

ABBREVIATIONS:

@	At	EB	Expansion Bolt	Max	Maximum
ø	Diameter	EIFS	Exterior Insul Fin System	Mech	Mechanical
#	Pound or Number	Exp Jt	Expansion Joint	Mtl	Metal
AB	Anchor Bolt	Elec	Electrical	Mfr	Manufacturer
ACT	Acoustical Tile	Elev	Elevation	Min	Minimum
Adj	Adjustable	Eq	Equal	NIC	Not In Contract
AFF	Above Finish Floor	Equip	Equipment	NTS	Not To Scale
Alum	Aluminum	EWC	Elec Water Cooler	O.C.	On Center
Bd	Board	Exist	Existing	PL	Plate
Bldg	Building	Ext	Exterior	re	Property Line
Bm	Beam	FD	Floor Drain	Plas Lam	Plastic Laminate
Bot	Bottom	Fdn	Foundation	Plywd	Plywood
Brg	Bearing	FECB	Fire Extinguisher Cab	RB	Resilient Base
BUR	Built Up Roofing	Fin Fl	Finish(ed) Floor	Re:	Reference
Cab	Cabinet	Ft	Foot or Feet	Reinfr	Reinforced(ing)
CJT	Control Joint	Flg	Flooring	Rfg	Roofing
CL	Center Line	Fur	Furring	Rm	Room
Clg	Ceiling	Galv	Galvanized	SC	Solid Core
CMU	Concrete Masonry Units	GC	General Contractor	Sch	Schedule
Col	Column	GI	Glass	Sec	Section
Conc	Concrete	Gyp Bd	Gypsum Board	Sim	Similar
Const	Construction	HC	Hollow Case	Spec	Specification
Const Jt	Construction Joint	Hdwd	Hardwood	Sq	Square
Cont	Continuous	Hdwr	Hardware	Stl	Steel
Contr	Contractor	Hdwl	Handrail	Temp Gl	Tempered Glass
Corr	Corridor	HM	Hollow Metal	Typ	Typical
CT	Ceramic Tile	ID	Inside Diameter	UNO	Unless Noted Otherwise
Det	Detail	Incl	Included(ing)	VCT	Vinyl Composition Tile
Dim	Dimension	Insul	Insulation	W/	With
Dn	Down	Int	Interior	Wd	Wood
Dr	Door	Jt	Joint	Wdw	Window
Ea	Each			W/O	Without
				Wsc	Wainscot

STANDARD MATERIAL LEGEND:

	Asphalt		Glass (in elevation)
	Batt Insulation		Gravel/ Rock Fill
	Ceramic Tile (in elevation)		Gypsum board
	Concrete		Particle Board, MDF
	Concrete & Plaster (in elevation)		Plywood
	Concrete Masonry Units		Rigid Insulation
	Brick		Spray Foam Insulation
	Structural Fill		Steel
	Earth		Wood Framing (cont. member)
	Finish Lumber		Wood Framing (interrupted member)
	Glass		Metal Studs

VICINITY MAP:



STANDARD SYMBOL LEGEND:

Building/Wall Section Reference	
Sheet Reference	
Elevation Reference	
Detail Reference	
Sheet Reference	
Elevation Marker	
Room Number	
Door Designation	
Window Designation	
Room Title	
Room Number	
Partition Type	
Keyed Note	
Ceiling Type	
Ceiling Elevation	
Finish Label	
Equipment/Sign Label	
Glazing Label	

NOTES TO BIDDERS:

- This sheet contains a list of drawings which comprise a full set of drawings for this project. Any Contractor, Subcontractor, Vendor or any other person participating in or bidding on this project shall be responsible for the information contained on any and all sheets of drawings and specifications. If any person, party or entity elects to submit bids for any portion, or all, of this project, that person, party or entity shall be responsible for any and all information contained in these drawings and specifications, including, but not limited to, any subsequent addendums or clarifications that may be issued.
- These documents describe the design intent. It is the Contractor's responsibility to provide everything specified on the drawings regardless of where it shown on the drawings or in the specifications.
- Everything specified in these documents shall be "new" and provided by the Contractor, Subcontractor, Vendor or any other person participating in or bidding on this project unless noted otherwise as "existing" (exist), "not in contract" (nic), or for reference only. Furnishings shown dashed shall be for reference only.

GENERAL NOTES:

- It is the Contractor's responsibility to review and coordinate the work of all Subcontractors, Trades and Suppliers with the requirements of the Contract Documents before commencing construction, and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the Contract Documents, which might affect the work of that party.
- As part of the Contractor's responsibility to review and coordinate the work of all Subcontractors, Trades and Suppliers, the Contractor shall endeavor to identify and notify the Architect of any conflicts between the work of different parties at the earliest possible date so as to allow reasonable and adequate time for the conflict to be resolved without delaying the work. All deviations from that which is required by the Contract Documents must be approved in advance by the Architect.
- The Architectural drawings establish and coordinate the finished appearance and exact location of all exposed elements of the work of all the trades, including that work which is specified primarily on the drawings of other disciplines. Unless otherwise noted on the architectural drawings, the architectural drawings take precedence for the finished appearance and exact location of all parts of the work.
- Except where noted to place items of work at the approximate location shown, do not scale drawings for dimensional information. All elements of the drawings may not be drawn to exact scale. All dimensions required are shown or may be derived from those shown on the floor plans, enlarged plans, elevations, sections, details, schedules and specifications. If dimensions are not present, the Architect is to be notified so that a clarification can be issued.

DEFERRED SUBMITTALS:

Contractor is responsible to submit deferred submittals in accordance with IBC 107.3.4.1 as part of the submittal process. The Contractor shall submit all ICC ERS reports for items noted:

06 4000	3-Tier Tree Canopy System
22 0000	Fire Sprinklers
28 3101	Fire Alarm

PROJECT TEAM:

OWNER:
 FAMILY SEARCH
 35 N W TEMPLE ST
 SALT LAKE CITY, UT 84150
 PHONE: 801-240-8059
 CONTACT: CLINT BRODERICK

ARCHITECT:
 STUDIO 333 ARCHITECTS
 333 24TH STREET
 OGDEN, UT 84401
 OFFICE PHONE: 801.394.3033
 CONTACT: TONY K. PANTONE, AIA, LEED AP

MECHANICAL ENGINEER:
 OLSEN & PETERSON ENGINEERS
 14 EAST 2700 SOUTH
 SALT LAKE CITY, UT 84115
 PHONE: 801.699.8549
 CONTACT: PAUL LAIRD

ELECTRICAL ENGINEER:
 SPECTRUM ENGINEERING
 324 SOUTH STATE STREET, SUITE 400
 SALT LAKE CITY, UT 84111
 PHONE: 801.401.8435
 CONTACT: DAVID HINCKLEY

FIRE DEPARTMENT:
 NORTH LOGAN CITY FIRE DEPARTMENT STATION 120
 2005 N 1200 EAST
 NORTH LOGAN, UT, 84341
 PHONE: 435.755.5739

PUBLIC WORKS DEPARTMENT:
 2076 N 200 E
 NORTH LOGAN, UT 84341
 PHONE: 435.752.1310

PLANNING DEPARTMENT:
 2076 N 200 E
 NORTH LOGAN, UT 84341
 PHONE: 435.752.1310

BUILDING DEPARTMENT:
 2076 N 200 E
 NORTH LOGAN, UT 84341
 PHONE: 435.752.1310

PROJECT DESCRIPTION:

Logan FamilySearch Center building, new vestibule entrance, and new exterior signage. New interior finishes include, but are not limited to, painted gypsum board partition walls and suspended ceilings, carpet and LVP flooring, millwork, etc. Miscellaneous mechanical, plumbing and electrical work will be completed as part of the remodel.

ZONING INFORMATION:

APN	:	04-060-0046
ZONING	:	COMMERCIAL (COM)
BUILDING FLOOR AREA	:	18,670 S.F.
1ST LEVEL	:	

BUILDING DEVELOPMENT STATISTICS:

APPLICABLE CODES	:	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL FUEL GAS CODE 2020 NATIONAL ELECTRICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL EXISTING BUILDING CODE ICC/ANSI A17.1-2009
OCCUPANCY	:	A-3 (assembly), M (mercantile), S-1(storage)
BUILDING TYPE	:	TYPE II-B
FIRE SPRINKLERS	:	Yes (Existing)

SHEET INDEX:

GENERAL INFO

- G1.1 COVER SHEET
- G1.2 INDEX SHEET
- G1.3 TYPICAL ANSI ACCESSIBILITY STANDARDS

LIFE SAFETY PLANS

- G2.1 1ST LEVEL LIFE SAFETY PLAN

SITE PLANS

- SD1.1 ARCHITECTURAL SITE PLAN

DEMOLITION FLOOR PLANS

- D0.1 1ST LEVEL DEMOLITION FLOOR PLAN

DEMOLITION REFLECTED CEILING PLANS

- D0.11 1ST LEVEL DEMOLITION REFLECTED PLAN

ANNOTATED PLANS

- A1.1 1ST LEVEL ANNOTATED PLAN
- A1.2 PARTITION TYPE DETAILS
- A1.3 STANDARD PARTITION AND FRAMING DETAILS
- A1.4 STANDARD PARTITION HEAD DETAILS

DIMENSION PLANS

- A1.10 1ST LEVEL DIMENSION PLAN

REFLECTED CEILING PLANS

- A1.11 1ST LEVEL REFLECTED CEILING PLAN
- A1.12 CEILING DETAILS
- A1.13 CEILING DETAILS

ROOF PLAN

- A1.21 ROOF PLAN

FINISH SCHEDULE & LEGEND

- A1.31 FINISH SCHEDULE & LEGEND
- A1.32 INTERIOR DETAILS

FINISH & SIGNAGE PLANS

- A1.41 1ST LEVEL FINISH & SIGNAGE PLAN

ELEVATIONS

- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS

BUILDING SECTIONS

- A3.1 BUILDING SECTIONS

WALL SECTIONS

- A4.1 WALL SECTIONS

INTERIOR ELEVATIONS

- A5.11 INTERIOR ELEVATIONS
- A5.12 INTERIOR ELEVATIONS
- A5.13 INTERIOR ELEVATIONS

MILLWORK DETAILS

- A6.1 MILLWORK DETAILS
- A6.2 MILLWORK DETAILS
- A6.3 MILLWORK DETAILS
- A6.4 MILLWORK DETAILS
- A6.5 MILLWORK DETAILS
- A6.6 MILLWORK DETAILS
- A6.7 MILLWORK DETAILS

MISCELLANEOUS DETAILS

- A8.1 SIGNAGE SCHEDULE & DETAILS

DOOR & WINDOW SCHEDULES / DETAILS

- A9.1 DOOR SCHEDULE & WINDOW ELEVATIONS
- A9.11 OPENING DETAILS
- A9.12 OPENING DETAILS

MECHANICAL

- MD1.1 MECHANICAL DEMOLITION PLAN
- M1.1 MECHANICAL PLAN
- MS.1 MECHANICAL DETAILS
- MS.2 MECHANICAL DETAILS
- M6.1 MECHANICAL SCHEDULES

PLUMBING

- PD1.1 PLUMBING DEMOLITION PLAN
- P1.1 PLUMBING PLAN
- P5.1 PLUMBING DETAILS
- P6.1 PLUMBING SCHEDULES

FIRE PROTECTION

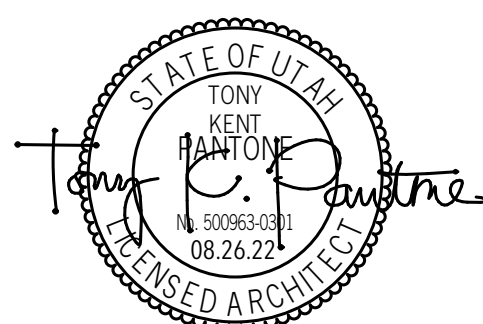
- FPD1.1 FIRE PROTECTION DEMO PLAN
- FP1.1 FIRE PROTECTION PLAN
- FP5.1 FIRE PROTECTION DETAILS

ELECTRICAL

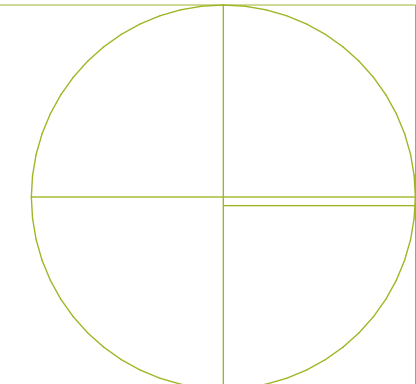
- E0.1 SHEET INDEX, ABBREVIATIONS, AND GENERAL NOTES
- E0.2 SYMBOLS LEGEND
- ED1.1 1ST LEVEL DEMOLITION POWER PLAN
- ED1.11 1ST LEVEL DEMOLITION LIGHTING PLAN
- E1.1 1ST LEVEL POWER PLAN
- E1.11 1ST LEVEL LIGHTING PLAN
- E6.1 PANEL EQUIPMENT SCHEDULE
- E6.11 INTERIOR LIGHTING FIXTURE SCHEDULE
- E7.1 TYPICAL MOUNTING HEIGHT DETAILS
- E7.2 TYPICAL MOUNTING HEIGHT DETAILS

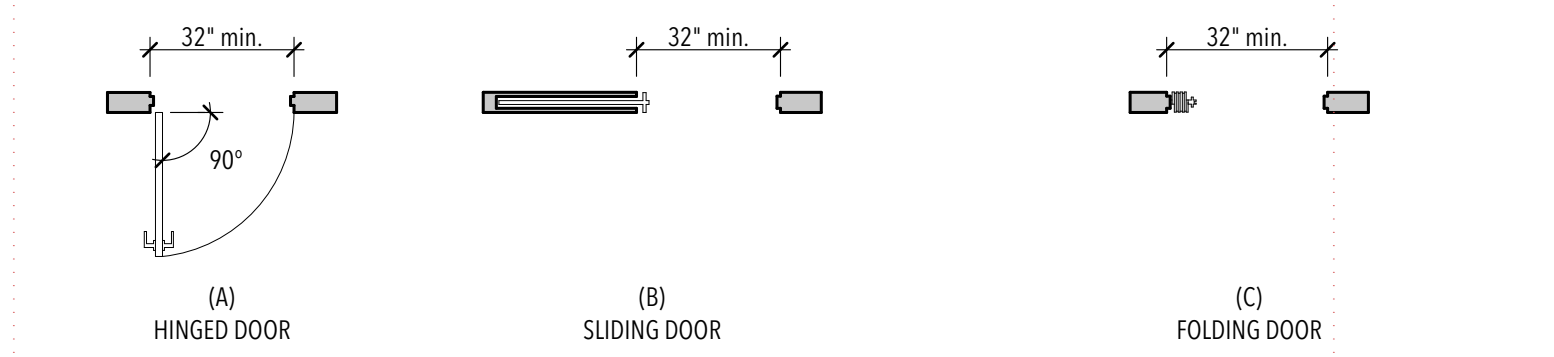
TECHNOLOGY

- E0.4 AV ROUGH-IN SCHEDULE AND GENERAL NOTES
- E1.41 1ST LEVEL AV ROUGH-IN PLAN
- E1.42 1ST LEVEL AV ROUGH-IN CEILING PLAN
- E6.41 AV ROUGH-IN SCHEDULES
- T0.1 SHEET INDEX, ABBREVIATIONS, AND GENERAL NOTES
- T6.41 AUDIO VISUAL SYSTEMS SCHEDULE

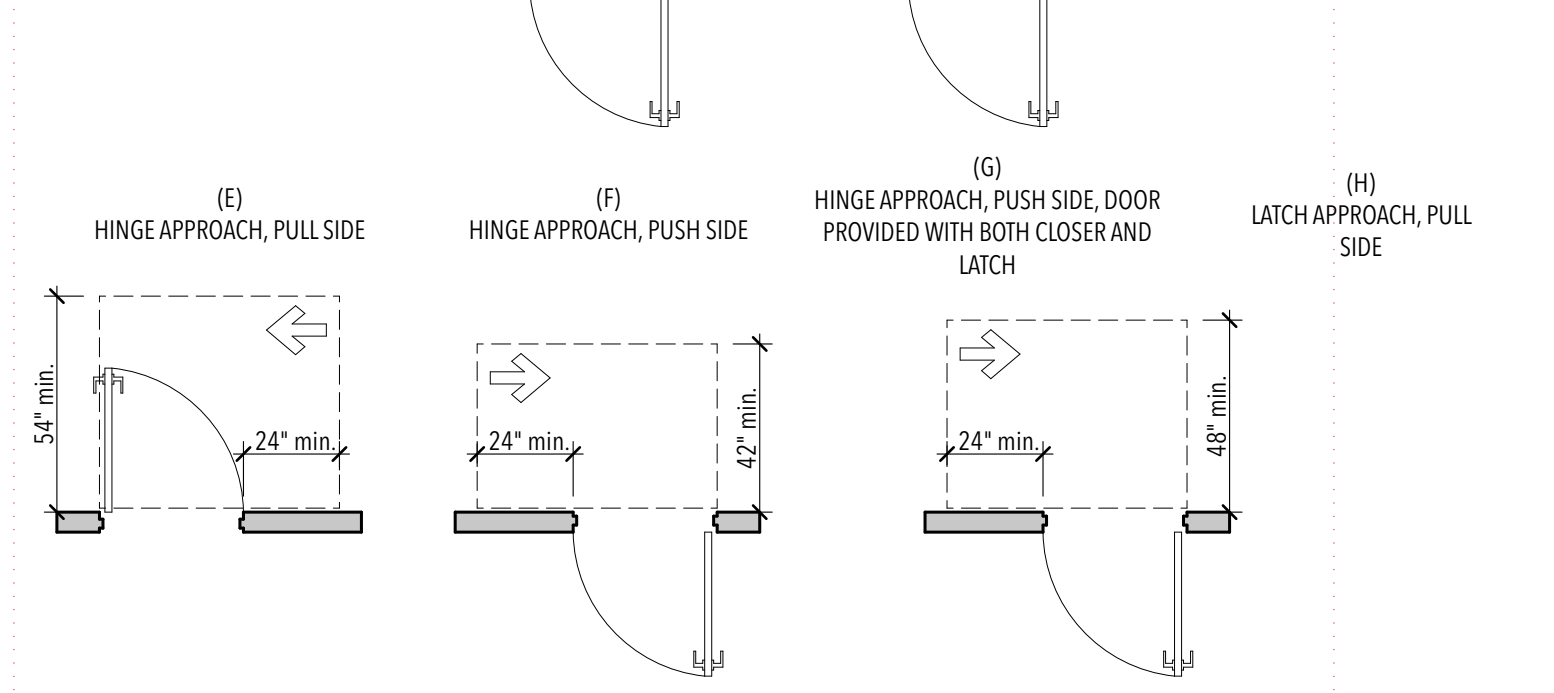
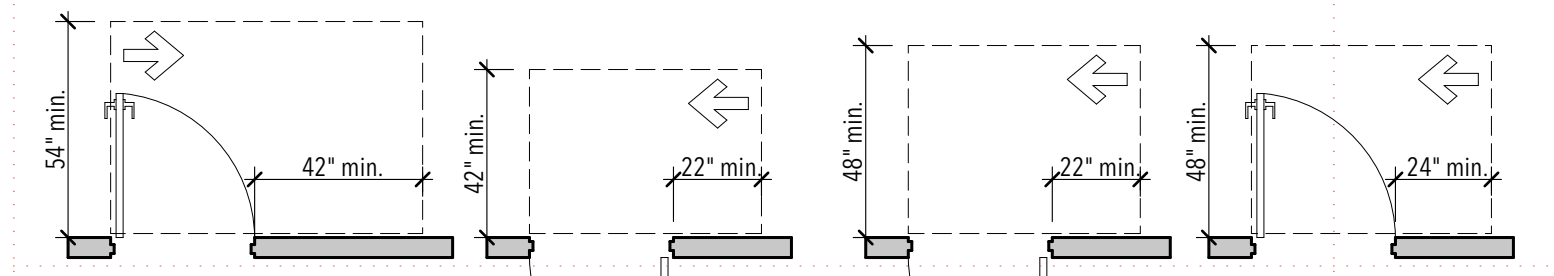
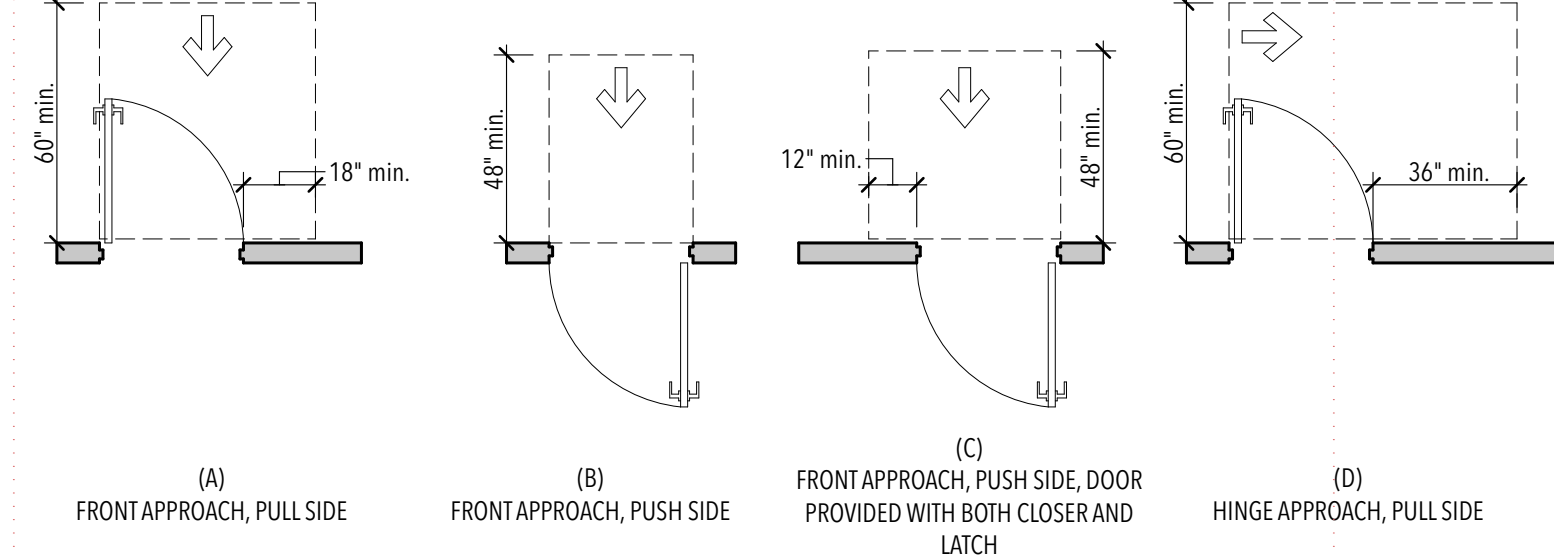


NO.	DATE	DESCRIPTION

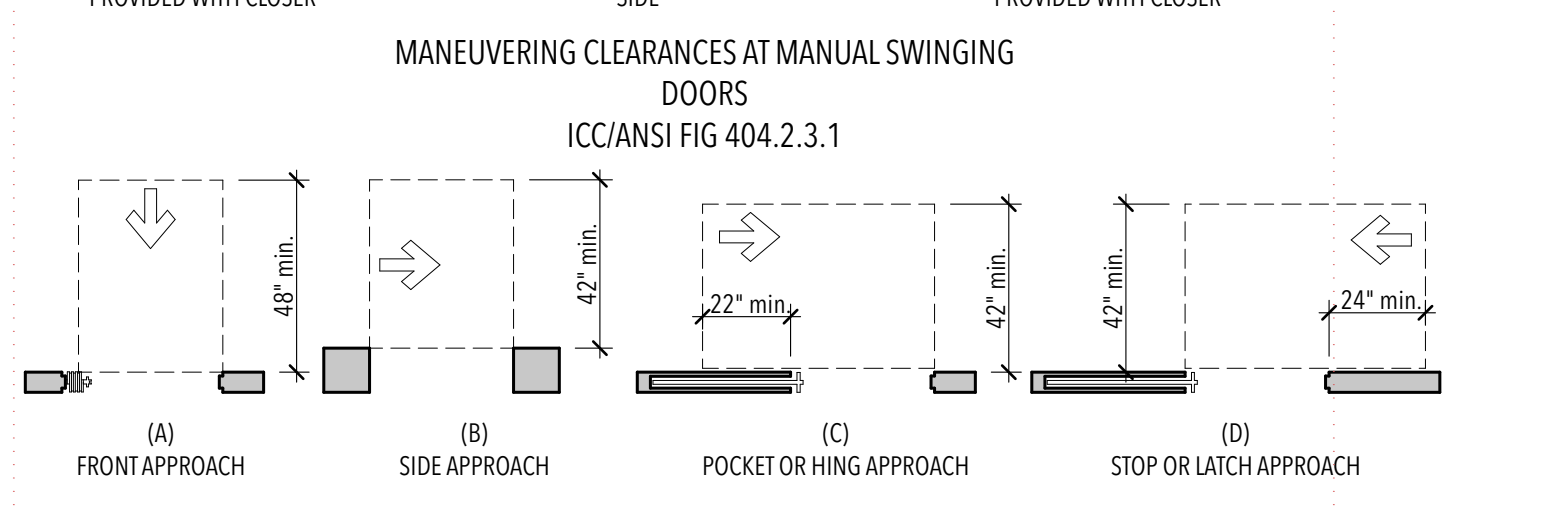




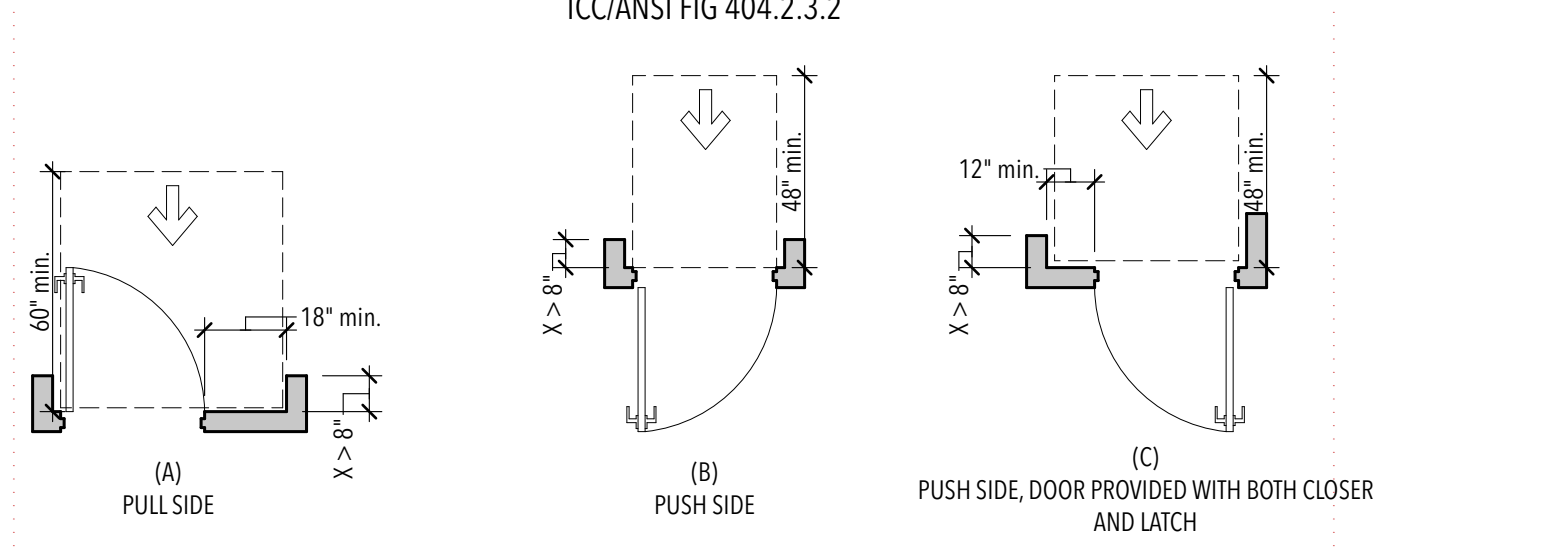
CLEAR WIDTH OF DOORWAYS
ICC/ANSI FIG 404.2.2



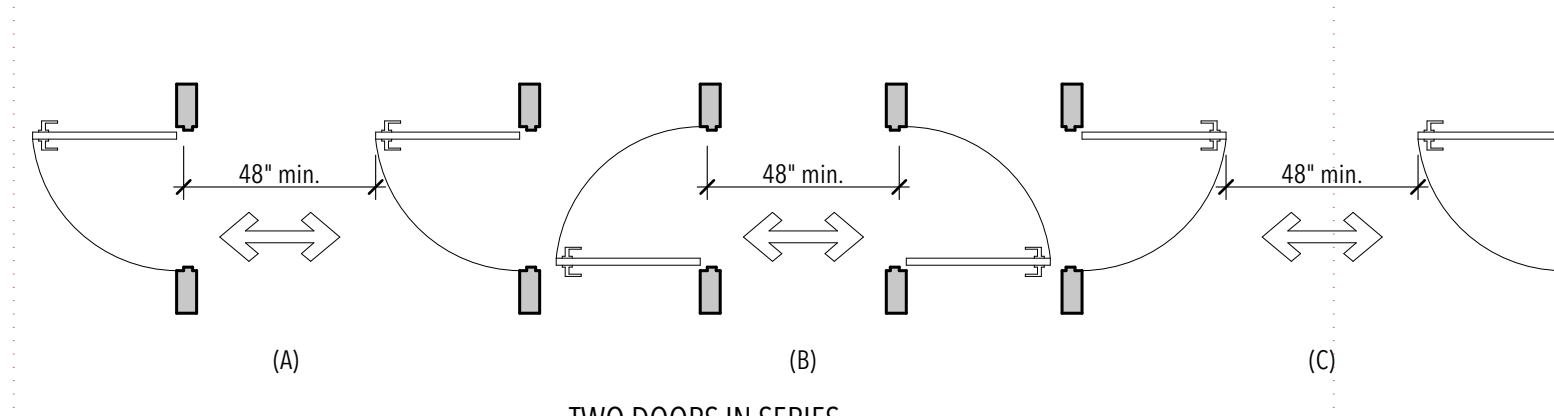
MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS
ICC/ANSI FIG 404.2.3.1



MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS
ICC/ANSI FIG 404.2.3.2



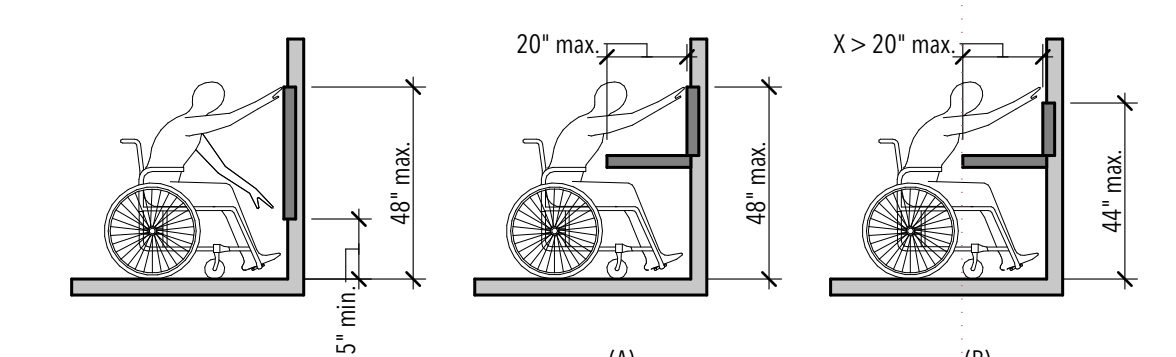
MANEUVERING CLEARANCES AT RECESSED DOORS
ICC/ANSI FIG 404.2.3.4



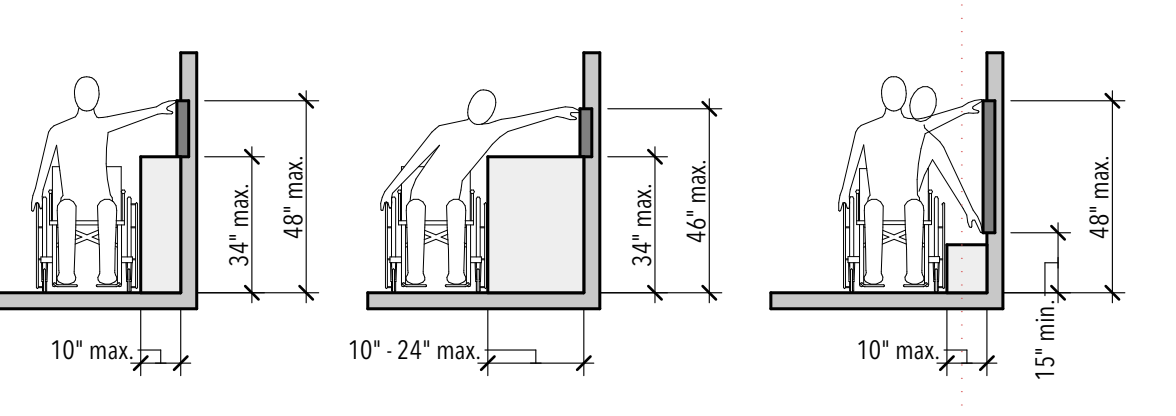
TWO DOORS IN SERIES
ICC/ANSI FIG 404.2.5

DOORS AND DOORWAYS

01 1/4" = 1'-0"



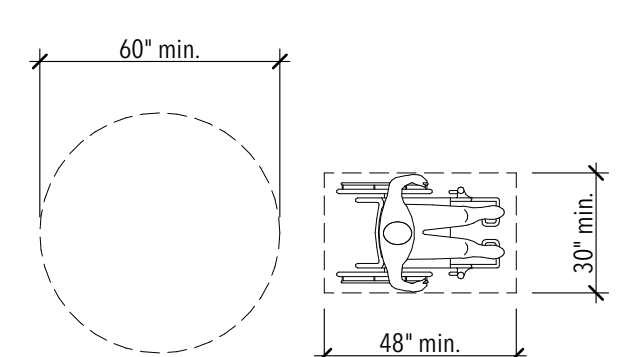
UNOBSTRUCTED FORWARD REACH
ICC/ANSI FIG 308.2.1



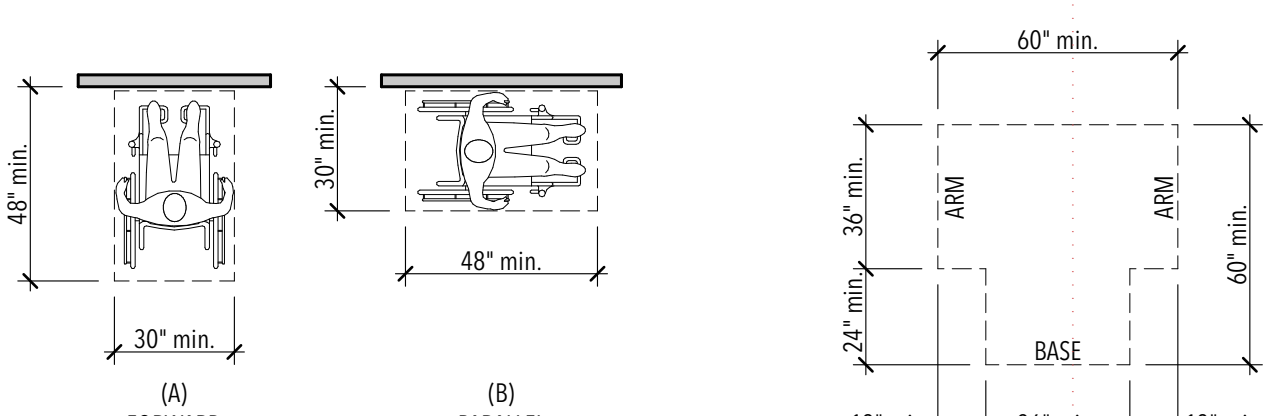
OBSTRUCTED HIGH SIDE REACH
ICC/ANSI FIG 308.3.2

REACH RANGES

02 1/4" = 1'-0"



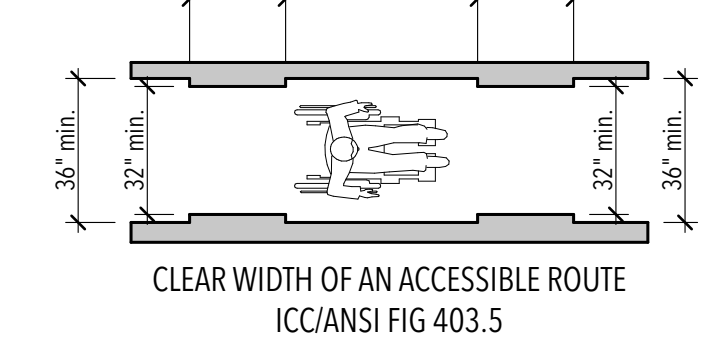
SIZE OF CLEAR FLOOR SPACE
ICC/ANSI FIG 305.3



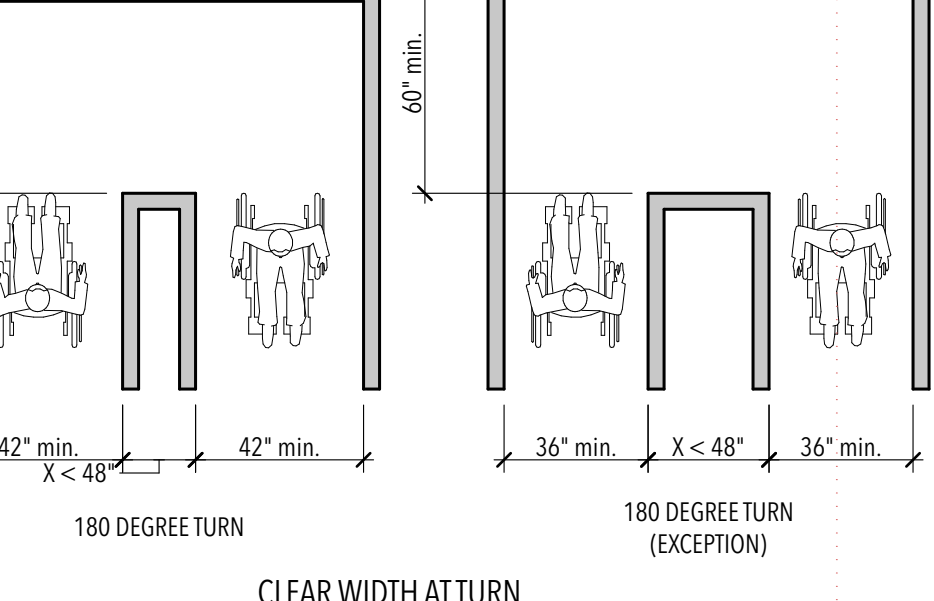
POSITION OF CLEAR FLOOR SPACE
ICC/ANSI FIG 305.5

TURNING SPACE AND CLEAR FLOOR SPACE

03 1/4" = 1'-0"



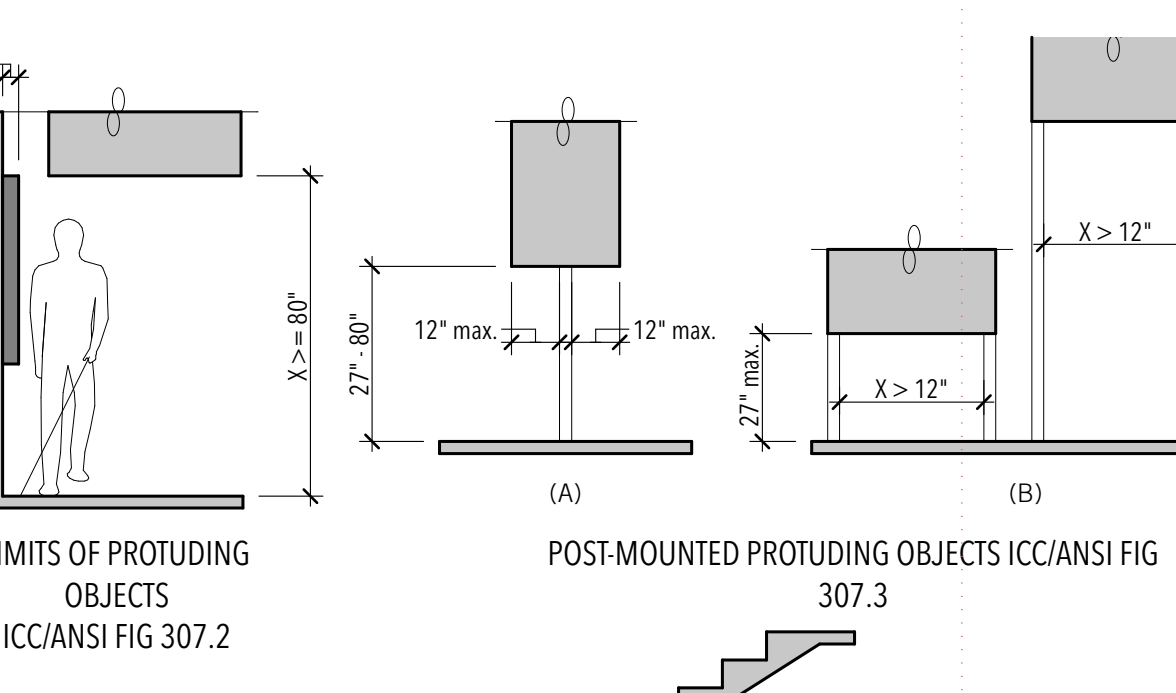
CLEAR WIDTH OF AN ACCESSIBLE ROUTE
ICC/ANSI FIG 403.5



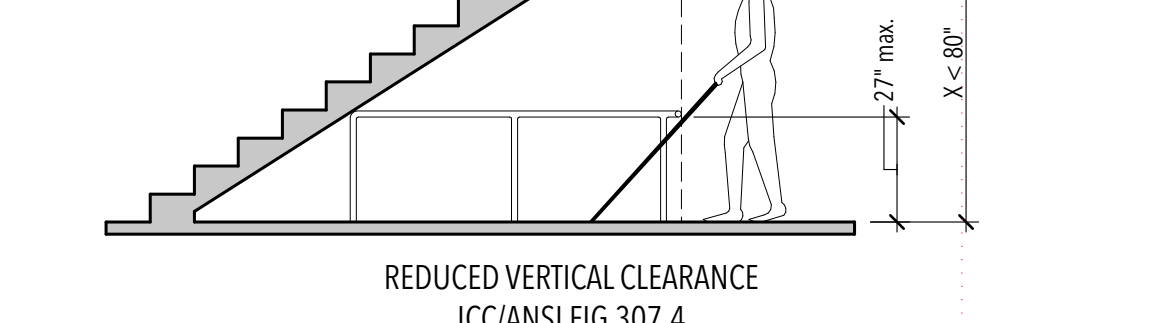
CLEAR WIDTH AT TURN
ICC/ANSI FIG 403.5.1

CLEAR WIDTH OF ACCESSIBLE ROUTE

04 1/4" = 1'-0"



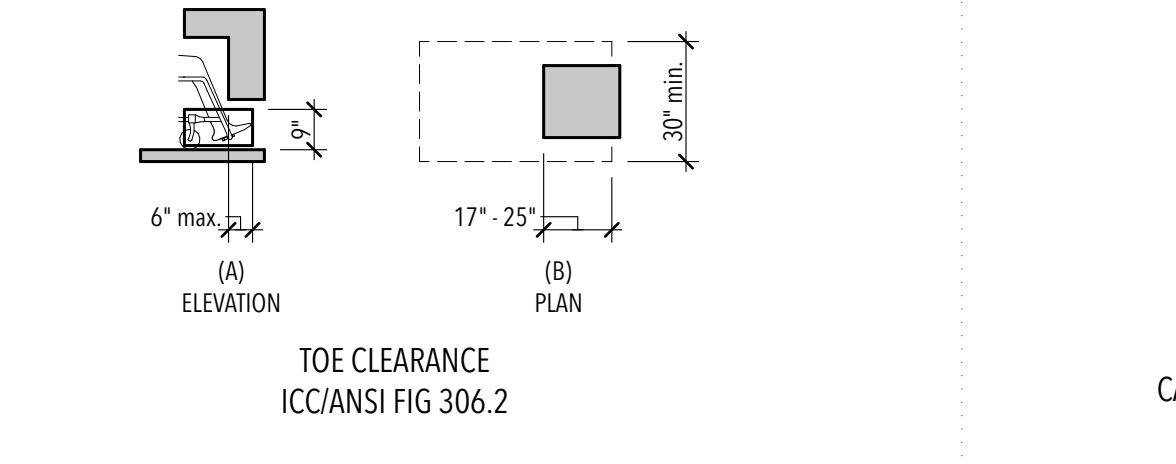
LIMITS OF PROTRUDING OBJECTS
ICC/ANSI FIG 307.2



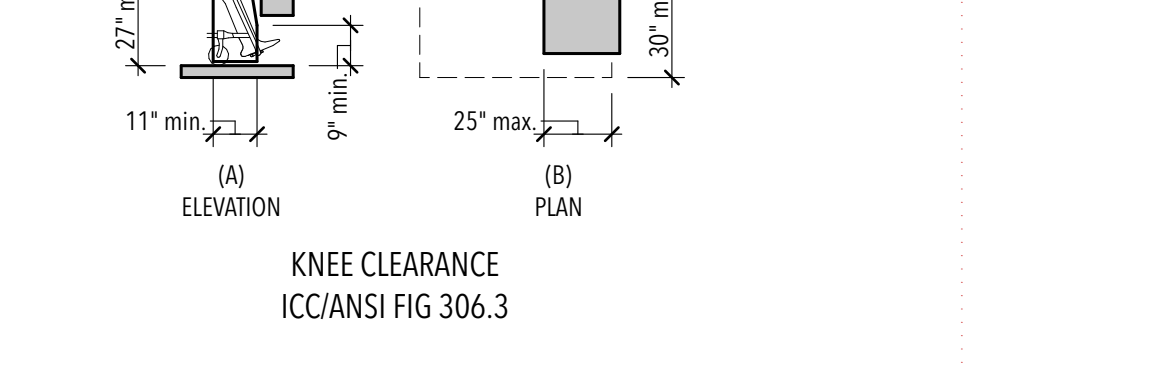
REDUCED VERTICAL CLEARANCE
ICC/ANSI FIG 307.4

PROTRUDING OBJECTS

05 1/4" = 1'-0"



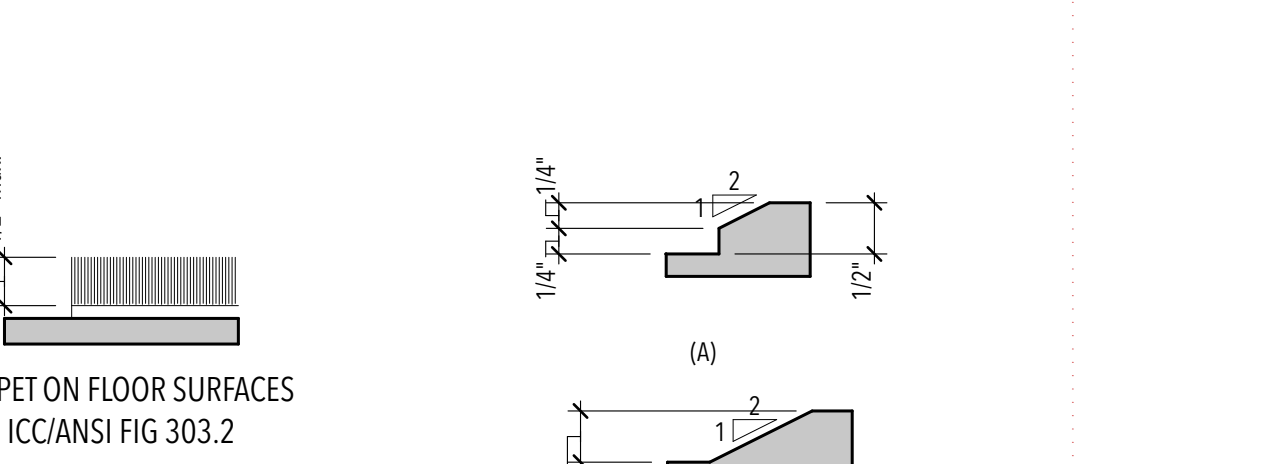
TOE CLEARANCE
ICC/ANSI FIG 306.2



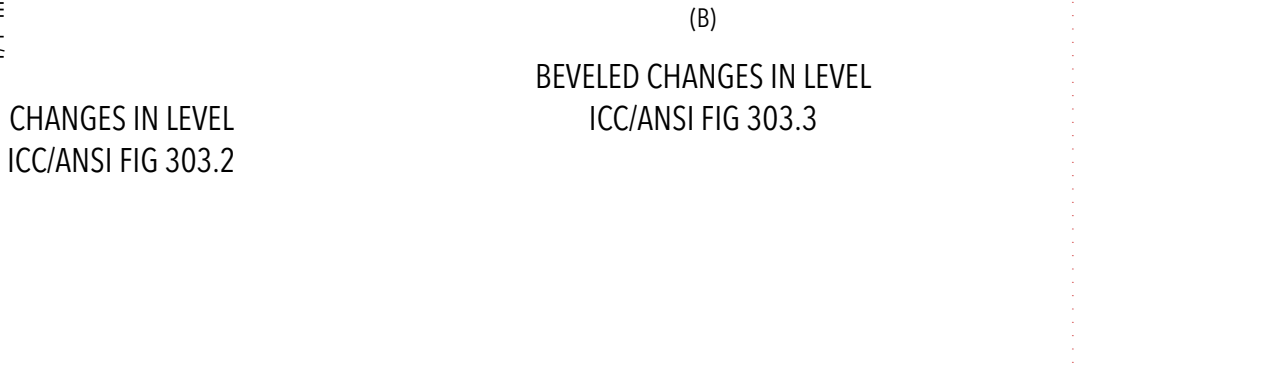
KNEE CLEARANCE
ICC/ANSI FIG 306.3

KNEE AND TOE CLEARANCE

06 1/4" = 1'-0"



CARPET ON FLOOR SURFACES
ICC/ANSI FIG 303.2



CHANGES IN LEVEL
ICC/ANSI FIG 303.2

GROUND AND FLOOR

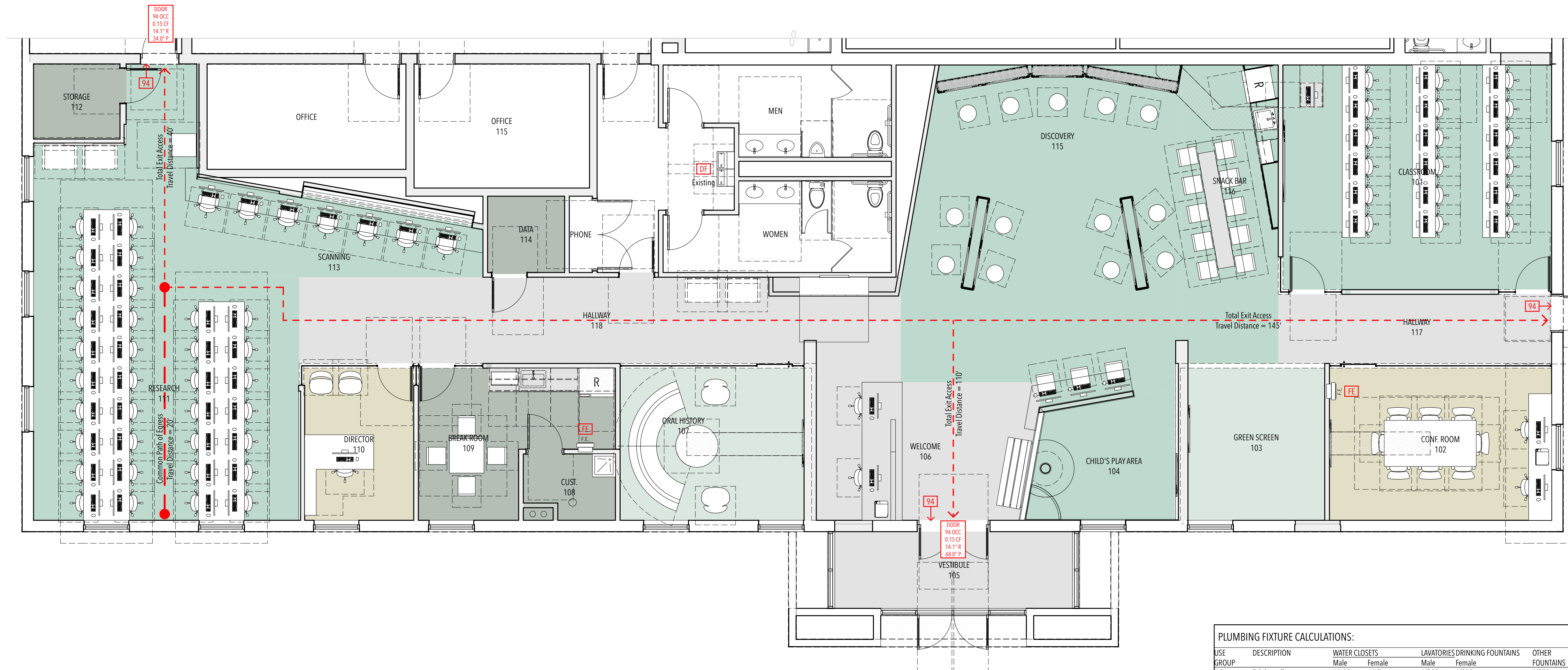
07 1/4" = 1'-0"

STUDIO 333 ARCHITECTS
333 24TH STREET
OGDEN, UT 84401
801.394.3033

LOGAN FAMILYSEARCH CENTER REMODEL
165 EAST 2200 NORTH, LOGAN, UTAH

NO.	DATE	DESCRIPTION

PERMIT SET
DATE: 08.26.22
PROJECT NUMBER: 2141
PROPERTY NUMBER: 594-2217



CODE ANALYSIS:

AREA TABULATIONS

Existing 1st Level Building Area	: 19,677 s.f.
New 1st Level Building Area	: 133 s.f.
Total Building Area	: 19,810 s.f.

CIVIL RIGHTS

American Disability Act (ADA)	: YEAR 2010
Standard for Accessible Design	

APPLICABLE CODES

International Building Code (IBC)	: YEAR 2018
International Mechanical Code (IMC)	: 2018
International Plumbing Code (IPC)	: 2018
International Energy Conservation Code (IECC)	: 2018
National Electric Code (NEC)	: 2018

USE AND OCCUPANCY CLASSIFICATION (Chapter 3):

Occupancy Classification (302)	: A-3 (Assembly), M (Mercantile), S-1 (Storage)
Occupancy Separations (508.4)	: Group A-3 to Group M, S-1: (1-hour required - Table 508.4)

GENERAL BUILDING HEIGHTS AND AREAS (Chapter 5)

Allowable Building Height (504.3)	: 75 ft.
Actual Building Height	: 32 ft.
Allowable Number of Stories above Grade Plane (504.4)	: 3
Actual Number of Stories above Grade Plane	: 1

TYPES OF CONSTRUCTION (Chapter 6):

Type of Construction (601)	: IIB
Automatic Sprinkler System	: Yes (Existing)

FIRE RESISTIVE REQUIREMENTS (Hours):

Primary Structural Frame	: 0	TYPE IIB (601)
Bearing Walls - Exterior	: 0	
Bearing Walls - Interior	: 0	
Nonbearing Walls and Partitions - Exterior	: 0	
Nonbearing Walls and Partitions - Interior	: 0	
Floor Construction and Associated Secondary Members	: 0	
Roof Construction and Associated Secondary Members	: 0	

FIRE DOOR ASSEMBLIES (Section 716.5):

1-hour Partition Fire Rating	: 3/4-hour fire assembly rating
1/2-hour Partition Fire Rating	: 1/3-hour fire assembly rating

FIRE AND SMOKE PROTECTION FEATURES:

Shaft Enclosures: Shaft enclosures shall have a fire-resistive rating of not less than 1 hour when connecting less than 4 stories (Sec. 713.4)

AUTOMATIC SPRINKLER SYSTEMS (Chapter 9):

Automatic sprinkler system provided (Existing)

MEANS OF EGRESS:

Exit Access Travel Distance:	
A-3 (Assembly)	: 250 f.f. with sprinkler system (Table 1017.2)
Maximum Common Path of Egress Travel Distance:	
A-3 (Assembly)	: 75 f.f. with sprinkler system (Table 1006.3.2)

OCCUPANT LOAD (1004):

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	ACTUAL AREA	OCCUPANT LOAD
Exhibit Gallery or Museum	30 net	4,932 s.f.	164
Mercantile	60 gross	5,354 s.f.	89
Storage	300 gross	8,851 s.f.	29
Total Occupant Load			282

INTERNATIONAL ENERGY CONSERVATION CODE REQUIREMENTS:

Climate Zone (C301)	: Climate Zone 5
Thermal Envelope Insulation Min. Requirements (Table C402.1.3)	: All Other: Provided;
Roofs: Insulation Entirely Above Roof Deck	: R-30ci Existing
Walls: Metal Framed, Above Grade	: R-13+R-7.5ci Existing
Slab-On-Grade Floors: Unheated Slabs	: R-10 for 24" Below Existing

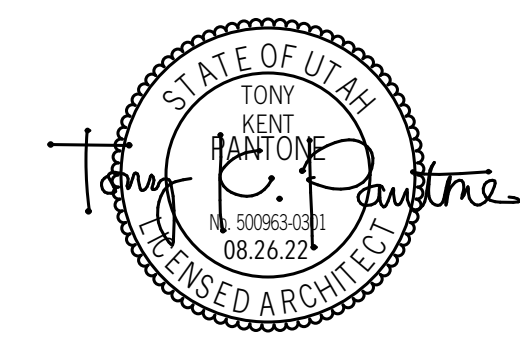
PLUMBING FIXTURE CALCULATIONS:

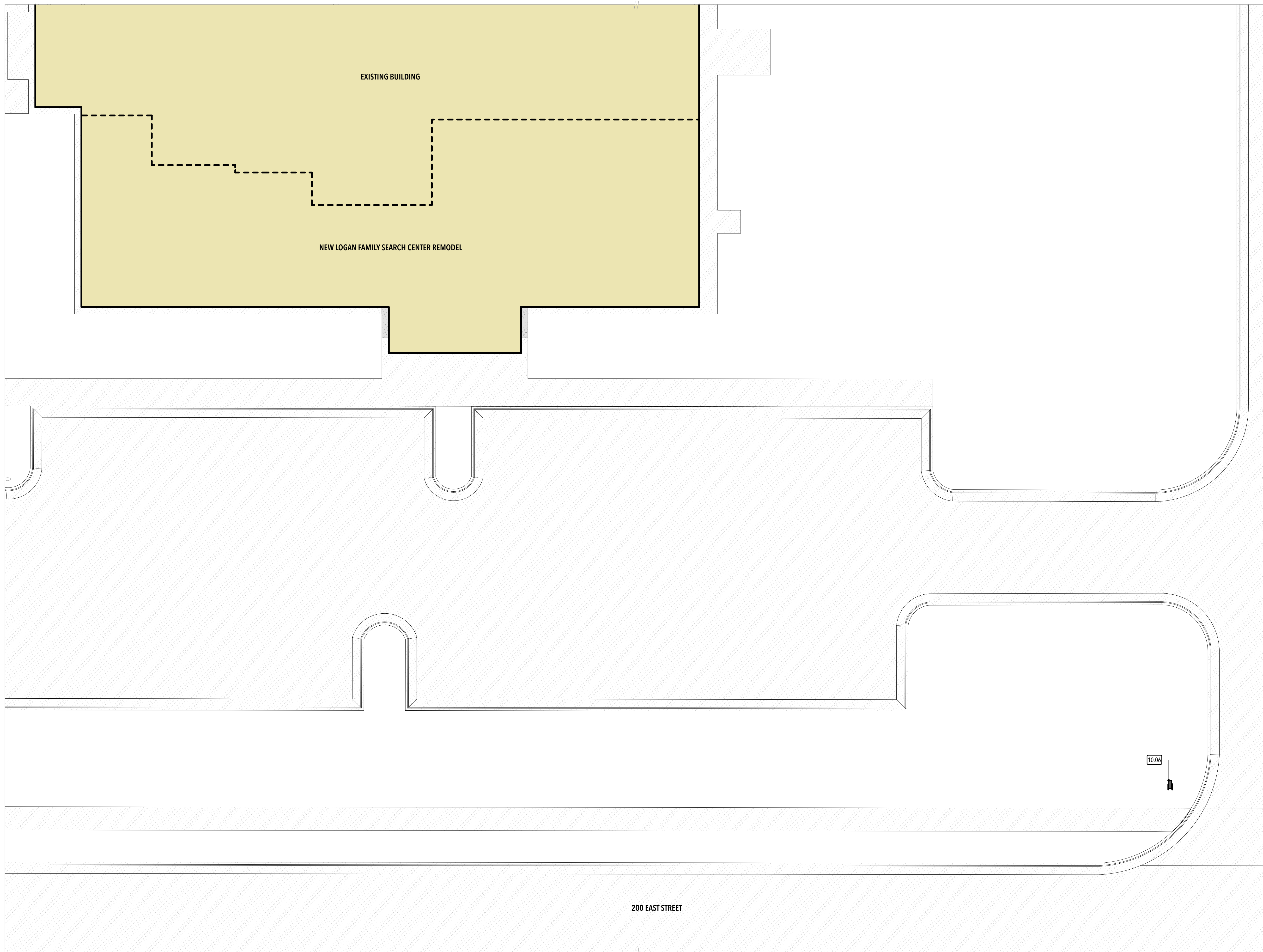
USE GROUP	DESCRIPTION	WATER CLOSETS		LAVATORIES DRINKING FOUNTAINS		OTHER FOUNTAINS	1 service sink
		Male	Female	Male	Female		
A-3	Exhibit gallery or museum	1/125	1/65	1/200	1/200	1/500	1 service sink
	164 occupant load						
	50:50 ratio	82/125	82/65	82/200	82/200	164/500	1 service sink
	82 males : 82 females						
	Required fixtures:	.65	1.26	.41	.41	.33	1 service sink
M	Mercantile	1/500	1/500	1/250	1/250	1/1,000	1 service sink
	89 occupant load						
	50:50 ratio	44/500	45/500	44/250	45/250	89/1,000	1 service sink
	44 males : 45 females						
	Required fixtures:	.09	.09	.06	.06	.09	1 service sink
S-1	Storage	1/100	1/100	1/100	1/100	1/1,000	1 service sink
	29 occupant load						
	50:50 ratio	14/100	15/100	14/100	15/100	29/1,000	1 service sink
	14 males : 15 females						
	Required fixtures:	.14	.15	.14	.15	.03	1 service sink
	Total Required Fixtures:	.88	1.5	.61	.61	.45	1 service sink
	Total Fixtures:						
	Provided:	3.5	3.5	3.5	3.5	6	3

LIFE SAFETY SYMBOL LEGEND:

- DF : Drinking fountain
- FE : Fire extinguisher - max. travel distance to reach a fire extinguisher from any point in the building shall not exceed 75 feet. Coordinate final location with Fire Marshall.
- 000 → : Number of occupants through door opening
- DOOR ← : Max. occupant load thru exit
- 000 ← : Min. required exit width
- 000 ← : Exit width provided; doors measured between doors measured between door face and stop.
- OFFICE ← : Area of room
- 000 ← : S.F. per occupant per IBC 1004.5
- 000 ← : # of occupants in room
- : Exit access travel path
- : Common path egress

PERMIT SET
 DATE: 08.26.22
 PROJECT NUMBER: 2141
 PROPERTY NUMBER: 594-2217
 SCALE: 1" = 1'-0", 3/16" = 1'-0"





KEYED NOTES:

- 10.06 Exterior signage provided by Owner and installed by Contractor. Contractor shall provide 28"x18" concrete pier with #4 vertical bars @ 8" o.c. (2" min. clear). Provide 3'-6" wide x 12" thick concrete footing with #5 bars at 12" o.c. each way. Set bottom of footing at frost depth (36" min.). Provide stainless steel fasteners as required for attachment of sign to concrete pier.

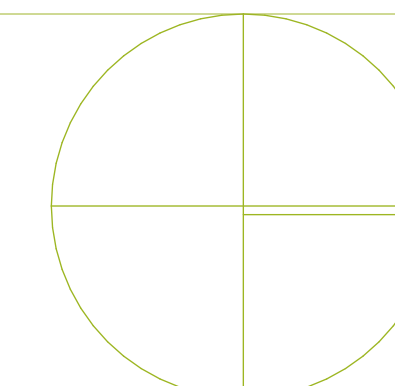
STUDIO 333 ARCHITECTS
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LOGAN FAMILYSEARCH CENTER REMODEL
 165 EAST 2200 NORTH, LOGAN, UTAH



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PERMIT SET
 DATE: 08.26.22
 PROJECT NUMBER: 2141
 PROPERTY NUMBER: 594-2217
 SCALE: 1" = 10'

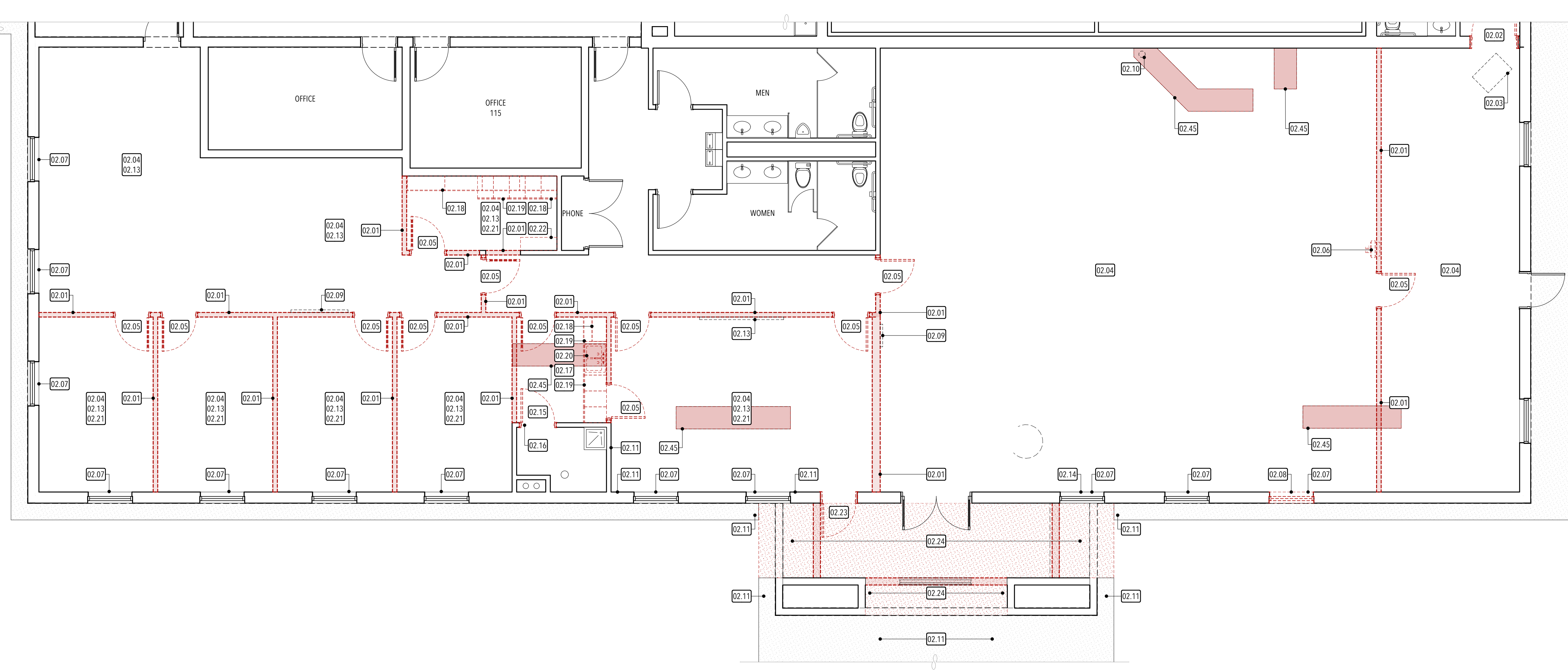


GENERAL DEMOLITION NOTES:

- A. The Contractor shall field verify all dimensions and existing conditions including existing utilities prior to bidding as the locations shown in the construction documents are approximate. All variances not shown in the construction documents shall be brought to the attention of the Architect prior to bid.
- B. Prior to beginning demolition work the Contractor shall coordinate with the Owner on items that shall be demolished, remain or be salvaged.
- C. All bearing walls and columns to remain, unless indicated otherwise. Contractor shall field verify these conditions prior to demolition.
- D. Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within the limitations of governing regulations and as indicated.
- E. Provide miscellaneous demolition required for new construction, whether specifically defined, or not.
- F. Protect existing construction indicated to remain during the process of demolition. All existing interior finishes, materials, structure, systems, landscaping, site features, etc. not identified to be demolished that are damaged during construction shall be restored to their original condition or replaced to match at the Contractor's expense.
- G. Except for items indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain, remove demolished materials from project site and legally recycle or dispose of them in an EPA approved landfill.
- H. Reference engineering sheets for additional demolition requirements.
- I. Provide temporary bracing and shoring as required for removal of existing walls.
- J. Reference demolition reflected ceiling plans for ceiling demolition requirements not shown on this sheet.
- K. Where a wall is removed, cut back gypsum board to adjoining wall and ceiling surfaces and patch as required for smooth and even finish.
- L. All existing finished surfaces damaged due to work under this contract shall be patched & finished to match existing adjacent surfaces.
- M. All noted materials are new, unless indicated otherwise.
- N. Contractor shall install flexboard over all floor material to remain to protect surfaces from construction debris and demolition work. 45 mil minimum thickness. Tape all joints. Clean carpet if necessary at completion of construction.
- O. Patch and level existing concrete floor slabs as required for new finishes with floor leveling compound as approved by the Architect.

KEYED NOTES:

- 02.01 Remove existing metal framed partition, complete
- 02.02 Remove existing hollow metal door and door frame, complete
- 02.03 Remove existing gas fired unit heater - re- mechanical
- 02.04 Remove existing rubber wall base on all walls in this room
- 02.05 Remove existing wood door and hollow metal door frame, complete
- 02.06 Remove existing fire extinguisher cabinet
- 02.07 Remove existing window blinds
- 02.08 Remove existing aluminum storefront window
- 02.09 Remove existing wall mounted visual display board
- 02.10 Remove existing plumbing waste line to below floor slab and cap - re- plumbing
- 02.11 Existing concrete walk/concrete building apron - protect from damage
- 02.13 Remove and salvage existing projector screen to Owner
- 02.14 Carefully remove existing window sill - protect adjacent surfaces from damage
- 02.15 Remove existing wood door leaf from existing hollow metal door frame. Remove existing smoke gaskets. Protect existing hollow metal door frame to remain.
- 02.16 Carefully saw cut floor tile system at center of door frame
- 02.17 Remove existing floor tile system down to existing concrete floor slab in this room. Remove existing tile wall base in this room.
- 02.18 Remove existing wall hung millwork
- 02.19 Remove existing millwork, complete, including countertop, backsplash, etc.
- 02.20 Remove existing plumbing fixture, complete, including supply and waste lines - re- plumbing
- 02.21 Carefully remove existing wood chair rail from all walls in this room
- 02.22 Remove existing wall mounted shelf system
- 02.23 Remove existing aluminum storefront door system, complete, including threshold, etc.
- 02.24 Carefully saw cut and remove existing concrete walk as shown. Protect adjacent concrete walk from damage.
- 02.45 Saw cut and remove existing concrete floor slab as required for plumbing/electrical work

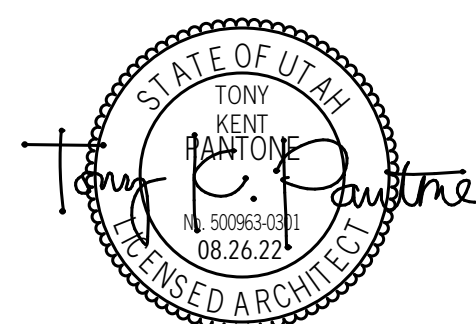


DEMOLITION LEGEND:

- : Building element to be demolished.
- : Existing building element to remain (protect from damage).

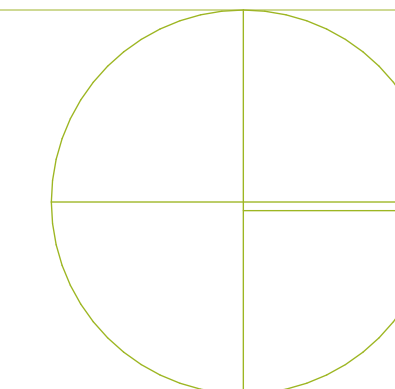
STUDIO 333 ARCHITECTS
 333 24TH STREET
 OGDEN, UT 84401
 801.394.3033

LOGAN FAMILYSEARCH CENTER REMODEL
 165 EAST 2200 NORTH, LOGAN, UTAH



NO.	DATE	DESCRIPTION

PERMIT SET
 DATE: 08.26.22
 PROJECT NUMBER: 2141
 PROPERTY NUMBER: 594-2217
 SCALE: 1' = 1'-0", 3/16" = 1'-0"



**1ST LEVEL DEMOLITION
 FLOOR PLAN**

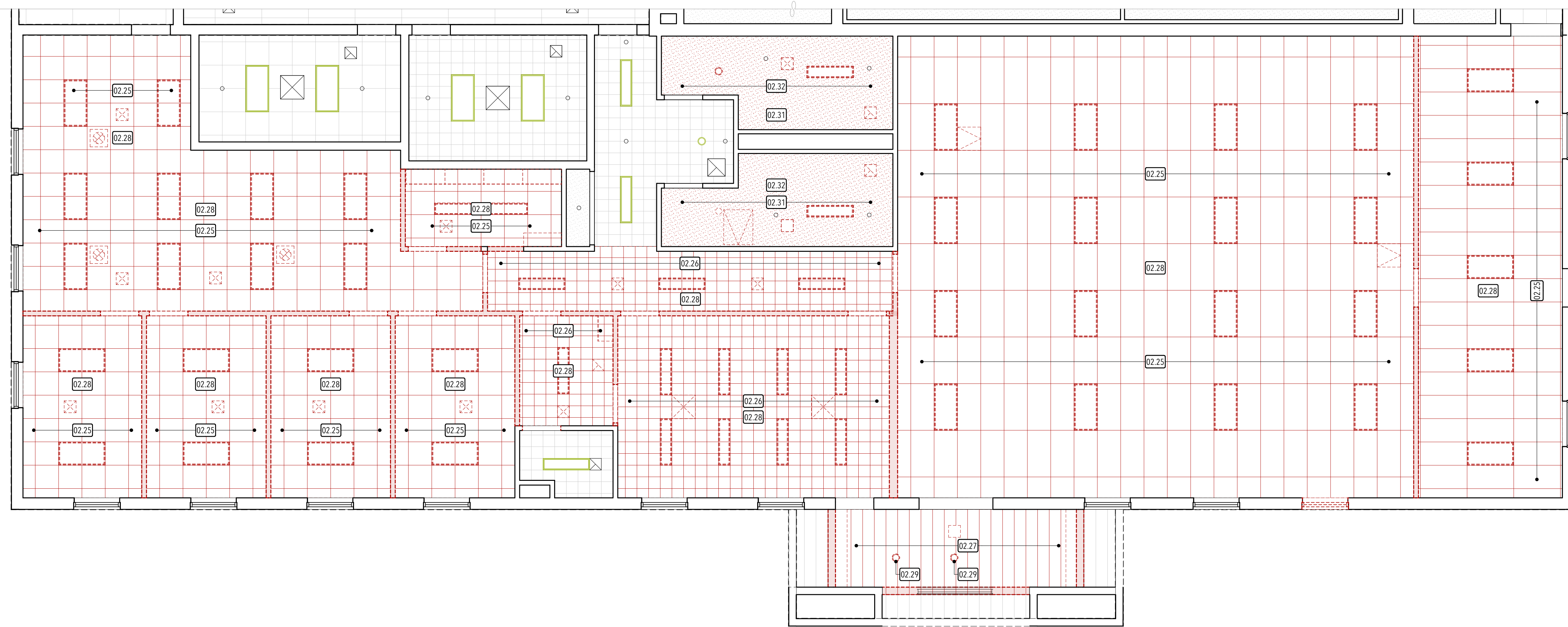
D1.1

GENERAL DEMOLITION NOTES:

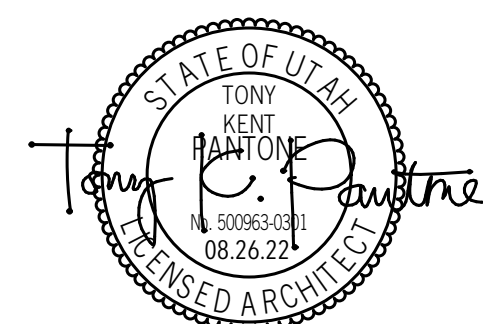
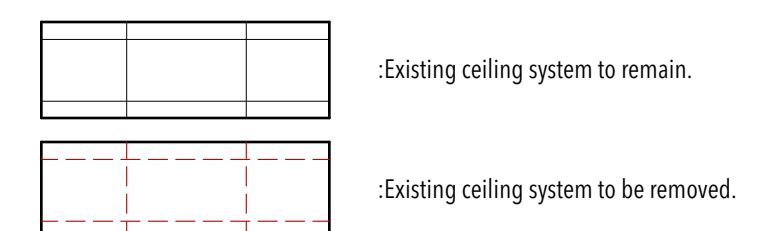
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- D. Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within the limitations of governing regulations and as indicated.
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- H. Reference engineering sheets for additional demolition requirements.
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- K. Where a wall is removed, cut back gypsum board to adjoining wall and ceiling surfaces and patch as required for smooth and even finish.
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- M. All noted materials are new, unless indicated otherwise.
- N. Contractor shall install flexboard over all floor material to remain to protect surfaces from construction debris and demolition work. 45 mil. minimum thickness. Tape all joints. Clean carpet if necessary at completion of construction.
- O. Patch and level existing concrete floor slabs as required for new finishes with floor leveling compound as approved by the Architect.

KEYED NOTES:

- 02.25 Remove existing suspended ceiling panel system, complete, including suspended grid, panels, etc.
- 02.26 Remove existing suspended 1'x1' acoustical ceiling tile over gypsum board system, complete
- 02.27 Remove existing metal soffit system, complete
- 02.28 Remove all existing light fixtures, ceiling diffusers, speakers, and other ceiling mounted devices in this room. Coordinate with mechanical and electrical.
- 02.29 Remove existing light fixtures - re: electrical
- 02.31 Remove and salvage all existing light fixtures, ceiling diffusers, speakers, attic access panels, and other ceiling mounted devices in this room. Coordinate with mechanical and electrical.
- 02.32 Remove existing suspended gypsum board ceiling system, complete



DEMOLITION REFLECTED CEILING PLAN LEGEND:



NO.	DATE	DESCRIPTION

