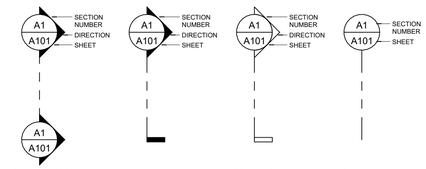
# LORIN FARR PAVILION #502-1089

## PERMIT SET - APRIL, 2024

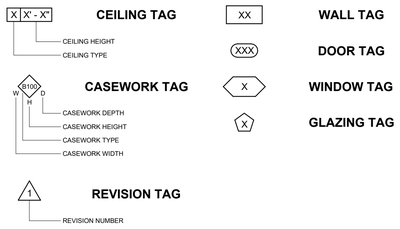
## ABBREVIATIONS

| | | | |
|---|---|---|---|
| & | AND | JST | JOIST |
| @ | AT | | |
| ° | DEGREES | MAX | MAXIMUM |
| Ø | DIAMETER | MDF | MEDIUM DENSITY FIBERBOARD |
| | | MECH | MECHANICAL |
| ACT | ACOUSTIC CEILING TILE | MEZZ | MEZZANINE |
| AFF | ABOVE FINISH FLOOR | MFR | MANUFACTURER |
| ALT | ALTERNATE | MIN | MINIMUM |
| AL/ALUM | ALUMINUM | MIR | MIRROR |
| APPROX | APPROXIMATE | MO | MASONRY OPENING |
| ARCH | ARCHITECTURAL | MTL | METAL |
| BD | BOARD | N | NORTH |
| BLDG | BUILDING | NIC | NOT IN CONTRACT |
| B.O. | BOTTOM OF | NO. | NUMBER |
| | | NOM | NOMINAL |
| CAB | CABINET | NRC | NOISE REDUCTION COEFFICIENT |
| CG | CORNER GUARD | NTS | NOT TO SCALE |
| CJ | CONTROL JOINT | | |
| CL | CENTER LINE | OC | ON CENTER |
| CLG | CEILING | OD | OUTSIDE DIAMETER |
| CLR | CLEAR | OH | OVERHEAD |
| CM | CONSTRUCTION MANAGER | OPG | OPENING |
| COL | COLUMN | OPP | OPPOSITE |
| CONC | CONCRETE | OSB | ORIENTED STRAND BOARD |
| CONT | CONTINUOUS | | |
| CORR | CORRIDOR | PERI | |
| CMU | CONCRETE MASONRY UNIT | PERM | PERMANENT |
| CPT | CARPET | PL | PLATE |
| CSBA | COLOR SELECTED BY ARCH | P LAM | PLASTIC LAMINATE |
| CT | CERAMIC TILE | PNL | PANEL |
| | | PNT | PAINT |
| D | DEPTH | P.O. | POINT OF |
| DB | DECK BEARING | PART | PARTITION |
| DBL | DOUBLE | PLY | PLYWOOD |
| DEPT | DEPARTMENT | | |
| DF | DRINKING FOUNTAIN | QT | QUARRY TILE |
| DIM | DIMENSION | | |
| DN | DOWN | R/RAD | RADIUS |
| DRN | DRAIN | RCP | REFLECTED CEILING PLAN |
| DTL/DET | DETAIL | REC | RECESSED |
| DWG | DRAWING | REF | REFERENCE |
| | | REINF | REINFORCED |
| E | EAST | REQD | REQUIRED |
| EA | EACH | RM | ROOM |
| EIFS | EXTERIOR INSULATION SYSTEM | RO | ROUGH OPENING |
| EJ | EXPANSION JOINT | | |
| ELEC | ELECTRICAL | S | SOUTH |
| ELEV | ELEVATION | SCHED | SCHEDULE |
| EQ | EQUAL | SECT | SECTION |
| EQUIP | EQUIPMENT | SF | SQUARE FOOT |
| EXIST/(E) | EXISTING | SIM | SIMILAR |
| EXP | EXPANSION | SPEC | SPECIFICATION |
| EXT | EXTERIOR | SS | STAINLESS STEEL |
| | | STC | SOUND TRANSMISSION CLASS |
| FA | FIRE ALARM | STD | STANDARD |
| FD | FLOOR DRAIN | STL | STEEL |
| FDN | FOUNDATION | STOR | STORAGE |
| FE | FIRE EXTINGUISHER | STRUC | STRUCTURAL |
| FG | FINISH GRADE | SUSP | SUSPENDED |
| FH | FIRE HYDRANT | SYS | SYSTEM |
| FIN | FINISHED | | |
| FLR | FLOOR | T | THICKNESS |
| F.O. | FACE OF | T & B | TOP AND BOTTOM |
| FTG | FOOTING | T & G | TONGUE AND GROOVE |
| FV | FIELD VERIFY | TBD | TO BE DETERMINED |
| | | TEMP | TEMPORARY |
| GA | GAUGE | THRU | THROUGH |
| GALV | GALVANIZED | T.O. | TOP OF |
| GC | GENERAL CONTRACTOR | TS | TUBE STEEL |
| GFRC | GLASS FIBER REINF PANEL | TYP | TYPICAL |
| GYP | GYPSUM | | |
| GWB | GYPSUM WALLBOARD | UNO | UNLESS NOTED OTHERWISE |
| HDW | HARDWARE | VAR | VARIES |
| HDF | HIGH DENSITY FIBERBOARD | VCT | VINYL COMPOSITION TILE |
| HM | HOLLOW METAL | VERT | VERTICAL |
| H | HEIGHT | VEST | VESTIBULE |
| HOR | HORIZONTAL | | |
| | | W | WEST |
| ID | INNER DIAMETER | W | WIDTH |
| INT | INTERIOR | W/ | WITH |
| INSUL | INSULATE | WC | WATER CLOSET |
| | | WD | WOOD |
| | | W/O | WITHOUT |
| | | WWF | WELDED WIRE FABRIC |

## SYMBOL LEGEND




## DRAWING TAGS



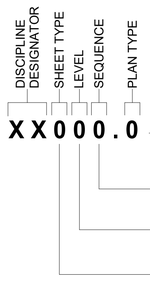

## INSULATION SCHEDULE

1. ALL EXTERIOR WALLS ARE TO HAVE R-19 BATT INSULATION (STUD CAVITY INSULATION TO BE FIBERGLASS, BATT TYPE CLASS A, ASTM E84 UNFACED)
2. FOUNDATION WALLS ARE TO HAVE R-10 RIGID INSULATION FOR 2 FEET BELOW GRADE ON THE WARM SIDE OF THE WALL. R-10 INSULATION TO EXTEND TO THE TOP OF THE SLAB-ON-GRADE PER IECC C402.2.5
3. ROOF TO HAVE R-50 CAVITY INSULATION
4. SEE WINDOW NOTES ON WINDOW SCHEDULE
5. SEE ROOF NOTES ON ROOF PLAN

NOTE: GIVEN R-VALUES ARE MINIMUM REQUIREMENTS. THESE VALUES REFLECT THOSE PROVIDED IN THE BUILDING ENVELOPE COMCHECK

## VICINITY MAP


## SHEET NAME + NUMBER




## GENERAL NOTES

1. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION, AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.
2. AS PART OF THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND SUPPLIERS, THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE. ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.
3. THE ARCHITECTURAL DRAWINGS ESTABLISH THE FINISHED APPEARANCE AND LOCATION OF EXPOSED ELEMENTS OF THE WORK OF ALL THE TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES.
4. DO NOT SCALE DRAWINGS. ALL NECESSARY DIMENSIONS ARE NOTED, OR MAY BE DERIVED FROM THOSE NOTED, IN THE CONSTRUCTION DOCUMENTS. IF DIMENSIONS ARE NOT PRESENT, THE ARCHITECT IS TO BE NOTIFIED.
5. VERIFY THAT ALL WORK CONFORMS WITH THE GOVERNING BUILDING CODES LISTED ON THIS SHEET, AS WELL AS THE REQUIREMENTS AND REGULATIONS OF THE LOCAL MUNICIPALITY.
6. CONTRACTOR IS RESPONSIBLE FOR CORRECTION OF WORK AT HIS OWN EXPENSE FOR WORK WHICH DOES NOT COMPLY WITH THESE DOCUMENTS.
7. PROVIDE NECESSARY STIFFENERS, BLOCKING, BRACING, HANGERS, ETC. FOR ALL CABINETRY EQUIPMENT, FURNISHINGS, TOWEL BARS OR OTHER ITEMS.
8. FLASHING AND COUNTER FLASHING IS TO BE PROVIDED AT ALL NECESSARY LOCATIONS IN ACCORDANCE WITH BUILDING CODE AND BEST CONSTRUCTION PRACTICES. THESE LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO, THE CONNECTION OF A ROOF WITH A VERTICAL SURFACE, EXTERIOR OPENINGS, IN-PLANE MATERIAL CHANGES, ROOF VALLEYS AND RIDGES, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SURFACES, ETC.
9. WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED WOOD.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## SHEET INDEX




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5/3/2024
Lorin Farr
503-3195

LORIN FARR PAVILION #502-1089
788 EAST 15TH STREET, OGEN, UTAH
PERMIT SET

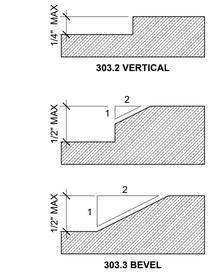
| | |
|---|---|
| **JOB NUMBER:** | 502-1089 |
| **OWNER:** | LDS CHURCH |
| **DATE:** | 04/29/24 |

| REV | DATE | DESCRIPTION |
|---|---|---|

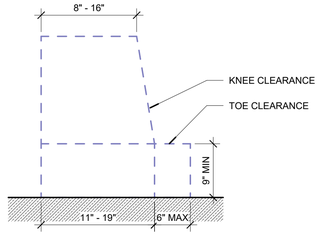
GENERAL INFORMATION + INDEX

**G001**

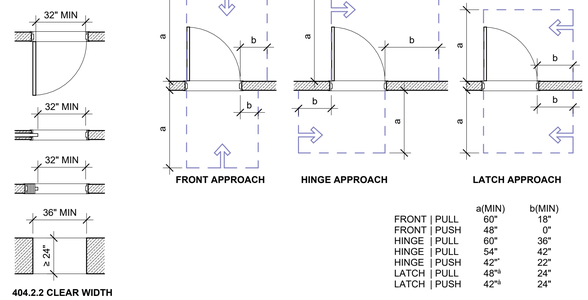
2024/5/3 12:20:58




303 - CHANGES IN LEVEL



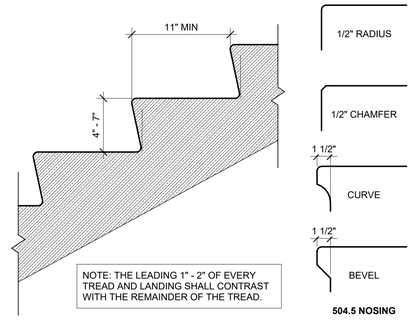

306 - KNEE + TOE CLEARANCE



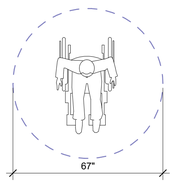

| | a(MIN) | b(MIN) |
|---|---|---|
| FRONT \| PULL | 60" | 18" |
| FRONT \| PUSH | 48" | 0" |
| HINGE \| PULL | 60" | 36" |
| HINGE \| PULL | 54" | 42" |
| HINGE \| PUSH | 42" | 22" |
| LATCH \| PULL | 48"[§] | 24" |
| LATCH \| PUSH | 42"[§] | 24" |

[*]ADD 6" WITH CLOSER AND LATCH
[§]ADD 6" WITH CLOSER

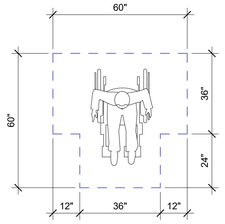
404 - DOOR + DOORWAY

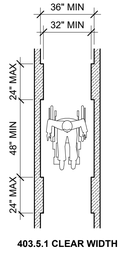


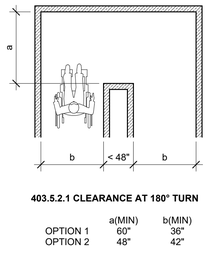

504 - STAIRWAYS




304 - TURNING SPACE

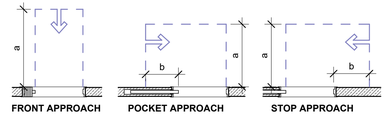


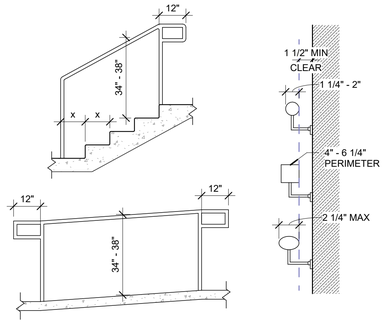

| | a(MIN) | b(MIN) |
|---|---|---|
| OPTION 1 | 60" | 36" |
| OPTION 2 | 48" | 42" |

403 - ACCESSIBLE ROUTE

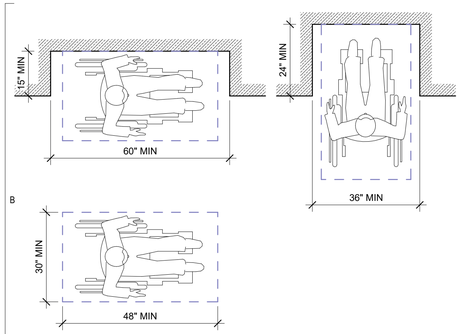



| | a(MIN) | b(MIN) |
|---|---|---|
| FRONT | 48" | 0" |
| POCKET | 42" | 22" |
| STOP | 42" | 24" |

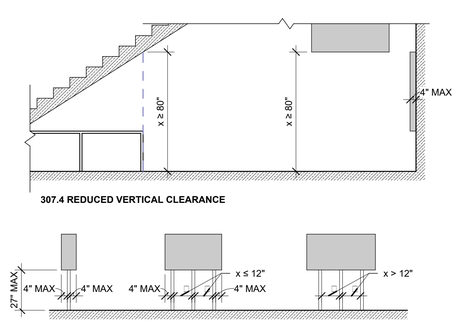
404.2.3.3 - SLIDING DOOR + DOORWAY



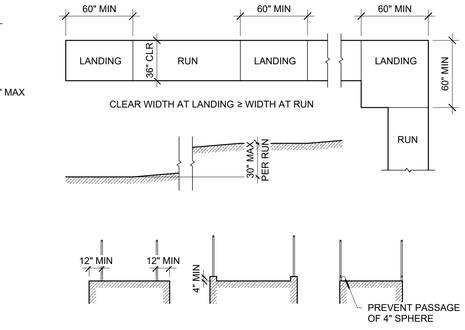

505 - HANDRAIL



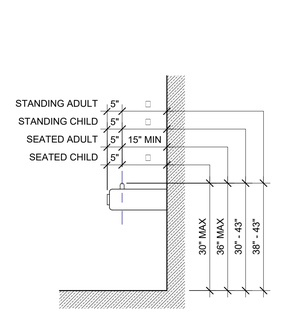

305 - CLEAR FLOOR SPACE



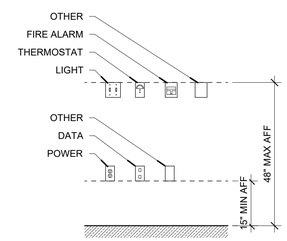

307 - PROTRUDING OBJECTS



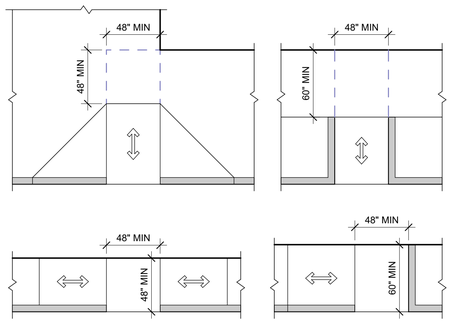

405 - RAMPS



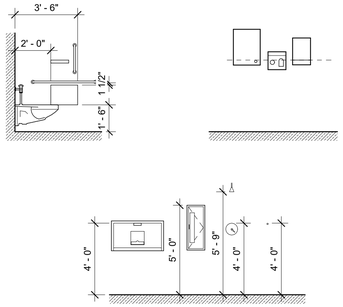

602 - DRINKING FOUNDTAINS




308 - REACH RANGES




406 - CURB RAMPS




604.7 - ACCESSORIES + EQUIPMENT

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STATE OF UTAH · LICENSED ARCHITECT
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LORIN FARR PAVILION #502-1089

788 EAST 15TH STREET, OGEN, UTAH

PERMIT SET

| | |
|---|---|
| JOB NUMBER: | 502-1089 |
| OWNER: | LDS CHURCH |
| DATE: | 04/29/24 |

| REV | DATE | DESCRIPTION |
|---|---|---|

TYP ANSI ACCESSIBILITY STANDARD

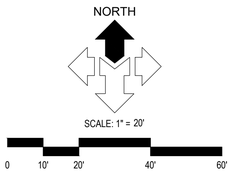
G301

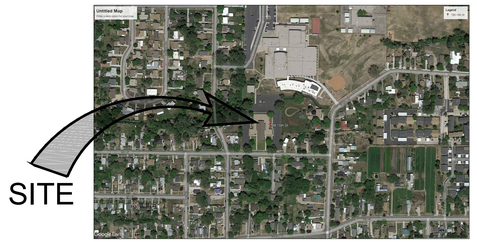
2024/5/3 12:20:59

# LORIN FARR STAKE PAVILION

## CONSTRUCTION PLANS

788 EAST 15TH STREET
OGDEN,UT




VICINITY MAP
N.T.S.


DRAWING INDEX

| SHEET | DESCRIPTION |
|---|---|
| C0.00 | CIVIL COVER SHEET |
| C0.01 | GENERAL NOTES, LEGEND AND ABBREVIATIONS |
| C1.01 | CIVIL SITE PLAN |
| C2.01 | GRADING AND DRAINAGE PLAN |
| C3.01 | SITE UTILITY PLAN |
| C4.01 | CIVIL DETAILS |

ALL WORK AND MATERIALS FOR WATER MUST CONFORM TO OGDEN CITY STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS MUST CONFORM TO APWA STANDARDS AND SPECIFICATIONS


OWNER & ARCHITECT
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Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS


LORIN FARR PAVILION # 502-1089

788 EAST 15TH STREET, OGDEN, UTAH

PERMIT

**JOB NUMBER:** 502-1089
**OWNER:** THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
**DATE:** 03/22/24

| REV | DATE | DESCRIPTION |
|---|---|---|

CIVIL COVER SHEET

**C0.00**

# GENERAL NOTES

## 1.1 COMPLIANCE

1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

## 1.2 PERMITTING AND INSPECTIONS

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

## 1.3 COORDINATION & VERIFICATION

1. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
3. CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
4. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

## 1.4 SAFETY AND PROTECTION

1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
4. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
7. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
8. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
10. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
11. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
13. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
14. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

## 1.5 MATERIALS

1. SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. -SEE SPECIFICATION
   A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
   B. CONCRETE WATERWAYS, CURBWALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
   C. UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
   D. UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE.
   E. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
   F. ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
2. ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 8" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. -SEE SPECIFICATIONS, AND DETAIL 'D1' SHEET C5.01
   A. ASPHALT COMPACTION SHALL BE A MINIMUM 96% (MARSHALL DESIGN).
   B. SURFACE COARSE SHALL BE ½ " MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
   C. AC PAVEMENT TO BE A ¼" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
   D. THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

## 1.6 GRADING / SOILS

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
3. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
4. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
6. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

# GENERAL NOTES: CONTINUED

## 1.7 UTILITIES

1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR TO VERIFY BY POTHOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
4. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
6. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
8. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
9. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
10. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

## 1.8 SURVEY CONTROL

1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

## 1.9 AMERICAN DISABILITIES ACT

1. PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
   *ROUTES SHALL HAVE A 2.08% (1:48) MAXIMUM CROSS SLOPE.
   *ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
   *RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
2. ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.08% (1:48) MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

# LEGEND

| NEW | EXISTING | | NEW | EXISTING | |
|---|---|---|---|---|---|
| | | MONUMENT LINE | | | SECTION CORNER (FOUND) |
| | | CENTER LINE | | | |
| | | SUBJECT PROPERTY LINE | | | SECTION CORNER (NOT FOUND) |
| | | ADJACENT PROPERTY LINE | | | |
| | | EASEMENT LINE | | | STREET MONUMENT |
| | | DITCH FLOWLINE | | | BRASS CAP MONUMENT |
| X | X | FENCE LINE | | | POWER POLE |
| ATMS | atms | ATMS CABLE | | | UTILITY POLE |
| TV | tv | CABLE TV LINE | GUY | GUY | GUY ANCHOR |
| C | c | COMMUNICATIONS LINE | TRANS | TRANS | POWER TRANSFORMER |
| FO | fo | FIBER-OPTIC CABLE | | | TRAFFIC SIGNAL CABINET |
| F | f | FIRE LINE | | | LIGHT POLE |
| IRR | irr | IRRIGATION LINE | TR | TR | TELEPHONE RISER |
| G | g | NATURAL GAS LINE | | | TELEPHONE MANHOLE |
| OHC | ohc | OVERHEAD COMMUNICATIONS | | | TRAFFIC SIGNAL BOX |
| OHP | ohp | OVERHEAD POWER LINE | | | WATER MANHOLE |
| OHT | oht | OVERHEAD TELEPHONE LINE | | | WATER VALVE |
| OHTV | ohtv | OVERHEAD TELEVISION LINE | | | WATER METER |
| P | p | POWER LINE | | | FIRE HYDRANT |
| P/C | p/c | POWER/COMMUNICATIONS LINE | | | SANITARY SEWER MANHOLE |
| P/T | p/t | POWER/TELEPHONE LINE | SSCO | SSCO | SANITARY SEWER CLEANOUT |
| P/T/C | p/t/c | POWER/TELE/COMM LINE | SD | SD | STORM DRAIN MANHOLE |
| RD | rd | ROOF DRAIN LINE | | | STORM DRAIN CURB INLET |
| SW | sw | SECONDARY WATER LINE | | | STORM DRAIN CATCH BASIN |
| S | s | SANITARY SEWER LINE | SD | SD | STORM DRAIN CLEANOUT |
| ST | st | STEAM LINE | | | STORM DRAIN COMBO BOX |
| SD | sd | STORM DRAIN LINE | MB | MB | MAILBOX |
| T | t | TELEPHONE LINE | | | SIGN |
| T/C | t/c | TELEPHONE/COMM LINE | | | FLOW DIRECTION |
| UD | ud | UNDERDRAIN | 44.00 TOC | *44.00 EX TOC* | SPOT ELEVATION |
| UGC | ugc | UNDERGROUND COMMUNICATIONS | | | CONIFEROUS TREE |
| UGP | ugp | UNDERGROUND POWER LINE | | | |
| UGT | ugt | UNDERGROUND TELEPHONE LINE | | | DECIDUOUS TREE |
| UGTV | ugtv | UNDERGROUND TELEVISION | | | |
| W | w | WATER LINE | | | |
| 1712 | 4572 | CONTOUR LINE | | | |
| | | CURB & GUTTER (STD) | | | |
| | | CURB & GUTTER (OUTFALL) | | | |

# ABBREVIATIONS

| | | | | | | | |
|---|---|---|---|---|---|---|---|
| AC | ACRE | DIP | DUCTILE IRON PIPE | GM | GAS METER | PCC | POINT OF COMPOUND CURVE |
| ADA | AMERICANS WITH DISABILITIES ACT | DTREE | DECIDUOUS TREE | GMH | GAS MANHOLE | PI | POINT OF INTERSECTION |
| ATMS | ADVANCED TRAFFIC MGMT. SYSTEM | DYL | DOUBLE YELLOW LINE | GUY | GUY WIRE | PM | PARKING METER |
| B&C | BAR & CAP | E | EAST | GV | GAS VALVE | PP | POWER POLE |
| BC | BUILDING CORNER | EB | ELECTRIC BOX | HDPE | HIGH DENSITY POLYETHYLENE | PRC | POINT OF REVERSE CURVE |
| BFG | BOTTOM FINISH GRADE | EGL | ENERGY GRADE LINE | HG | HEADGATE | PRK | PARKING STRIPE |
| BLUE | BLUE STAKED ELECTRIC | ELEV | ELEVATION | HGL | HYDRAULIC GRADE LINE | POC | POINT OF CONNECTION |
| BLUFO | BLUE STAKED FIBER OPTIC | EM | ELECTRIC METER | HP | HIGH POINT | PT | POINT OF TANGENCY |
| BLUG | BLUE STAKED NATURAL GAS | EMH | ELECTRIC MANHOLE | HW | HEADWALL or HIGH WATER | PWR | POWER |
| BLUIRR | BLUE STAKED IRRIGATION | EOA | EDGE OF ASPHALT | HWY | HIGHWAY | PVC | POLYVINYL CHLORIDE PIPE |
| BLUSD | BLUE STAKED STORM DRAIN | EOC | EDGE OF CONCRETE | ICO | IRRIGATION CLEANOUT | R | RANGE |
| BLUSS | BLUE STAKED SANITARY SEWER | EOG | EDGE OF GRAVEL | ICV | IRRIGATION CONTROL VALVE | RCP | REINFORCED CONCRETE PIPE |
| BLUT | BLUE STAKED TELEPHONE | EOL | EDGE OF LAWN | IE | INVERT ELEVATION | RD | ROOF DRAIN |
| BLUW | BLUE STAKED WATER | EX or EXIST | EXISTING | IRR | IRRIGATION | REV | REVISION |
| BM | BENCHMARK | F | FIRE | LF | LINEAR FEET | ROW | RIGHT-OF-WAY |
| BOF | BOTTOM OF FOOTING | FC | FOUNDATION CORNER | LIP | LIP OF GUTTER | RR | RAILROAD |
| BOB | BOTTOM OF BOX | FD | FOUND or FOUNDATION DRAIN | LP | LOW POINT or LIGHT POLE | S | SOUTH |
| BOL | BOLLARD | FDC | FIRE DEPT. CONNECTION | MAX | MAXIMUM | SAD | SEE ARCHITECTURAL DRAWINGS |
| BOT | BOTTOM | FDMN | FOUND MONUMENT | MIN | MINIMUM | SD | STORM DRAIN |
| BOV | BLOW-OFF VALVE | FDSC | FOUND SECTION CORNER | MON | MONUMENT | SDCB | STORM DRAIN CATCH BASIN |
| BOW | BACK OF WALK | FFE | FINISHED FLOOR ELEVATION | MP | METAL PIPE | SDCO | STORM DRAIN CLEOUNOUT BOX |
| BW | FINISH GRADE AT BOTTOM OF WALL | FG | FINISHED GRADE | MW | MONITORING WELL | SDMH | STORM DRAIN MANHOLE |
| ℄ | CENTERLINE | FH | FIRE HYDRANT | N | NORTH | SEC | SECTION |
| CATV | CABLE TELEVISION | FL | FLOW LINE | NG | NATURAL GROUND | SPECS | SPECIFICATIONS |
| CBR | CONCRETE BARRIER | FNC | FENCE | NGRET | NG AT RETAINING WALL | SL&M | SALT LAKE BASE & MERIDIAN |
| CC | CURB CUT | FNCCL | CHAIN LINK FENCE | NR | NAIL & RIBBON | SQ | SQUARE |
| COL | COLUMN | FNCIRN | IRON FENCE | NW | NAIL & WASHER | SQFT | SQUARE FEET |
| COMM | COMMUNICATIONS | FNCVYL | VINYL FENCE | NTS | NOT TO SCALE | SQYD | SQUARE YARD |
| CONC | CONCRETE | FNCWD | WOOD FENCE | OG | ORIGINAL GROUND | SS | SANITARY SEWER |
| CONST | CONSTRUCTION | FNCWR | WIRE FENCE | OH | OVERHANG | SSCO | SANITARY SEWER CLEANOUT |
| CMP | CORRUGATED METAL PIPE | FO | FIBER OPTIC | OHC | OVERHEAD COMMUNICATIONS | SSMH | SANITARY SEWER MANHOLE |
| CP | CONTROL POINT | FOW | FRONT OF WALK | OHP | OVERHEAD POWER | ST | STEAM |
| CTREE | CONIFEROUS TREE | FT | FEET | OHT | OVERHEAD TELEPHONE | STA | STATION |
| CUFT | CUBIC FOOT | G | NATURAL GAS | OHTV | OVERHEAD TELEVISION | STD | STANDARD |
| CUYD | CUBIC YARD | GAR | GARAGE | ℄ | PROPERTY LINE | STM | STORM |
| DEL | DELINEATOR | GB | GRADE BREAK | PB | POWER BOX | SYL | SOLID YELLOW LINE |
| DIA or Ø | DIAMETER | GL | GROUND LIGHT | PC | POINT OF CURVATURE | SWL | SOLID WHITE LINE |
| | | | | | | T | TOWNSHIP |
| | | | | | | TBC | TOP BACK OF CURB |
| | | | | | | TELE | TELEPHONE |
| | | | | | | TFC | TOP FACE OF CURB |
| | | | | | | TFG | TOP FINISH GRADE |
| | | | | | | TL | TREE LINE |
| | | | | | | TMH | TELEPHONE MANHOLE |
| | | | | | | TOA | TOP OF ASPHALT |
| | | | | | | TOC | TOP OF CONCRETE |
| | | | | | | TOF | TOP OF FOOTING |
| | | | | | | TOG | TOP OF GRATE |
| | | | | | | TOE | TOE OF SLOPE |
| | | | | | | TOP | TOP OF SLOPE or TOP OF PIPE |
| | | | | | | TOW | TOP OF WALL |
| | | | | | | TR | TELEPHONE RISER |
| | | | | | | TV | TELEVISION |
| | | | | | | TW | FINISH GRADE AT TOP OF WALL |
| | | | | | | TRANS | TRANSFORMER |
| | | | | | | TSP | TRAFFIC SIGNAL POLE |
| | | | | | | TSB | TRAFFIC SIGNAL BOX |
| | | | | | | UD | UNDERDRAIN |
| | | | | | | UGC | UNDERGROUND COMMUNICATIONS |
| | | | | | | UGP | UNDERGROUND POWER |
| | | | | | | UGT | UNDERGROUND TELEPHONE |
| | | | | | | UGTV | UNDERGROUND TELEVISION |
| | | | | | | U.N.O. | UNLESS NOTED OTHERWISE |
| | | | | | | UP | UTILITY POLE |
| | | | | | | VCP | VITRIFIED CLAY PIPE |
| | | | | | | VP | VERTICAL PIPE |
| | | | | | | W | WEST or WATER |
| | | | | | | WM | WATER METER |
| | | | | | | WMH | WATER MANHOLE |
| | | | | | | WS | WATER SURFACE |
| | | | | | | WTR | WATER |
| | | | | | | WV | WATER VALVE |
| | | | | | | WW | WATERWAY |


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Structural Engineering • Land Surveying & HDS


# LORIN FARR PAVILION #502-1089

788 EAST 15TH STREET, OGDEN, UTAH

PERMIT

**JOB NUMBER:** 502-1089

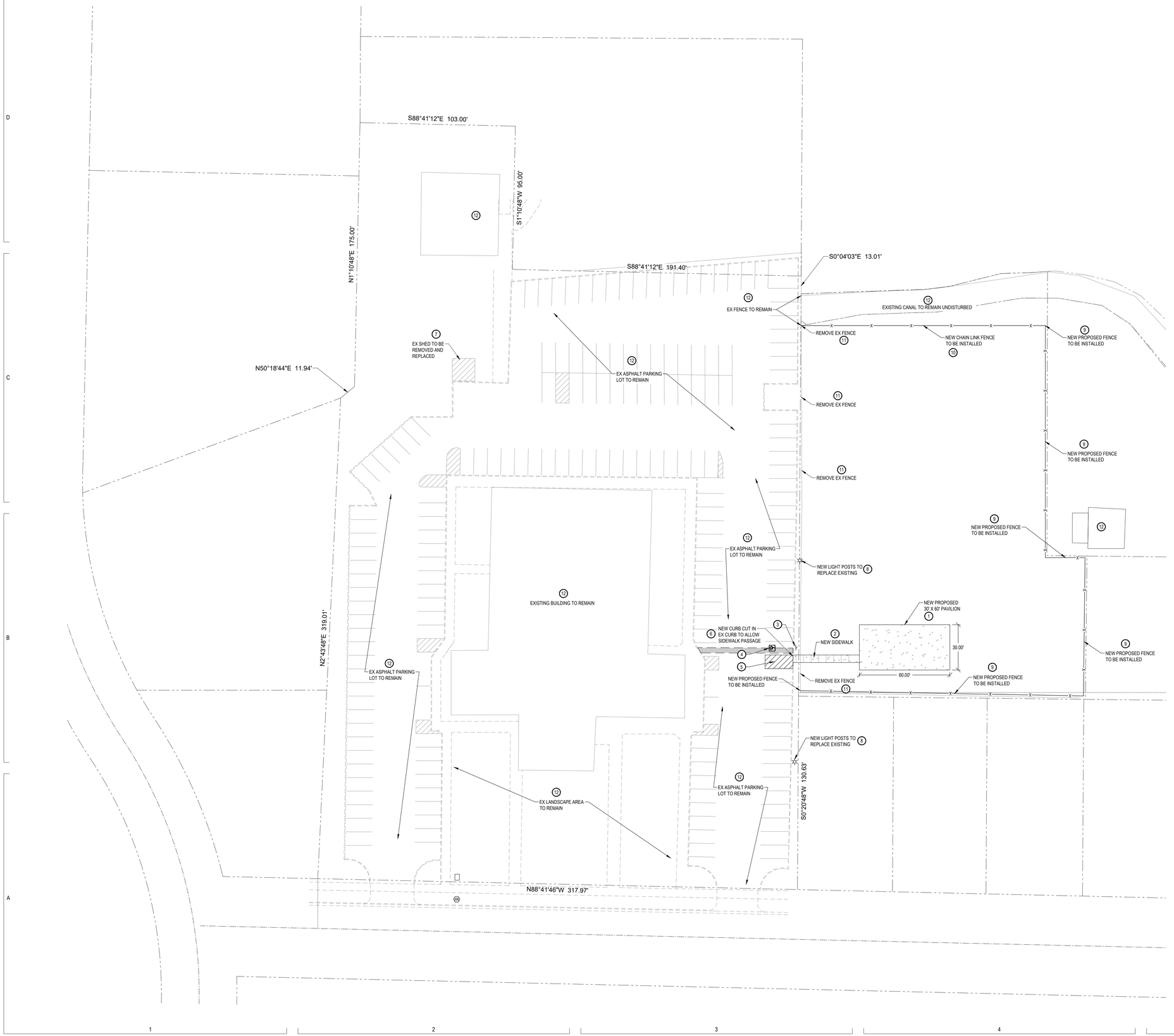
**OWNER:**
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

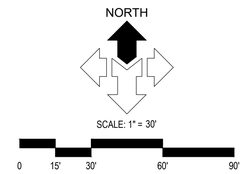
**DATE:** 03/22/24

| REV | DATE | DESCRIPTION |
|---|---|---|

GENERAL NOTES, LEGEND AND ABBREVIATIONS

**C0.01**




## GENERAL NOTES:

ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.

SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.

ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.

ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

## KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. NEW RECREATIONAL 30' X 60' PAVILLION, SEE ARCHITECTURAL PLANS FOR DETAILS.
2. CONCRETE SIDEWALK, PER STANDARD CHURCH DETAIL, SEE DETAIL 'C' SHEET C4.01.
3. ADA ACCESSIBLE PARKING STALL SIGN, PER STANDARD CHURCH DETAIL, SEE DETAIL 'A', SHEET C4.01.
4. PAINTED ADA ACCESSIBLE PARKING SYMBOL, PER STANDARD CHURCH DETAIL, SEE DETAIL 'B', SHEET C4.01.
5. 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.
6. 5' WIDE CURB CUT IN EXISITING CURB TO ALLOW NEW SIDEWALK PASSAGE.
7. EXISTING SHED TO BE REMOVED AND TO BE REPLACED, SEE ARCHITECTURAL PLANS FOR DETAILS.
8. EXISTING LIGHT POSTS TO BE REMOVED AND REPLACED WITH NEW LIGHT POSTS PER CHURCH STANDARD.
9. INSTALL NEW 6' TALL PRIVACY FENCE ALONG THE BOUNDARY LINE WITH THE RESIDENTIAL PROPERTIES, TYPE TO BE DETERMINED BY OWNER.
10. INSTALL NEW 6' TALL CHAIN LINK FENCE ALONG THE CANAL.
11. PORTION OF EXISTING FENCE BETWEEN CHURCH PARKING LOT AND NEW CHURCH RECREATION / FIELD AREA TO BE REMOVED.
12. EXISTING ITEMS TO REMAIN.

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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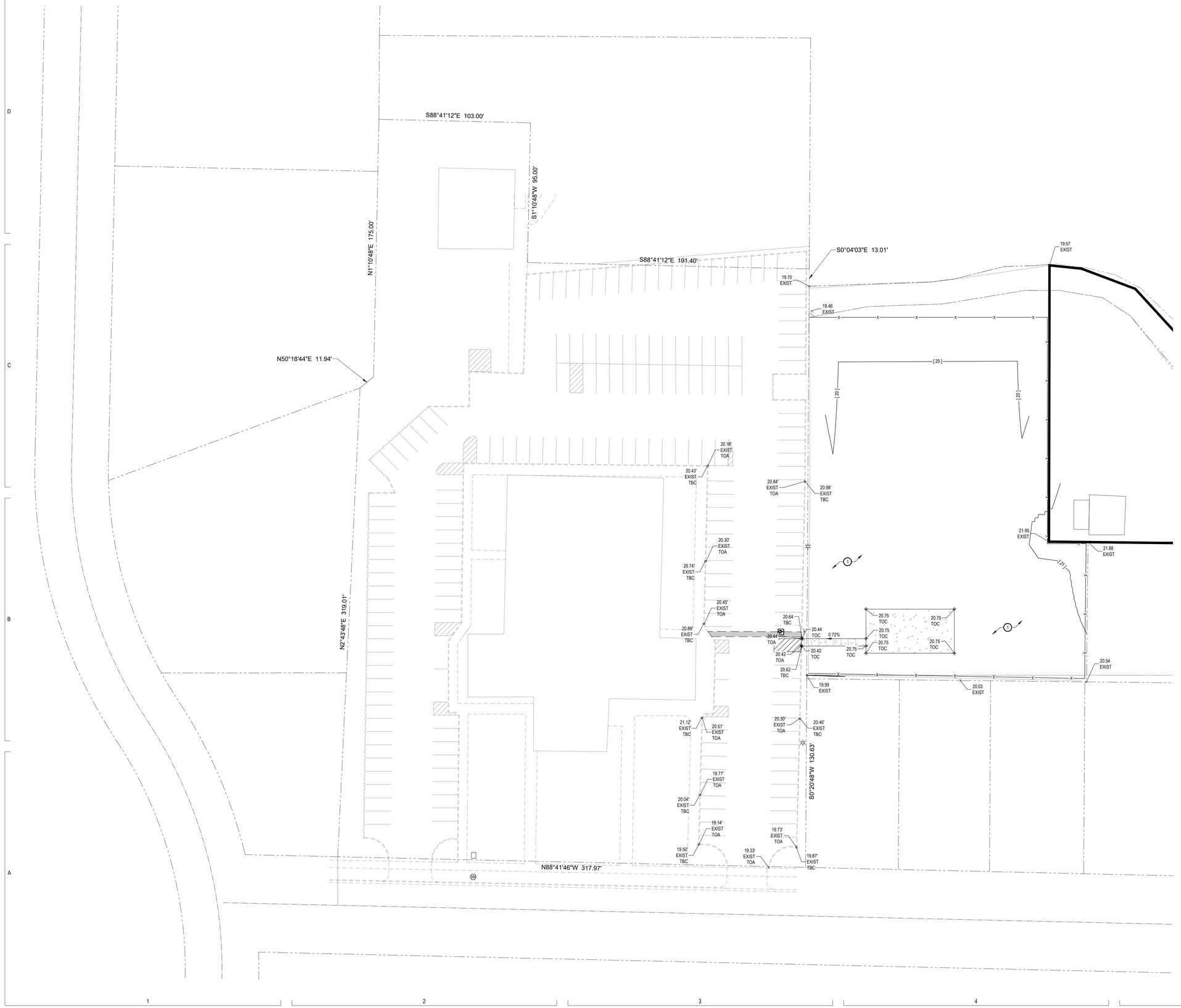
CIVIL SITE PLAN

**C1.01**




NORTH

SCALE: 1" = 30'

0 15' 30' 60' 90'

## GENERAL NOTES:

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF AVAILABLE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.10 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALL(S), IF ANY, ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

## KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.

## COMMON GRADING ABBREVIATIONS:

SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

| | |
|---|---|
| - BFE | BASEMENT FLOOR ELEVATION |
| - BW | FINISH GRADE AT BOTTOM OF WALL |
| - EX or EXIST | EXISTING |
| - EOA | EDGE OF ASPHALT |
| - EOC | EDGE OF CONCRETE |
| - FFE | FINISH FLOOR ELEVATION |
| - FG | FINISH GRADE |
| - FL | FLOW LINE |
| - GB | GRADE BREAK |
| - HP | HIGH POINT |
| - LP | LOW POINT |
| - NG | NATURAL GROUND |
| - SDCB | STORM DRAIN CATCH BASIN |
| - SDCO | STORM DRAIN CLEANOUT BOX |
| - SDDB | STORM DRAIN DRAIN BASIN |
| - SDMH | STORM DRAIN MANHOLE |
| - TBC | TOP BACK OF CURB |
| - TOA | TOP OF ASPHALT |
| - TOC | TOP OF CONCRETE |
| - TOG | TOP OF GRATE |
| - TOW | TOP OF WALL |
| - TW | FINISH GRADE AT TOP OF WALL |
| - WW | WATERWAY |

Blue Stakes of UTAH 811 Bluestakes.org

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.


uncommon architects

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PROFESSIONAL ENGINEER
04-03-24
No. 14988925-2202
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STATE OF UTAH


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# LORIN FARR PAVILION # 502-1089

788 EAST 15TH STREET, OGDEN, UTAH

PERMIT

**JOB NUMBER:** 502-1089

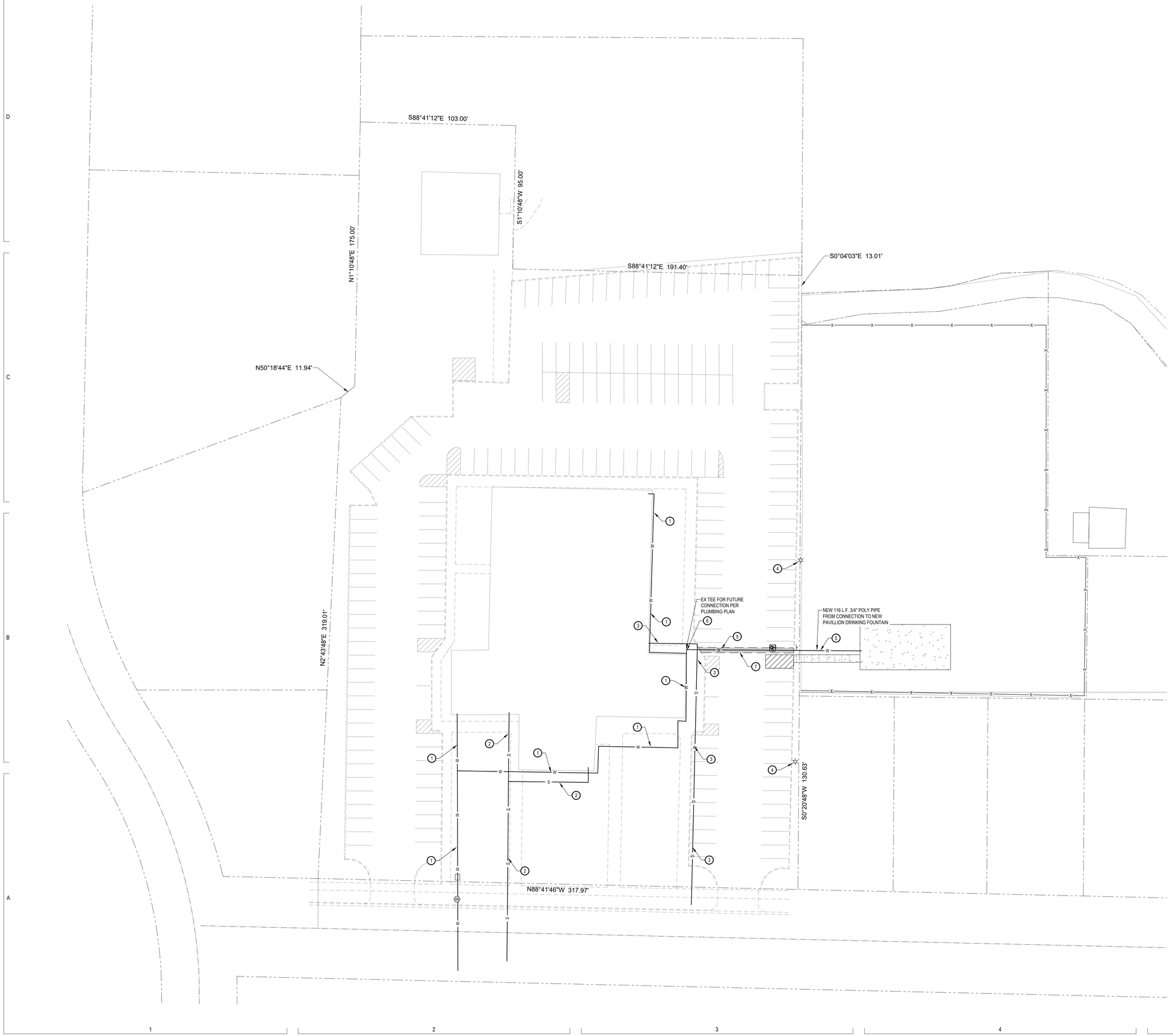
**OWNER:**
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

**DATE:** 03/22/24

| REV | DATE | DESCRIPTION |
|---|---|---|

GRADING AND DRAINAGE PLAN

**C2.01**




NORTH

SCALE: 1" = 30'

0 15' 30' 60' 90'

## GENERAL NOTES:

CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.

FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

UTILITY ALERT CONTACTS
- WATER: OGDEN CITY
- SEWER: OGDEN CITY
- NATURAL GAS: DOMINION ENERGY
- ELECTRICAL POWER: ROCKY MOUNTAIN POWER
- TELEPHONE: CENTURY LINK

## KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. EXISTING CULINARY WATER SERVICE LINE PER SHEET P-2 PLUMBING PLAN FROM MECHANICAL DRAWINGS FOR BUILDING TO REMAIN, TO BE FIELD VERIFIED AS NEEDED TO AVOID ANY POSSIBLE CROSSING CONFLICT WITH NEW CULINARY WATER LINE TO THE PAVILLION AND TO ENSURE THE CONNECTION POINT FOR THE NEW WATER LINE TO THE PAVILLION.
2. EXISTING SEWER SERVICE LINE PER SHEET P-2 PLUMBING PLAN FROM MECHANICAL DRAWINGS FOR BUILDING TO REMAIN, TO BE FIELD VERIFIED IF NEEDED TO AVOID ANY POSSIBLE CROSSING CONFLICT WITH NEW CULINARY WATER LINE TO THE PAVILLION.
3. EXISTING GAS SERVICE LINE PER SHEET P-2 PLUMBING PLAN FROM MECHANICAL DRAWINGS FOR BUILDING TO REMAIN, TO BE FIELD VERIFIED AS NEEDED TO AVOID ANY POSSIBLE CROSSING CONFLICT WITH NEW CULINARY WATER LINE TO THE PAVILLION.
4. EXISTING LIGHT POSTS TO BE REMOVED AND REPLACED WITH NEW LIGHT POSTS PER CHURCH STANDARD.
5. 3/4" POLY PIPE WATER LINE FROM PROPOSED CONNECTION TO EXISTING CULINARY WATER SERVICE LINE TO THE PAVILION DRINKING FOUNTAIN.
6. CONNECT NEW 3/4" POLY PIPE WATER LINE TO EXISTING "TEE FOR FUTURE CONNECTION" PER SHEET P-2 PLUMBING PLAN FROM MECHANICAL DRAWINGS FOR BUILDING, EXISTING TEE AND LOCATION TO BE FIELD VERIFIED.
7. ASPHALT T-PATCH PER APWA STANDARD, DETAIL '255'.

Blue Stakes of UTAH 811 BlueStakes.org

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# LORIN FARR PAVILION # 502-1089

788 EAST 15TH STREET, OGDEN, UTAH

PERMIT

**JOB NUMBER:** 502-1089

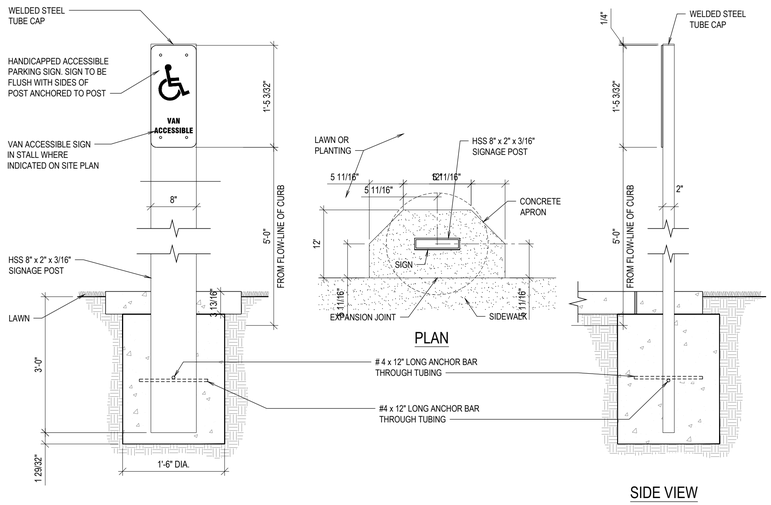
**OWNER:**
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

**DATE:** 03/22/24

| REV | DATE | DESCRIPTION |
|---|---|---|

SITE UTILITY PLAN

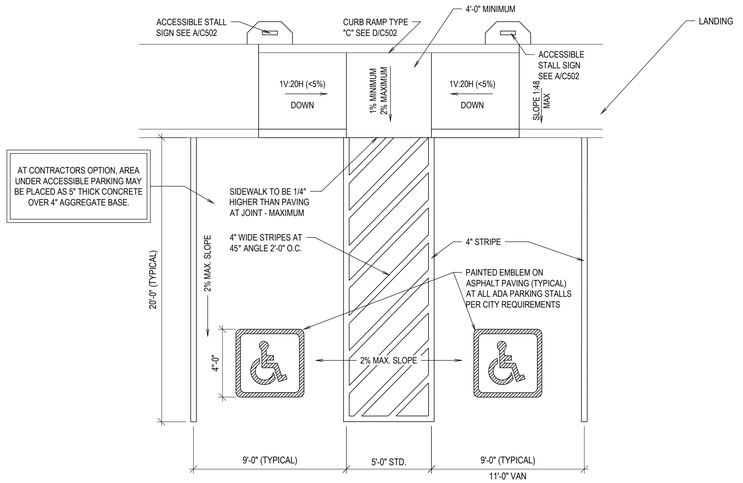
**C3.01**




## A ACCESSIBLE STALL SIGN (TRAFFIC SIGNAGE)

SCALE: N.T.S.

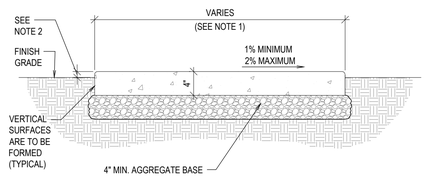
STEEL PER DIVISION 05
INSTALL PER DIVISION 03




## B ACCESSIBLE PARKING

SCALE: N.T.S. (SEE ANSI A117.1)

STEEL PER DIVISION 05
INSTALL PER DIVISION 03




## C SIDEWALK DETAIL

SCALE: N.T.S.

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502-1089

# LORIN FARR PAVILION #

788 EAST 15TH STREET, OGDEN, UTAH

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|---|---|---|

CIVIL DETAILS

**C4.01**


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# LORIN FARR PAVILION

788 EAST 15th STREET
OGDEN, UTAH

Project For:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Property Number:
502-1089

| | |
|---|---|
| **JOB NUMBER:** | 24171 |
| **OWNER:** | LDS CHURCH |
| **DATE:** | APRIL 2024 |

| REV | DATE | DESCRIPTION |
|---|---|---|

0 30 60 90 FT

NORTH

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.
Call
BEFORE YOU
Dig
1-800-662-4111

NOTICE!

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## LANDSCAPE PLANTING PLAN

**L111**

01 January, 2000


## LANDSCAPE SCHEDULE

| SYMBOL | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | DETAIL |
|---|---|---|---|---|---|
| DECIDUOUS TREES | | | | | |
| | 4 | NORWEGIAN SUNSET MAPLE | ACER TRUNCATUM X A. PLATANOIDES 'KEITHSFORM' | 2" CAL. | D/L501 |
| | 7 | SUMMER SPRITE LINDEN | TILIA CORDATA 'HALKA' | 2" CAL. | D/L5.01 |
| | 3 | GREEN VASE ZELKOVA | ZELKOVA SERRATA 'GREEN VASE' | 2" CAL | D/L5.01 |
| | 3 | EXISTING DECIDUOUS TREE TO REMAIN | | | |
| EVERGREEN TREES | | | | | |
| | 3 | HOOPSII BLUE SPRUCE | PICEA PUNGENS 'HOOPSII' | 8' HT. | E/L5.01 |
| SHRUBS | | | | | |
| | 8 | BAILEY'S REDTWIG DOGWOOD | CORNUS SERICEA 'BAILEYI' | 5 GAL. | B/L5.01 |
| | 13 | GRO-LOW FRAGRANT SUMAC | RHUS AROMATICA 'GRO-LOW' | 5 GAL. | B/L501 |
| | 25 | EXISTING SHRUB TO REMAIN | | | |
| ORNAMENTAL GRASSES | | | | | |
| | 6 | FOERSTER'S FEATHER REED GRASS | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | 1 GAL. | A/L5.01 |

| SYMBOL | QTY. | DESCRIPTION | INSTRUCTIONS | SIZE | SOURCE | DETAIL |
|---|---|---|---|---|---|---|
| LAWN | | | | | | |
| | 40,229 S.F. | "IMPERIAL BLUE" LAWN SOD | INSTALL OVER MINIMUM 5" TOPSOIL LAYER. | | CHANSHARE FARMS (866) SOD-EASY OR APPROVED EQUAL | H/L501 |
| BOULDERS | | | | | | |
| | 3 | "BROWNS CANYON" BOULDERS | BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS | 2'-4' DIAMETER IN ALL DIRECTIONS | ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (385) 447-9374 OR APPROVED EQUAL | G/L501 |
| CRUSHED ROCK | | | | | | |
| | 369 S.F. | "BROWNS CANYON" CRUSHED ROCK | INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS. | 3/4" DIAMETER | ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (385) 447-9374 OR APPROVED EQUAL | F/L501 |
| MULCH | | | | | | |
| | 2,193 S.F. | "SUPREME SHREDDED BARK" | INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. BARK MULCH SHALL BE FREE OF DIRT, ROCK AND OTHER FOREIGN DEBRIS. | 1/2" - 1" | MILLER COMPANIES (435) 245-3157 OR APPROVED EQUAL | F/L501 |

ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL

## REFERENCE NOTES

L-1. CONCRETE MOWSTRIP
DETAIL I/L501

L-2. CHAIN LINK FENCE WITH SLATS, 6 FEET HIGH, WITH CONCRETE MOWSTRIP AT BASE
SEE DETAIL J/L501

L-3. CHAIN LINK FENCE WITH NO SLATS, 6 FEET HIGH, WITH CONCRETE MOWSTRIP AT BASE
SEE DETAIL J/L501

L-4. CHAIN LINK GATE WITH NO SLATS, 4 FEET WIDE, WITH CONCRETE MOWSTRIP AT BASE
SEE DETAIL J/L501

L-5. EXISTING LAWN AND IRRIGATION SYSTEM TO REMAIN

L-6. EXISTING LARGE DECIDUOUS TREE TO BE PRUNED BY A LICENSED CERTIFIED ARBORIST AS PER INDUSTRY STANDARDS AND PRACTICES. THIS SHALL INCLUDE BUT NOT BE LIMITED TO REMOVING ALL LOW HANGING BRANCHES WITHIN 6 FEET FROM THE GROUND AND REMOVING ALL DEAD WOOD THROUGHOUT. SELECTIVELY PRUNE BRANCHES AS NEEDED TO THIN OUT AND PROMOTE HEALTHIER GROWTH. REVIEW ALL PROPOSED WORK WITH THE OWNER FOR APPROVAL PRIOR TO COMMENCEMENT.

0 20 40 60 FT

NORTH

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LORIN FARR PAVILION
788 EAST 15th STREET
OGDEN, UTAH

Project For:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Property Number:
502-1089

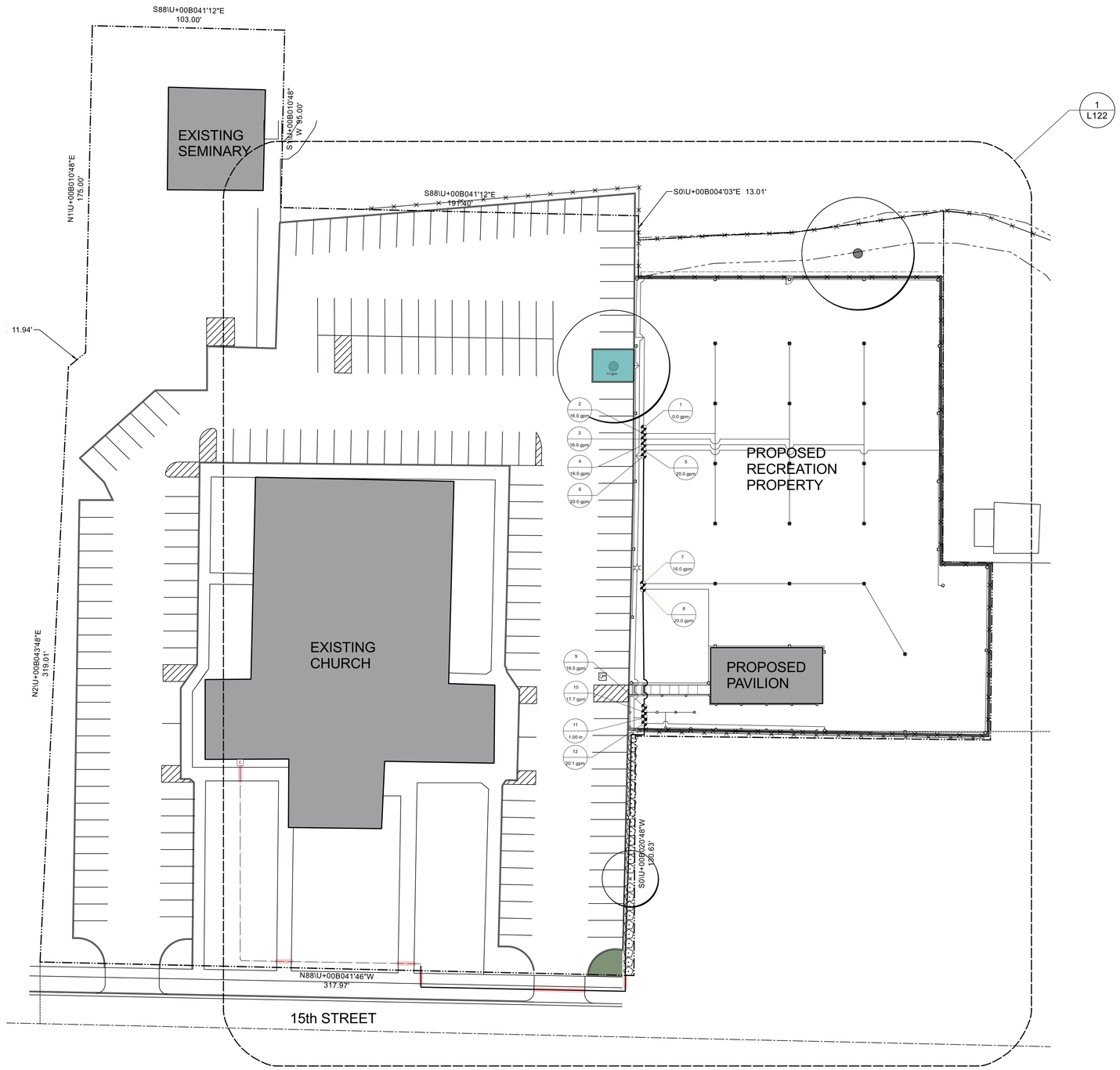
**JOB NUMBER:** 24171
**OWNER:** LDS CHURCH
**DATE:** APRIL 2024

| REV | DATE | DESCRIPTION |
|---|---|---|

LANDSCAPE PLANTING PLAN

**L112**

01 January, 2000




0 30 60 90 FT

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# LORIN FARR PAVILION

788 EAST 15th STREET
OGDEN, UTAH

Project For:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Property Number:
502-1089

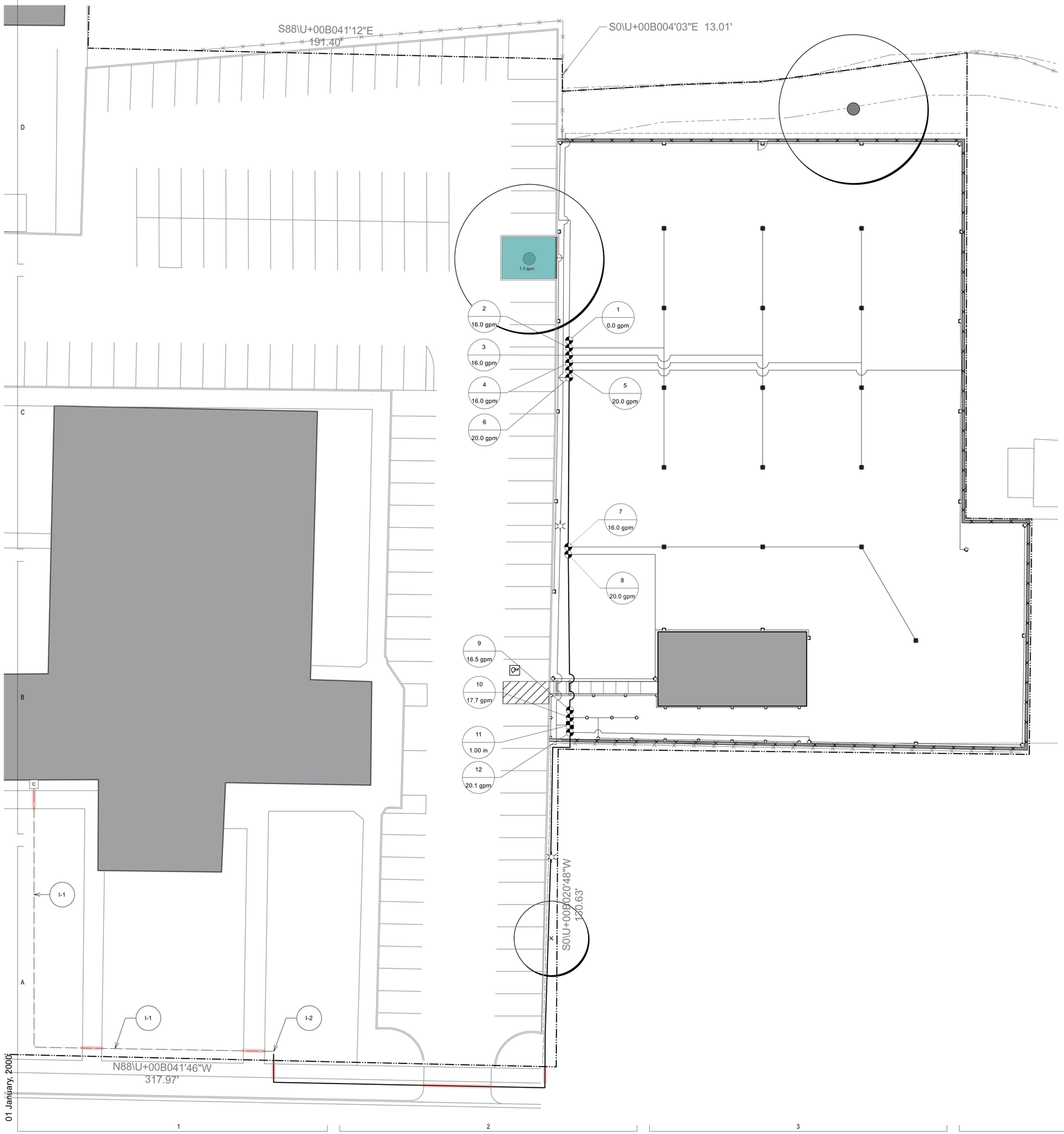
| | |
|---|---|
| **JOB NUMBER:** | 24171 |
| **OWNER:** | LDS CHURCH |
| **DATE:** | APRIL 2024 |

| REV | DATE | DESCRIPTION |
|---|---|---|

LANDSCAPE IRRIGATION PLAN

**L121**

01 January, 2000




## IRRIGATION SCHEDULE

| SYMBOL | DESCRIPTION | MANUFACTURER | SERIES | ARC | DETAIL |
|---|---|---|---|---|---|
| OUTLETS | | | | | |
| ◆ | 5000 Series 04in Pop-Ups PRS | Hunter Industries(R) | 5004-+-FC-SAM-R-4.0 | 360° | |
| ◇ | 5000 Series 04in Pop-Ups PRS | RAIN BIRD | 5004-PC-R-4.0 | --- | F/L5.02 |
| ○ | 1800 Series 04in Pop-Up PRS | RAIN BIRD | 1804-SAM-PRS-15H | --- | F/L5.02 |
| ○ | 1800 Series 04in Pop-Up PRS | RAIN BIRD | 1804-SAM-PRS-15Q | 90° | F/L5.02 |
| | | Netafim(R) | TLCV6-18 | | |
| VALVES | | | | | |
| | LAWN CIRCUIT CONTROL VALVE | RAIN BIRD | 100-PESB | | H/L5.02 |
| | DRIP CIRCUIT CONTROL VALVE | RAIN BIRD | XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-PEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV | | C/L5.02 |
| OTHER EQUIPMENT | | | | | |
| C | EXISTING WEATHERTRAK SMART CONTROLLER | RAIN BIRD | ESP8LXME | | |

| SYMBOL | TYPE | MATERIAL | DETAIL |
|---|---|---|---|
| PIPE | | | |
| ---------- | 1" DRIP SUPPLY LINE, 1/2" SWING PIPE (FUNNY PIPE) AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY. | SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS. | A/L502 |
| ———— | 2" MAIN LINE | SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS. | A/L502 |
| ———— | 3/4" - 1-1/2" LATERAL LINE | SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS. | A/L502 |
| ———— | PIPE SLEEVE UNDER NEW PAVING | SCHEDULE 40 PVC | B/L5.02 |
| ———— | PIPE SLEEVE UNDER EXISTING PAVING | SCHEDULE 40 PVC | B/L5.02 |

# — VALVE NUMBER
gpm — VALVE FLOW

## EMITTER SCHEDULE

| PLANT NAME | DRIP EMISSION DEVICE | MANUFACTURER | MODEL | DETAIL |
|---|---|---|---|---|
| GREEN VASE ZELKOVA | (4) 6-GPH Emitter | GPH IRRIGATION PRODUCTS | GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR | E/L5.02 |
| HOOPSII BLUE SPRUCE | (4) 6-GPH Emitter | Supplier | | E/L5.02 |
| NORWEGIAN SUNSET MAPLE | DRIP RING (30 GPH TC | Supplier | UTAH NATIVE | J/L5.02 |
| SUMMER SPRITE LINDEN | (4) 6-GPH Emitter | GPH IRRIGATION PRODUCTS | GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR | E/L5.02 |
| BAILEY'S REDTWIG DOGWOOD | (1) 2-GPH Emitter | | | D/L5.02 |
| FOERSTER'S FEATHER REED GRASS | (1) 2-GPH Emitter | | | D/L5.02 |
| GRO-LOW FRAGRANT SUMAC | (1) 2-GPH Emitter | GPH IRRIGATION PRODUCTS | GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR | D/L5.02 |

## REFERENCE NOTES

I-1. NEW CONTROL WIRES TO BE HOUSED IN 1-1/2" PVC ELECTRICAL CONDUIT A MIN. OF 12" BELOW FINISH GRADE FROM THE EXISTING SMART CONTROLLER TO THE LOCATION OF THE NEW MAIN LINE. RESTORE EXISTING LANDSCAPE AND IRRIGATION SYSTEM AS NEEDED.

I-2. REMOVE AND DISPOSE OF THE EXISTING CONTROL VALVE MANIFOLD DOWN TO THE MAIN LINE. CONNECT NEW 2" SCH. 40 PVC MAIN LINE AS NEEDED AND INSTALL TO NEW RECREATION PROPERTY AS SHOWN. INSTALL NEW CONTROL WIRES IN THE SAME TRENCH AS PER DETAIL A/L502. RESTORE EXISTING LANDSCAPE AND IRRIGATION SYSTEM AS NEEDED.

0 20 40 60 FT

NORTH

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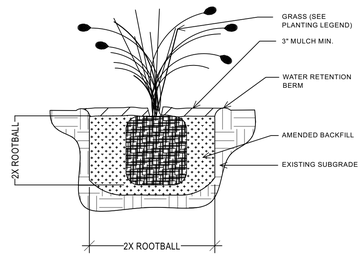
**JOB NUMBER:** 24171
**OWNER:** LDS CHURCH
**DATE:** APRIL 2024

| REV | DATE | DESCRIPTION |
|---|---|---|

LANDSCAPE IRRIGATION PLAN

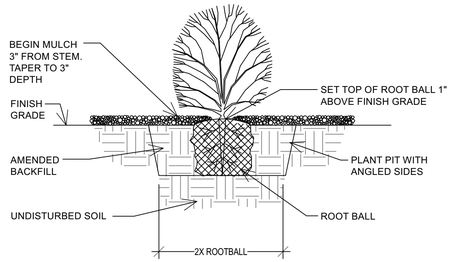
**L122**

01 January, 2006



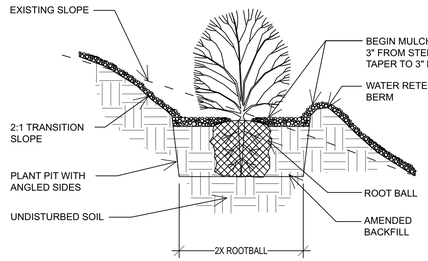

## A ORNAMENTAL GRASSES PLANTING

NOT TO SCALE



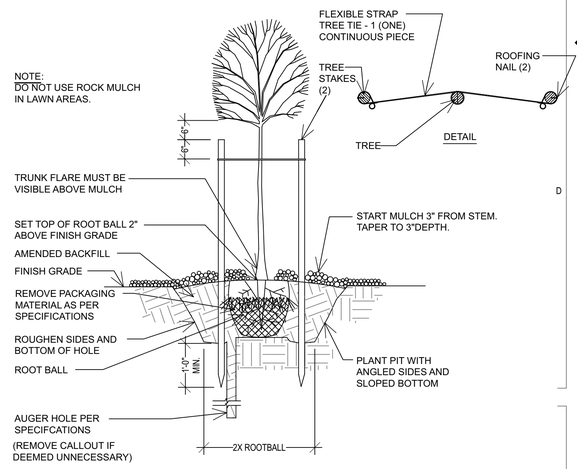

## B SHRUB PLANTING

NOT TO SCALE



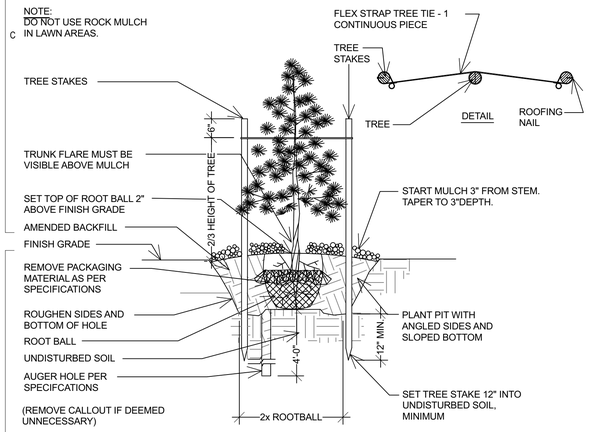

## C PLANTING ON SLOPE

NOT TO SCALE




## D TREE PLANTING AND STAKING

NOT TO SCALE

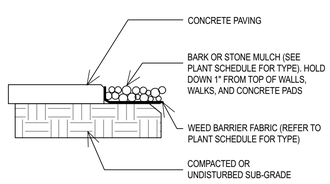



## E CONIFER PLANTING AND STAKING

NO SCALE

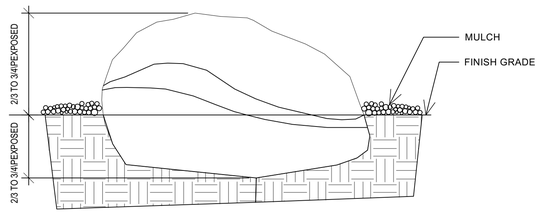
NOTES:

1. APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AND GRASS-FREE AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF WEED BARRIER FABRIC AND MULCH.
2. PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY UNITED PHOSPHORUS INC, TRENTON, NJ. OR APPROVED EQUAL.
3. INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO NEAT FINISHED APPEARANCE FREE OF HUMPS AND DEPRESSIONS.




## F MULCH

NO SCALE

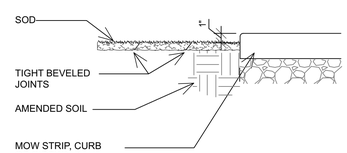



## G BOULDER PLACEMENT DETAIL

NO SCALE

NOTES:

A. LAYING OF SOD:
   1. LAY SOD DURING GROWING SEASON AND WITHIN 48 HOURS OF BEING LIFTED.
   2. LAY SOD WHILE TOP 6 INCHES OF SOIL IS DAMP, BUT NOT MUDDY. SODDING DURING FREEZING TEMPERATURES OR OVER FROZEN SOIL IS NOT ACCEPTABLE.
   3. LAY SOD IN ROWS PERPENDICULAR TO SLOPE WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
   4. LAY SOD FLUSH WITH ADJOINING EXISTING SODDED SURFACES.
   5. DO NOT SOD SLOPES STEEPER THAN 3:1. CONSULT WITH ARCHITECT FOR ALTERNATE TREATMENT.
B. AFTER LAYING OF SOD IS COMPLETE:
   1. ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER.
   2. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS, OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT I RREGULARITIES IN GRADE WILL NOT BE PERMITTED.
   3. WATER SODDED AREAS IMMEDIATELY AFTER LAYING SOD TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 6 NCHES OF TOPSOIL.

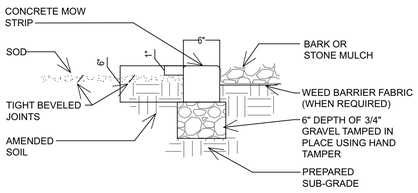



## H SOD INSTALLATION

NO SCALE

NOTES:

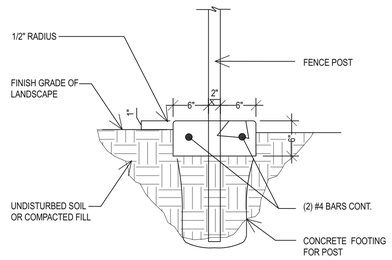
1. MOW STRIP TO BE 4,500 PSI CONCRETE WITH 6% AIR ± 1 1/2.
2. INSTALL EXPANSION AND CONTROL JOINTS AS PER SPECIFICATIONS.
3. PROVIDE POSITIVE DRAINAGE AROUND MOW STRIPS. DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOW STRIP.
4. MAXIMUM 1/2" WIDTH VARIATION.
5. FOLLOW LAYOUT PLAN PRECISELY AS SHOWN ON MOW STRIP/EDGING DIMENSION PLAN.
6. RAISE THE LAWN GRADE 1" WHEN SEEDING.




## I CONCRETE MOW STRIP

SCALE:

CONTROL JOINTS AT 10-0" MAX. (TYPICAL AT EACH FENCE POSTS)




## J CONCRETE MOWSTRIP AT @ FENCE

SCALE: 1"=1'

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LORIN FARR PAVILION
788 EAST 15th STREET
OGDEN, UTAH

Project For:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Property Number:
502-1089

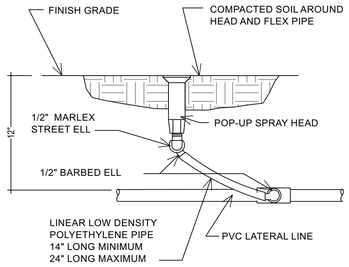
| | |
|---|---|
| **JOB NUMBER:** | 24171 |
| **OWNER:** | LDS CHURCH |
| **DATE:** | APRIL 2024 |

| REV | DATE | DESCRIPTION |
|---|---|---|

LANDSCAPE DETAILS

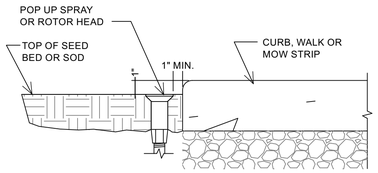
**L501**

01 January, 2000



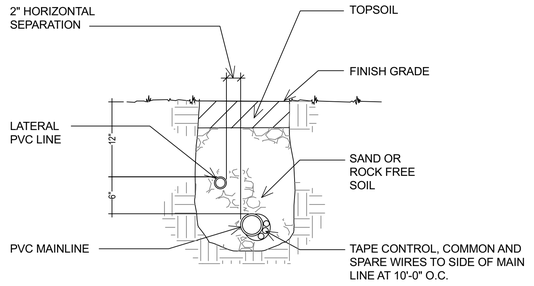

## A SPRAY AND ROTARY HEAD ASSEMBLY

NO SCALE



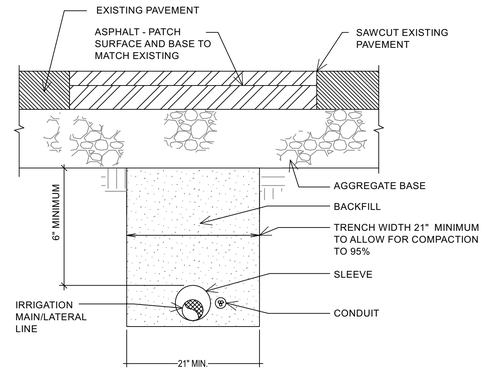

## B SPRINKLER HEAD OR ROTOR NEXT TO CURB OR WALK

NO SCALE




## C TRENCH SECTION - CONVENTIONAL WIRE SYSTEM

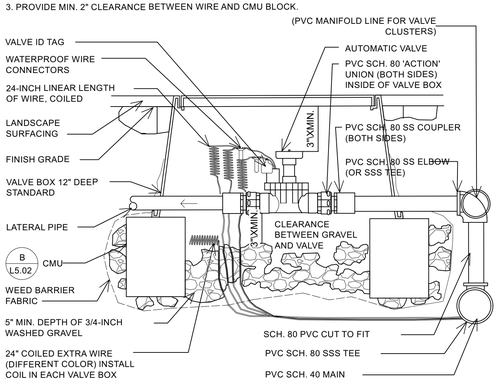
NO SCALE




## D MISC. PIPE TRENCH DETAIL EXIST. PAVEMENT AREAS

NO SCALE

NOTES:
1. LIMIT 1 VALVE PER BOX.
2. 10" MIN. LATERAL LINE DEPTH AT VALVE BOX, 12" MIN. LATERAL LINE DEPTH EVERYWHERE ELSE.
3. PROVIDE MIN. 2" CLEARANCE BETWEEN WIRE AND CMU BLOCK.




## E AUTOMATIC VALVE WITH CONVENTIONAL WIRE SYSTEM

NO SCALE

NOTES:
1. LIMIT 1 VALVE PER BOX.
2. 10" MIN. LATERAL LINE DEPTH AT VALVE BOX, 12" MIN. LATERAL LINE DEPTH EVERYWHERE ELSE.
3. PROVIDE MIN. 2" CLEARANCE BETWEEN WIRE AND CMU BLOCK.




## F DRIP VALVE ASSEMBLY-SECTION CONVENTIONAL WIRE SYSTEM

NO SCALE

NOTE:

1. IF BALL VALVE IS INCLUDED WITH DRIP ZONE KIT, INCLUDE ENTIRE KIT WITHIN ONE BOX. REMOVE ROUND BOX. IF BALL VALVE IS PURCHASED SEPARATELY, INSTALL AS SHOWN, OR AS PER C/L502 FOR MULTIPLE DRIP VALVE ASSEMBLY.
2. WIRING NOT SHOWN. INSTALL AS PER CONVENTIONAL OR TWO-WIRE AUTOMATIC VALVE SECTIONS




## G DRIP VALVE ASSEMBLY

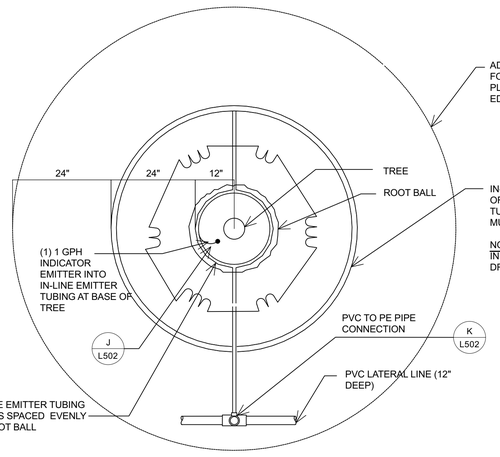
NO SCALE

NOTES:
1. VALVE BOX TO REST ON (4) CMU BLOCKS (ONE FOR EACH SIDE).
2. CLUSTERED VALVE BOXES MAY SHARE A CMU BLOCK.




## H CMU PLACEMENT

NO SCALE




## I TREE DRIP - PLAN VIEW (Planter Areas)

NO SCALE

NOTE: FITTINGS TO INLINE DRIP TUBING TO BE INSERT FITTINGS. USE OETICKER CLAMPS FOR NON-NETAFIM FITTINGS.




NOTE:
1. CONNECT SELF-PIERCING EMITTER DIRECTLY INTO IN-LINE EMITTER TUBING.
2. THIS IS AN INDICATOR ONLY EMITTER TO BE USED AT EACH TREE RING AND AREA WHERE IN-LINE EMITTER TUBING IS INSTALLED.
3. 1/4" TUBING LENGTH: MINIMUM 14", MAXIMUM 24".

## J INDICATOR EMITTER

NO SCALE




NOTE:
1. USE AT TREE RINGS AND AS CONNECTION FROM SUPPLY AND EXHAUST HEADERS.
2. DO NOT EXCEED (3) GPM FLOW THROUGH SINGLE CONNECTION.

## K PVC TO IN-LINE EMITTER

NO SCALE

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788 EAST 15th STREET
OGDEN, UTAH

Project For:

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Property Number:
502-1089

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| **JOB NUMBER:** | 24171 |
| **OWNER:** | LDS CHURCH |
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| REV | DATE | DESCRIPTION |
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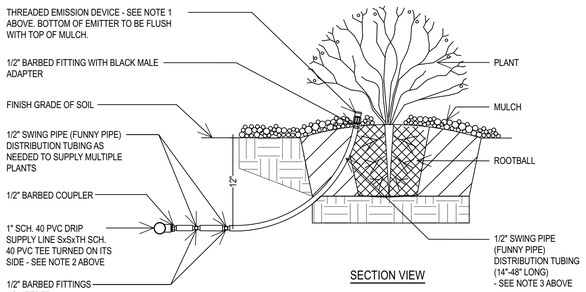
LANDSCAPE IRRIGATION DETAILS

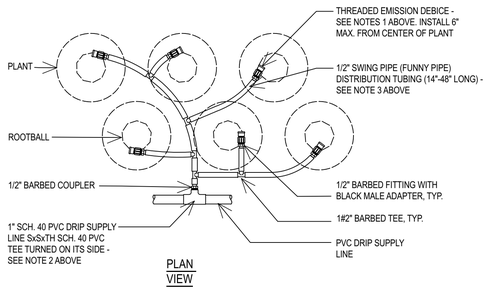
**L502**

NOTES:

1. SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICE PER PLANT.
2. INSTALL A MAX. OF (6) EMISSION DEVICES PER PVC CONNECTION.
3. DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.




SECTION VIEW



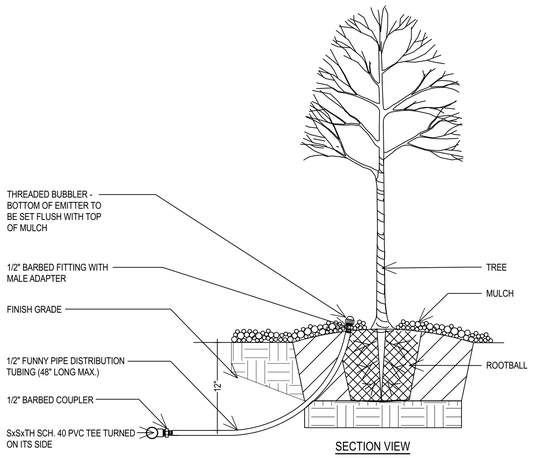

PLAN VIEW

## A DRIP EMISSION DEVICE @ SHRUBS

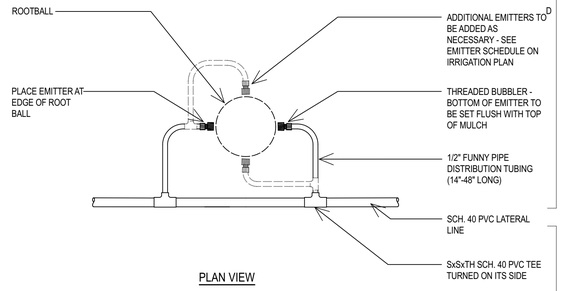
NO SCALE

NOTES:

1. THREADED EMITTER SHALL BE FROM GPH IRRIGATION PRODUCTS MODEL GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR FOR ROCK AREAS AND "MULCH CAMO" COLOR FOR BARK MULCH AREAS.
2. SEE EMITTER SCHEDULE ON IRRIGATION PLAN FOR QUANTITY AND SIZE OF EMITTERS PER PLANT.
3. INSTALL A MAX. OF (2) EMITTERS PER PVC CONNECTION.
4. DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.



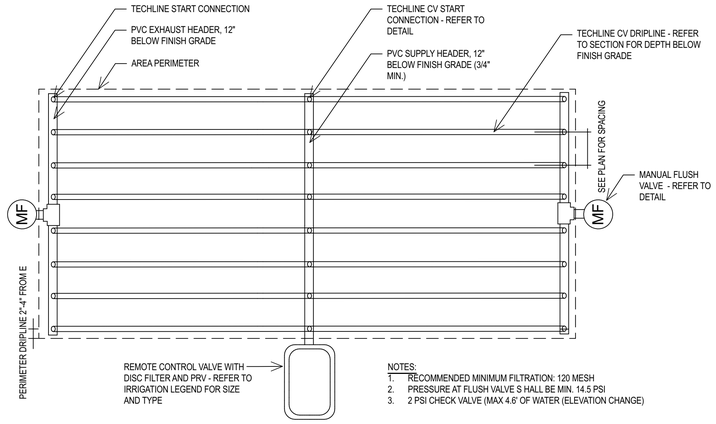

SECTION VIEW




PLAN VIEW

## B DRIP BUBBLER @ TREES

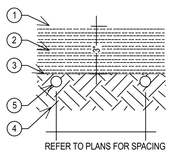
NO SCALE



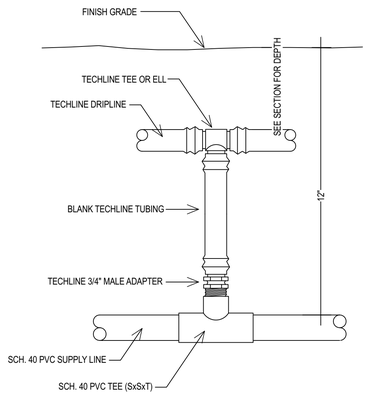

PLAN VIEW

LEGEND:

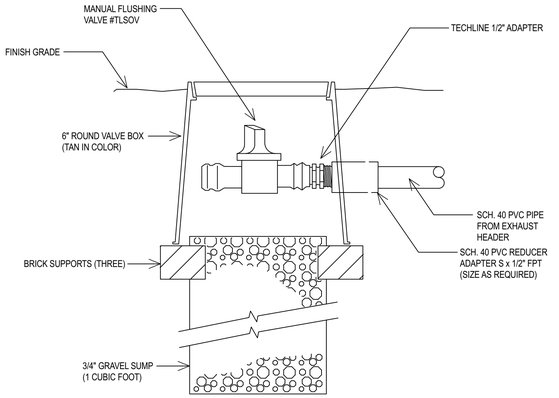
1. FINISH GRADE
2. MULCH LAYER
3. GEO-TEXTILE FABRIC
4. SOIL WITHIN PLANTING BED
5. NETAFIM TECHLINE CV DRIPLINE TUBING INSTALLED ON TOP OF GRADE BELOW FABRIC - STAPLE AS NEEDED TO PROPERLY SECURE.




SECTION




START CONNECTION




FLUSH VALVE

## C TYPICAL DRIPLINE LAYOUT IN PLANTING BED AREAS

SCALE: NO SCALE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LANDSCAPE IRRIGATION DETAILS

**L503**

01 January, 2000

DESIGN CRITERIA:

1. 2021 INTERNATIONAL BUILDING CODE WITH STATEWIDE AMENDMENTS
2. TYPE OF CONSTRUCTION: TYPE II–B.
3. BUILDING USE: ASSEMBLY A–3
4. BUILDING OCCUPANCY CATEGORY: II
5. BUILDING HEIGHT: PER PLANS
6. BUILDING VOLUME: 19,800 CU. FT.
7. NO. OF OCCUPANTS: 120
8. ROOF DEAD LOAD – 11 PSF PLUS FRAMING WEIGHT
   a. SHINGLES AND FELT: 3.5 PSF
   a. DIAPHRAGM SHEATHING: 2.3 PSF
   b. WOOD DECK: 4.0 PSF
   c. MISCELLANEOUS: 1.2 PSF
9. ROOF LIVE LOAD – 20 PSF
10. SNOW LOAD
    a. Pg: 38 PSF (GROUND SNOW LOAD)
    b. Pf = 0.7 * Pg * Ce * Ct * Is = 38 PSF (ROOF SNOW LOAD)
       4) BUILDING ELEVATION: 4321 FT
    c. Ps = Pf Cs
       1) Cs: 1.0 FOR A 4:12 PITCH
       2) Ps: 38 PSF
11. WIND LOAD (ULTIMATE)
    a. V3s: 115 MPH
    b. EXPOSURE: C
    c. W: 1.00
12. SEISMIC LOAD (ULTIMATE)
    a. Ie: 1.00
    b. Ss: 1.49
    c. S1: 0.55
    d. Sds: 0.92
    e. Sd1: 0.55
    f. Ωo: 1.25
    g. Cd: 2.5
    h. SITE CLASS: D
    i. SEISMIC DESIGN CATEGORY: D
    j. R: 1.25 (CANTILEVERED STEEL COLUMNS)
    k. EQUIVALENT LATERAL FORCE PROCEDURE
    l. Cs = 0.82
13. ALLOWABLE SOIL BEARING PRESSURE:
    a. 1500 PSF
    b. ALLOWABLE FOUNDATION AND LATERAL PRESSURE = 100 PSF/FT BELOW NATURAL GRADE (TABLE 1806.2 OF 2021 IBC).
    c. USE CONSTRAINED CONDITIONS FOR CONCRETE PIERS
    d. COORDINATE ALL SITE GRADING AND SOIL WORK WITH THE SOILS REPORT.

PAVILION CONSTRUCTION SEQUENCE NOTES:

1. VERIFY PERMIT REQUIREMENTS BEFORE SIGNING CONTRACTS.
   a. BUILDING PERMIT
   b. PLANNING OR CONDITIONAL USE PERMIT
   c. OBTAIN REQUIRED USE PERMIT
2. REMOVE ALL VEGETATION, ROCKS, OUTCROPPINGS, AND TREES FROM LOCATION OF PAVILION SLAB. STRIP 6" OF TOP SOIL.
3. LEVEL PAVILION BUILDING AREA. AVOID GRADING THAT ALLOWS WATER TO DRAIN TOWARD PAVILION.
4. DIG COLUMN CAISSONS.
5. PLACE COLUMN CAISSON FORMS AND SET REINFORCING STEEL.
6. SET COLUMN ANCHOR BOLTS USING PLYWOOD TEMPLATE OF APPROXIMATELY THE SAME SIZE AS COLUMN BASE PLATE TO INSURE BOLT LOCATION ACCURACY.
7. PLACE CONCRETE IN CAISSON FORMS FROM BOTTOM OF PIER UP TO A LEVEL 1–1/2" BELOW BOTTOM OF COLUMN BASE PLATE. LET CONCRETE CURE 7 DAYS.
8. SET HSS COLUMNS OVER PRE–SET ANCHOR BOLTS ALLOWING COLUMNS TO REST ON LEVELING NUTS AND 1/4"x 3" PLATE WASHERS. LEVELING NUTS ARE TO BE USED TO SET COLUMNS PLUMB AND TRUE AND AT CORRECT BEARING HEIGHT TO RECEIVE GLU–LAM BEAMS.
9. AFTER COLUMNS ARE SET PLUMB AND TRUE, VERIFY ACCURACY OF DIMENSIONS BETWEEN COLUMNS AND SECURE COLUMNS IN PLACE USING 1/4"x 3" PLATE WASHERS UNDER NUTS. TIGHTEN NUTS WITH ADDITIONAL 1/4 TURN PAST SNUG.
10. THE WEIGHT OF GLU–LAM BEAMS IS APPROXIMATELY 500 POUNDS EACH. SOME FORM OF MECHANICAL HOIST IS RECOMMENDED FOR SETTING BEAMS ON TOP OF STEEL TUBE COLUMNS.
11. NOTCH A 1"x 1" HOLE AT TOP OF BEAMS NEAR CENTER PEAK FOR ELECTRICAL CONDUIT TO PASS THROUGH.
12. LIFT GLU–LAM BEAMS AND SET EACH END IN THE COLUMN SADDLE PLATES.
13. ANCHOR BEAMS IN SADDLES WITH (8) SIMPSON SDS25112 WOOD SCREWS.
14. ONCE GLU–LAM BEAMS ARE SET AND SECURELY BOLTED, ADEQUATELY BRACE EACH BEAM USING 2x LUMBER TO PREVENT BEAMS FROM OVERTURNING UNTIL ROOF DECK AND ROOF SHEATHING ARE SECURELY ANCHORED IN PLACE.
15. SET 2x8 TONGUE AND GROOVE ROOF DECK WITH COMMON OR RING SHANK NAILS IN ACCORDANCE WITH SUPPLIERS' RECOMMENDATIONS.
16. INSTALL 2x6 FASCIA BOARD AROUND ENTIRE ROOF PERIMETER. ALIGN TOP OF FASCIA BOARD WITH TOP OF ROOF DECKING.
17. INSTALL WOOD ROOF SHEATHING OVER 2x8 TONGUE AND GROOVE ROOF DECK AT 45 DEGREES AS SHOWN IN ROOF DIAPHRAGM DETAIL.
18. LAY 30 POUND FELT UNDERLAYMENT OVER ENTIRE ROOF STARTING AT FASCIA DRIP EDGE, OVERLAP EACH ROLL 6" AS FELTS ARE LAID UP TO RIDGE.
19. INSTALL PRE–FINISHED METAL DRIP EDGING ON ALL PERIMETER EDGES OF ROOF.
20. INSTALL FIBERGLASS SHINGLES OVER ROOF UNDERLAYMENT AND PRE–FINISHED METAL DRIP EDGING. FOLLOW MANUFACTURER'S INSTRUCTIONS.
21. PLACE NON–SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON–SHRINK GROUT EDGES TO 45 DEGREES.
22. PLACE REMAINDER OF CONCRETE SLAB ANY TIME AFTER GLU–LAM BEAMS, ROOF DECKING, AND PLYWOOD ROOF SHEATHING ARE SECURELY IN PLACE.
23. FINISH TOP SURFACE OF CONCRETE SLAB WITH A LIGHT BROOM FINISH.
24. AS SOON AS CONCRETE HAS CURED ENOUGH TO SUPPORT AN EARLY ENTRY SAW (4–6 HOURS AFTER PLACEMENT), CUT CONTROL JOINTS IN SLAB TOP SURFACE. DEPTH OF CONTROL JOINTS IS TO BE 1" DEEP.
25. INSTALL MEMBRANE CURING ON CONCRETE SLAB.
26. ALLOW CONCRETE SLAB TO CURE A MINIMUM OF 7 DAYS BEFORE PROCEEDING WITH REMAINDER OF PAVILION WORK.
27. ALL STEEL COLUMNS, SADDLES, BOLTS, AND BASE PLATES TO BE POWDER COATED TOUCH–UP FINISH PAINTING BY OTHERS.
28. STAIN ALL EXPOSED WOOD.

SITE PREPARATION:

1. REMOVE ALL ORGANIC MATERIAL AND TOPSOIL FROM PAVILION AREA. VERIFY SUITABILITY OF SUBGRADE. FOUNDATIONS ARE TO BE ON UNDISTURBED, NATURAL SOIL OR ENGINEERED FILL EXTENDING TO SUITABLE UNDISTURBED NATURAL SOILS
2. PLACE FOOTINGS/CAISSONS IN FIRM UNDISTURBED NATURAL SUBGRADE (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
3. COMPACT SUBGRADE AND FILL UNDER CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D–1557 (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
4. INSTALL AND COMPACT 6 INCH GRANULAR BASE BENEATH CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D–1557.

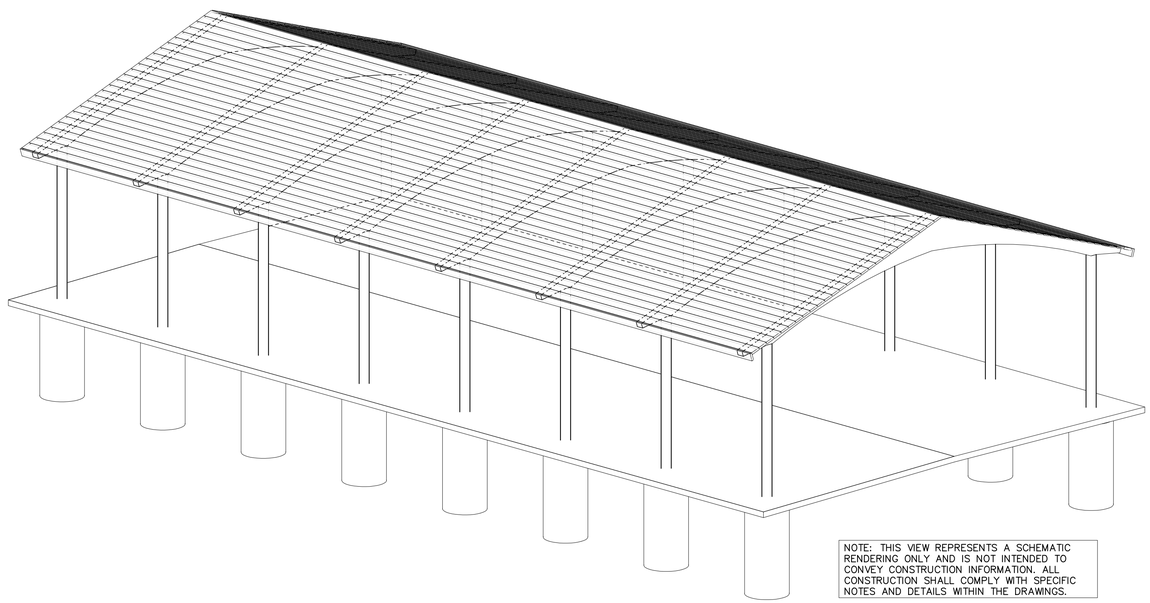
UTILITIES: (BY OTHERS)

1. INSTALL PLUMBING LINE FOR COLD WATER.
2. INSTALL ELECTRICAL LIGHTS, BOXES, CONDUITS, AND SWITCHES.

SPECIFICATIONS:

SCOPE– ONE EACH 30 FOOT BY 60 FOOT PAVILION WITH MINIMUM 4 INCH THICK CONCRETE SLAB. PROVIDE SHINGLES, ROOFING FELTS, FASCIA, SHEATHING, ROOF FRAMING, BEAMS, SOFFIT, CONNECTION HARDWARE, COLUMNS, CONCRETE SLAB, CONCRETE CAISSONS AND FINISHES TO CONSTRUCT COMPLETE PAVILION.

PAVILION HAS BEEN DESIGNED AS A FREE STANDING, OPEN STRUCTURE. RE–ENGINEER PAVILION IF WALLS ARE ADDED, IF STRUCTURE IS TO ADJOIN ANOTHER STRUCTURE, OR IF OTHER SUCH MODIFICATIONS ARE MADE. PROPERLY BRACE WOOD BEAMS AND MEMBERS UNTIL COMPLETE STRUCTURAL SYSTEM HAS BEEN CONSTRUCTED.



NOTE: THIS VIEW REPRESENTS A SCHEMATIC RENDERING ONLY AND IS NOT INTENDED TO CONVEY CONSTRUCTION INFORMATION. ALL CONSTRUCTION SHALL COMPLY WITH SPECIFIC NOTES AND DETAILS WITHIN THE DRAWINGS.

CONCRETE:

1. CONCRETE SLAB ON GRADE IS TO BE REINFORCED AND BE 4" MINIMUM THICK. INSTALL WITH CRACK CONTROL JOINTS AS SHOWN. SURFACE IS TO HAVE A BULL FLOAT FINISH AND BE LIGHTLY BROOMED.
2. EDGE OF SLAB IS TO BE THICKENED TO 8" WIDE AND BE REINFORCED WITH (2) #4 CONTINUOUS BARS. LAP SPLICES 24".
3. PROVIDE DEFORMED REINFORCING STEEL BARS CONFORMING TO ASTM A615 WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. SECURELY ANCHOR REINFORCING STEEL, AND PROVIDE CLEARANCES, IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
4. MINIMUM CONCRETE MIX DESIGN REQUIREMENTS:
   a. COMPRESSIVE STRENGTH OF CONCRETE TO BE 4,500 PSI AT 28 DAYS.
   b. MAX W/C: 0.45
   c. 6% (+/–1.5%) AIR ENTRAINMENT.
   d. CEMENT TYPE II/V
   e. DESIGNED FOR THE FOLLOWING EXPOSURE CATEGORIES AND CLASSES:
   e.a. F2, S1 (PER ACI 318 TABLEL 4.2.1)
   f. LIMIT SLUMP TO 4" (+/–1")
5. VERIFY STRENGTH REQUIREMENTS AND CEMENT TYPE REQUIREMENTS WITH THE GEOTECHNICAL EVALUATION REPORT.
6. ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
7. SLAB TO BE SEALED WITH WEATHERWORKER J–29A CONCRETE SEALER, BY DAYTON SUPERIOR CORPORATION. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
8. MEMBRANE CONCRETE CURING: USE CLEAR CURE J7wb BY DAYTON SUPERIOR CORPORATION. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.

STRUCTURAL STEEL:

1. ALL STEEL PLATES TO BE ASTM A36
2. STEEL TUBES TO BE ASTM A500, GRADE B, Fy = 46,000 PSI
3. ALL WELDING IS TO BE DONE IN ACCORDANCE WITH LATEST AWS STANDARDS. IF WELDS ARE NOT SPECIFIED, ALL WELDS ARE TO DEVELOP THE FULL STRENGTH OF ALL COMPONENT PARTS.
4. ALL BOLTS ARE TO BE ASTM A325 EXCEPT THAT ANCHOR BOLTS ARE TO BE ASTM F1554 GRADE 36.
5. ALL EXPOSED BOLTS ARE TO BE PAINTED TO MATCH STRUCTURE.
6. ALL HOLES IN STEEL TO BE 1/16" LARGER THAN THE DIAMETER OF THE CONNECTING BOLT UNLESS NOTED OTHERWISE.
7. ALL FABRICATED STEEL IS TO BE PRIMED AND FINISH POWDER COATED.

WOOD:

1. GLU–LAM BEAMS:
   c. SOUTHERN YELLOW PINE
   d. 24F–V3 STRESS COMBINATION
   e. 2–INCH NOMINAL THICK LAMINATIONS
   f. 5" MINIMUM WIDTHS
   g. RESORCINOL ADHESIVE
   h. DOUBLE PITCHED AND TAPERED
   i. ARCHITECTURAL APPEARANCE GRADE
   j. STAIN AND SEAL FINISH
   k. ROOF PITCH IS TO BE 4 VERTICAL TO 12 HORIZONTAL (4:12)
   l. MATERIALS, MANUFACTURE AND QUALITY CONTROL OF GLUE LAMINATED BEAMS SHALL BE IN CONFORMANCE WITH "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS – STRUCTURAL GLUED LAMINATED TIMBER" ANSI/AITC A190.1.
   m. MEMBERS SHALL BE MARKED WITH AN AITC OR APA/EWS QUALITY MARK AND, IN ADDITION, AN AITC OR APA/EWS CERTIFICATE OF CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/AITC A190.1.
   n. FACTORY SEAL BEAMS AND INDIVIDUALLY WRAP FOR PROTECTION IN TRANSIT, STORAGE, AND ERECTION.
   o. TEMPORARY STORAGE SHALL CONSIST OF LEVELED BLOCKS, WELL OFF GROUND, SEPARATION WITH WOOD STRIPS FOR AIR CIRCULATION AROUND EACH MEMBER, COVER TOP AND SIDES WITH MOISTURE RESISTANT PAPER.
   p. USE NON–MARRING SLINGS WHEN HANDLING, DRY–IN ROOF AS SOON AS ERECTED.
   q. PROTECTIVE WRAPPING SHALL REMAIN ON BEAMS UNTIL DECK HAS BEEN INSTALLED AND SHINGLES APPLIED.
2. ROOF FRAMING
   a. USE GALVANIZED NAILS.
   b. 2x6 FASCIA: NO. 1 SOUTHERN YELLOW PINE, KILN DRIED, CHROMATED COPPER ARSENATE PRESSURE TREATED (0.4 PCF), SURFACED ON FOUR SIDES, AND STAINED. FASCIA IS TO BE FREE OF ANY GROOVES OR INCISIONS.
      1) MITER ENDS OF FASCIA AT CORNERS
      2) BUTT FASCIA ONLY AT BEAM ENDS
      3) FASTEN FASCIA TO BEAM WITH NOT LESS THAN THREE 16d COMMON, GALVANIZED NAILS AT EACH BEAM JUNCTION AT EAVE AND TO OUTLOOKERS WITH TWO 16d COMMON, GALVANIZED NAILS AT EACH RAKE.
   c. 2x8 ROOF DECK:
      1) DOUGLAS FIR LARCH, SINGLE TONGUED AND GROOVED, SPECIFIED LENGTH, CENTER MATCHED, EDGE VEED TWO SIDES, KILN DRIED, AND STAINED – NO. 2 GRADE.
      2) DECK FURNISHED IN SPECIFIED LENGTHS SO ALL JOINTS OCCUR OVER BEAMS – RANDOM LENGTH DECK IS UNACCEPTABLE. DECK SHALL BE INSTALLED WITH A 2 SPAN CONDITION, MINIMUM.
      3) INSTALL IN ACCORDANCE WITH SUPPLIER'S SPECIFICATIONS USING 16d COMMON OR RING SHANK NAILS. MINIMUM. NAILING SHALL BE FACE NAILED USING (3) NAILS AT EACH BEARING POINT WITH A 4TH NAIL DIAGONALLY THROUGH THE TONGUE OF THE DECKING MEMBER. NAILS MUST PENETRATE 1–1/2 INCHES INTO SOLID WOOD.
      4) INSTALL WITH TONGUES UP ON SLOPED ROOFS.
3. ROOF SHEATHING:
   a. 7/16" THICK PLYWOOD OR ORIENTED STRAND BOARD COMPLYING WITH STANDARD PS–1 OF THE AMERICAN PLYWOOD ASSOCIATION APA/ANSI A199.1. APPROPRIATE APA STAMP IDENTIFYING FOLLOWING REQUIREMENTS: 24/0 SPAN INDEX RATING, EXTERIOR EXPOSURE, 18 PERCENT MAXIMUM MOISTURE CONTENT WHEN FABRICATED.
   b. INSTALL DIRECTLY OVER WOOD TONGUE AND GROOVE ROOF DECKING IN 4'x8' PANELS AT 45 DEGREES TO DECKING. STAGGER PANEL JOINTS APPROXIMATELY 4'–0" AND GAP JOINTS 1/4 INCH. STAPLE AROUND PERIMETER OF EACH PANEL WITH STAPLES AT 2" O.C. PER LINEAR FOOT. STAPLE WITHIN FIELD OF EACH PANEL WITH (2) ROWS OF STAPLES AT 8" O.C.
   c. PROTECT SHEATHING WITH 30 POUND FELT IMMEDIATELY AFTER INSTALLATION

ROOF SYSTEM

1. 50 YEAR ASPHALT SHINGLE by OWENS CORNING WITH A LIFETIME WARRANTY
2. PROFILE NOMINAL SIZE: 13"x 39 3/8"
3. EXPOSURE: 5 5/8"
4. COLOR AS PER OWNER FROM MANUFACTURERS STANDARD COLOR SELECTION.
5. INSTALL PER MANUFACTURER'S INSTRUCTIONS
6. PROVIDE EDGE AND TERMINATION DETAIL COMPONENTS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTY.

STAIN:

1. BEAMS, DECK, AND FASCIA SHALL BE FACTORY STAINED WITH "OLYMPIC" SEMI–TRANSPARENT STAIN. BEAMS AND FASCIA TO BE STAINED NO. 708 WALNUT, DECK TO BE STAINED NO. 911 CAPE COD GRAY OR AS SELECTED BY OWNER.

ELASTOMERIC JOINT SEALANTS:

1. PROVIDE SIKASIL–728 NS NON–SAG SILICONE SEALANT AT SAW CUT JOINTS AND COLD JOINTS.
2. PROVIDE DOW CORNING 791 SILICONE WEATHERPROOFING SEALANT AT COLUMN/CONCRETE JOINT.
3. CLEAN AND PREPARE SURFACES.
4. USE PROPER PRIMER AND BACKING MATERIALS AS REQUIRED TO INSTALL SEALANTS.
5. PROVIDE MASKING AND TEST STRIPS AS NEEDED.
6. INSTALL ALL RELATED SEALANTS AND MATERIALS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

PLUMBING AND ELECTRICAL: (BY OTHERS)

1. COORDINATE PLUMBING AND ELECTRICAL REQUIREMENTS WITH ARCHITECTURAL AND CITE PLANS, BY OTHERS.

Supplier:

SMITH STEELWORKS

PROFESSIONAL ENGINEER SEAL
DOUGLAS M. FARLEY
No.318831
03/18/2024
STATE OF UTAH

30'x60' Glulam Pavilion
Kit 1 Option A

770 15th Street
Ogden, Utah

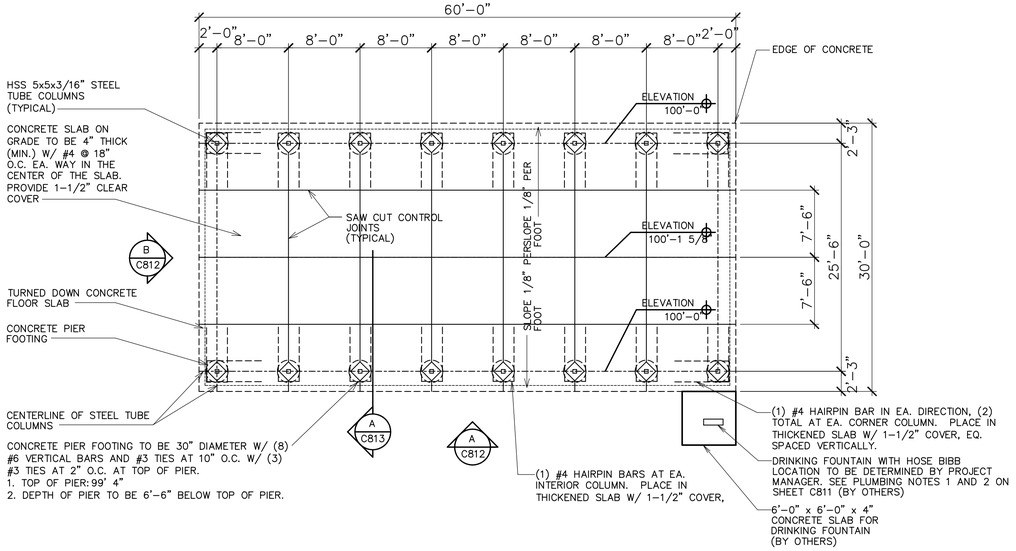
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

| Mark | Date (YY.MM.DD) | Description |
|---|---|---|

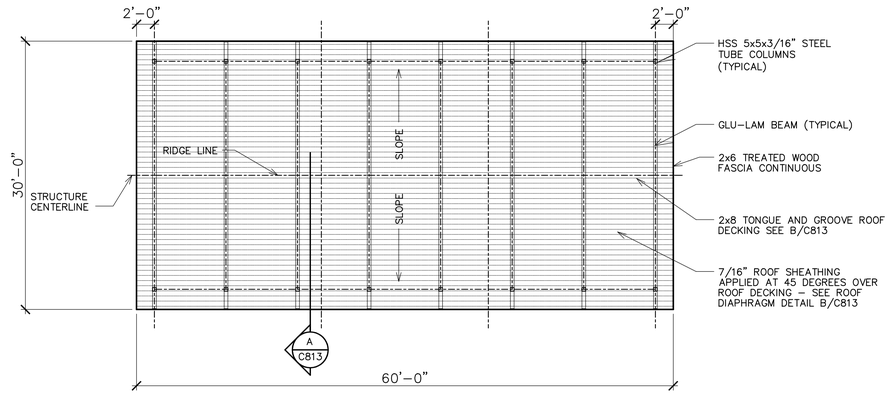
Project Number:
Plan Series:
Property Number:

Sheet Title:
PLAN VIEWS

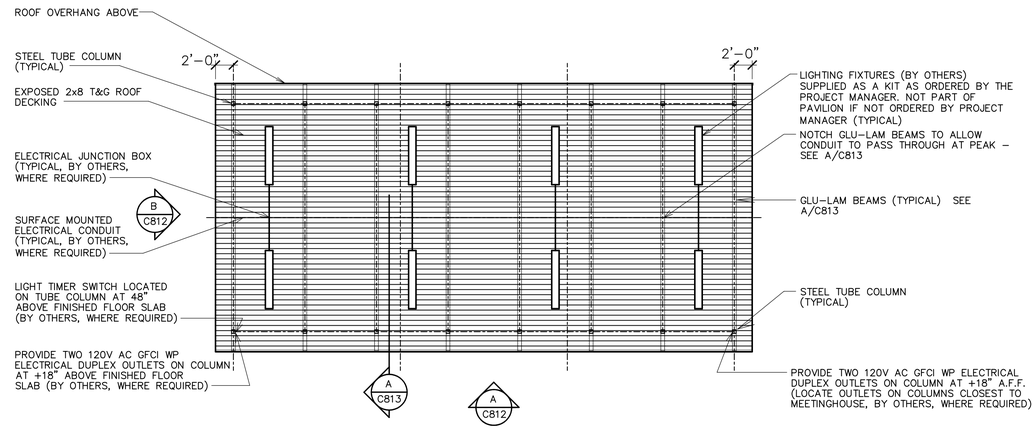
Sheet:
C811



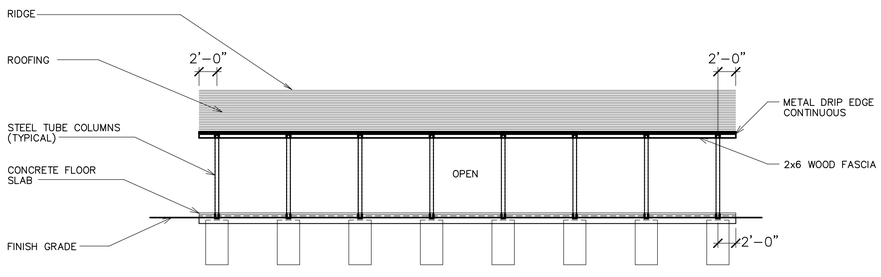

## 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



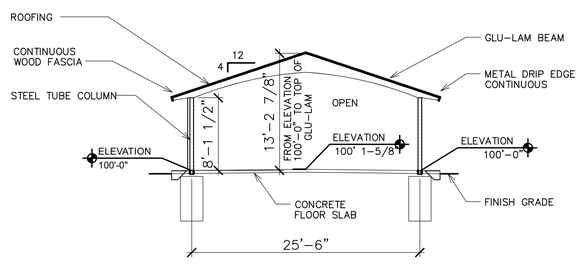

## 2 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



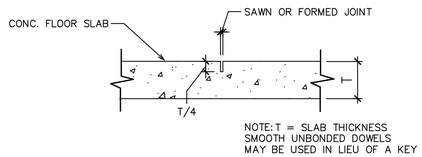

## 3 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"




## A SIDE ELEVATION
SCALE: 1/8" = 1'-0"




## B END ELEVATION
SCALE: 1/4" = 1'-0"




## 4 CONTROL JOINT DETAIL
SCALE: 1 1/2" = 1'-0"

Supplier:
SMITH STEELWORKS

Stamp:
DOUGLAS M. FARLEY
No.318831
03/18/2024
STATE OF UTAH
REGISTERED PROFESSIONAL ENGINEER

30'x60' Glulam Pavilion
Kit 1 Option A
770 15th Street
Ogden, Utah

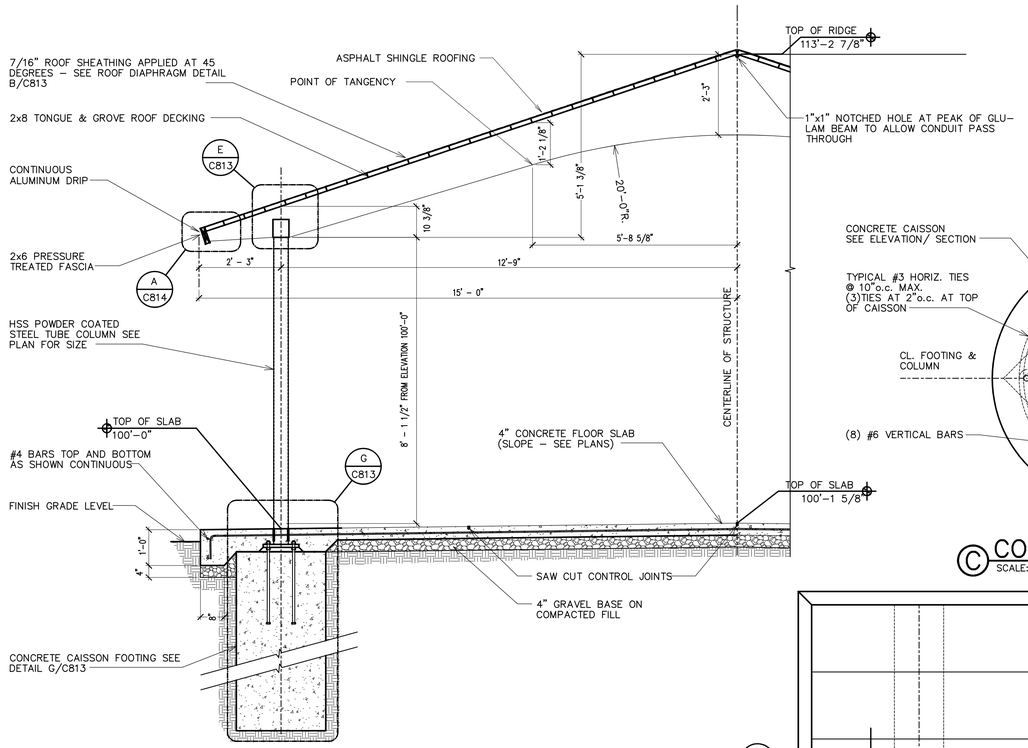
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

| Mark | Date (GMT) | Description |
|---|---|---|

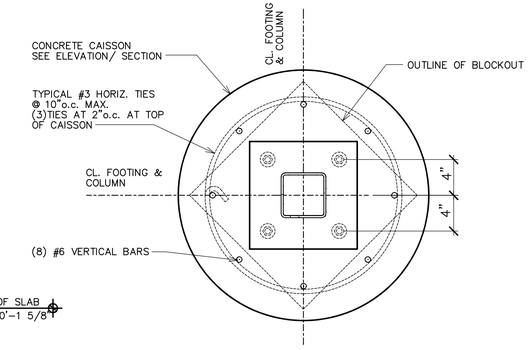
Project Number:
Plan Series:
Property Number:

Sheet Title:
PLAN VIEWS

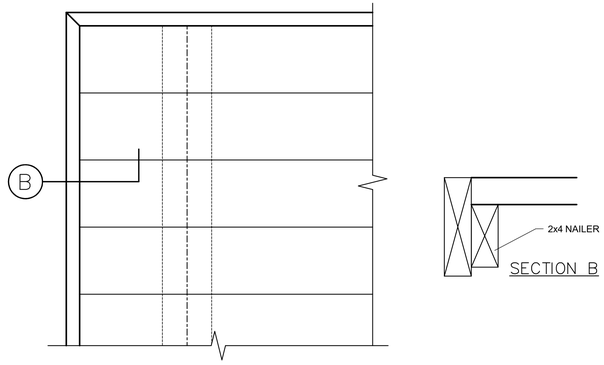
Sheet:
C812




## A SECTION
SCALE: 1/2" = 1'-0"



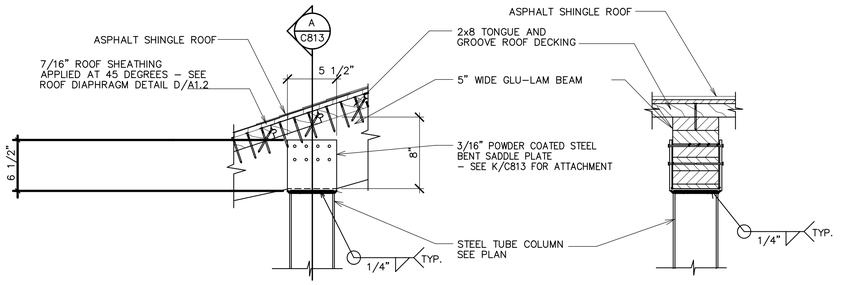

## C COLUMN DETAIL
SCALE: 1/2" = 1'-0"




SECTION B

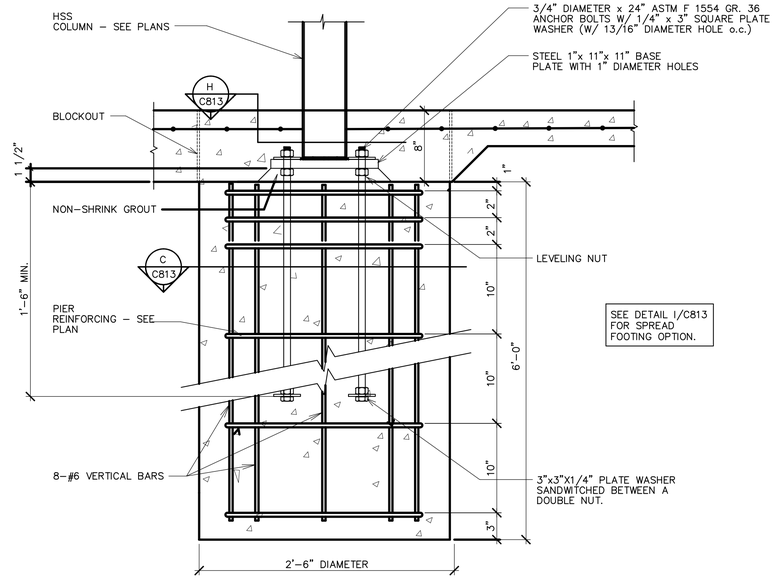
MITER ENDS OF FASCIA AT CORNERS. BUTT FASCIA ONLY AT BEAM ENDS. FASTEN FASCIA TO BEAMS W/ (3) 10d NAILS AT EACH JUNCTION AND TO DECK @ 12"o.c. (SIDES) AND 6 3/4" o.c. (ENDS)

## D DECK PLAN AT CORNERS
SCALE: 1 1/2" = 1'-0"



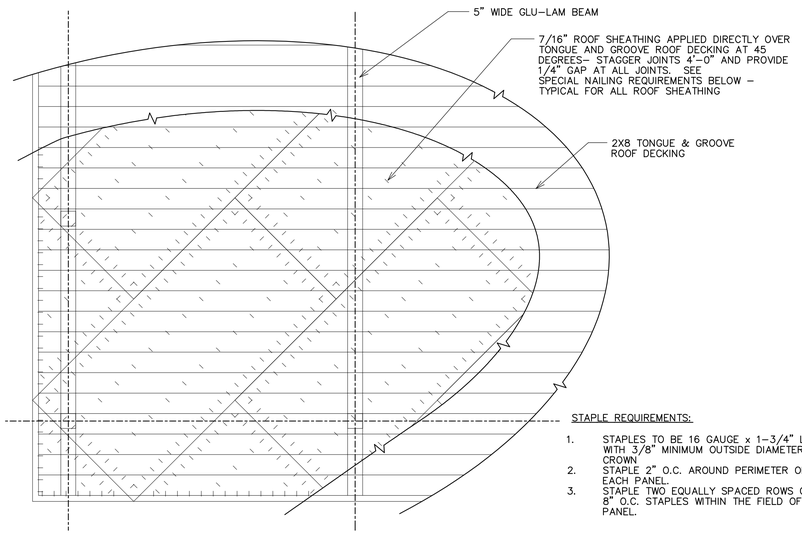

## E CONNECTION
SCALE: 1 1/2" = 1'-0"

## F CONNECTION
SCALE: 1 1/2" = 1'-0"




SEE DETAIL I/C813 FOR SPREAD FOOTING OPTION.

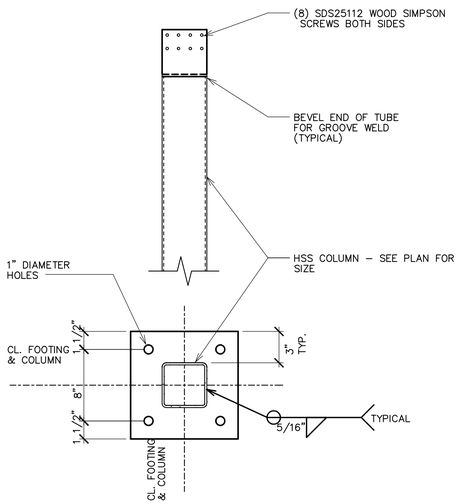
## G CAISON FOOTING
SCALE: 1/2" = 1'-0"



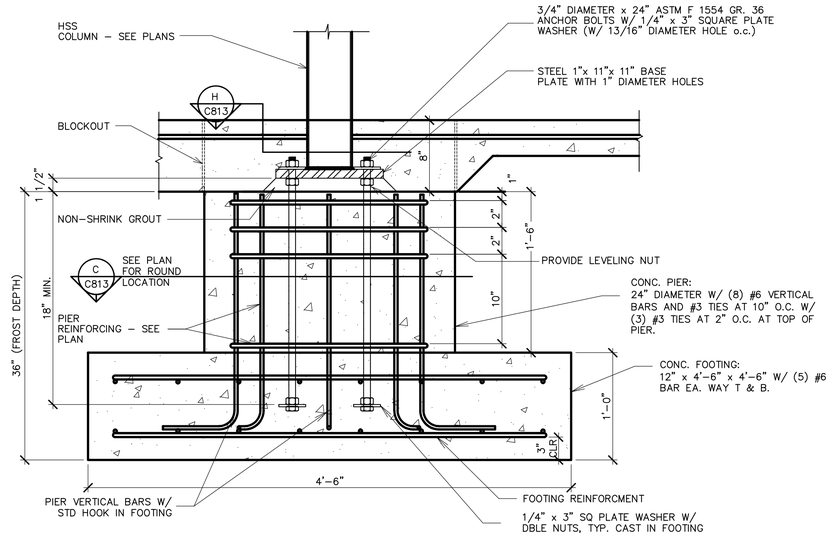

STAPLE REQUIREMENTS:

1. STAPLES TO BE 16 GAUGE x 1-3/4" LONG WITH 3/8" MINIMUM OUTSIDE DIAMETER CROWN
2. STAPLE 2" O.C. AROUND PERIMETER OF EACH PANEL.
3. STAPLE TWO EQUALLY SPACED ROWS OF 8" O.C. STAPLES WITHIN THE FIELD OF EACH PANEL.

## B ROOF DIAPHRAGM DETAIL
SCALE: NONE




## H COLUMN DETAIL
SCALE: 1/2" = 1'-0"




## I COLUMN DETAIL
SCALE: 1 1/2" = 1'-0"

Supplier:
SMITH STEELWORKS

Stamp:
PROFESSIONAL ENGINEER
DOUGLAS M. FARLEY
No.318831
03/18/2024
STATE OF UTAH

30'x60' Glulam Pavilian
Kit 1 Option A
770 15th Street
Ogden, Utah

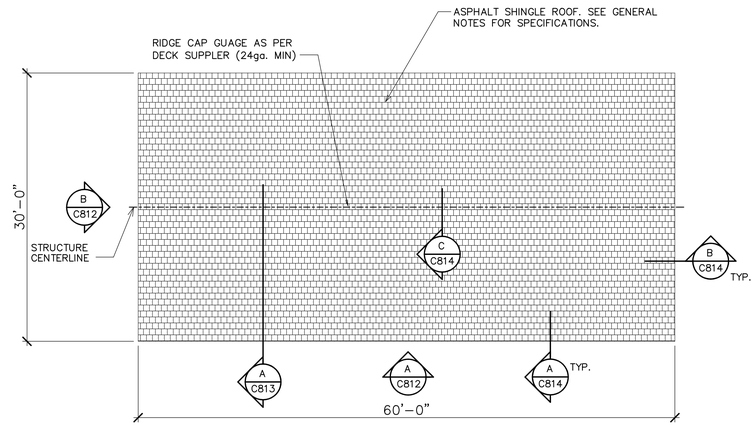
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

| Mark | Date (DMY) | Description |
|---|---|---|

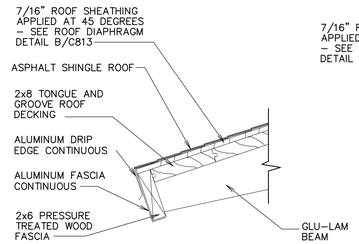
Project Number:
Plan Series:
Property Number:

Sheet Title:
SECTION AND DETAIL VIEWS

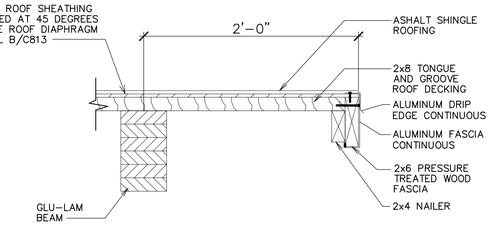
Sheet:
C813



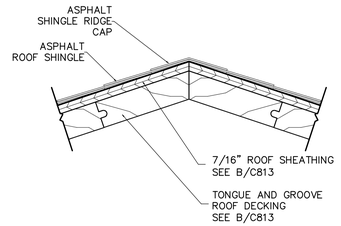

## 1 ROOF PLAN
SCALE: 1/8" = 1'-0"




## A FASCIA DETAIL
SCALE: 1 1/2" = 1'-0"




## B RAKE DETAIL
SCALE: 1 1/2" = 1'-0"




## C RIDGE CAP DETAIL
SCALE: 3" = 1'-0"

Supplier:

SMITH STEELWORKS

Stamp:

PROFESSIONAL STRUCTURAL ENGINEER
DOUGLAS M. FARLEY
No.318831
03/18/2024
STATE OF UTAH

30'x60' Glulam Pavilion
Kit 1 Option A

770 15th Street
Ogden, Utah

Project for:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

| Mark | Date (DD/MM/YY) | Description |
|---|---|---|
| | | |

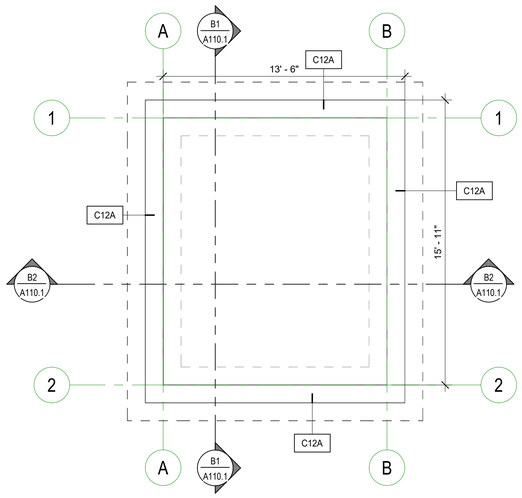
Project Number:

Plan Series:

Property Number:

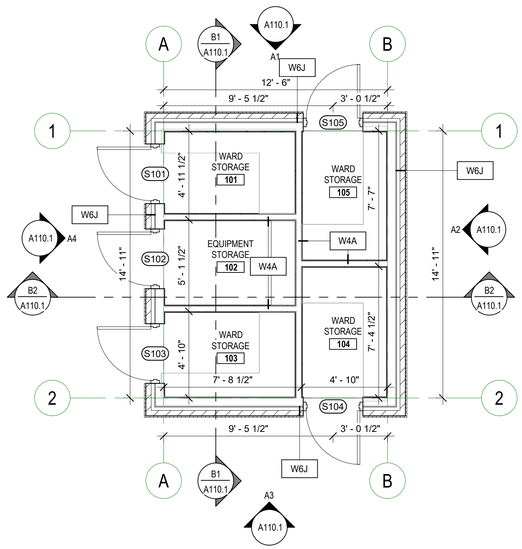
Sheet Title:
ROOF VIEWS AND DETAILS

Sheet:
C814



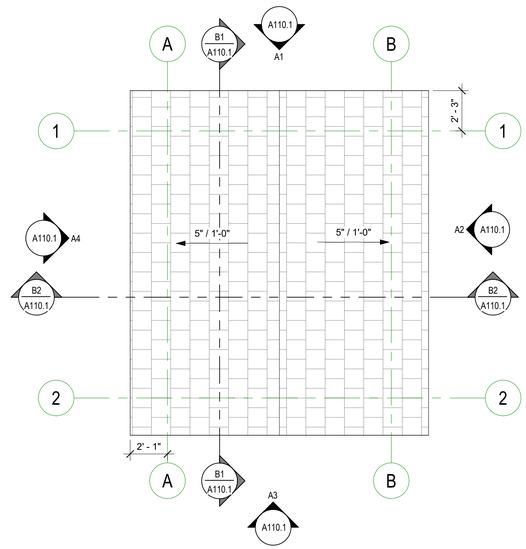

## C1 STORAGE BUILDING - SLAB PLAN

1/4" = 1'-0"




## C2 STORAGE BUILDING - FLOOR PLAN

1/4" = 1'-0"




## C3 STORAGE BUILDING - ROOF PLAN

1/4" = 1'-0"

## WALL TYPE

MATERIAL | NOMINAL SIZE | SEQUENCE | FIRE RATING

**W 4 A - 1**

**NOTE**: REFER TO WALL TYPE SHEET FOR INFORMATION ABOUT UL, STC AND SHEATHING. COORDINATE SHEATHING WITH STRUCTURAL DRAWINGS

**FIRE RATING**(WHEN NOTED)
1 1 HR RATED
2 2 HR RATED

**SEQUENCE**
DENOTES NEXT WALL TYPE IN SERIES

**NOMINAL SIZE**
DENOTES NOMINAL SIZE OF WALL STRUCTURE

**STRUCTURAL MATERIAL**
C CONCRETE
M MASONRY
W WOOD STUD
S METAL STUD

**EXAMPLE**: WALL TYPE 9A4-1 IS A 3 5/8" METAL STUD WALL

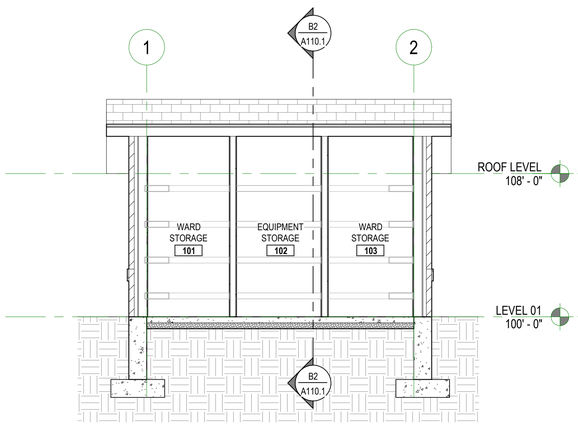
## DIMENSION NOTES

1. DIMENSIONS ARE GIVEN TO EXTERIOR FACE OF FOUNDATION WALL UNO
2. DIMENSIONS ARE TO FACE OF INTERIOR STUD WALL
3. PERIMETER GRIDS ARE PLACED AT EXTERIOR FACE OF MASONRY UNO
4. TOP OF FOUNDATION WALL TO BE AT 100' - 0" UNO

## KEYED NOTE

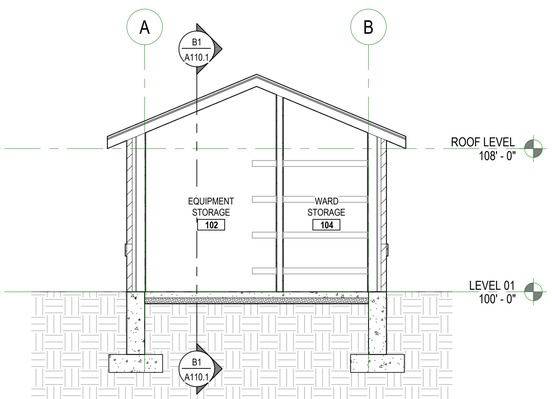
802 DOOR AND/OR WINDOW SYSTEM. SEE DOOR AND WINDOW SCHEDULES.

| EXTERIOR MATERIALS LEGEND | |
|---|---|
| FINISH TYPE | DESCRIPTION |
| BK-01 | BRICK, RUNNING BOND. TEXTURE: MATTE, COLOR: MATCH EXISTING CHAPEL, PROVIDE SAMPLE PRIOR TO ORDERING |
| BK-02 | BRICK, STACK BOND. TEXTURE: ROUGH, COLOR: MATCH EXISTING CHAPEL, PROVIDE SAMPLE PRIOR TO ORDERING |
| BK-04 | BRICK, RUNNING BOND. TEXTURE: SCRATCH, COLOR: MATCH EXISTING CHAPEL, PROVIDE SAMPLE PRIOR TO ORDERING |
| RF-01 | ASPHALT SHINGLES - COLOR: HEATHER BLEND |



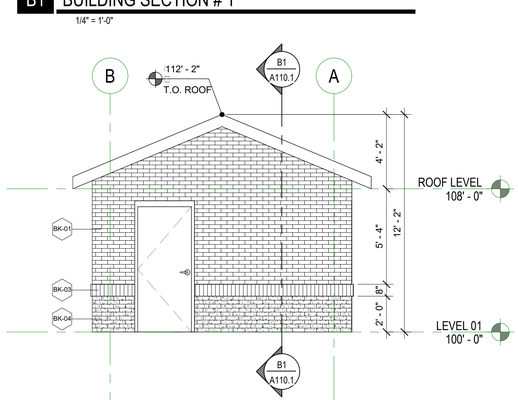

## B1 BUILDING SECTION # 1

1/4" = 1'-0"



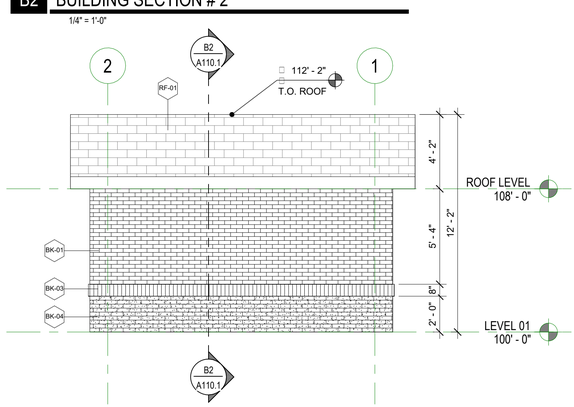

## B2 BUILDING SECTION # 2

1/4" = 1'-0"



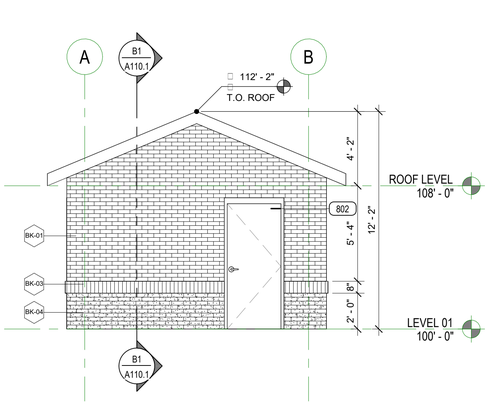

## A1 BUILDING ELEVATION - WEST

1/4" = 1'-0"



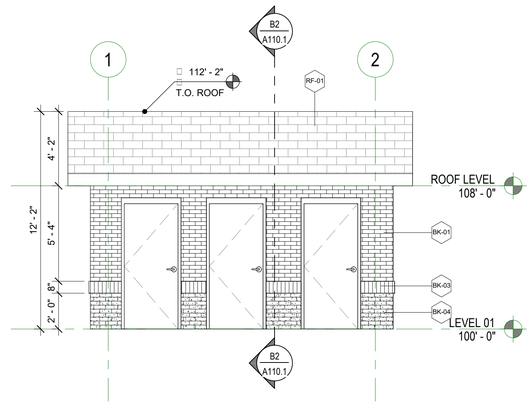

## A2 BUILDING ELEVATION - NORTH

1/4" = 1'-0"




## A3 BUILDING ELEVATION - EAST

1/4" = 1'-0"




## A4 BUILDING ELEVATION - SOUTH

1/4" = 1'-0"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DARIN M. MANO
9502000-0301
5/3/2024
Lorin Farr
503-3195

# LORIN FARR PAVILION #502-1089

788 EAST 15TH STREET, OGEN, UTAH

PERMIT SET

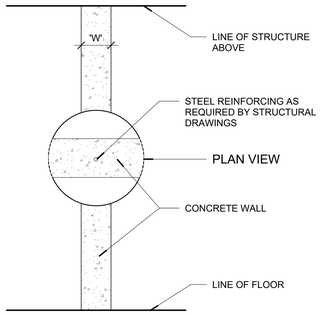
**JOB NUMBER:** 502-1089
**OWNER:** LDS CHURCH
**DATE:** 04/29/24

| REV | DATE | DESCRIPTION |
|---|---|---|

ANNOTATED PLAN

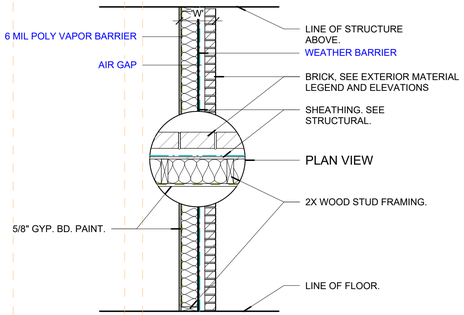
# A110.1

2024/5/3 12:31:23



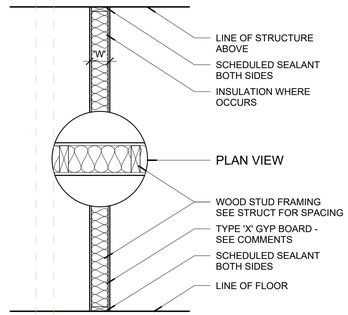

## 3A CONCRETE FOUNDATION

1/2" = 1'-0"




## 4A/B BRICK VENEER

1/2" = 1'-0"




## 6A-C WOOD STUD PARTITION

1/2" = 1'-0"

| TYPE | WIDTH 'W' | STUD SIZE | STC | FIRE RATING | UL RATING | COMMENTS |
|---|---|---|---|---|---|---|
| C12A | 12" | 1' - 0" | - | - | - | CONCRETE |

| TYPE | WIDTH 'W' | STUD SIZE | STC | FIRE RATING | UL RATING | COMMENTS |
|---|---|---|---|---|---|---|
| W4A | 4 3/4" | 3 1/2" | - | - | - | GYP ON BOTH SIDES |

| TYPE | WIDTH 'W' | STUD SIZE | STC | FIRE RATING | UL RATING | COMMENTS |
|---|---|---|---|---|---|---|
| W6J | 12 5/8" | 5 1/2" | - | - | - | GYP / BRICK (SEE ELEVATIONS) |

## WALL TYPE NOTES

1. REFER TO EXTERIOR ELEVATIONS FOR MATERIAL LOCATIONS.
2. ALUMINUM TRIM REVEALS IN FIBER CEMENT TO LINE UP WITH WINDOW EDGES AND MATERIAL TRANSITIONS. FIBER CEMENT FASTENERS TO BE EVENLY SPACED AND CENTERED RELATIVE TO PANEL EDGE.
3. PROVIDE FLASHING AND COUNTERFLASHING AT ALL MATERIAL TRANSITIONS. SUBMIT RFI TO ARCHITECT FOR ANY MISSING DETAIL.
4. USE 5/8" TYPE X GYPSUM WALLBOARD IN ALL LOCATIONS. USE TYPE 'WR' GYPSUM WALLBOARD WITH EPOXY PAINT AT ALL WET AREAS. INSTALL BACKER BOARD BEHIND ALL TILE.
5. ALL PARTITION WALLS TO EXTEND TO STRUCTURE ABOVE.
6. INTERIOR NON-PARTITION WALLS TO EXTEND TO 6" ABOVE SUSPENDED CEILING.
7. FOR TENANT SEPARATION, INTERIOR DEMISING WALLS TO HAVE BATT INSULATION FOR SOUND CONTROL.

## DOOR NOTES

1. REFER TO DOOR SCHEDULE FOR DOOR SIZES
2. GC TO FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING AND INSTALLING
3. GC TO VERIFY ALL DOOR FRAME JAMB DEPTHS BEFORE ORDERING
4. GC TO VERIFY THAT ALL DOORS, FRAMES AND GLAZING MEET FIRE AND SAFETY REQUIREMENTS PER CODE
5. EXTERIOR DOORS AND FRAMES TO BE INSULATED
6. PROVIDE FIRE GLAZING AT ALL RATED WALLS
7. PROVIDE TEMPERED GLAZING AT DOOR GLAZING

| FINISH SCHEDULE | | | | | | |
|---|---|---|---|---|---|---|
| ROOM NO. | NAME | FLOOR | BASE | WALL | CEILING | SPECIAL TRIM OR EQUIP. |
| 101 | WARD STORAGE | F4 | B3 | W5 | - | - |
| 102 | EQUIPMENT STORAGE | F4 | B3 | W5 | - | - |
| 103 | WARD STORAGE | F4 | B3 | W5 | - | - |
| 104 | WARD STORAGE | F4 | B3 | W5 | - | - |
| 105 | WARD STORAGE | F4 | B3 | W5 | - | - |

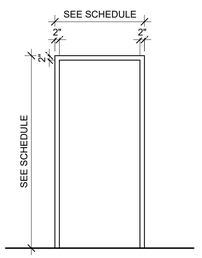
**FINISH SCHEDULE LEGEND**

F FLOOR
F4 CONCRETE, PAINTED

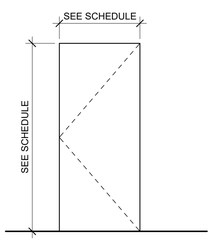
B BASE
B3 4" RUBBER

W WALLS
W5 GYPSUM BOARD, PAINTED.

| DOOR + FRAME | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | PANEL | | | | | | FRAME | | | | | | |
| | SIZE | | | | | | | | | | | | |
| NUMBER | WIDTH | HEIGHT | THICK | ELEV | MATERIAL | FINISH | ELEV | MATERIAL | FINISH | FIRE RATING (MIN) | HARD WARE GROUP | COMMENT | NUMBER |
| S101 | 36" | 84" | 2" | A1 | H.M | WHITE | 1A | H.M | PAINT | | 3 | STORAGE BUILDING | S101 |
| S102 | 36" | 84" | 2" | A1 | H.M | WHITE | 1A | H.M | PAINT | | 3 | STORAGE BUILDING | S102 |
| S103 | 36" | 84" | 2" | A1 | H.M | WHITE | 1A | H.M | PAINT | | 3 | STORAGE BUILDING | S103 |
| S104 | 36" | 84" | 2" | A1 | H.M | WHITE | 1A | H.M | PAINT | | 3 | STORAGE BUILDING | S104 |
| S105 | 36" | 84" | 2" | A1 | H.M | WHITE | 1A | H.M | PAINT | | 3 | STORAGE BUILDING | S105 |




1A H.M. INSULATED EXTERIOR FRAME




A1 METAL DOOR

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LORIN FARR PAVILION #502-1089
788 EAST 15TH STREET, OGEN, UTAH
PERMIT SET

**JOB NUMBER:** 502-1089
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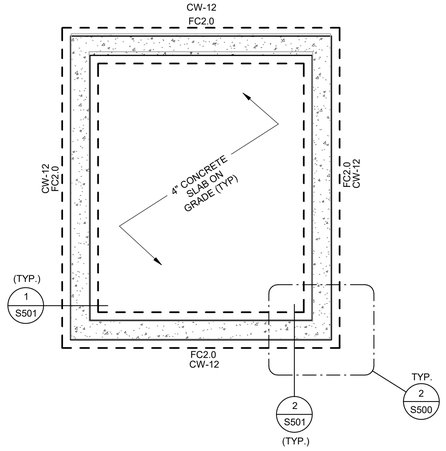
**DATE:** 04/29/24

| REV | DATE | DESCRIPTION |
|---|---|---|

WALL TYPE + GENERAL DETAILS

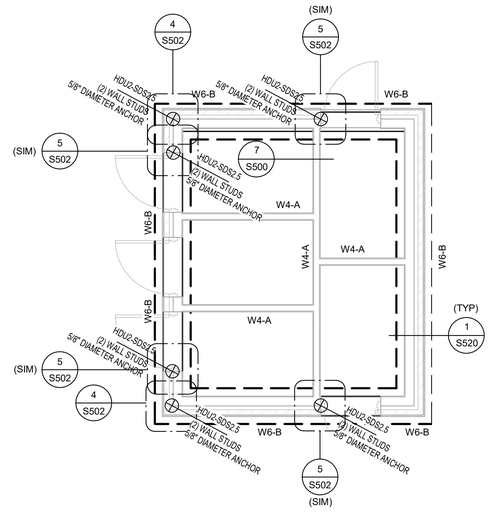
**A500**

2024/5/3 12:20:58



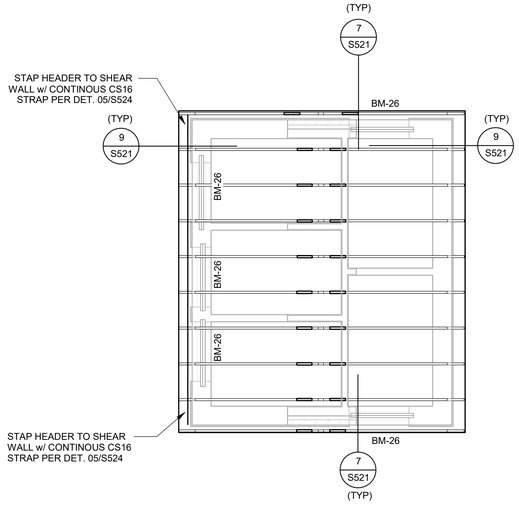

STORAGE FOOTING & FDN PLAN — 1 / S106

SCALE : 1/4" = 1'-0"




HOLDOWN, ANCHOR BOLT & WALL TYPE PLAN — 2 / S106

SCALE : 1/4" = 1'-0"




STORAGE ROOF FRAMING PLAN — 3 / S106

SCALE : 1/4" = 1'-0"

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PROFESSIONAL ENGINEER
04/12/2024
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ADAM W. EASTMAN
STATE OF UTAH

# LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

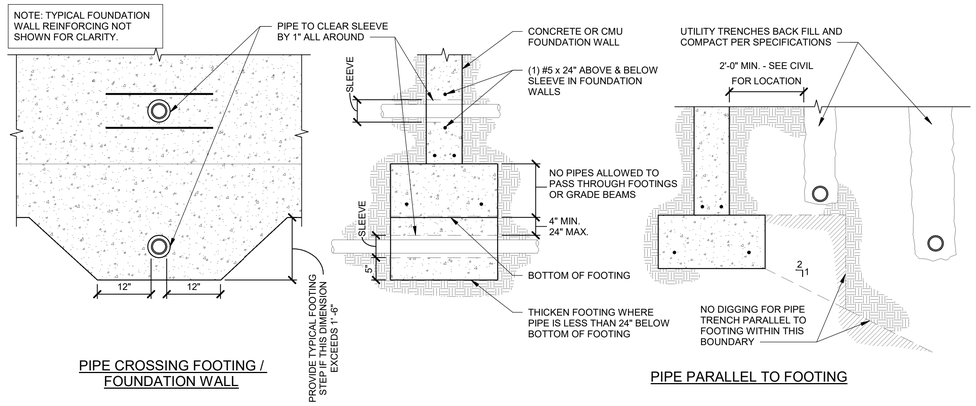
**JOB NUMBER:** 24-7060
**OWNER:**
THE CHURCH OF JESUS CHRIST OF LDS
**DATE:** 04/12/24

| REV | DATE | DESCRIPTION |
|---|---|---|

STORAGE BUILDING PLANS

**S106**

4/9/2024 1:10:15 PM



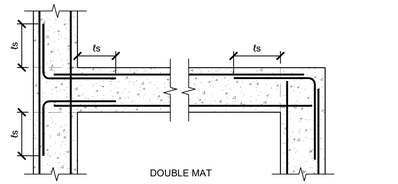

PIPE CROSSING FOOTING / FOUNDATION WALL

PIPE PARALLEL TO FOOTING

## TYPICAL PIPE PERPENDICULAR AND PARALLEL TO FOOTING DETAIL

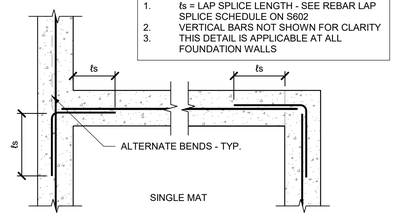
SCALE : NONE

1 / S500




INTERSECTION CORNER

NOTES:
1. ts = LAP SPLICE LENGTH - SEE REBAR LAP SPLICE SCHEDULE ON S602
2. VERTICAL BARS NOT SHOWN FOR CLARITY
3. THIS DETAIL IS APPLICABLE AT ALL FOUNDATION WALLS

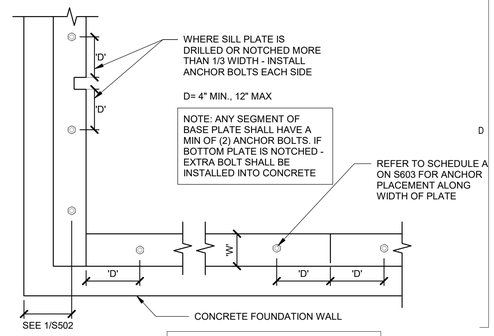



INTERSECTION CORNER

## TYPICAL REINFORCING AT INTERSECTIONS IN CONCRETE WALLS

SCALE : NONE

2 / S500

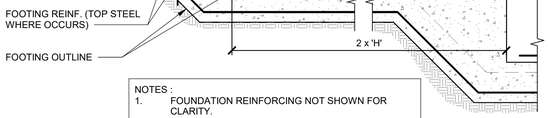



**SEE PLANS AND WOOD WALL SCHEDULE FOR ANCHOR BOLT SIZE AND SPACING**

## TYPICAL SILL PLATE BOLTING DETAIL

SCALE : NONE

3 / S500

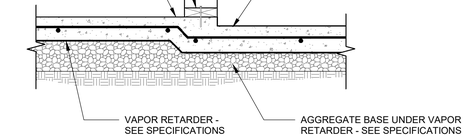



NOTES :
1. FOUNDATION REINFORCING NOT SHOWN FOR CLARITY.
2. SEE FOOTING SCHEDULE FOR FOOTING WIDTH AND REINFORCING SIZE AND LOCATION. ALL FOOTING REINFORCING REFERENCED IN THE SCHEDULE OR SHOWN IN THE DETAILS MUST RUN CONTINOUS THROUGH THE FOOTING STEP.

## TYPICAL FOOTING STEP DETAIL

SCALE : NONE

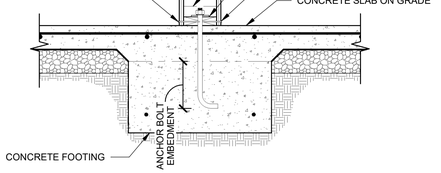
4 / S500




## TYPICAL NON-STRUCTURAL WOOD STUD WALL AT DEPRESSED CONCRETE SLAB ON GRADE

SCALE : NONE

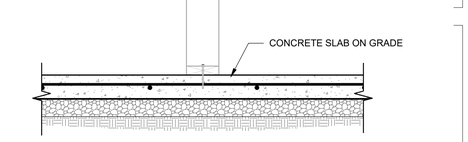
5 / S500




## INTERIOR CONCRETE FOOTING

SCALE : NONE

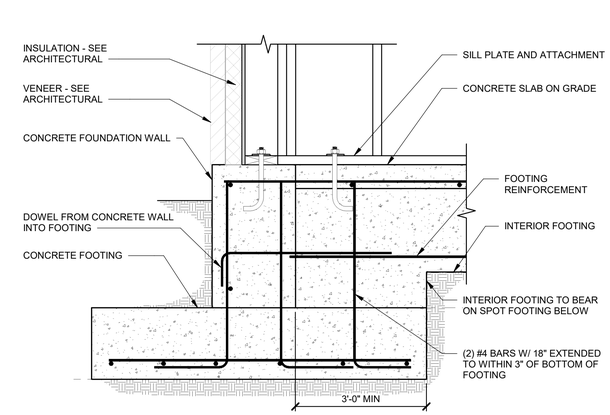
6 / S500




## NON-BEARING STUD AT SLAB ON GRADE

SCALE : NONE

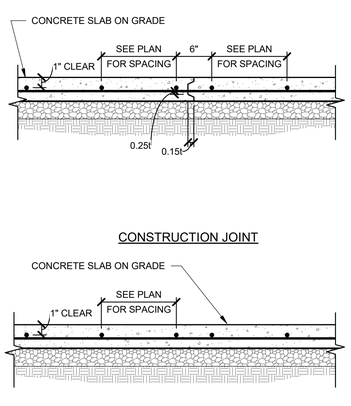
7 / S500




## TYPICAL FOOTING STEP AT EXTERIOR FOUNDATION WALL

SCALE : NONE

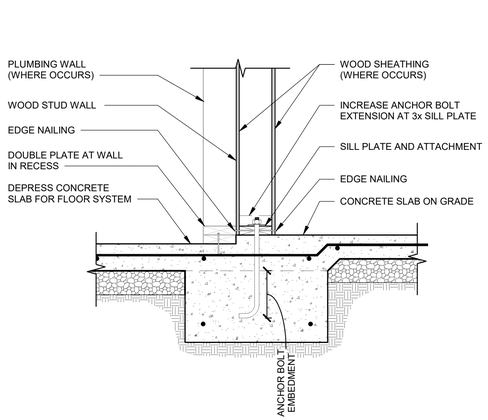
8 / S500




## TYPICAL SLAB ON GRADE DETAILS

SCALE : NONE

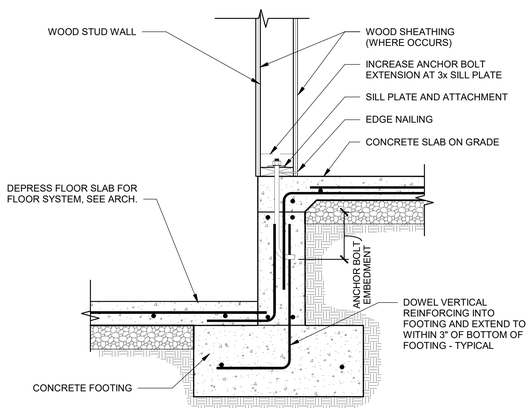
9 / S500




## BEARING WALL DETAIL AT FLOOR OFFSET

SCALE : NONE

10 / S500




## BEARING WALL DETAIL AT FLOOR OFFSET WITH FOUNDATION SYSTEM

SCALE : NONE

11 / S500

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PROFESSIONAL ENGINEER
04/12/2024
No. 11146591
ADAM W. EASTMAN
STATE OF UTAH

# LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

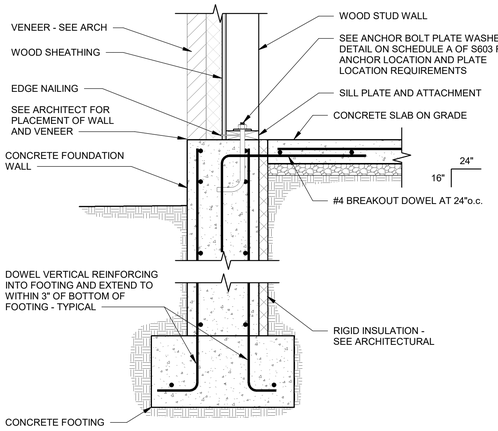
**JOB NUMBER:** 24-7060
**OWNER:** THE CHURCH OF JESUS CHRIST OF LDS
**DATE:** 04/12/24

| REV | DATE | DESCRIPTION |
|---|---|---|

FOUNDATION DETAILS

**S500**

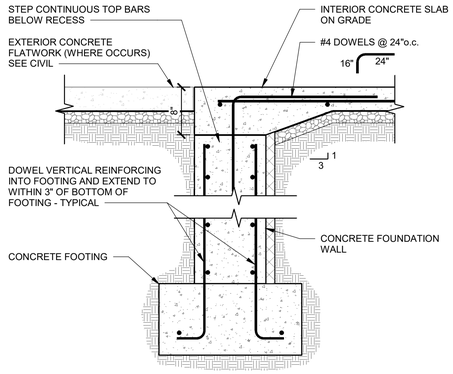
4/9/2024 1:10:17 PM




SECTION AT EXTERIOR WALL

SCALE : NONE

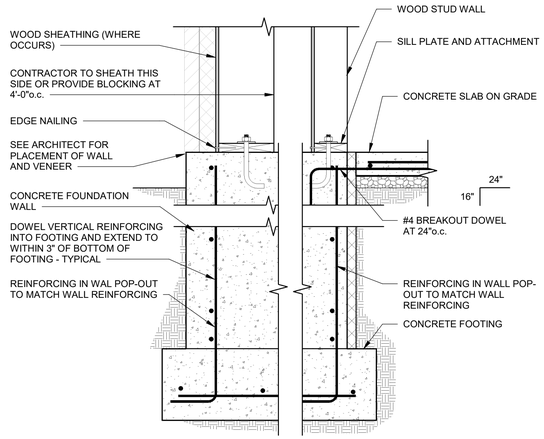
1 / S501




SECTION AT FOUNDATION WALL RECESS AT OPENINGS

SCALE : NONE

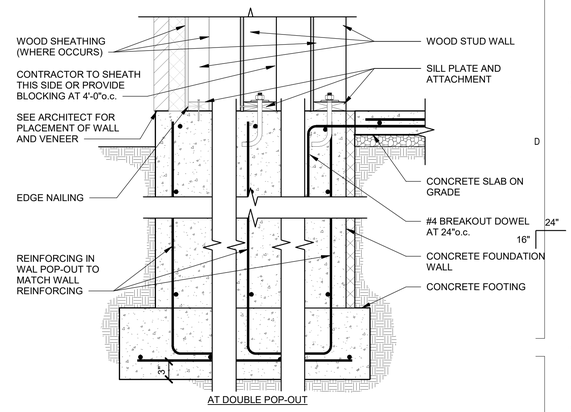
2 / S501




POP-OUT

SCALE : NONE

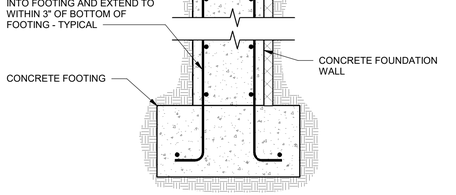
3 / S501




DOUBLE WALL POP-OUT

SCALE : NONE

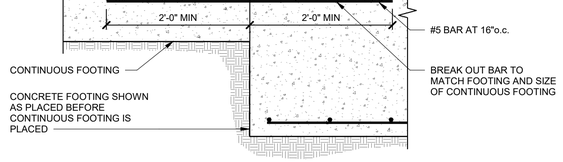
4 / S501




SECTION AT FOUNDATION WALL RECESS AT OPENINGS

SCALE : NONE

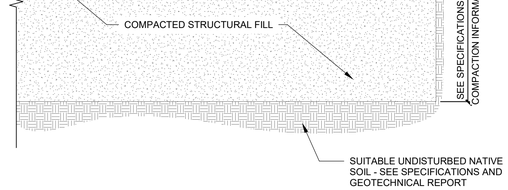
5 / S501




TYPICAL CONNECTION OF SPOT TO CONTINUOUS FOOTING WHEN FOOTINGS ARE PLACED AT DIFFERENT TIMES

SCALE : NONE

6 / S501




TYPICAL FOOTING OVER COMPACTED STRUCTURAL FILL

SCALE : NONE

7 / S501

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# LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

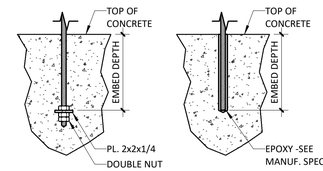
| | |
|---|---|
| **JOB NUMBER:** | 24-7060 |
| **OWNER:** | THE CHURCH OF JESUS CHRIST OF LDS |
| **DATE:** | 04/12/24 |

| REV | DATE | DESCRIPTION |
|---|---|---|

FOUNDATION DETAILS

**S501**

4/9/2024 1:10:19 PM



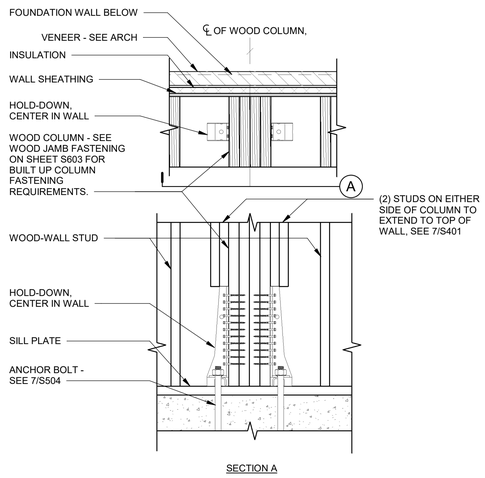

**CAST-IN-PLACE THREADED ROD ANCHOR DTL.**

**POST-INSTALLED THREADED ROD ANCHOR DTL.**

## ANCHOR BOLT EMBEDMENT

SCALE : NONE

1 S502

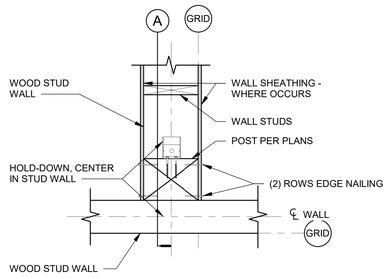


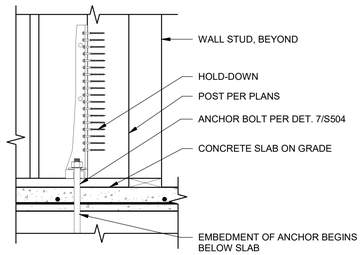

SECTION A

## HOLD-DOWN AT STEEPLE ANCHORAGE

SCALE : NONE

2 S502



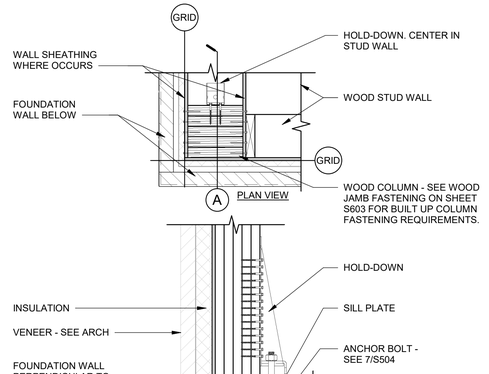




SECTION A

## HOLD-DOWN AT INTERIOR SHEAR WALL

SCALE : NONE

3 S502

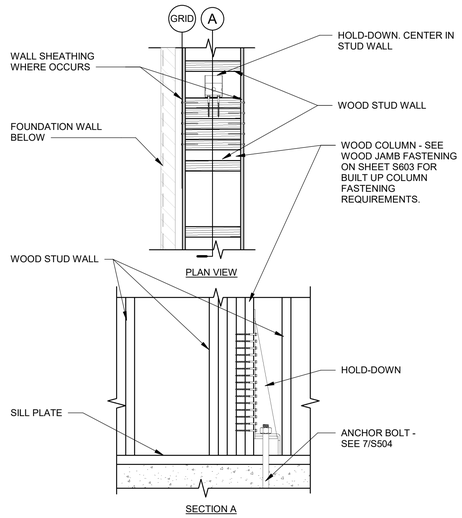



SECTION A

## HOLD-DOWN AT CORNER

SCALE : NONE

4 S502




SECTION A

## HOLD-DOWN AT MID-WALL

SCALE : NONE

5 S502

| HOLD-DOWN ANCHOR ATTACHMENT[1,2,4] | | | |
|---|---|---|---|
| SIMPSON HOLD DOWN MODEL NO. | ATTACHMENT FASTENERS | EMBEDMENT DEPTH | ANCHOR BOLT[4] |
| HDU2-SDS2.5 | (6) SDS 1/4" x 2 1/2" | 1'-6" | 5/8" DIAMETER A36 ROD WITH DOUBLE NUT AND 3" x 3" x 1/2" WASHER |
| HDU11-SDS2.5 | (30) SDS 1/4" x 2 1/2" | 2'-0" | 1" DIAMETER A36 ROD WITH DOUBLE NUT AND 3 1/2" x 3 1/2" x 1/2" WASHER |
| HDU14-SDS2.5 | (36) SDS 1/4" x 2 1/2" | 2'-0" | 1" DIAMETER A36 ROD WITH DOUBLE NUT AND 3 1/2" x 3 1/2" x 1/2" WASHER |
| HD19 | (5) 1" DIA THRU BOLTS | 1'-6"[3] | 1 1/4" DIAMETER A36 ROD WITH DOUBLE NUT AND 5" x 5" x 1/2" WASHER |

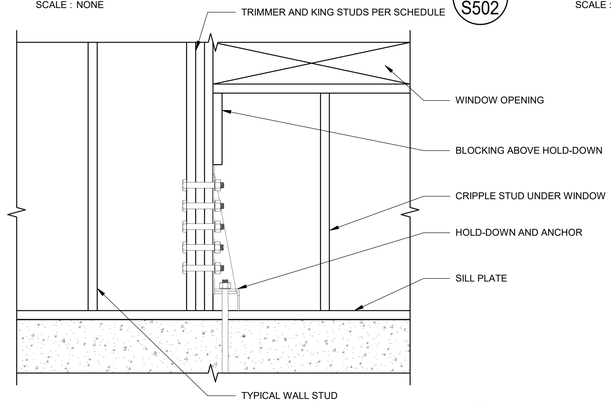
NOTES:

1. ALL FASTENERS FOR PRESERVATIVE AND TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICONE BRONZE OR COPPER, UNLESS WOOD IS BORATE TREATED. EXCEPTION: PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS IN SBX/DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD INSTALLED IN AN INTERIOR, DRY ENVIRONMENT ARE PERMITTED.
2. ALL WOOD COLUMNS TO BE NAILED OR BOLTED TOGETHER PER SCHEDULE ON S603 PRIOR TO HOLD-DOWN INSTALLATION.
3. EMBEDMENT DEPTH, ***te***, IS TO BE FROM TOP OF FOUNDATION WALL OR BOTTOM OF SLAB ON GRADE, SEE DETAIL 1/S504.
4. HOLD-DOWN ANCHORS TO BE CENTERED IN STUD WALL.

## HOLD-DOWN ANCHOR BOLT SCHEDULE

SCALE : NONE

7 S502




## HOLD-DOWN UNDER WINDOW

SCALE : NONE

6 S502

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# LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

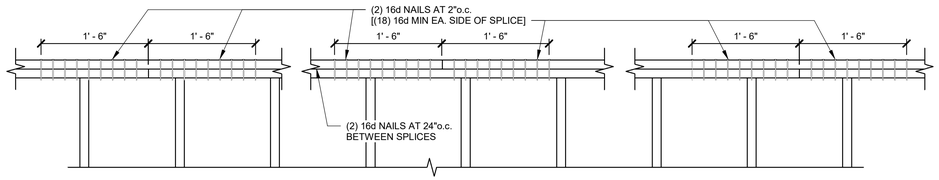
**JOB NUMBER:** 24-7060
**OWNER:** THE CHURCH OF JESUS CHRIST OF LDS
**DATE:** 04/12/24

| REV | DATE | DESCRIPTION |
|---|---|---|

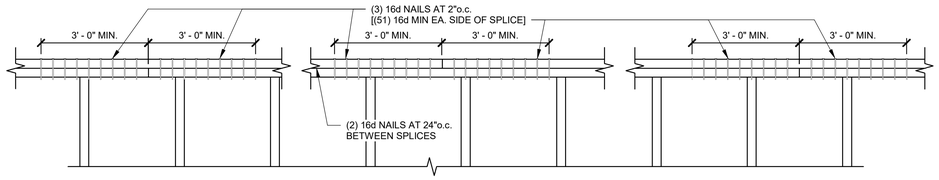
FOUNDATION DETAILS

**S502**

4/9/2024 1:10:20 PM



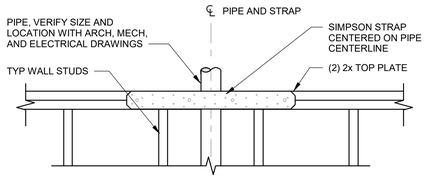

DOUBLE PLATE - TYPICAL NAILING AT INTERIOR NON-SHEAR WALLS



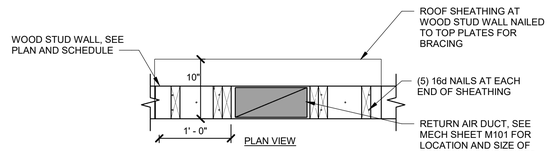

DOUBLE PLATE - TYPICAL NAILING AT EXTERIOR & SHEAR WALLS

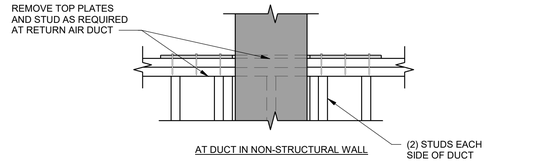
**TOP PLATE SPLICE PENETRATION SCHEDULE (2x6 WALLS ONLY)**

| HOLE SIZE | STRAPS |
|---|---|
| LESS THAN OR EQUAL TO 2 1/2 DIAMETER | NONE REQUIRED |
| GREATER THAN 2 1/2 DIAMETER AND LESS THAN OR EQUAL TO 3 1/2" DIAMETER | (2) MST60, ONE ON EA. SIDE, CENTERED BETWEEN PLATES WITH (68) 16d x 2 1/2" NAILS EACH END OF STRAP. DO NOT NAIL INTO PIPE. |
| NOTE:<br>HOLE SIZE IS TOTAL ALLOWABLE HOLE DIAMETER, NOT PIPE DIAMETER.<br>DO NOT OVERCUT. | |




AT EXTERIOR WALL OR INTERIOR SHEAR WALL



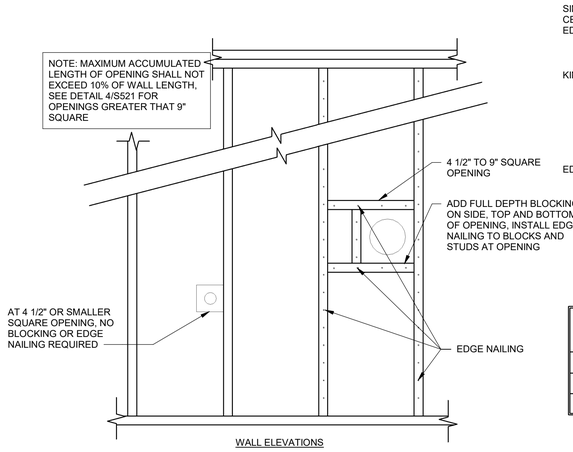

AT DUCT IN NON-STRUCTURAL WALL

NOTE:
AT CONTRACTORS OPTION MAY USE METAL STRAP SPLICE

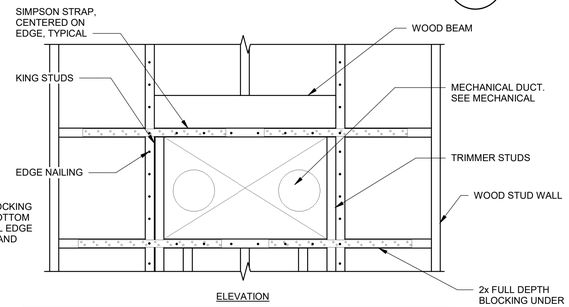
## TYPICAL TOP PLATE SPLICE DETAIL

1 / S520

SCALE : NONE




WALL ELEVATIONS




ELEVATION

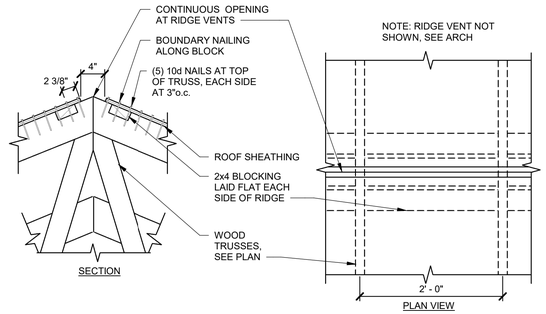
| BEAM SPAN | BEAM SIZE | TRIMMER | KING STUD | SIMPSON STRAP | NAILS |
|---|---|---|---|---|---|
| 1'-3" | (3) 2x6 | (1) 2x | (1) 2x | CS22 x 2'-0" | (24) 8d x 2 1/2" |
| 3'-5" | (3) 2x10 | (1) 2x | (1) 2x | CS18 x 2'-0" | (36) 8d x 2 1/2" |
| 5'-7" | (3) 2x12 | (1) 2x | (1) 2x | CS16 x 2'-8" | (44) 8d x 2 1/2" |

SEE DETAIL 3/S521 FOR OPENINGS < 9" SQUARE

## TYPICAL TOP PLATE SPLICE PENETRATION SCHEDULE AT PIPE

2 / S520

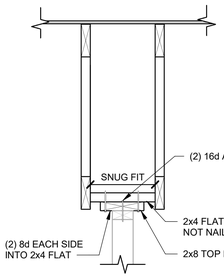
SCALE : NONE



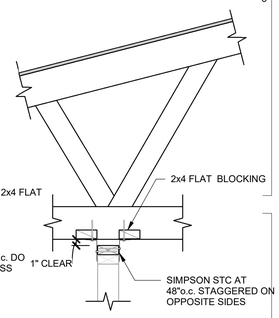

SECTION




PLAN VIEW




WALL PARALLEL TO TRUSSES

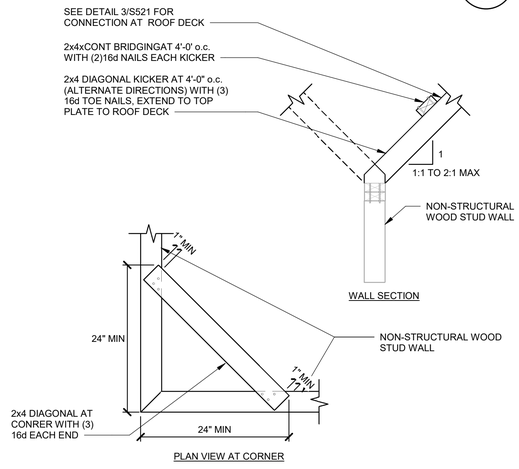



WALL PERPENDICULAR TO TRUSSES

## TYPICAL WALL PENETRATIONS LESS THAN 9" SQUARE

3 / S520

SCALE : NONE




WALL SECTION

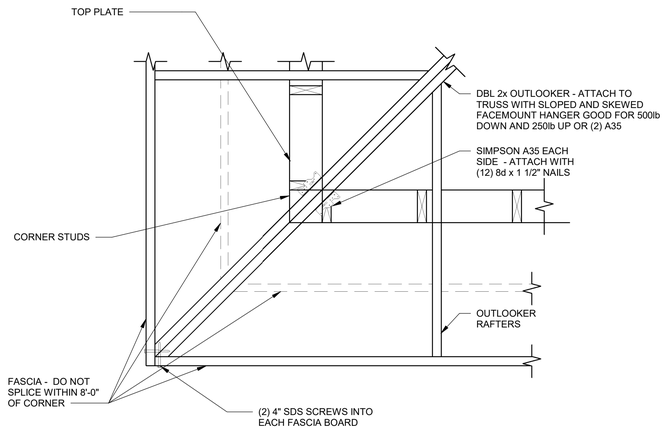



PLAN VIEW AT CORNER

## TYPICAL WALL PENETRATIONS SCHEDULE FOR PENETRATIONS GREATER THAN 9" SQUARE

4 / S520

SCALE : NONE




## TYPICAL RIDGE DETAIL AT RIDGE VENT LOCATIONS

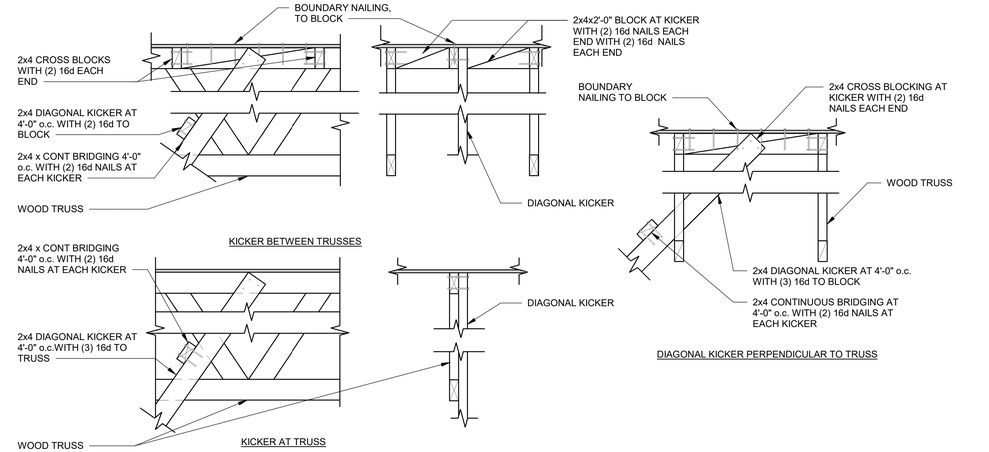
5 / S520

SCALE : NONE

## TYPICAL NON-STRUCTURAL WALL TO UNDERSIDE OF TRUSS

6 / S520

SCALE : NONE




## TYPICAL NON STRUCTURAL PARTITION BRACING DETAILS

7 / S520

SCALE : NONE

## TYPICAL CORNER ROOF FRAMING PLAN VIEW

8 / S520

SCALE : NONE

## TYPICAL KICKER CONNECTIONS TO ROOF TRUSSES

9 / S520

SCALE : NONE

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# LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

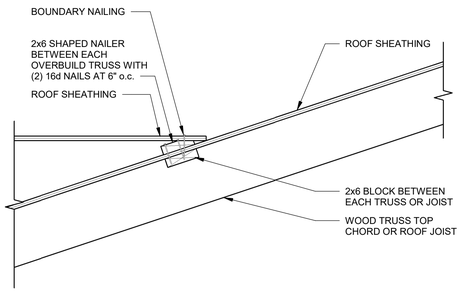
**JOB NUMBER:** 24-7060
**OWNER:** THE CHURCH OF JESUS CHRIST OF LDS
**DATE:** 04/12/24

| REV | DATE | DESCRIPTION |
|---|---|---|

ROOF DETAILS

**S520**

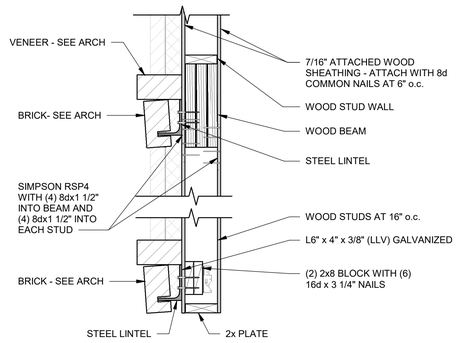
4/9/2024 1:10:22 PM




## OVERBUILD BETWEEN EACH OVERBUILD TRUSS

1 / S521

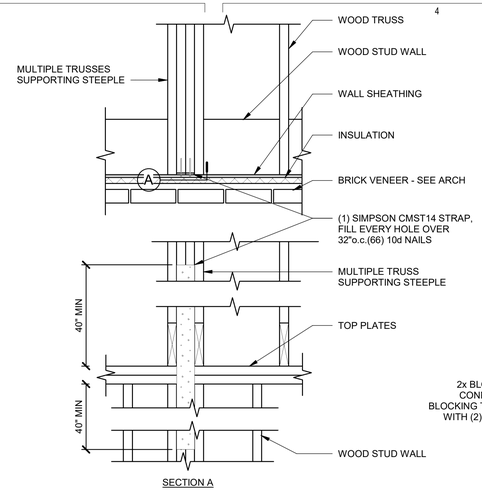
SCALE : NONE




## SUSPENDED ELEMENT AT OPENING

2 / S521

SCALE : NONE

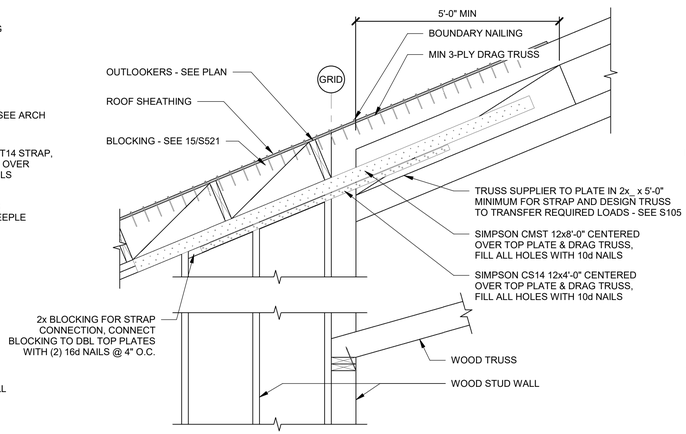



SECTION A

## ANCHORAGE OF STEEPLE SUPPORT TRUSSES TO WALL

3 / S521

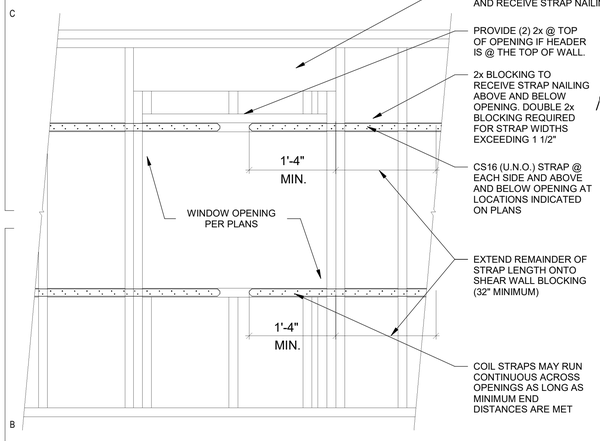
SCALE : NONE




## DRAG TRUSS TO DBL TOP PLATE

4 / S521

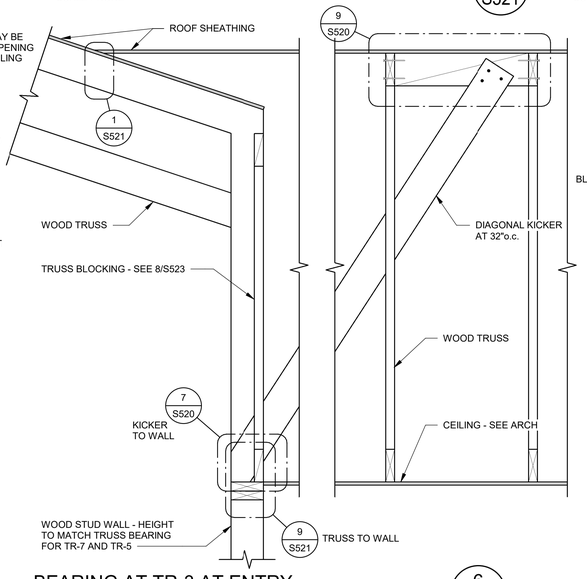
SCALE : NONE




## STRAPPED OPENING @ HEADER & SILL (ONLY REQUIRED AS CALLED ON PLANS

5 / S521

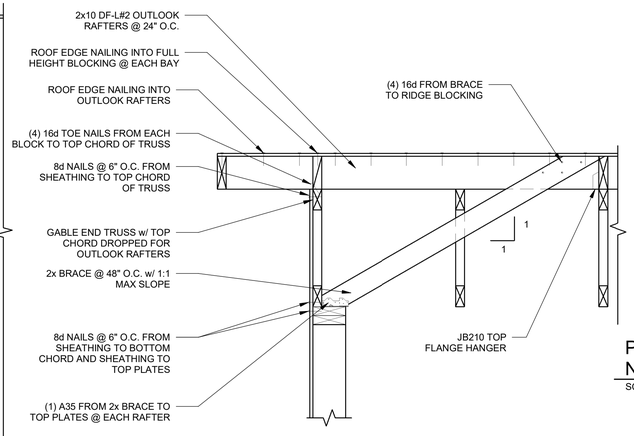
SCALE : NONE




## BEARING AT TR-3 AT ENTRY

6 / S521

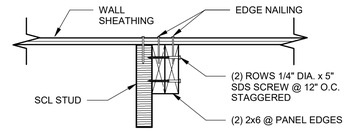
SCALE : NONE




## OUTLOOK RAFTERS

7 / S521

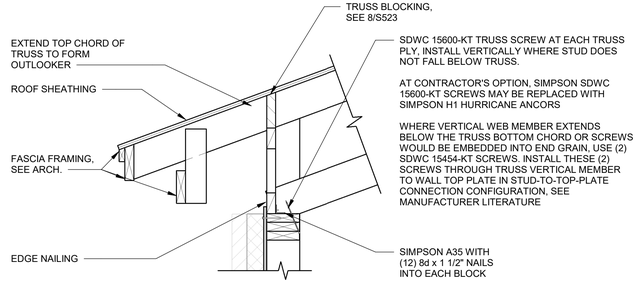
SCALE : NONE




## PANEL EDGE CONDITION @ TIGHT EDGE NAILING FOR SCL WALL

8 / S521

SCALE : NONE




## WOOD TRUSS BEARING AT EXTERIOR WALL

9 / S521

SCALE : NONE

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# LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

**JOB NUMBER:** 24-7060
**OWNER:** THE CHURCH OF JESUS CHRIST OF LDS
**DATE:** 04/12/24

| REV | DATE | DESCRIPTION |
|---|---|---|

ROOF DETAILS

**S521**

4/9/2024 1:10:24 PM

# SCHEDULE A

## DESIGN CRITERIA

| DESIGN CRITERIA | 2021 INTERNATIONAL BUILDING CODE (ASCE 7) | 2021 IBC |
|---|---|---|
| SEISMIC | RISK CATEGORY | III |
| | IBC SEISMIC IMPORTANCE FACTOR | $I_E$ = 1.1 |
| | MAPPED SPECTRAL RESPONSE ACCELERATION: | |
| | MAPPED VALUE OF $S_S$ (FOR ALL CALCULATIONS EXCEPT $C_S$) | $S_S$ = 1.37 |
| | VALUE OF $S_S$ USED TO CALCULATE $C_S$ (LIMIT $S_S$ TO 1.5 PER ASCE7) | $S_S$ = 1.37 |
| | $S_1$ | $S_1$ = 0.5 |
| | SOIL SITE CLASS | D |
| | SITE COEFFICIENT, $F_a$ | $F_a$ = 1.0 |
| | SITE COEFFICIENT, $F_v$ | $F_v$ = 1.8 |
| | DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS (AGEC PROJECT NO. 12304931) | $S_{DS}$ = 0.92<br>$S_{D1}$ = 0.60 |
| | SEISMIC DESIGN CATEGORY | D |
| | BASIC SEISMIC-FORCE RESISTING SYSTEM. | WOOD FRAMED WALLS SHEATHED WITH WOOD PANELS |
| | RESPONSE MODIFICATION FACTOR | R = 6.5 |
| | OVERSTRENGTH FACTOR | $W_0$ = 2.5 |
| | ANALYSIS PROCEDURE USED. | ASCE 7 EQUIVALENT LATERAL FORCE PROCEDURE |
| | SEISMIC RESPONSE COEFFICIENT - ULTIMATE | $C_S$ = 0.177 |
| WIND | ASCE 7 ENVELOPE PROCEDURE, PART 2 | |
| | WIND SPEED (3 SECOND GUST) | 115 M.P.H. |
| | INTERNAL PRESSURE COEFFICIENT (C&C) | ±0.18 |
| | EXPOSURE CATEGORY | C |
| ROOF | DEAD LOAD | 25 P.S.F. |
| | SNOW IMPORTANCE FACTOR | $I_S$ = 1.10 |
| | GROUND SNOW LOAD, $P_g$ | 43 P.S.F. |
| | FLAT ROOF SNOW LOAD, $P_f$ | 33 P.S.F. |
| | SNOW EXPOSURE FACTOR, $C_e$ | 1.0 |
| | THERMAL FACTOR, $C_t$ | 1.0 |
| | SLOPE FACTOR, $C_s$ | 1.0 |
| | ROOF SNOW LOAD - THIS LOAD REFLECTS ROOF SNOW LOAD MULTIPLIED BY THE SNOW IMPORTANCE FACTOR (VALUE SHOWN DOES NOT INCLUDE DRIFT LOAD) | 33 P.S.F. |
| | BUILDING ELEVATION | 4319 FT |
| | LIVE LOAD | 33 PSF |
| | ROOF RAIN LOAD | 1.5 in/hr |
| SOIL BEARING | SOILS REPORT BY APPLIED GEOTECHNICAL ENGINEERING CONSULTANTS, INC. DATED AUGUST 2, 2023. PROJECT NUMBER 1230493 | 1500 P.S.F. |
| | SOIL SUBGRADE MODULUS, K (LANDMARK No. 220097) | 150 PCI |

# SCHEDULE B

## LEGEND

| | | | |
|---|---|---|---|
| BOB | BOTTOM OF BEAM | | INDICATES SIDE WHERE INTERIOR WOOD WALL SHEATHING IS TO BE INSTALLED |
| BLW ABV | INDICATES FLOOR OFFSET, SEE DETAILS | | DETAIL NUMBER<br>DETAIL SHEET |
| BM-x | INDICATES WOOD BEAM. SEE SCHEDULE | | INDICATES DEPRESSED SLAB, SEE ARCHITECTURAL PLANS. |
| CJ | INDICATES CONTROL JOINT | S S | INDICATES FOOTING STEP |
| CW-x | INDICATES CONCRETE WALL, SEE SCHEDULE | | INDICATES NON-STRUCTURAL WOOD STUD WALL |
| EOS | EDGE OF SLAB | | INDICATES WOOD BEAM OR HEADER |
| FC-x | INDICATES CONCRETE CONTINUOUS FOOTING TYPE, SEE SCHEDULE | | INDICATES STRUCTURAL WOOD SHEAR WALL |
| FS-x | INDICATES CONCRETE SPOT FOOTING TYPE, SEE SCHEDULE | | TYPE 1 BLOCKED DIAPHRAGM, SEE SCHEDULE E ON S604 |
| SCL | INDICATES STRUCTURAL COMPOSITE LUMBER SUCH AS LVL AND LSL | HD POST/ANCHOR | HD - SIMPSON HOLD DOWN SIZE<br>POST - SIZE OF END POST CONNECTED TO HOLD DOWN<br>ANCHOR - SIMPSON ANCHOR HOLD DOWN SIZE AND CONFIGURATION |
| TOF | TOP OF FOOTING | | |
| TOS | TOP OF SLAB | | |
| TOW | TOP OF WALL | | |
| TR-X | INDICATES WOOD TRUSS, SEE ELEVATIONS ON S20X | | |
| Wx-x | INDICATES WOOD WALL. SEE SCHEDULE | | |

# SCHEDULE C

## SPECIAL INSPECTION SCHEDULE [1, 2]

ESTABLISHED PER 2021 IBC SECTION 110 AND CHAPTER 17

| ITEM | CONTINUOUS[3] | PERIODIC[3] | REFERENCE | COMMENTS |
|---|---|---|---|---|
| **CONCRETE CONSTRUCTION (IBC 1705.3)** | | | SEE IBC TABLE 1705.3 - REF. NOTE C1 | C1. SPECIAL INSPECTION IS NOT REQUIRED FOR CONCRETE ISOLATED SPREAD FOOTINGS, CONTINUOUS FOOTINGS, NON-STRUCTURAL SLABS, FOUNDATION WALLS, PATIOS, DRIVEWAYS, AND SIDEWALKS BECAUSE THE REQUIREMENTS OF IBC 1705.3 ARE MET. |
| REINFORCING STEEL PLACEMENT | | ● | | C2. PERFORM AIR, SLUMP AND TEMPERATURE TESTS WHEN CONCRETE SAMPLES ARE CAST. |
| EMBEDDED BOLTS & PLATES | ● | | | C3. EPOXY AND EXPANSION ANCHORS INTO CONCRETE MAY BE USED ONLY WHEN APPROVED BY ARCHITECT. AND/OR ENGINEER USING AN APPROVED PRODUCT WITH CURRENT PUBLISHED ICC RESEARCH REPORT NUMBERS. COORDINATE CONTINUOUS/PERIODIC SPECIAL INSPECTION REQUIREMENTS WITH ICC REPORT. |
| VERIFYING REQUIRED DESIGN MIX | | ● | | |
| CONCRETE PLACEMENT / SAMPLING | ● | | REFERENCE NOTE C2 | C4. REFER TO DIVISION 03 OF THE SPECIFICATION FOR ADDITIONAL AND SPECIFIC TESTING AND INSPECTION REQUIREMENTS. |
| CURING TEMPERATURE / TECHNIQUES | | ● | | |
| EPOXY / EXPANSION ANCHOR PLACEMENT | ● | ● | REFERENCE NOTE C3 | |
| **MASONRY CONSTRUCTION (IBC 1705.4)** | | | SEE TMS 402/ACI 550 TABLE 1.19.2 (NON-ESSENTIAL) | M1. INSPECTION NOT REQUIRED FOR MECHANICAL SCREEN WALLS.<br>M2. REFER TO DIVISION 04 FOR ADDTIONAL AND SPECIFIC INSPECTION AND TESTING REQUIREMENTS. |
| **WOOD (IBC 1705.5, 1705.11.1 & 1705.12.1)** | | | | W.1. SPECIAL INSPECTION IS NOT REQUIRED FOR WOOD SHEAR WALLS, WOOD DIAPHRAGMS, INCLUDING NAILING, & BOLTING, AND OTHER FASTENING TO OTHER COMPONENTS WHERE THE SPACING OF THE SHEATHING FASTENERS IS GREATER THAN 4"o.c. WHERE NAIL SPACING IS 4" o.c. OR CLOSER, VERIFY THE NOMINAL SIZE OF FRAMING MEMBERS AT ADJOINING PANEL EDGES, THE NAIL OR STAPLE DIAMETER AND LENGTH, NUMBER OF FASTENER LINES, AND SPACING BETWEEN FASTENERS IN EACH LINE AND AT EDGE MARGINS. ADDITIONALLY, VERIFY SILL PLATE AND ANCHOR BOLTS DIAMETER, SPACING, PLATE WASHER SIZE AND LOCATION. SIMILAR INFORMATION IS TO BE GATHERED FOR OTHER FASTENING COMPONENTS. |
| SHEAR WALL & DIAPHRAGM NAILING | | ● | REFERENCE NOTE W1 | |
| DRAG STRUTS | | ● | | |
| HOLD-DOWNS | | ● | | |
| **SOILS (IBC 1705.5)** | | | REFERENCE NOTE F1 | F1. SPECIAL INSPECTION OF SOILS SHALL REFERENCE THE APPROVED SOILS REPORT TO DETERMINE COMPLIANCE.<br>F2. WHERE SOILS REPORT IS NOT PROVIDED SPECIAL INSPECTIONS ARE REQUIRED TO VERIFY THAT THE IN-PLACE DRY DENSITY OF THE COMPACTED FILL IS NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT DETERMINED IN ACCORDANCE WITH ASTM D 1557.<br>F3. REFER TO DIVISION 31 OF SPECIFICATIONS FOR ADDITIONAL AND SPECIFIC TESTING AND INSPECTION REQUIREMENTS. REFER TO DIVISION 6 OF THE SPECIFICATIONS FOR ADDITIONAL AND SPECIFIC TESTING AND INSPECTION REQUIREMENTS. |
| VERIFY ADEQUATE MATERIALS BELOW FOOTINGS | | ● | REFERENCE NOTE F1 | |
| EXCAVATIONS EXTEND TO PROPER DEPTH AND REACH PROPER MATERIAL | | ● | REFERENCE NOTE F2 | |
| CLASSIFY & TEST CONTROLLED FILL MATERIALS | | ● | REFERENCE NOTE F2 | |
| PERFORM MATERIALS, DENSITIES, AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL. | ● | | REFERENCE NOTE F1 | |
| PROPERLY PREPARED SITE AND SUB-GRADE PRIOR TO FILL. | | ● | REFERENCE NOTE F1 | |
| **FABRICATORS (IBC 1704.2.5)** | | | | |
| | ● | | | IF FABRICATOR IS APPROVED, ON-SITE INSPECTION IS NOT REQUIRED BUT A CERTIFICATE OF COMPLETION MUST BE PROVIDED TO THE BUILDING OFFICIAL (IBC 1704.2.5) |
| **PREFABRICATED METAL PLATE WOOD TRUSSES:** | | | | |
| THE INSPECTOR SHALL VERIFY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS OF INSPECTION CONTROL OF THE WORKMANSHIP AND THE FABRICATOR'S ABILITY TO CONFORM TO APPROVED CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. | | ● | | |
| REFER TO SPECIFICATIONS FOR INSPECTION OF PREFABRICATED WOOD TRUSSES LONGER THAN 60'-0" LONG | | ● | | |

### GENERAL SPECIAL INSPECTION NOTES :

1. THE ITEMS MARKED WITH A "●" IN THE SPECIAL INSPECTION SCHEDULE SHALL BE INSPECTED IN ACCORDANCE WITH IBC CHAPTER 17 BY A CERTIFIED SPECIAL INSPECTOR FROM AN ESTABLISHED TESTING AGENCY. FOR MATERIAL SAMPLING AND TESTING REQUIREMENTS, REFER TO THE MATERIAL SAMPLING AND TESTING SECTION, AND THE PROJECT SPECIFICATIONS. THE TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE ARCHITECT, ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL. ANY ITEMS WHICH FAIL TO COMPLY WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF DISCREPANCIES ARE NOT CORRECTED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL, ARCHITECT, AND ENGINEER PRIOR TO COMPLETION OF THAT PHASE OF WORK. SPECIAL INSPECTION TESTING REQUIREMENTS APPLY EQUALLY TO ALL BIDDER DESIGNED COMPONENTS.
2. ANY CONSTRUCTION OR MATERIAL THAT HAS FAILED INSPECTION SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT.
3. CONTINUOUS SPECIAL INSPECTION MEANS THE FULL-TIME OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED. PERIODIC SPECIAL INSPECTION MEANS THE PART-TIME OR INTERMITTENT OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED AND AT THE COMPLETION OF THE WORK. (IBC SECTION 202)

## STATEMENT OF SPECIAL INSPECTION

1. SPECIAL INSPECTIONS AND STRUCTURAL TESTING SHALL BE PROVIDED BY AN INDEPENDENT AGENCY EMPLOYED BY THE OWNER FOR THE ITEMS IDENTIFIED IN THIS SECTION AND IN OTHER AREAS OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, UNLESS WAIVED BY THE BUILDING OFFICIAL (SEE IBC CHAPTER 17).
2. THE NAMES AND CREDENTIALS OF THE SPECIAL INSPECTORS TO BE USED SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL.
3. DUTIES OF THE SPECIAL INSPECTOR:
   a. THE SPECIAL INSPECTOR SHALL REVIEW ALL WORK LISTED ABOVE FOR CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AND THE IBC.
   b. THE SPECIAL INSPECTOR SHALL FURNISH SPECIAL INSPECTION REPORTS TO THE ENGINEER OF RECORD, CONTRACTOR, OWNER AND BUILDING OFFICIAL ON A WEEKLY BASIS, OR MORE FREQUENTLY AS REQUIRED BY THE BUILDING OFFICIAL. ALL ITEMS NOT IN COMPLIANCE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, AND IF UNCORRECTED, TO THE ENGINEER OF RECORD AND THE BUILDING OFFICIAL.
   c. ONCE CORRECTIONS HAVE BEEN MADE BY THE CONTRACTOR, THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT TO THE BUILDING OFFICIAL STATING THAT THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AS WELL AS THE APPLICABLE WORKMANSHIP PROVISIONS OF THE IBC.
4. DUTIES AND RESPONSIBLITIES OF THE CONTRACTOR:
   a. THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBLITY TO THE OWNER AND THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK. IN ACCORDANCE WITH IBC 1704.4, THE STATEMENT OF RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED WITHIN THE "STATEMENT OF SPECIAL INSPECTIONS".
   b. THE CONTRACTOR SHALL NOTIFY THE RESPONSIBLE SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST ONE WORKING DAY (24 HOURS MINIMUM) BEFORE SUCH INSPECTION IS REQUIRED.
   c. ALL WORK REQUIRENG SPECIAL INSPECTION SHALL REMAIN ACCESSIBLE AND EXPOSED UNITL IT HAS BEEN OBSERVED BY THE SPECIAL INSPECTOR.
5. PLEASE SEE THE "SPECIAL INSPECTION SCHEDULE" FOR THE TYPES, EXTENTS AND FREQUENCY OF SPECIFIC ITEMS REQUIRING SPECIAL INSPECTIONS AND STRUCTURAL TESTS AS PART OF THIS PROJECT.

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PROFESSIONAL ENGINEER
04/12/2024
No. 11146591
ADAM W. EASTMAN
STATE OF UTAH

# LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

**JOB NUMBER:** 24-7060
**OWNER:** THE CHURCH OF JESUS CHRIST OF LDS
**DATE:** 04/12/24

| REV | DATE | DESCRIPTION |
|---|---|---|

SCHEDULES

**S600**

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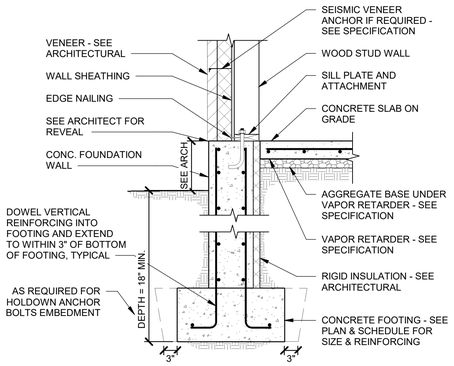
# SCHEDULE A

## CONCRETE FOUNDATION WALL SCHEDULE




| MARK | WIDTH | HORIZONTAL REINF. | | | VERTICAL REINF. | |
|---|---|---|---|---|---|---|
| | | TOP | INTERMEDIATE | BOTTOM | SIZE | SPACING |
| CW-8 | 8" | (2) #4 | #4 AT 16"o.c. | (2) #4 | #4 | 16"o.c. |
| CW-12 | 12" | (2) #4 | (2) #4 AT 16"o.c. | (2) #4 | #4 | 16"o.c. EF |
| CW-14 | 14" | (2) #4 | (2) #4 AT 12"o.c. | (2) #4 | #4 | 12"o.c. EF |
| CW-16 | 16" | (2) #4 | (2) #4 AT 12"o.c. | (2) #4 | #4 | 12"o.c. EF |

NOTES:
1. IF FOOTINGS ARE EARTH-FORMED, FOOTING WIDTH AND LENGTH SHALL BE 6" LONGER AND WIDER THAN SCHEDULED. SEE FIGURE ABOVE.

# SCHEDULE B

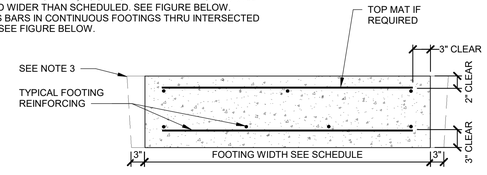
## CONCRETE FOOTING SCHEDULE

| MARK* | WIDTH | LENGTH | DEPTH | REINFORCING CROSSWISE | | | | REINFORCING LENGTHWISE | | | | REMARKS |
|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | | | | NO. | SIZE | LENGTH | SPACING | NO. | SIZE | LENGTH | SPACING | |
| FC1.5 | 1'-6" | CONT. | 1'-0" | - | - | - | - | 2 | #4 | CONT. | EQUAL | |
| FC2.0 | 2'-0" | CONT. | 1'-0" | - | - | - | - | 3 | #4 | CONT. | EQUAL | |
| FC2.5 | 2'-6" | CONT. | 1'-0" | - | - | - | - | 4 | #4 | CONT. | EQUAL | |
| FC3.0 | 3'-0" | CONT. | 1'-3" | - | #5 | 2'-6" | 9" O.C. | 4 | #5 | CONT. | EQUAL | REINFORCE TOP AND BOTTOM |
| FC5.5 | 5'-5" | CONT. | 1'-6" | - | #5 | 5'-0" | 9" O.C. | 7 | #5 | CONT. | EQUAL | REINFORCE TOP AND BOTTOM |
| FC6.0 | 6'-0" | CONT. | 1'-6" | - | #5 | 5'-6" | 9" O.C. | 8 | #5 | CONT. | EQUAL | REINFORCE TOP AND BOTTOM |
| FS2.5 | 2'-6" | 2'-6" | 1'-0" | 3 | #5 | 2'-0" | EQUAL | 3 | #5 | 2'-0" | EQUAL | |
| FS3.0 | 3'-0" | 3'-0" | 1'-0" | 3 | #5 | 2'-6" | EQUAL | 3 | #5 | 2'-6" | EQUAL | |
| FS4.5 | 4'-6" | 4'-6" | 1'-3" | 5 | #5 | 4'-0" | EQUAL | 5 | #5 | 4'-0" | EQUAL | REINFORCE TOP AND BOTTOM |
| FS5.5 | 5'-6" | 5'-6" | 2'-6" | 12 | #5 | 5'-0" | EQUAL | 12 | #5 | 5'-0" | EQUAL | REINFORCE TOP AND BOTTOM |

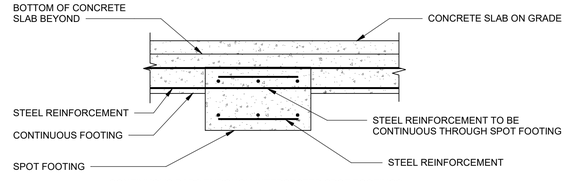
NOTES:
1. PLACE REINFORCING IN THE BOTTOM OF THE FOOTING WITH 3" CLEAR CONCRETE COVER (UNLESS NOTED OTHERWISE). USE ADOBE BLOCKS.
2. TOP REINFORCING, WHERE SPECIFIED, SHALL BE PLACED IN THE TOP OF THE FOOTING WITH 2" MINIMUM CONCRETE COVER.
3. IF FOOTINGS ARE EARTH-FORMED, FOOTING WIDTH AND LENGTH SHALL BE 6" LONGER AND WIDER THAN SCHEDULED. SEE FIGURE BELOW.
4. RUN CONTINUOUS BARS IN CONTINUOUS FOOTINGS THRU INTERSECTED SPOT FOOTINGS. SEE FIGURE BELOW.

*FOOTING TYPES

FC = CONTINUOUS FOOTING
FS = SPOT FOOTING




TYPICAL FOOTING SECTION




CONTINUOUS BARS THROUGH INTERSECTED SPOT FOOTINGS

# SCHEDULE C

## SCHEDULE OF CONSTRUCTION MATERIALS

### CONCRETE

| LOCATION | 28 - DAY COMPRESSIVE STRENGTH |
|---|---|
| EXTERIOR CONCRETE (EXPOSED TO FREEZING AND/OR DE-ICERS) | 4,500 P.S.I. MIX TYPE E |
| FOOTINGS (NOT EXPOSED TO FREEZING AND/OR DE-ICERS | 4,500 P.S.I. MIX TYPE A |
| FOUNDATION WALLS (EXPOSED TO FREEZING AND DE-ICERS) | 4,500 P.S.I. MIX TYPE E |
| FOUNDATION WALLS (NOT EXPOSED TO FREEZING AND DE-ICERS) | 4,500 P.S.I. MIX TYPE D |
| INTERIOR SLABS ON GRADE | 4,500 P.S.I. MIX TYPE E |

NOTES: 1. CONCRETE STRENGTH USED IN DESIGN IS 2500 P.S.I. 2. SEE SPECIFICATIONS 03-3000 FOR DEFINITION OF MIX TYPE. 3. CEMENT TYPE TO BE TYPE V

### REINFORCING STEEL

| FIELD BENT BARS | ALL OTHER BARS |
|---|---|
| ASTM A615, GRADE 60 (SEE LAP SPLICE SCHEDULE D/S602 FOR LAP LENGTHS) | ASTM A615, GRADE 60 (SEE LAP SPLICE SCHEDULE D/S602 FOR LAP LENGTHS) |

### WOOD[1,2,3,4]

DIMENSION LUMBER

| APPLICATION | SPECIES GROUP AND MINIMUM GRADE | | (ANY SPECIES AND GRADE LISTED MAY BE USED FOR ANY OF THE DESCRIBED APPLICATIONS). |
|---|---|---|---|
| TOP PLATES, STRUTS, ROOF JOISTS, FLOOR JOISTS, MISC. FRAMING, HEADERS, BEAMS, LEDGERS | DOUGLAS FIR-LARCH<br>HEM FIR<br>SOUTHERN PINE<br>MSR | #2 OR BETTER<br>#1 OR BETTER<br>#2 OR BETTER<br>1650F - 1.5E OR BETTER | |
| BLOCKING | DOUGLAS FIR-LARCH<br>HEM FIR<br>SOUTHERN PINE<br>MSR | #2 OR BETTER<br>#2 OR BETTER<br>#2 OR BETTER<br>1650F - 1.5E OR BETTER | |
| POSTS AND TIMBERS 5" x 5" AND LARGER | DOUGLAS FIR-LARCH<br>SOUTHERN PINE | #1 OR BETTER<br>#1 OR BETTER | |
| SILL PLATES | DOUGLAS FIR-LARCH<br>HEM FIR<br>SOUTHERN PINE<br>SCL | 2x4, 1 1/2"x3 1/2" SCL<br>STANDARD OR BETTER<br>STANDARD OR BETTER<br>STANDARD OR BETTER<br>1.3E | 2x6, 2x8, 2x10, 1 1/2"x9 1/2" SCL, 1 1/2"x11 7/8" SCL<br>#2 OR BETTER<br>#2 OR BETTER<br>#2 OR BETTER<br>1.5E |
| TRUSSED RAFTERS (CHORDS AND WEBS) | SPRUCE PINE FIR<br>DOUGLAS FIR-LARCH<br>HEM FIR<br>SOUTHERN PINE<br>MSR | #2 OR BETTER<br>#2 OR BETTER<br>#1 OR BETTER<br>#2 OR BETTER<br>165F - 1.5E OR BETTER | |
| EXTERIOR WALL STUDS AND INTERIOR STRUCTURAL WALL STUDS | DOUGLAS FIR-LARCH<br>HEM FIR<br>SOUTHERN PINE<br>SCL | 2x4<br>#2 OR BETTER<br>#1 OR BETTER<br>#2 OR BETTER | 2x6<br>#2 OR BETTER<br>#1 OR BETTER<br>#2 OR BETTER |
| INTERIOR NON-STRUCTURAL WALL STUDS | DOUGLAS FIR-LARCH<br>HEM FIR<br>SOUTHERN PINE | 2x4<br>STANDARD, UTILITY, CONSTRUCTION, OR BETTER<br>STANDARD, UTILITY, CONSTRUCTION, OR BETTER<br>STANDARD, UTILITY, CONSTRUCTION, OR BETTER | 2x6<br>#2 OR BETTER<br>#2 OR BETTER<br>#2 OR BETTER |

STRUCTURAL COMPOSITE LUMBER (SCL) SUCH AS LVL AND LSL

| | MINIMUM PROPERTY VALUES[1] - P.S.I. | | | | |
|---|---|---|---|---|---|
| | Fb | Fv | Fc⊥ | Fc\|\| | E x $10^6$ |
| 1-1/2" x = 5-1/2" (SEE NOTE 4 AND 5) | 1,700 | 220 | 575 | 1,400 | 1.3 |
| 1-1/2" x ALL OTHER DEPTHS (SEE NOTE 4 AND 5) | 2,250 | 220 | 575 | 1,950 | 1.5 |
| 1-3/4" x ALL DEPTHS | 2,600 | 285 | 750 | 2,350 | 1.9 |
| 3-1/2" x ALL DEPTHS | 1,700 | 285 | 680 | 1,400 | 1.3 |

GLU-LAM COLUMNS

| | MINIMUM PROPERTY VALUES[1] - P.S.I. | | | | |
|---|---|---|---|---|---|
| | Fb | Fv | Fc⊥ | Fc\|\| | E x $10^6$ |
| 5 1/8" x ALL DEPTHS | 2,400 | 265 | 650 | 1,800 | 2.0 |

GLUED LAMINATED BEAMS

| | MINIMUM PROPERTY VALUES[1] - P.S.I. | | | | |
|---|---|---|---|---|---|
| | Fb TENSION ZONE | Fb COMPRESSION ZONE STRESSED IN TENSION | Fv | Fc | E x $10^6$ |
| 24F-V4 DF/DF OR 24F-E4 SP/SP WITH STRESS CLASS 24F-1.8E EXCEPT AT BM, USE 24F-V8 | 2400 | 2400 | 265 | 1600 | 1.8 |

NOTES:
1. DESIGN VALUES ARE FOR NORMAL DURATION. REPETITIVE FRAMING FACTORS AND SIZE FACTORS HAVE NOT BEEN APPLIED.
2. 1 3/4" MEMBERS MAY BE USED TO REPLACE 1 1/2" SCL MEMBERS. ADJUST DIMENSIONS IN PLANS AND DETAILS ACCORDINGLY.
3. LIMIT THE MODULUS OF ELASTICITY OF 1 1/2" LSL MEMBERS TO 1.55x$10^6$ psi.
4. LSL WOOD IS HARDER AND DENSER THAN LVL WOOD. FRAMER MUST HAVE EQUIPMENT THAT WILL DRIVE NAILS COMPLETELY INTO WOOD.

### STRUCTURAL STEEL

| ITEM | SPECIFICATION |
|---|---|
| WIDE FLANGE SHAPES | ASTM A992, Fy = 50KSI |
| HOLLOW STRUCTURAL SECTIONS SQUARE | ASTM A500, GRADE B, Fy = 46KSI |
| OTHER SHAPES AND PLATE | ASTM A36 |
| BOLTED CONNECTIONS | ASTM A-325 WITH ASTM A563 NUTS AND ASTM F436 WASHERS |
| ANCHOR BOLTS | ASTM F1554, GRADE 36 WITH ASTM A563 HEAVY HEX NUTS AND HARDENED GRADE A WASHERS |
| THREADED WELDED STUDS (TWS) | ASTM A29, TYPE A. |

# SCHEDULE D

## LAP SPLICE SCHEDULE

| BAR SIZE | BAR OVERLAP | BAR SIZE | BAR OVERLAP | BAR SIZE | BAR OVERLAP |
|---|---|---|---|---|---|
| #3 | 18" | #4 | 24" | #5 | 30" |
| #6 | 36" | #7 | 42" | #8 | 48" |

# SCHEDULE E

## CONCRETE PROTECTION FOR REINFORCEMENT

| | | |
|---|---|---|
| CONCRETE PLACED AGAINST AND PERMANENTLY EXPOSED TO EARTH | ALL APPLICATIONS EXCEPT SLABS ON GRADE | 3" |
| | SLABS ON GRADE - CLEAR DISTANCE FROM TOP OF SLAB | 1" |
| CONCRETE EXPOSED TO EARTH OR WEATHER | #6 BARS AND LARGER | 2" |
| | #5 BARS AND SMALLER | 1 1/2" |
| NOTES | TOLERANCE FOR CONCRETE COVER AND REINFORCEMENT LOCATION IS ±3/8" | |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PROFESSIONAL ENGINEER
04/12/2024
No. 11146591
ADAM W. EASTMAN
STATE OF UTAH

LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

JOB NUMBER: 24-7060
OWNER:
THE CHURCH OF JESUS CHRIST OF LDS
DATE: 04/12/24

| REV | DATE | DESCRIPTION |
|---|---|---|

SCHEDULES

**S601**

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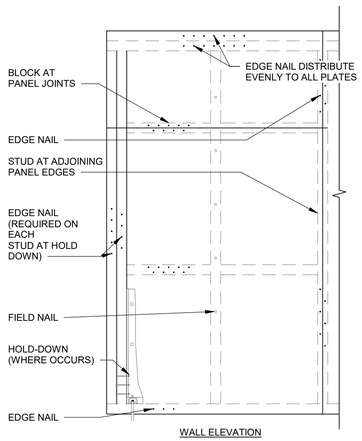
# SCHEDULE A

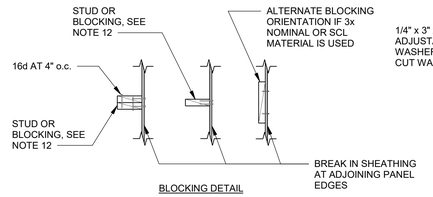
## STRUCTURAL WOOD WALL SCHEDULE

| MARK | NOMINAL STUD SIZE[12,13] | STUD SPACING | SILL PLATE[4,5] | TOP PLATES[19] | WOOD SHEATHING THICKNESS[12,14,15,16,17,18] | COMMENT | EDGE NAILING[5,6,7,8] | SILL PLATE ATTACHMENT[1,2] |
|---|---|---|---|---|---|---|---|---|
| W4-A | 2x4 | 16" | 2x4 | (2) 2x4 | --- | | --- | POWDER ACTUATED FASTENER AT 24" ON CENTER[3] |
| | | | | | | | | |
| | | | | | | | | |
| W6-A | 2x6 | 16" | 2x6 | (2) 2x6 | --- | | --- | POWDER ACTUATED FASTENER AT 24" ON CENTER |
| W6-B[9,10] | 2x6 | 16" | 2x6[11] | (2) 2x6 | 7/16" | | 6" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 32" ON CENTER |
| W6-C[9,10] | 2x6 | 16" | 2x6 | (2) 2x6 | 7/16" | | 4" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 32" ON CENTER |
| W6-D | 2x6 | 12" | 2x6 | (2) 2x6 | 7/16" | | 4" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 32" ON CENTER |
| W6-E | 1 3/4"x5 1/2" LVL | 16" | 1 1/2"x5 1/2" SCL | (2) 1 1/2"x5 1/2" SCL | --- | | --- | POWDER ACTUATED FASTENER AT 24" ON CENTER[3] |
| W6-F | 1 3/4"x5 1/2" LVL | 16" | 1 1/2"x5 1/2" SCL | (2) 1 1/2"x5 1/2" SCL | 7/16" | | 6" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 32" ON CENTER |
| W6-G | 2x6 | 16" | 2x6 | (2) 2x6 | 7/16" | | 4" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 32" ON CENTER |
| | | | | | | | | |
| W8-A | 1 1/2" x 7 1/4" SCL | 16" | 1 1/2"x7 1/4" SCL[11] | (2) 1 1/2"x7 1/4" SCL | 7/16" | | 4" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 32" ON CENTER |
| W8-B | 1 1/2" x 7 1/4" SCL | 16" | 1 1/2"x7 1/4" SCL[11] | (2) 1 1/2"x7 1/4" SCL | 15/32" | | 2" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 18" ON CENTER |
| W8-C | 1 1/2" x 7 1/4" SCL | 16" | 1 1/2"x7 1/4" SCL[11] | (2) 1 1/2"x7 1/4" SCL | 15/32" | DOUBLE SIDED | 2" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 18" ON CENTER |
| W10-A | 1 3/4" x 9 1/2" LVL | 16" | 1 1/2"x9 1/2" SCL[11] | (2) 1 1/2"x9 1/2" SCL | 7/16" | | 4" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 32" ON CENTER |
| W10-B | 1 3/4" x 9 1/2" LVL | 16" | (2) 1 1/2"x9 1/2" SCL[11] | (2) 1 1/2"x9 1/2" SCL | 15/32" | DOUBLE SIDED | 2" | 5/8" DIAMETER x 8" EMBEDMENT ANCHOR AT 18" ON CENTER |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |

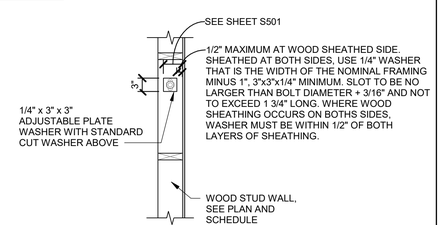
NOTES:
1. ALL ANCHOR BOLTS AT SILL PLATE ATTACHMENT SHALL HAVE A 1/4" x 3" x 3" MINIMUM WASHER BETWEEN THE SILL PLATE AND THE ANCHOR NUT. SEE ANCHOR BOLT PLATE WASHER DETAIL ON THIS SCHEDULE.
2. 5/8" DIAMETER SILL PLATE ANCHOR BOLTS MAY BE REPLACED WITH POST-INSTALLED ADHESIVE ANCHORS, POST-INSTALLED DRILLED-IN MECHANICAL ANCHORS (EXPANSION BOLTS) OR POST-INSTALLED SCREW ANCHORS. REFER TO SPECIFICATION SECTION 03 1511 FOR ACCEPTABLE PRODUCTS. NOTIFY ENGINEER OF ANCHOR SELECTED FOR EMBEDMENT, SPACING AND OTHER INSTALLATION REQUIREMENTS.
3. POWDER ACTUATED FASTENERS TO BE HILTI 'X-DNI 72P8' OR EQUIVALENT.
4. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
5. FASTENERS FOR PRESERVATIVE AND TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICONE BRONZE, OR COPPER, UNLESS WOOD IS BORATE TREATED.
   a. EXCEPTION: PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS, IN SBX/DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN ANY INTERIOR, DRY ENVIRONMENT IS PERMITTED.
6. ALL NAILS TO BE HEAD MARKED FOR EASY IDENTIFICATION AFTER INSTALLATION.
7. ALL NAILS ATTACHING WOOD SHEATHING TO WALLS TO BE 10d (3" x 0.148" DIAMETER).
8. FIELD NAIL SPACING TO BE 6" ON CENTER.
9. SPECIAL INSPECTION IS REQUIRED.
10. A 3x NOMINAL STUD REQUIRED AT PANEL EDGE.
11. WHERE NAIL SPACING IS 4" OR LESS, MEMBERS AT ADJOINING PANEL EDGES SHALL NOT BE LESS THAN 3" NOMINAL. JOINT AND SILL NAILING SHALL BE STAGGERED.
   a. AS AN ALTERNATE TO USING A 3x NOMINAL STUD OR SILL PLATE, USE (2) 2x MEMBERS SPIKED TOGETHER WITH 16d NAILS AT 3" ON CENTER, STAGGERED.
      1. AT WALLS REQUIRING 3x SILL PLATE, IT IS PERMISSIBLE TO USE A TREATED 2x MEMBER IN CONTACT WITH THE CONCRETE AND AN UNTREATED 2x MEMBER ON TOP
   b. WHERE WOOD SHEATHING IS APPLIED ON BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" ON CENTER ON EITHER SIDE, WOOD SHEATHING JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT STUDS. ALTERNATIVELY, THE WIDTH OF THE NAILED FACE OF STUDS SHALL BE 3" NOMINAL OR GREATER AT ADJOINING WOOD SHEATHING EDGES AND NAILS AT ALL WOOD SHEATHING EDGES SHALL BE STAGGERED.
12. AT EXTERIOR WALLS, COORDINATE WITH ARCHITECTURAL DETAILS WHERE SHEATHING IS REQUIRED TO EXTEND HIGHER THAN TOP PLATES FOR OTHER EXTERIOR FINISHES.
13. FOR LUMBER WALLS TALLER THAN 15'-0", CHANGE LUMBER MATERIAL TO SCL MATERIAL IF NOT ALREADY SCHEDULED AS SUCH.
14. WALL SHEATHING MAY BE INSTALLED WITH THE LONG DIRECTION HORIZONTAL OR VERTICAL.
15. SHEATHING MAY BE INSTALLED IN STACKED INSTEAD OF RUNNING PATTERN AT CONTRACTOR'S OPTION.
16. ALL SHEATHING SHALL HAVE A SPAN RATING OF 24/16 OR BETTER UNLESS OTHERWISE NOTED.
17. ALL WALL SHEATHING SHALL COMPLY WITH PS1-95 OR PS2-92
18. SOLID BLOCK ALL WOOD WALL SHEATHING PANEL JOINTS, SEE BLOCKING DETAIL THIS SCHEDULE.
19. SEE DETAIL 1/S521 FOR TOP PLATE SPLICE DETAIL.
20. FOR INTERIOR WALLS, LOCATE ANCHOR BOLTS IN CENTER OF WALL. AT EXTERIOR WALLS, LOCATE ANCHOR BOLTS FOLLOWING THE PROVIDED SCHEDULE BELOW. AT DOUBLE SIDED WALL, REFER TO ANCHOR BOLT PLATE WASHER DETAIL FOR MORE INFORMATION.
21. ATTACH WALL STUDS WITH (4) 16d NAILS AT 18"o.c.
22. PROVIDE (2) 2X6 STUDS ATTACHED TO SCL STUD AT EDGE NAILING CLOSER THAN 3" O.C., SEE DETAIL 8/S52



WALL ELEVATION



BLOCKING DETAIL



ANCHOR BOLT PLATE WASHER DETAIL

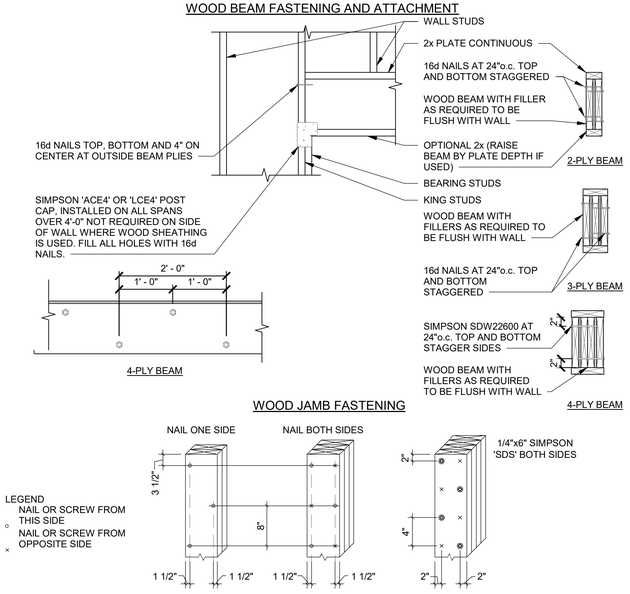
# SCHEDULE B

## BEAM SCHEDULE

| MARK | SIZE[2,3] | MATERIAL | JAMB[1,4,7] | | COMMENTS |
|---|---|---|---|---|---|
| | | | BEARING STUDS[5] | KING STUDS[6] | |
| BM-1 | (3) 2x6 | DF-L #2 | (1) | (1) | TYPICAL EXTERIOR WINDOW AND DOOR HEADER |
| BM-2 | (3) 2x12 | DF-L #2 | (2) | (2) | ROSTRUM WINDOWS |
| BM-3 | (3) 2x8 | DF-L #2 | (1) | (1) | SOUTH EXTERIOR WINDOWS |
| BM-4 | (3) 2x10 | DF-L #2 | (1) | (2) | WINDOWS WITH LONGEST TRIB |
| BM-5 | (3) 1 3/4" x 9 1/4" | SCL | (2) | -- | BEAM BETWEEN WALLS IN PLATFORM |
| BM-6 | (3) 1 3/4" x 11 1/4" | SCL | (2) | -- | BEAM SPANNING FOYER |
| BM-7 | (3) 1 3/4" x 9 1/4" | SCL | (2) | -- | INTERIOR FULL LENGTH WALL 8' OPENING |
| BM-8 | (3) 1 3/4" x 11 1/4" | SCL | (3) | -- | INTERIOR FULL LENGTH WALL 9' OPENING |
| BM-9 | (2) 2x6 | DF-L #2 | (2) | (3) | NORTH EXTERIOR WINDOW |
| BM-10 | (2) 2x10 | DF-L #2 | (2) | -- | TYPICAL INTERIOR NON-FULL HEIGHT WALL |
| BM-11 | (3) 2x10 | DF-L #2 | (2) | (3) | SOUTH EXTERIOR WINDOWS WITH HIGH WALL |
| BM-12 | (2) 2x10 | DF-L #2 | (1) | (1) | NORTH VESTIBULE DOORS |
| BM-13 | (3) 2x10 | DF-L #2 | (1) | (2) | SOUTH ENTRANCE BEAM |
| BM-14 | (2) 1 3/4" x 11 1/4" | SCL | (2) | (1) | INTERIOR FULL WALL HEIGHT DOOR BEAM |
| BM-15 | (2) 2x6 | DF-L #2 | (1) | (1) | INTERIOR FULL WALL HEIGHT SOUTHDOOR BEAM |
| BM-16 | (2) 2x10 | DF-L #2 | (2) | -- | BEAM AT END OF PLATFORM |
| BM-17 | (2) 2x8 | DF-L #2 | (1) | (1) | FULL HEIGHT INTERIOR WALL AT ROOM 134 & 120 |
| BM-18 | (2) 2x6 | DF-L #2 | (1) | (1) | DOOR IN VESTIBULE |
| BM-19 | W24x84 | STEEL | HSS5x5x3/16 | -- | GYMNASIUM SKYFOLD PARTITION DOOR |
| BM-20 | (2) 2x6 | DF-L #2 | (1) | (1) | MOTHERS ROOM TO ROOM 134 |
| BM-21 | (3) 2x10 | DF-L #2 | (1) | (1) | SOUTH BETWEEN ENTRANCE AND VESTIBULE |
| BM-22 | (3) 1 3/4" x 11 1/4" | SCL | (2) | (2) | BETWEEN ENTRANCE AND VESTIBULE |
| BM-23 | (3) 1 3/4" x 9 1/2" | SCL | (5) | -- | BEAM CONNECTING PLATFORM END TO EXTERIOR WALL |
| BM-24 | (2) 2x6 | DF-L #2 | (1) | (2) | ROOM 120 & 134 EAST WEST WINDOWS |
| BM-25 | (3) 1 3/4" x 9 1/4" | SCL | (5) | -- | BEAM CONNECTING FAMILY BATHROOM TO BM23 POST |
| BM-26 | (2) 2x6 | DF-L #2 | (1) | (1) | TYPICAL DOOR HEADER FOR STORAGE BUILDING |
| BM-27 | (2) 1 3/4" x 9 1/2" | SCL | (3) | -- | REAR ENTRY HALL AT CEILING HEIGHT CHANGE |
| BM-28 | (2) 1 3/4" x 7 1/4" | SCL | (2) | -- | REAR ENTRY |
| BM-29 | W18x76 OR 21x55 | STEEL | HSS5x5x3/16 | -- | CHAPEL/C.H. - SKYFOLD PARTITION DOOR |
| BM-30 | (4) 1 3/4" x 7 1/4" | SCL | (4) | -- | PARTITION DOOR BEAM |
| BM-31 | (4) 1 3/4" x 14" | SCL | -- | -- | STEEPLE BEAM - SEE S401 |
| BM-32 | (3) 2x8 | DF-L #2 | -- | -- | FOYER LIGHT COVE BEAM |
| BM-33 | (3) 1 3/4" x 16" | SCL | (4) | -- | BEAM SUPPORTING TRUSSES NEXT TO GLD |

NOTES:
1. SEE STRUCTURAL WOOD WALL SCHEDULE FOR JAMB MATERIAL AND NOMINAL SIZE.
2. USE FILLERS AS NEEDED TO HAVE ALL BEAMS OR HEADERS MATCH WIDTH OF WALL IN WHICH BEAM IS LOCATED.
3. BEAMS OF MULTIPLE MEMBERS MAY BE REPLACED WITH A SINGLE MEMBER OF EQUIVALENT SIZE AND MATERIAL PROPERTIES.
4. SEE NAILING PATTERN SHOWN IN WOOD JAMB FASTENING FOR MULTIPLE-PLY BEARING AND KING STUDS.
5. USE 16d NAILS TO BUILD UP 2 OR 3 STUD COLUMNS.
   - ADJACENT NAILS ARE TO BE DRIVEN FROM OPPOSING SIDES OF COLUMN.
   - 3 1/2" WIDE COLUMNS REQUIRE ONE ROW OF STAGGERED NAILS. ALL OTHER COLUMNS REQUIRE TWO ROWS OF NAILS.
6. KING STUDS EXTEND FROM TOP OF SILL PLATE TO BOTTOM OF TOP WALL PLATES.
7. BEARING STUDS EXTEND FROM TOP OF SILL PLATE TO BOTTOM OF BEAM OR HEADER.

### WOOD BEAM FASTENING AND ATTACHMENT




### WOOD JAMB FASTENING





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PROFESSIONAL ENGINEER
04/12/2024
No. 11146591
ADAM W. EASTMAN
STATE OF UTAH

LORIN FARR STORAGE BUILDING

770 15th STREET
OGDEN, UTAH

**JOB NUMBER:** 24-7060
**OWNER:** THE CHURCH OF JESUS CHRIST OF LDS
**DATE:** 04/12/24

| REV | DATE | DESCRIPTION |
|---|---|---|

SCHEDULES

**S602**

4/9/2024 1:10:29 PM

# SCHEDULE A

## REQUIRED NAIL TYPES

ALL NAILS NOTED ON THE DRAWINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE.

| NAIL SIZE | STANDARD LENGTH (INCHES) | DIAMETER (INCHES) | MINIMUM PENETRATION REQUIRED INTO MAIN MEMBER (INCHES) |
|---|---|---|---|
| 8d | 2 1/2 | .131 | 1 3/8 |
| 10d | 3 | .148 | 1 1/2 |
| 16d | 3 1/4 | .148 | 1 1/2 |

NOTES:
1. EXCEPT WHERE NOTED OTHERWIDE, THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THAT SET FORTH IN IBC TABLE 2304.9.1
   a. CONNECTION FOR MULTIPLE PIECES OF ENGINEERED LUMBER PIECES SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
   b. WHERE 16d COMMON NAILS ARE CALLED OUT IN IBC TABLE 2304.9.1 USE 16d BOX NAILS.
2. ALL NAILS NOTED ON THE DRAWINGS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE; NAILS FOR 3RD PARTY HARDWARE SHALL BE AS REQUIRED BY MANUFACTURER OF HARDWARE.
3. ALL FASTENERS FOR PRESERVATIVE AND FIRE RETARDENT TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICONE BRONZE, OR COPPER, UNLESS WOOD IS BORATE TREATED. EXCEPTION: PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS, IN SBX/DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT AREPERMITTED.
4. NAILS USED IN SIMPSON HARDWARE (OR HARDWARE OF EQUAL VALUE) SHALL BE AS SPECIFIED BY THE MANUFACTURER.
5. OTHER FASTENERS MAY BE USED TO REPLACE NAILS BUT THEY MUST HAVE EQUIVALENT, OR LARGER, DIAMETERS AND PENETRATION LENGTHS.

# SCHEDULE B

## DEFERRED SUBMITTALS

FOR THE PURPOSE OF THIS SECTION, DEFERRED SUBMITTALS ARE DEFINED PER THE IBC. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ENGINEER, ARCHITECT, AND BUILDING OFFICIAL FOR THEIR REVIEW FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. DEFERRED STRUCTURAL SUBMITTALS FOR THIS PROJECT ARE:
1. PREFABRICATED METAL PLATE WOOD TRUSSES
2. STEEPLE FRAMING

# SCHEDULE C

## WIND COMPONENTS AND CLADDING

| WIND ZONE | COMPONENTS AND CLADDING NEGATIVE PRESSURE EFFECTIVE WIND AREA (SQ FT.) | | | | |
|---|---|---|---|---|---|
| | 10 sq ft. | 20 sq ft. | 50 sq ft. | 100 sq ft. | 500 sq ft. |
| 1 | 42.8 | 42.8 | 36.8 | 32.2 | 25.0 |
| 2 | 68.3 | 59.8 | 48.6 | 40.1 | 35.2 |
| 3 | 79.7 | 67.1 | 50.4 | 50.4 | 50.4 |
| 4 | 32.6 | 31.3 | 29.5 | 28.1 | 25.0 |
| 5 | 40.3 | 37.5 | 34.0 | 31.3 | 25.0 |

# SCHEDULE D

## TYPICAL BLOCKING SCHEDULE

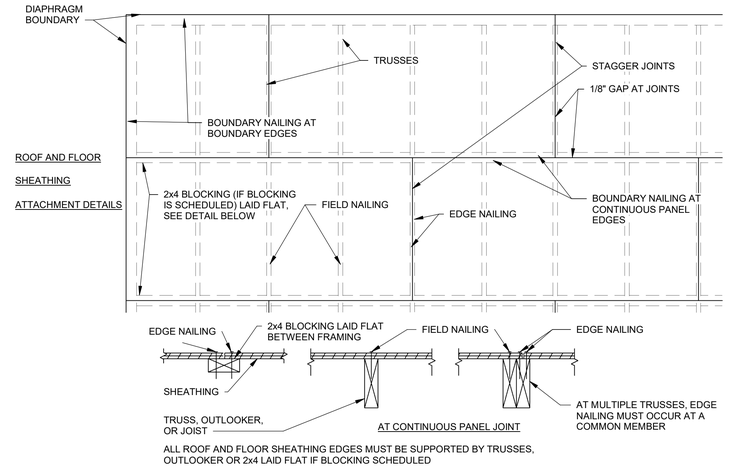
| | |
|---|---|
| DOOR STOPS | STAIR BLOCKING |
| VISUAL DISPLAYS | DECORATIVE METAL BETWEEN WINDOWS |
| MARKER BOARDS | DRINKING FOUNTAINS |
| TACK BOARDS | WALL HUNG SINKS |
| BABY CHANGING STATIONS | ROSTRUM |
| EXIT SIGNS | DECORATION HOOKS |
| CHAIR RAIL | JANITOR SHELVING |
| COAT RACKS | RA VENTS AT ENTRIES |
| CABINETS | COLUMNS AT ENTRIES |
| SOUND PANELS | CAN LIGHTS AT ENTRIES |
| TOILET PARTITIONS | HYMN BOOK SHELVES |
| HANDICAP BARS | DIMMER SWITCHES IN GYM |
| BATHROOM ACCESSORIES | CURTAIN AT STAGE |
| TOWEL DISPENSORS | CURTAINS IN OFFICES |
| TOILET PAPER HOLDERS | JANITOR TAP AND HOSE HARDWARE |
| NAPKIN HOLDERS | FONT MIRRORS |
| SHELVES | FONT HANDRAILS |
| MIRRORS | FONT BENCHES |
| COUNTERS | CLOTHING HOOKS |
| COUNTER BRACKETS | FONT GLASS SCREEN |
| ACCESS PANELS | CHAIR STORAGE SHELVING |
| HANDRAILS | INTERIOR SOFFIT FOR SIX PIECE CORNICE |
| FIRE CABINETS | WATER HEATERSEISMIC STRAPS (2) UNISTRUT. RUNNING PARALLEL TO FRAMING |
| WALL MOUNTED HANDRAILS | |

# SCHEDULE E

## SHEATHING TYPE AND NAILING SCHEDULE

| LOCATION | SHEATHING | EDGE NAILING[1] | FIELD NAILING[1] | BOUNDARY NAILING[2] | BLOCKING AT PANEL EDGES |
|---|---|---|---|---|---|
| ROOF, UNBLOCKED | 19/32" 40/20 SPAN RATING PLYWOOD | 10d AT 6"o.c. | 10d AT 6"o.c. | 10d AT 6"o.c. | NO |
| ROOF, BLOCKED[4] TYPE 1 | 19/32" 40/20 SPAN RATING PLYWOOD | 10d AT 4"o.c. | 10d AT 6"o.c. | 10d AT 6"o.c. | YES |
| EQUIPMENT[3] PLATFORM | 23/32" 48/24 SPAN RATING T&G | 10d AT 6"o.c. | 10d AT 12"o.c. | 10d AT 6"o.c. | NO |
| ROSTRUM[3] | (2) LAYERS 19/32" 40/20 SPAN RATING | 10d AT 6"o.c. | 10d AT 12"o.c. | 10d AT 6"o.c. | NO |
| PLATFORM[3] | (2) LAYERS 19/32" 40/20 SPAN RATING | 10d AT 6"o.c. | 10d AT 12"o.c. | 10d AT 6"o.c. | NO |
| WALLS | SEE WOOD WALL SCHEDULE | | | | |

NOTES:
1. SEE PARTIAL PLAN BELOW FOR LOCATION OF BOUNDARY, EDGE, AND FIELD NAILING.
2. ALL FASTENERS FOR PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE HOT DIPPED SINZ COATED GLAVANIZED STEEL, STAINLESS STEEL, SILICONE BRONZE, OR COPPER, UNLESS WOOD IS BORATE TREATED. EXCEPTION: PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS, IN SBX/DOT AND ZINC BORATE PRESERVATIVE- TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT ARE PERMITTED.
3. FOR EQUIPMENT PLATFORM, ROSTRUM, AND PLATFORM SHEATHING SHALL BE GLUED AND NAILED TO THE STRUCTURE.
4. INSPECTION REQUIRED.

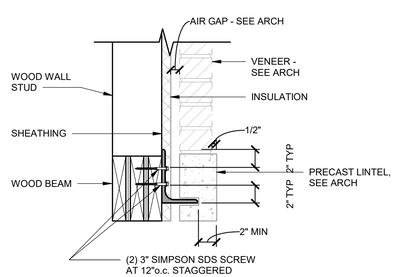



ALL ROOF AND FLOOR SHEATHING EDGES MUST BE SUPPORTED BY TRUSSES, OUTLOOKER OR 2x4 LAID FLAT IF BLOCKING SCHEDULED

# SCHEDULE F

## STEEL ANGLE LINTEL SCHEDULE FOR VENEER

| CLEAR OPENING | SIZE OF ANGLE |
|---|---|
| UP TO 7'-0" | 4" x 4" x 3/8" |
| 7'-1" TO 9'-0" | 6" x 4" x 5/16" |
| 9'-1" TO 10'-0" | 6" x 4" x 5/16" |
| 10'-1" TO 11'-0" | 6 x 4" x 3/8" |
| 11'-1" TO 12'-0" | 6" x 4" x 7/16" |
| 12'-1" TO 13'-0" | 8" x 4" x 7/16" |
| 13'-1" AND OVER | REQUIRES SPECIAL ANALYSIS, CONTACT ENGINEER |




NOTES:
1. LINTELS CARRY BRICK VENEER OR STONE ONLY.
2. WHERE FLOORS, ROOFS, OR CONCENTRATED LOADS OCCUR ABOVE, FURTHER ANALYSIS IS NECESSARY. CONTACT ARCHITECT AND ENGINEER.
3. ANGLES ARE TO BE HOT DIPPED GALVANIZED AND "PAINTED".
4. ANGLE ARE TO BE ORIENTED WITH 4" LEG HORIZONTAL.
5. ANCHOR ANGLES TO BEAMS, HEADERS, TOP-PLATES, ETCETERA WITH (2) 3" SDS SCREW AT 12"o.c., STAGGERED.
6. AT LOCATIONS WHERE ANGLE IS USED FOR BRICK VENEER OR STONE AT STUD WALL, USE 3x12 BLOCKING BEHIND ANGLE LOCATION.
7. AT LOCATIONS WHERE ANGLE EXTENDS BEYOND OPENING AND BEARS ON BRICK PROVIDE 1" OF BEARING EACH END FOR EACH FOOT OF SPAN. MINIMUM BEARING OF 6" EACH SIDE OF OPENING.
8. 14' MAX HEIGHT BETWEEN LINTELS.

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LORIN FARR STORAGE BUILDING

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| REV | DATE | DESCRIPTION |
|---|---|---|

SCHEDULES

**S603**

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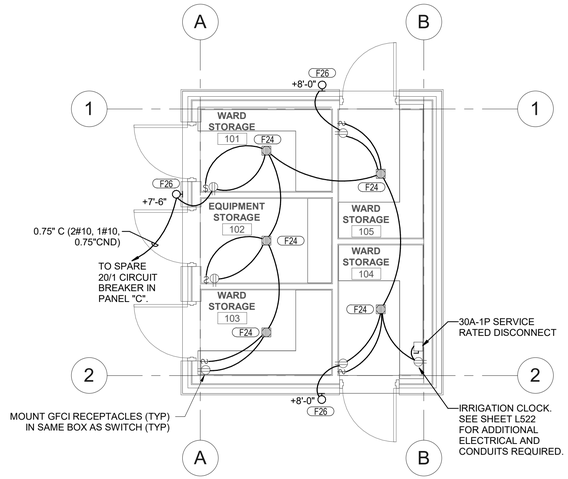
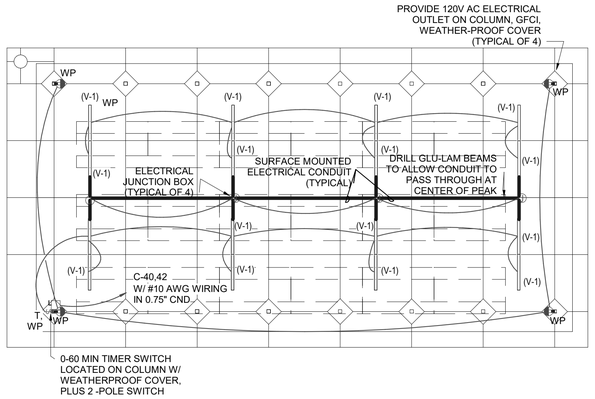



## C2 STORAGE BUILDING - ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

0 2' 4' 8'




## 1 PAVILION ELECTRICAL PLAN

SCALE: NTS

### LIGHTING FIXTURE SCHEDULE

| ID | DESCRIPTION | LUMINAIRE | | DRIVER | | MANUFACTURER (CATALOG SERIES) |
|---|---|---|---|---|---|---|
| | | DELIVERED DIRECT LUMENS | COLOR TEMP | VOLTAGE | WATTS | |
| (V-1) | DESCRIPTION: VANDAL RESISTANT, OUTDOOR RATED<br>MOUNTING: SURFACE<br>FINISH: SCBA<br>OPTICS:<br>OPTIONS:<br>EM: | 4,000 | 4000K | 120V | 50 | KENALL MLHA12-48-R-MW-PP-45L35K-DCC-1-120<br>NEW STAR VIC-4-W-L3-40-1C-RW-12-WH-DM<br>VISCOR VRSE-3556. |

## GENERAL SHEET NOTES

## SHEET KEYNOTES

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LICENSED PROFESSIONAL ENGINEER
No. 5148728
DAVID G. HINCKLEY
5-2-24
STATE OF UTAH

# LORIN FARR PAVILION #502-1089

788 EAST 15TH STREET, OGEN, UTAH

PERMIT SET

| | |
|---|---|
| JOB NUMBER: | 502-1089 |
| OWNER: | LDS CHURCH |
| DATE: | 04/29/24 |

| REV | DATE | DESCRIPTION |
|---|---|---|

ELECTRICAL PLAN

**E110.1**