL AND MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 09.18 STAINLESS STEEL WALL PROTECTION TO MATCH EXISTING. SEE FINISH FLOOR PLAN FOR WAINSCOT, CORNER GUARDS, ETC. INDICATED WITH A TAG AS WP1, WP2, ETC. SEE FINISH SCHEDULE FOR MATERIAL TYPE, SIZE, COLOR, ETC.
- 09.19 STAINLESS STEEL CORNER GUARD.
- 11.19 16" X 36" WIRE SHELVING RACK, OWNER FURNISHED AND INSTALLED.
- 22.01 NEW 3 BASIN 120" ADJUSTABLE HEIGHT REPROCESSING SINK FROM STERIS. OWNER FURNISHED AND OWNER'S VENDOR INSTALLED. PROVIDE REQUIRED CONNECTIONS IN COORDINATION WITH VENDOR STERIS AS OUTLINED IN THE PLUMBING AND ELECTRICAL DRAWINGS. CONTACT STERIS FOR MORE INFORMATION.
- 22.20 NEW 3 BASIN 106" ADJUSTABLE HEIGHT REPROCESSING SINK FROM STERIS. OWNER FURNISHED AND OWNER'S VENDOR INSTALLED. PROVIDE REQUIRED CONNECTIONS IN COORDINATION WITH VENDOR STERIS AS OUTLINED IN THE PLUMBING AND ELECTRICAL DRAWINGS. CONTACT STERIS FOR MORE INFORMATION.
- 22.21 EXISTING MEDICAL AIR OUTLET AT THIS LOCATION TO REMAIN. PROTECT DURING CONSTRUCTION. NEW STAINLESS STEEL WAINSCOT TO BE WORKED AROUND THIS. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.



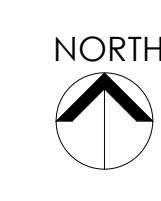
1 Demolition Floor Plan Level 1  
SCALE: 1/4" = 1'-0"



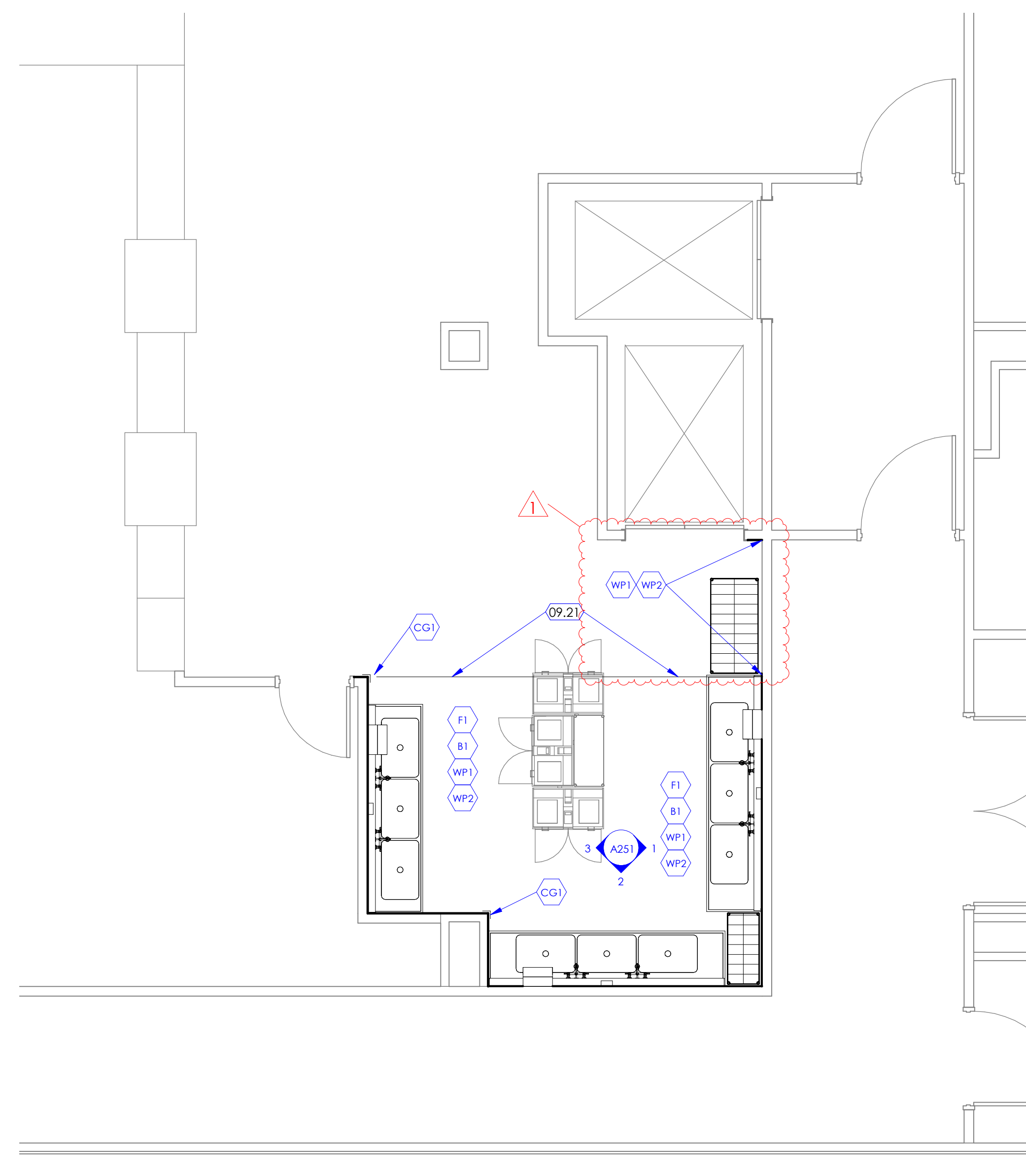
2 Floor Plan Level 1  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- A. SEE SHEET G003 AND G005 FOR SYMBOLS, GENERAL NOTES AND LEGEND.
- B. SEE SHEET A505A FOR CABINET LEGEND.
- C. SEE SHEET A603A FOR FINISH SCHEDULE AND GENERAL NOTES.



7/15/2022 2:32:52 PM



1 Finish Floor Plan Level 0  
SCALE: 1/4" = 1'-0"

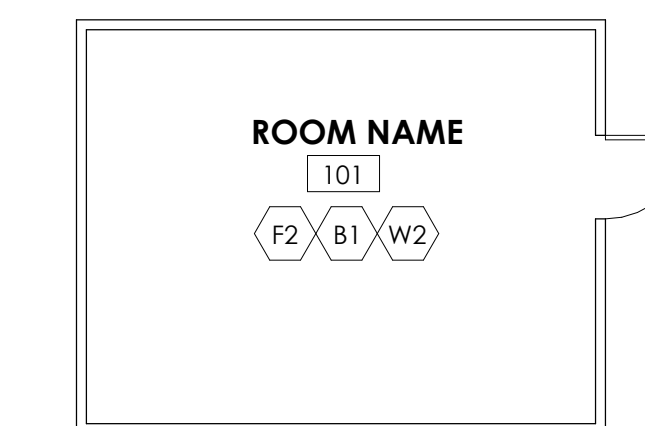


**KEYED NOTES**

09.21 PATCH THE EXISTING FLOOR TILE IN THE INDICATED SPACE WITH NEW TILES TO MATCH. CONTINUE THE EXISTING FLOOR TILE PATTERN.

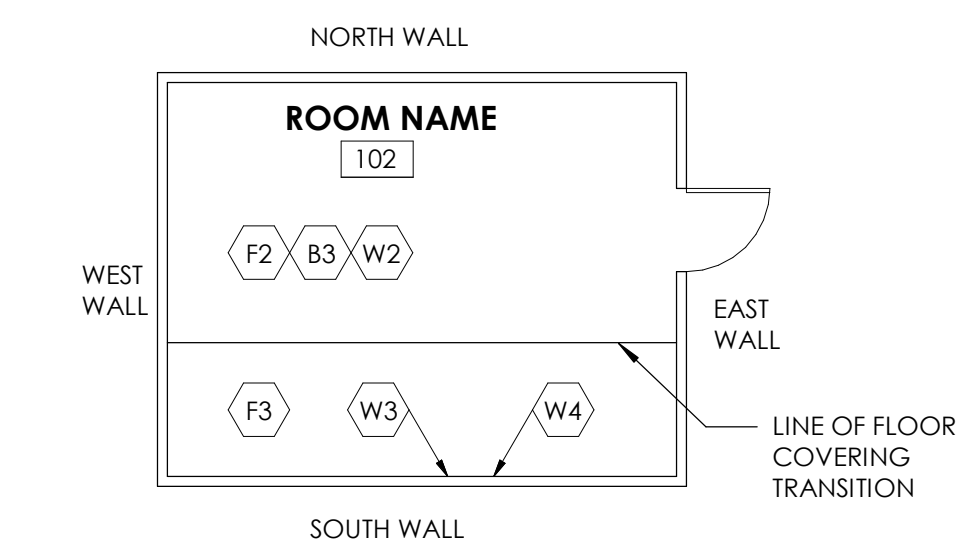
**SAMPLE LAYOUTS**

**SAMPLE LAYOUT 1**



**NOTE:** AS INDICATED IN ROOM NUMBER 101, MAJORITY OF THE ROOMS IN THE PROJECT SHALL HAVE A SINGLE TYPE OF FLOOR FINISH, WALL BASE AND WALL FINISH. WALL FINISH INDICATED AS "W2" SHALL APPLY TO ALL FOUR WALLS FROM FLOOR TO CEILING.

**SAMPLE LAYOUT 2**



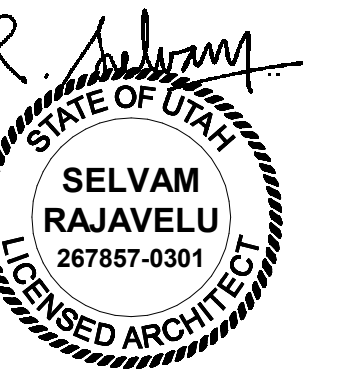
**NOTE:** AS INDICATED IN ROOM NUMBER 102, SOME ROOMS SHALL HAVE MULTIPLE FLOOR AND WALL FINISHES. SEE GENERAL NOTE "C" ON SHEET A603A FOR FLOOR COVERING TRANSITIONS. THE WALL FINISH INDICATED AS "W2" IN THE ROOM (WITHOUT AN ARROW POINTING TO ANY SPECIFIC WALL) SHALL APPLY TO THE WEST, NORTH AND EAST WALL. WHERE WALL FINISHES ARE INDICATED WITH AN ARROW POINTING TO THE SOUTH SIDE, WALL SHALL HAVE MULTIPLE FINISHES SUCH AS "W3" AND "W4". SEE INTERIOR ELEVATIONS FOR TRANSITION DETAILS BETWEEN "W3" AND "W4".

**GENERAL NOTES**

- A. SEE SHEET G003 AND G005 FOR SYMBOLS, GENERAL NOTES AND LEGEND.
- B. SEE SHEET A505A FOR CABINET LEGEND.
- C. SEE SHEET A603A FOR FINISH SCHEDULE AND GENERAL NOTES.



NJRA Architects, Inc.  
5272 S. College Drive, Suite 104  
Murray, Utah 84123  
801.364.9259  
www.njraarchitects.com



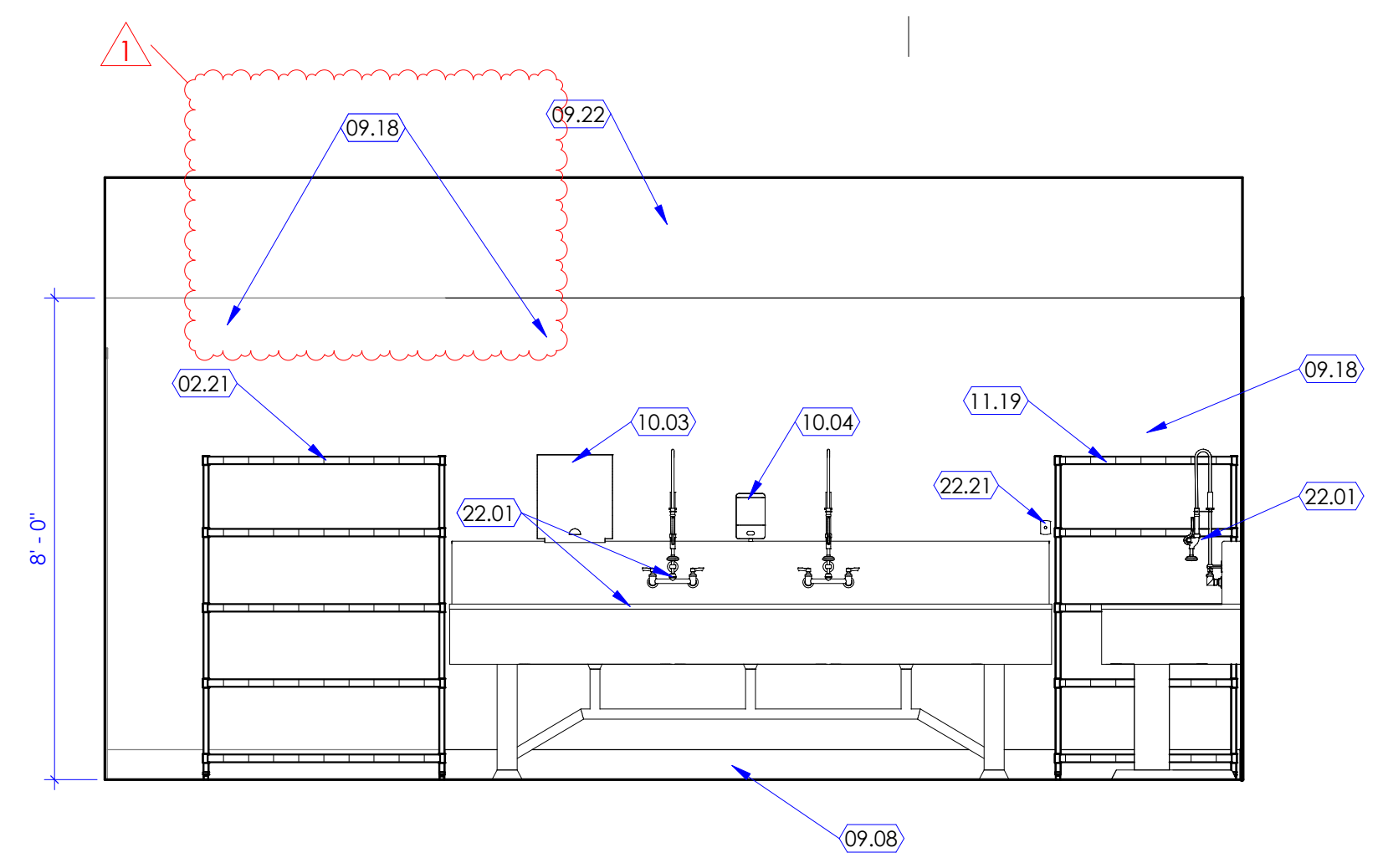
Intermountain Healthcare  
 LDS Hospital  
 Central Processing Remodel

8th Avenue, C Street  
 Salt Lake City, UT 84143

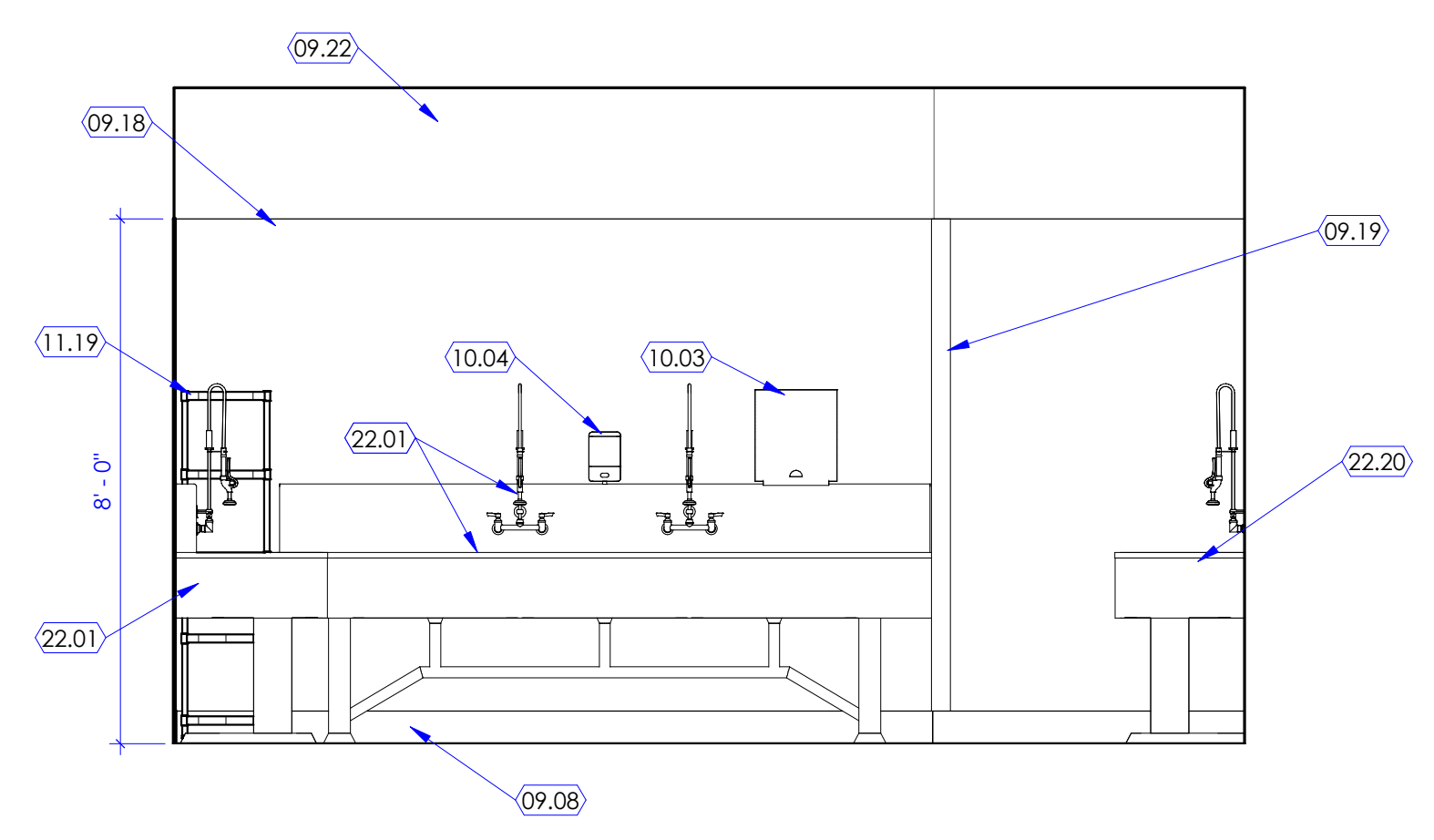
NJRA Project # 21230.00  
Construction Documents June 23, 2022  
1 Addendum #1 July 05, 2022

Finish Plan  
Level 1 - Area  
A

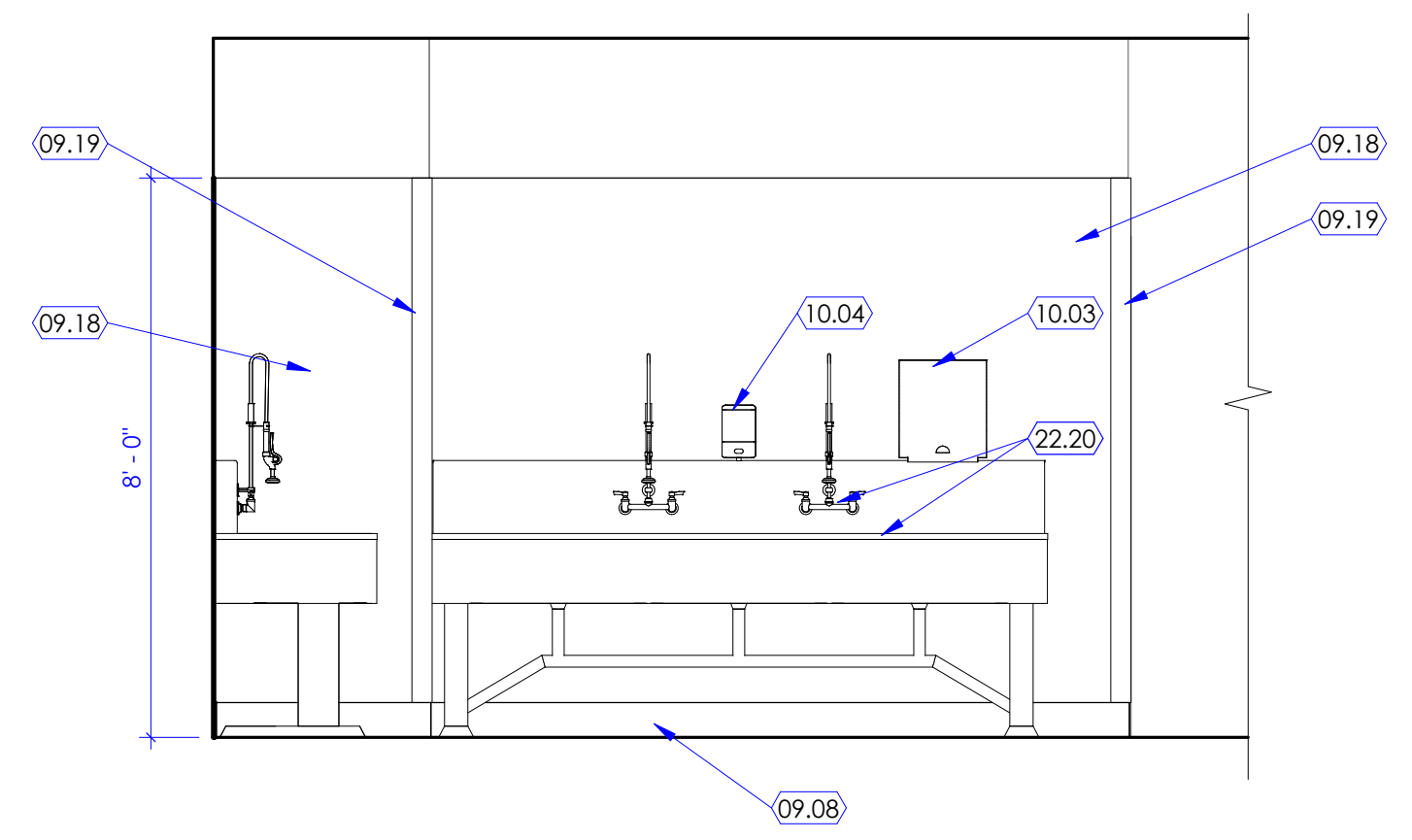
**A117A**



1 Central Processing  
SCALE: 3/8" = 1'-0"



2 Central Processing  
SCALE: 3/8" = 1'-0"



3 Central Processing  
SCALE: 3/8" = 1'-0"

**KEYED NOTES**

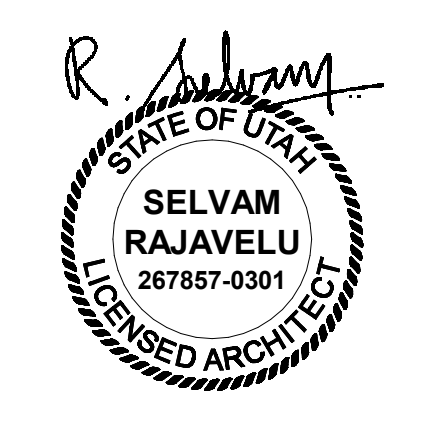
- 02.21 EXISTING EQUIPMENT TO BE TEMPORARILY RELOCATED DURING CONSTRUCTION.
- 09.08 TILE WALL BASE TO MATCH EXISTING. SEE FINISH FLOOR PLANS FOR WALL BASE TYPE INDICATED WITH A WALL BASE TAG. (AS B1, B2, B3, ETC.). SEE FINISH SCHEDULE ON SHEET A603A FOR MATERIAL, SIZE, COLOR, ETC. FOR EACH WALL BASE TAG.
- 09.18 STAINLESS STEEL WALL PROTECTION TO MATCH EXISTING. SEE FINISH FLOOR PLAN FOR WAINSCOT, CORNER GUARDS, ETC. INDICATED WITH A TAG AS WP1, WP2, ETC. SEE FINISH SCHEDULE FOR MATERIAL TYPE, SIZE, COLOR, ETC.
- 09.19 STAINLESS STEEL CORNER GUARD.
- 09.22 FIBER REINFORCED FRP PANELS ABOVE THE STAINLESS STEEL WAINSCOT UP TO CEILING TO MATCH ADJACENT EXISTING. CAULK AND SEAL ALL JOINTS.
- 10.03 PAPER TOWEL DISPENSER. OWNER FURNISHED. CONTRACTOR INSTALLED. CONTRACTOR SHALL PROVIDE BACKING IN WALL AS REQUIRED. SEE RELEVANT DETAILS 1/G003 AND 1/G004 FOR MOUNTING HEIGHT, LOCATION, ETC.
- 10.04 SOAP DISPENSER. OWNER FURNISHED. CONTRACTOR INSTALLED. CONTRACTOR SHALL PROVIDE BACKING FOR ALL OWNER FURNISHED ITEMS. SEE RELEVANT DETAILS 1/G003 AND 1/G004 FOR MOUNTING HEIGHT, LOCATION, ETC.
- 11.19 14" X 34" WIRE SHELVING RACK. OWNER FURNISHED AND INSTALLED.
- 22.01 NEW 3 BASIN 120" ADJUSTABLE HEIGHT REPROCESSING SINK FROM STERIS. OWNER FURNISHED AND OWNER'S VENDOR INSTALLED. PROVIDE REQUIRED CONNECTIONS IN COORDINATION WITH VENDOR STERIS AS OUTLINED IN THE PLUMBING AND ELECTRICAL DRAWINGS. CONTACT STERIS FOR MORE INFORMATION.
- 22.20 NEW 3 BASIN 106" ADJUSTABLE HEIGHT REPROCESSING SINK FROM STERIS. OWNER FURNISHED AND OWNER'S VENDOR INSTALLED. PROVIDE REQUIRED CONNECTIONS IN COORDINATION WITH VENDOR STERIS AS OUTLINED IN THE PLUMBING AND ELECTRICAL DRAWINGS. CONTACT STERIS FOR MORE INFORMATION.
- 22.21 EXISTING MEDICAL AIR OUTLET AT THIS LOCATION TO REMAIN. PROTECT DURING CONSTRUCTION. NEW STAINLESS STEEL WAINSCOT TO BE WORKED AROUND THIS. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.

**GENERAL NOTES**

- A. SEE SHEET G003 AND G005 FOR SYMBOLS, GENERAL NOTES AND LEGEND.
- B. SEE SHEET A505A FOR CABINET LEGEND.
- C. SEE SHEET A603A FOR FINISH SCHEDULE AND GENERAL NOTES.



NJRA Architects, Inc.  
5272 S. College Drive, Suite 104  
Murray, Utah 84123  
801.364.9259  
www.njraarchitects.com



Intermountain Healthcare  
 LDS Hospital  
 Central Processing Remodel

8th Avenue, C Street  
 Salt Lake City, UT 84143

NJRA Project # 21230.00  
Construction Documents June 23, 2022  
1 Addendum #1 July 05, 2022

Interior Elevations

A251