

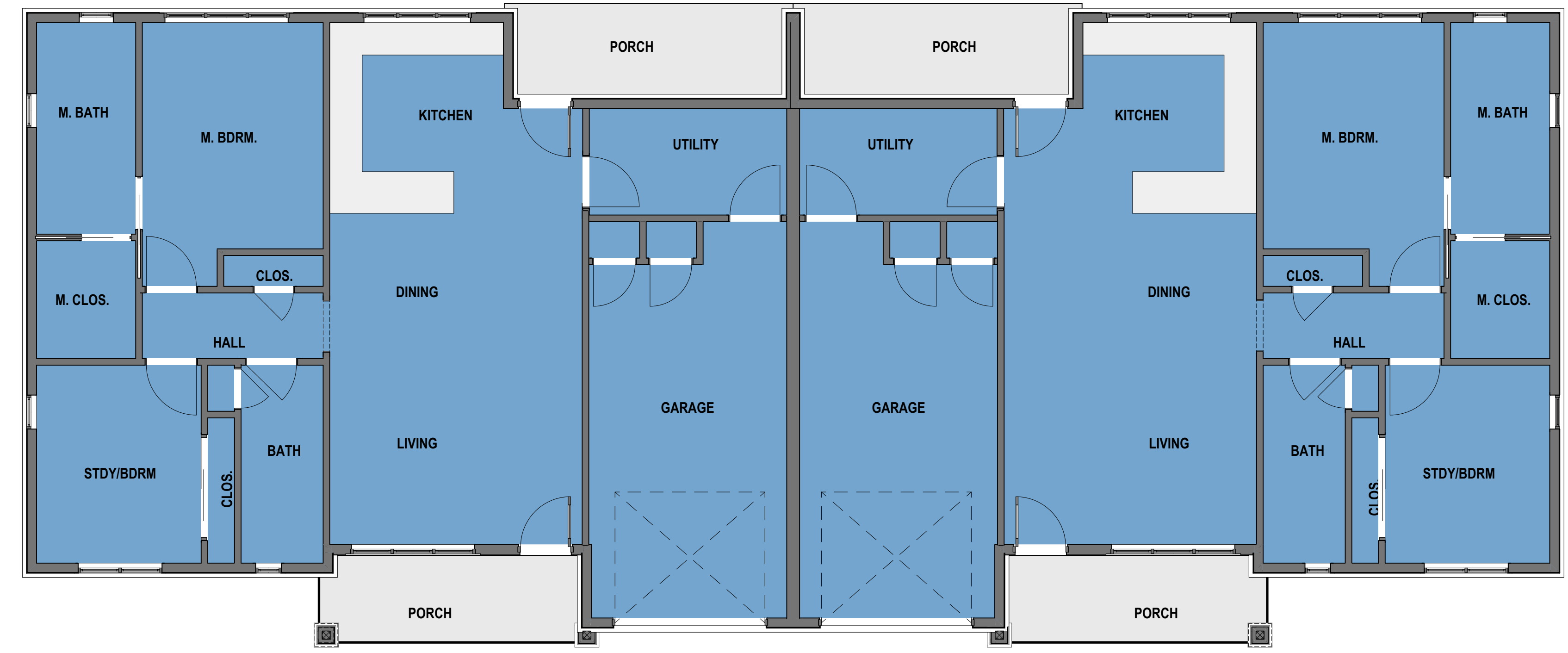


CONDITIONED AREA & GARAGES:

 2 X 1,602 SF = 3,204 SF

A1 UNIT FLOOR PLAN - TYPE A

 SCALE: 3/16" = 1'-0"

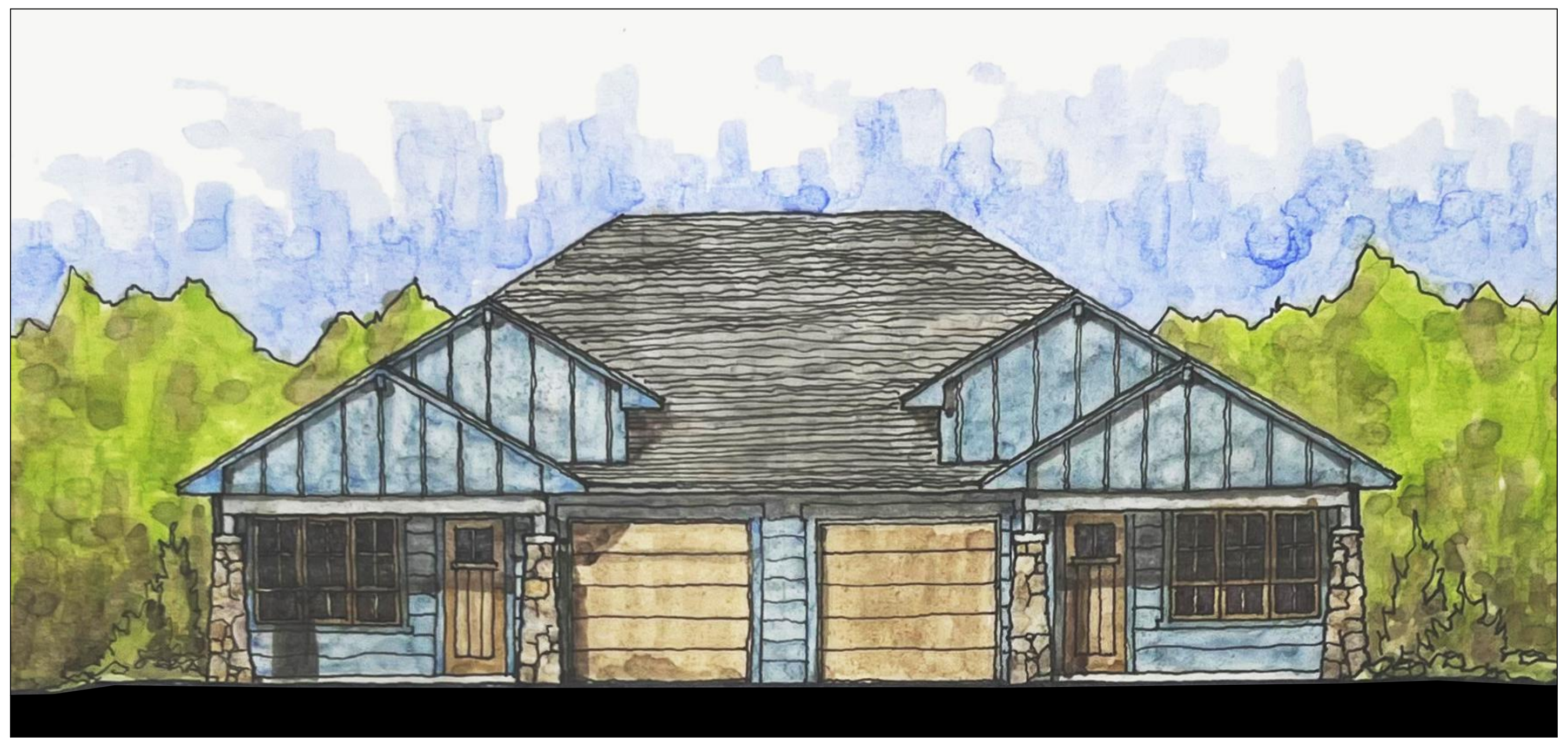


CONDITIONED AREA & GARAGES:

 2 X 1,475 SF = 2,950 SF

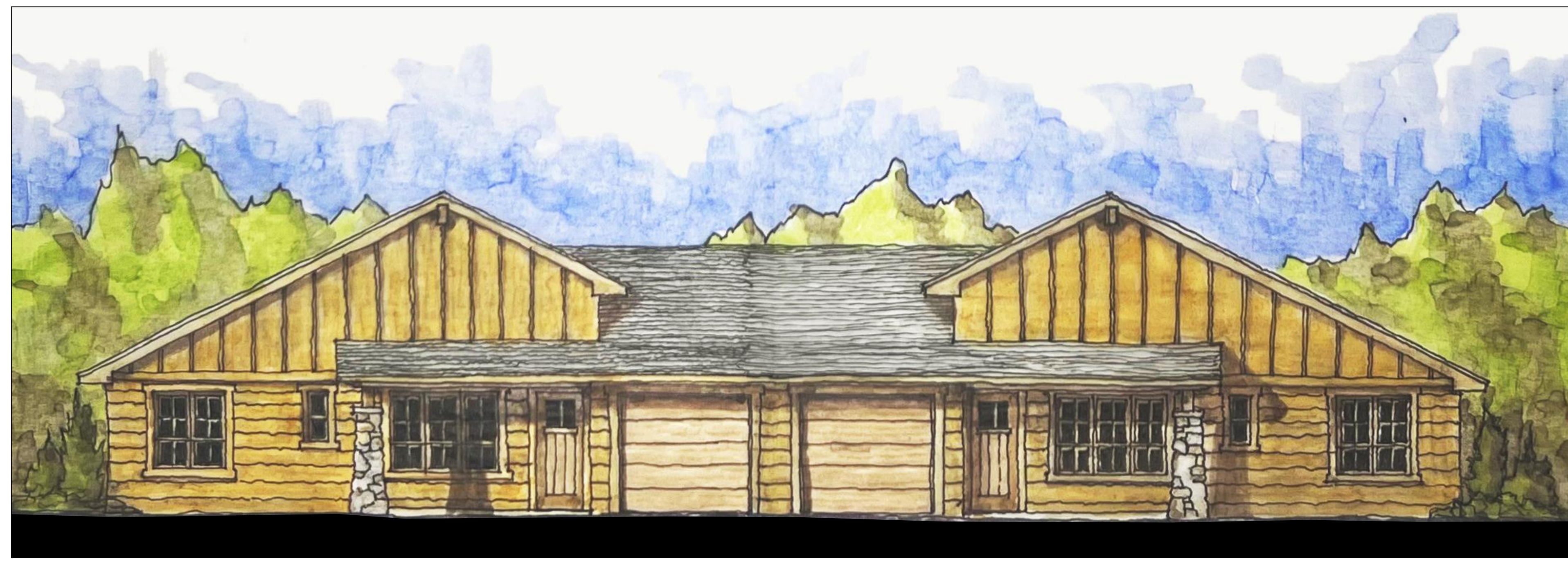
B1 UNIT FLOOR PLAN - TYPE B

 SCALE: 3/16" = 1'-0"



A2 FRONT ELEVATIONS RENDERED - UNIT TYPE A

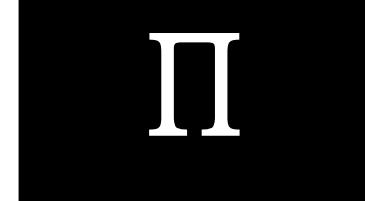
 SCALE: 3/16" = 1'-0"



B2 FRONT ELEVATIONS RENDERED - UNIT TYPE B

 SCALE: 3/16" = 1'-0"

BIMbaour, PI-BM-2022 - BIMbaour Basic for Archicad 25/22019 NOSL North Ogden UT | Ver. 25.02 | Tuesday, November 15, 2022 | 11:01 AM



pi architects

6010 Balcones Dr, Suite 200
Austin, TX 78731

P: (512) 231-1910

www.piarch.com

architecture + master planning
interiors + landscape architecture

GREGORY P. HUNTEMAN
Architect Registration:
12979649-0301
Date: 12/19/2022

Not for regulatory
approval, permitting, or
construction

MEDCORE
COTTAGES AT NORTH OGDEN SENIOR LIVING
204 EAST 1700 NORTH ST.
NORTH OGDEN, UT 84414

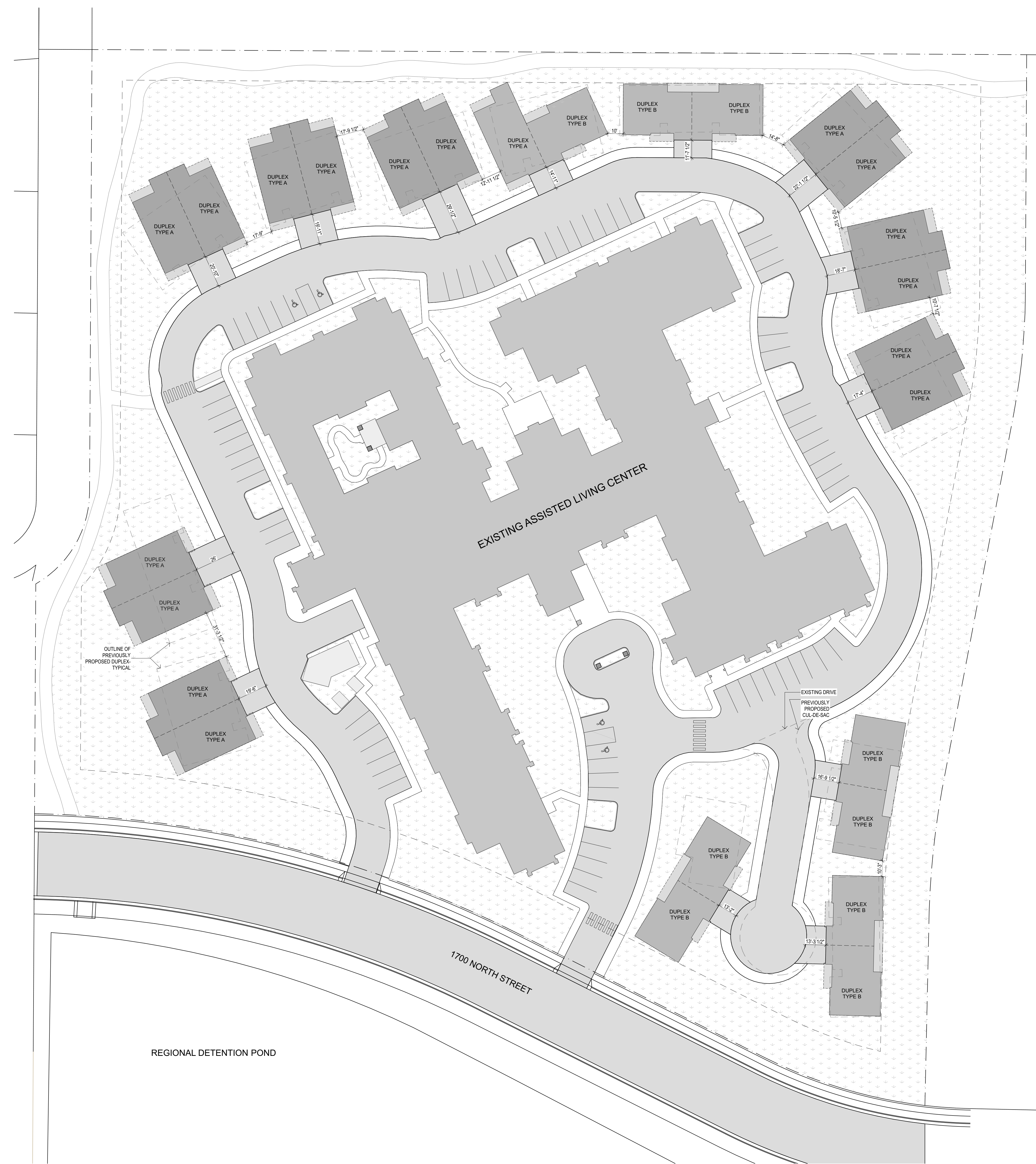
ISSUE:
CONCEPTUAL
PLANNING
PROGRESS SET

©2022 PI ARCHITECTS &
ENGINEERS, INC.

REVISIONS:

DATE:
12/19/2022
PROJECT NUMBER:
22019
SHEET TITLE:
ARCHITECTURAL
SITE PLAN

SHEET:
SK1

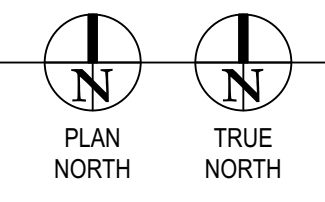


COTTAGES ONLY OUTSIDE EXIST CONCRETE SIDEWALK

LAND USE CHART

COTTAGES	40,521 S.F.	23.8%
ASPHALT PAVING	4,540 S.F.	2.7%
ASPHALT TRAIL EXIST	10,078 S.F.	5.9%
CONCRETE	11,288 S.F.	6.6%
LANDSCAPING	104,063 S.F.	61.0%
PROJECT TOTAL	170,490 S.F.	100.00%
	3.914 ACRES	

SD ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'



B:\McKibbin\PI-BM-2022 - B\McKibbin\Basic for Arch\2022\2019 NOSH, North Ogden UT | Ver. 25.02 | Tuesday, December 20, 2022 12:41 PM

CONSTRUCTION NOTES:

ALL CONSTRUCTION TO BE TO NORTH OGDEN CITY STANDARDS. IN THE EVENT THERE IS NO APPLICABLE STANDARD, CONTACT PROJECT ENGINEER / CITY ENGINEER. CONTRACTOR MUST ATTEND PRE-CONSTRUCTION CONFERENCE WITH CITY PRIOR TO COMMENCING WORK.

PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE ALL EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR UNCOVERING AND VERIFICATION OF ALL EXISTING UTILITIES.

TRAFFIC CONTROL IS THE RESPONSIBILITY OF CONTRACTOR; TRAFFIC CONTROL PLAN TO BE APPROVED BY NORTH OGDEN CITY AND IMPLEMENTED TO CITY APPROVAL.

SOILS TESTING TO BE PERFORMED ON PROJECT, ESPECIALLY FOR TRENCH RESTORATION. OWNER FUNDAMENTALLY WILL BE PAYING FOR SOILS TESTING BUT SUCH TO BE NEGOTIATED PRIOR TO START OF CONSTRUCTION (I.E. PERHAPS OWNER PAYS FOR ALL PASSING TESTS, CONTRACTOR FOR FAILING ONES, ETC.).

GRADING NOTES:

ALL EARTHWORK TO BE DONE TO SPECIFICATIONS OF GEOTECHNICAL REPORT BY AGEC, PROJECT NO. 1140512 DATED JULY 15, 2014.

WATER: FIRE HYDRANTS ARE LOCATED NEARBY - CONTACT NORTH OGDEN CITY FOR DETAILS/USAGE.

OBTAIN APPROPRIATE SWPPP PERMIT PRIOR TO COMMENCEMENT OF WORK.

IF APPLICABLE, EXCESS SOILS TO BE SPOILED ON-SITE AND/OR AT DIRECTION OF OWNER.

IMPORTANT: ALL UTILITY TRENCHES TO BE COMPACTED TO 95%! SURFACE SOILS ARE LEAN CLAY PER THE GEOTECHNICAL REPORT AND ARE UNLIKELY TO BE SUITABLE FOR TRENCH BACKFILL.

CULINARY WATER / FIRE PROTECTION:

SITE TO BE SERVED BY 8-INCH PVC WATER MAIN IN 1700 NORTH STREET. NEW LOOPING ON-SITE 8-INCH C-900 DR-14 WATER MAIN TO BE INSTALLED WITH 8-INCH MASTER METER-BRAND OCTAVE ULTRASONIC METER. WATER PROVIDER IS NORTH OGDEN CITY - CONTACT PRIOR TO COMMENCEMENT OF WORK - DAVID ESPINOZA AT 801-940-1952. WATER SERVICES WILL NEED TO BE INDIVIDUALLY TAPPED AT THE ON-SITE WATER MAIN, HOWEVER NO COTTAGES NOR THE MAIN BUILDING WILL HAVE INDIVIDUAL METERS - ONE COMPOSITE FLOW WILL BE METERED FROM 8-INCH PROJECT MASTER METER. EXTEND WATER SERVICES TO THE COTTAGES 10 FEET BEYOND BACK OF SIDEWALK AND PROVIDE BLUE-PAINTED 2" X 4" POST. ALSO PROVIDE LOCATOR WIRE & MAGNETIC TAPE WITH WATERLINES. FIRE HYDRANT LOCATIONS AND REQUIREMENTS ARE PER NORTH VIEW FIRE DISTRICT - CONTACT RYAN BARKER AT 801-782-8159.

SEWER:

SITE WILL BE SERVED BY NORTH OGDEN CITY FROM SEWER MAIN IN 1700 NORTH STREET. THE MAIN BUILDING WILL HAVE A 1000-GALLON GREASE TRAP ON THE WEST SIDE OF THE BUILDING - PROVIDE SAMPLING MANHOLE. MAIN BUILDING WILL ALSO HAVE A SEWER LATERAL EXITING OUT EAST SIDE OF BUILDING. IT IS PERMISSIBLE TO RUN A 4-INCH SEWER LATERAL TO A DUAL-UNIT / SINGLE STRUCTURE COTTAGE BUILDING. EXTEND SEWER LATERALS TO 10 FEET BEYOND BACK OF SIDEWALK AND MARK ALL LATERALS WITH GREEN-PAINTED 2" X 4" POST. ON-SITE SEWER MAIN TO BE 8-INCH SDR-35. IT IS STRONGLY RECOMMENDED TO INSTALL GRAVITY SEWER MAIN AND LATERALS OFF MAIN FIRST, BEFORE OTHER UTILTIY INSTALLATION ON-SITE. NORTH OGDEN CITY CONTACT: TRENT WILKINS AT 801-940-1934.

STORM DRAINAGE:

STORM DRAINAGE WILL BE ROUTED TO TWO DRAINAGE LOCATIONS ON THE NORTH SIDE OF 1700 NORTH STREET. THE SITE CONTRIBUTES TO A REGIONAL STORMWATER BASIN LOCATED ON THE OPPOSITE SIDE OF 1700 NORTH STREET. PROJECT DETENTION TAKES PLACE IN THE REGIONAL POND. DUE TO VERY FLAT TOPOGRAPHY IN THE AREA, REGIONAL POND FLOWS COULD BACK-UP INTO ON-SITE STORM PIPING, HOWEVER NO FLOWS SHOULD SURFACE OUT OF THE ON-SITE INLETS AND THE MAIN BUILDING AND COTTAGES HAVE FINISH FLOORS WELL ABOVE REGIONAL POND TOP OF BANK ELEVATIONS. THE SITE WILL HAVE A SOUTHWEST 18-INCH STUB PROVIDED, WHICH WILL SERVE THE WEST PORTION OF THE SITE. THE EAST PORTION OF THE SITE WILL TIE INTO A CURB INLET BOX ABOUT MID-PROJECT ON THE NORTH SIDE OF 1700 NORTH STREET. CONNECT ROOF DRAINAGE INTO ON-SITE DRAINAGE STRUCTURES. STORM DRAIN PIPING TO BE RCP IN ALL PAVEMENT AREAS, WITH FULL DEPTH BACKFILL (PIPING IS GENERALLY QUITE SHALLOW). NORTH OGDEN CITY CONTACT: DAVID SMITH @ 801-940-1954.

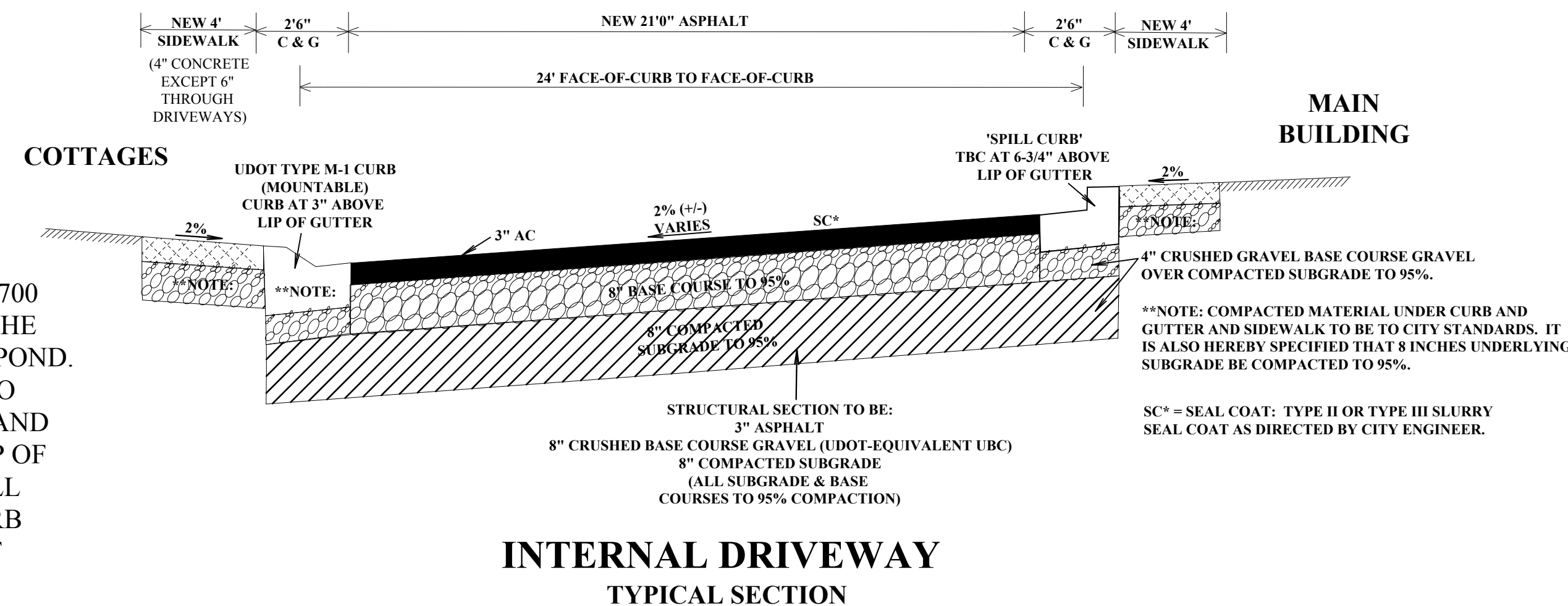
ENGINEER'S NOTICE TO CONTRACTORS:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD NOR SHOWN ON THESE PLANS.

BLUE STAKES LOCATION CENTER:

CALL TOLL FREE: 1-800-662-4111, TWO WORKING DAYS BEFORE YOU DIG.

CANYON VIEW SENIOR LIVING IMPROVEMENT PLANS



SHEET INDEX:

- C1....PROJECT DATA / COVER SHEET
- C2....SITE PLAN
- C3....GRADING & DRAINAGE PLAN - SOUTH
- C4....GRADING & DRAINAGE PLAN - NORTH
- C5....MASTER UTILITY PLAN

SECONDARY WATER:

IRRIGATION WILL BE FROM A PINEVIEW SECONDARY WATER MAIN IN 1700 NORTH STREET. A 4-INCH WATER LINE AND METER WILL BE PROVIDED, AS WELL AS A 4-INCH LOOPING ON-SITE MAIN LINE. SECONDARY WATER MAINLINES SHALL BE ASTM D2241 - CLASS 200 - SDR-21 PVC PIPE (PURPLE-COLORED). SEE LANDSCAPE & IRRIGATION PLANS. PINEVIEW WATER CONTACT: MARK GREENHALGH 801-721-7119.

ELECTRICAL:

UNDERGROUND POWER WILL BE ALONG NORTH SIDE OF 1700 NORTH STREET. ON-SITE PLAN TO BE PER ELECTRICAL ENGINEERING PLANS. NOTE EXTENSIVE ON-SITE LIGHTING PLANS.

TELEPHONE:

TELEPHONE ROUTING: TBD - ASSUMED TO FOLLOW ELECTRICAL ROUTING.

GAS:

GAS MAIN TO BE ALONG NORTH SIDE OF 1700 NORTH STREET - GAS ROUTING HAS NOT YET BEEN DEFINITELY DETERMINED. IT MAY BE ADVANTAGEOUS TO INSTALL GAS LINE AND SERVICE STUBS PRIOR TO SIDEWALK INSTALLATION.

STRUCTURAL SECTION / COTTAGE DRIVEWAYS:

PER GEOTECHNICAL REPORT, ON-SITE STRUCTURAL SECTION IS 3 INCHES ASPHALT ON 8 INCHES CRUSHED BASE COURSE GRAVEL (UDOT-EQUIVALENT UBC) ON 8 INCHES OF COMPACTED SUBGRADE, WHICH ALSO APPLIES TO ALL UTILITY CROSSINGS.

DRIVEWAYS AND SIDEWALKS THROUGH DRIVEWAYS ARE TO HAVE 6 INCHES OF CONCRETE. PER THE GEOTECHNICAL REPORT, THICKER PAVEMENT SECTIONS MAY BE CONSIDERED FOR AREAS OF CONCENTRATED TRAFFIC OR HEAVIER VEHICLES SUCH AS NEAR ENTRY WAYS AND ADJACENT TRASH ENCLOSURES. A CONCRETE APPROACH SLAB CONSISTING OF 6-1/2 INCHES OF PORTLAND CEMENT CONCRETE OVERLYING 4 INCHES OF CRUSHED BASE COURSE GRAVEL (UDOT-EQUIVALENT UBC), (ON 8 INCHES OF COMPACTED SUBGRADE TO 95%) IS RECOMMENDED AT TRASH ENCLOSURES.

OUTSIDE PERIMETER IS UDOT TYPE M-1 MOUNTABLE CURB FOR FLEXIBILITY FOR DRIVEWAY PLACEMENT, AND TO ACCOMMODATE ELIMINATION OF TRANSITIONS AT DRIVEWAY/SIDEWALK INTERFACE LOCATIONS.

THE MAJORITY OF THE INNER PERIMETER DRIVEWAY IS STANDARD SPILL CURB AND GUTTER, MEANING DRAINING AWAY FROM THE BUILDING/CURB LINE, NOT TOWARDS IT. THE TOP OF CURB WILL BE 6-3/4 TO 7 INCHES HIGHER THAN THE LIP OF THE GUTTER.

THE GRADING PLANS SHOW LIP OF GUTTER ON THE OUTER PERIMETER AND 'A' (TOP OF ASPHALT) ON THE INNER PERIMETER, ALONG WITH TBC ELEVATIONS. DUE TO THE DIFFERING TOP OF CURB ELEVATIONS, AND TO ASSURE PROPER SUBGRADE-ROADBASE-ASPHALT PREPARATION, IT IS STRONGLY RECOMMENDED THAT CONTRACTOR HAVE STAKING PERTAIN TO 'LIP' AND 'A' ELEVATIONS TO ELIMINATE CONFUSION OVER VARYING TBC MATHEMATICS IN THE FIELD.

PROJECT ENGINEER:

JAMES FLINT
UTAH PE 7806324-2202

DATE:

HANSEN & ASSOCIATES, INC.

Consulting Engineers and Land Surveyors
538 North Main Street Brigham City, Utah 84302
(435) 723-3491 www.haies.net

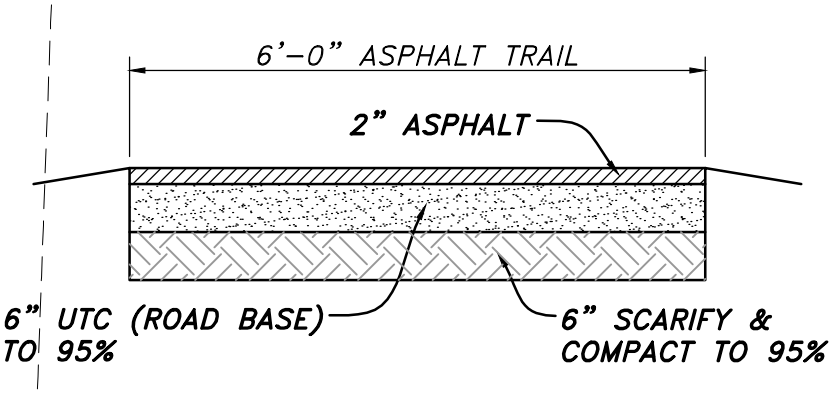




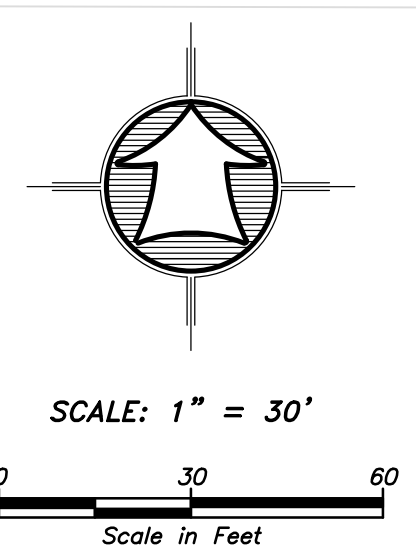
LAND USE CHART

MAIN BUILDING	62,997 S.F.	17.9%
COTTAGES	37,721 S.F.	10.7%
ASPHALT PAVING	51,492 S.F.	14.6%
ASPHALT TRAIL	3,116 S.F.	0.9%
CONCRETE	37,818 S.F.	10.7%
LANDSCAPING	158,968 S.F.	45.2%
PROJECT TOTAL	352,112 S.F.	100.00%
	8.08 ACRES	

PARKING: 68 STALLS W/
6 HANDICAP STALLS



10' TRAIL RIGHT-OF-WAY
NOT TO SCALE



LEGEND:

	PROPERTY BOUNDARY LINE
	CENTERLINE OR R.O.W.
	EXISTING PUBLIC UTILITY EASEMENT
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED "M-1" CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED 6" CURB
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE IMPROVEMENTS
	PROPOSED BUILDINGS
	PROPOSED LANDSCAPING

SITE PLAN FOR
CANYON VIEW SENIOR LIVING
NORTH OGDEN CITY
 (PERMIT SET - 07/09/15)

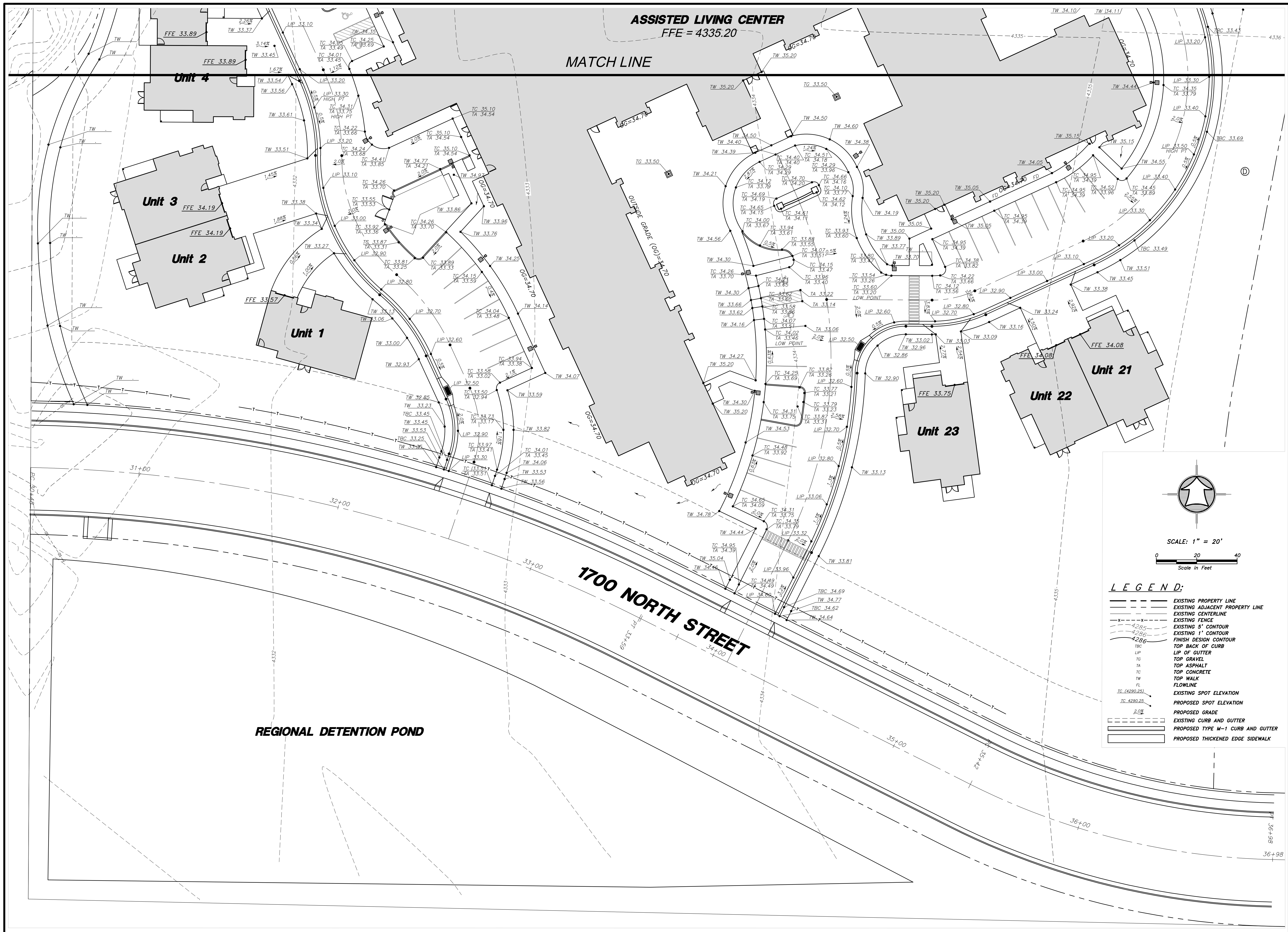
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 Designed By:
 Checked By:
 Approved By: JAMES P. FLINT
 Scale: 1" = 30'
 Drawing File: 14-5-14 V15.DWG
 JOB NUMBER: 14-5-14

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 (435) 723-3491

PROFESSIONAL ENGINEER REG. UT. 0000000000
 JAMES P. FLINT

No.	By	Date	Revision

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C2
 of
5
 Sheets

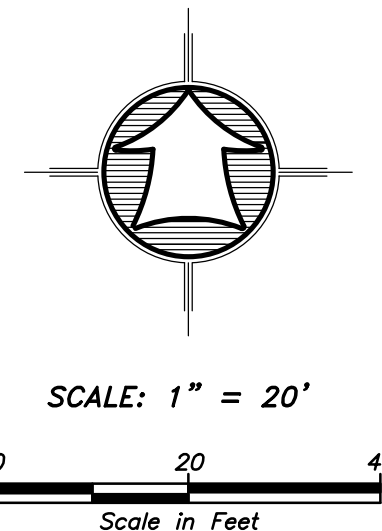


ASSISTED LIVING CENTER
FFE = 4335.20

MATCH LINE

REGIONAL DETENTION POND

1700 NORTH STREET



- LEGEND:**
- EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING CENTERLINE
 - EXISTING FENCE
 - EXISTING 6" CONTOUR
 - EXISTING 1' CONTOUR
 - FINISH DESIGN CONTOUR
 - TOP BACK OF CURB
 - LIP OF GUTTER
 - TOP GRAVEL
 - TOP ASPHALT
 - TOP CONCRETE
 - TOP WALK
 - FLOWLINE
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - PROPOSED GRADE
 - EXISTING CURB AND GUTTER
 - PROPOSED TYPE M-1 CURB AND GUTTER
 - PROPOSED THICKENED EDGE SIDEWALK

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538 North Main Street, Brigham, Utah 84302
Brigham City, Utah
(435) 725-3461 (801) 399-4605 (435) 732-8272

REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR
JAMES B. FLINT
No. _____ Date _____ By _____

HA

Drawn By: MBJ Date: 7-8-15
Designed By: _____
Approved By: _____
Scale: 1/4" = 1'-0" V15.DWG
Drawing File: 14-5-14
JOB NUMBER: 14-5-14

GRADING PLAN FOR
CANYON VIEW SENIOR LIVING
NORTH OGDEN CITY
(PERMIT SET - 07/09/15)

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C3
of
5
Sheets



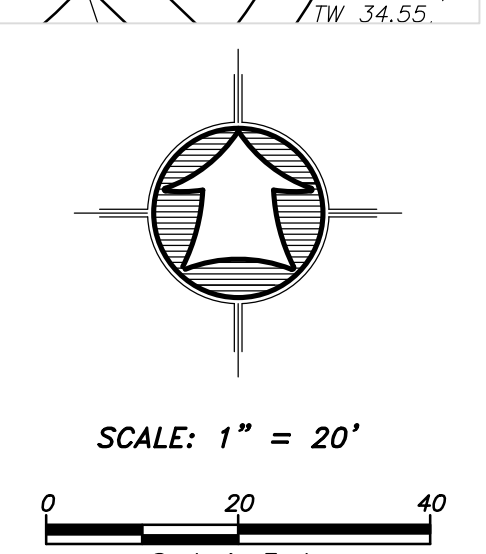
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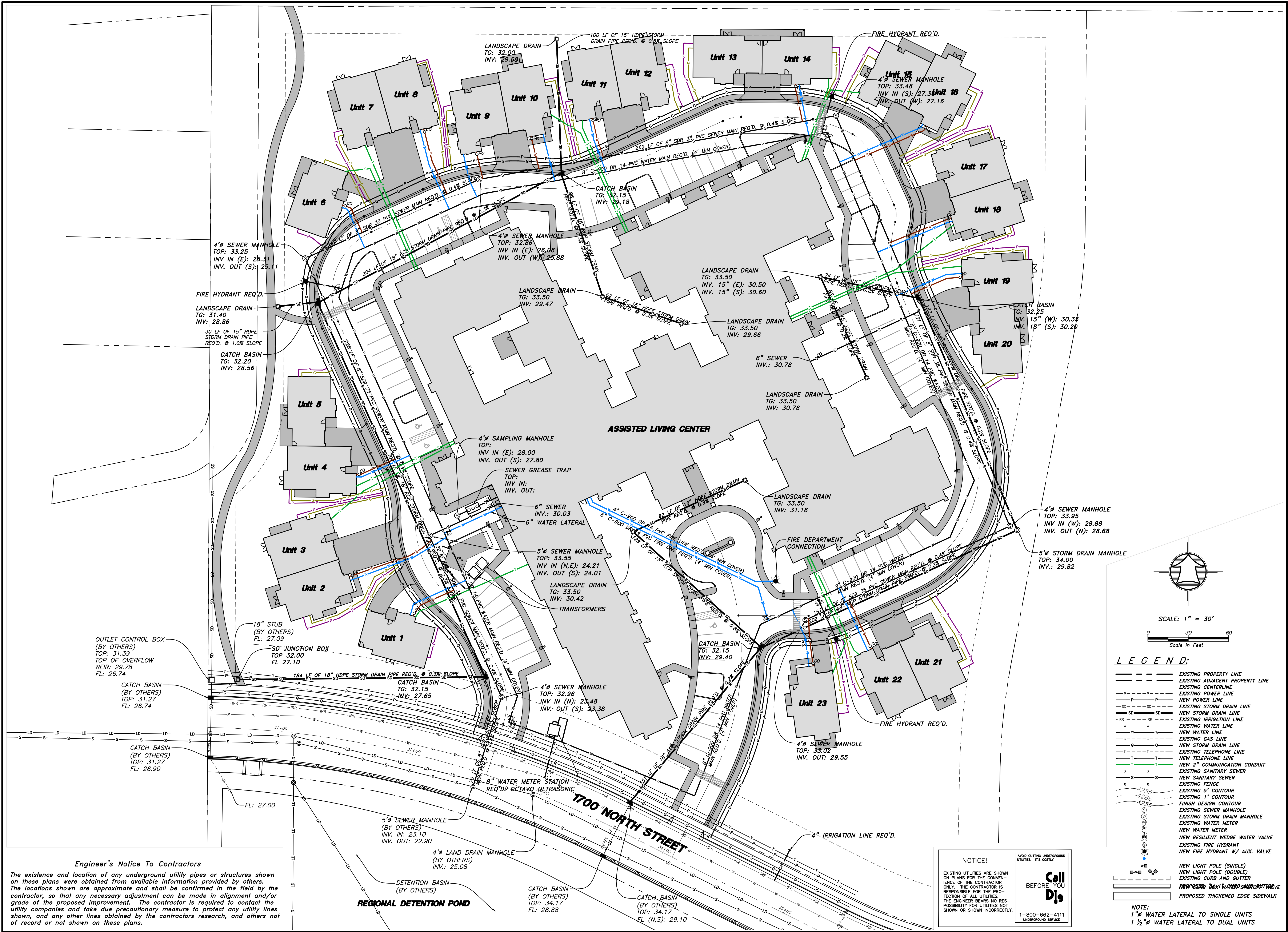
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GRADING PLAN FOR
CANYON VIEW SENIOR LIVING
NORTH OGDEN CITY
 (PERMIT SET - 07/09/15)

Sheet	of
C4	5
Sheets	of

- LEGEND:**
- EXISTING PROPERTY LINE
 - - - EXISTING ADJACENT PROPERTY LINE
 - EXISTING CENTERLINE
 - - - EXISTING FENCE
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - FINISH DESIGN CONTOUR
 - TOP BACK OF CURB
 - LIP OF GUTTER
 - LIP TOP GRAVEL
 - TA TOP ASPHALT
 - TC TOP CONCRETE
 - TW TOP WALK
 - FL FLOWLINE
 - TC (4280.25) EXISTING SPOT ELEVATION
 - TC (4280.25) PROPOSED SPOT ELEVATION
 - 2.0% PROPOSED GRADE
 - EXISTING CURB AND GUTTER
 - PROPOSED TYPE M-1 CURB AND GUTTER
 - PROPOSED THICKENED EDGE SIDEWALK





Engineer's Notice To Contractors
 The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

NOTICE!
 EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Digs BEFORE YOU Dig
 1-800-662-4111
 UNDERGROUND SERVICE

- LEGEND:**
- EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING CENTERLINE
 - EXISTING POWER LINE
 - NEW POWER LINE
 - EXISTING STORM DRAIN LINE
 - NEW STORM DRAIN LINE
 - EXISTING IRRIGATION LINE
 - EXISTING WATER LINE
 - NEW WATER LINE
 - EXISTING GAS LINE
 - NEW STORM DRAIN LINE
 - EXISTING TELEPHONE LINE
 - NEW TELEPHONE LINE
 - NEW 2" COMMUNICATION CONDUIT
 - EXISTING SANITARY SEWER
 - NEW SANITARY SEWER
 - EXISTING FENCE
 - EXISTING 5' CONTOUR
 - EXISTING 1" CONTOUR
 - FINISH DESIGN CONTOUR
 - EXISTING SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING WATER METER
 - NEW WATER METER
 - NEW RESILIENT WEDGE WATER VALVE
 - EXISTING FIRE HYDRANT
 - NEW FIRE HYDRANT W/ AUX. VALVE
 - NEW LIGHT POLE (SINGLE)
 - NEW LIGHT POLE (DOUBLE)
 - EXISTING CURB AND GUTTER
 - NEW CURB BOX WATER METER
 - PROPOSED THICKENED EDGE SIDEWALK

NOTE:
 1" WATER LATERAL TO SINGLE UNITS
 1 1/2" WATER LATERAL TO DUAL UNITS

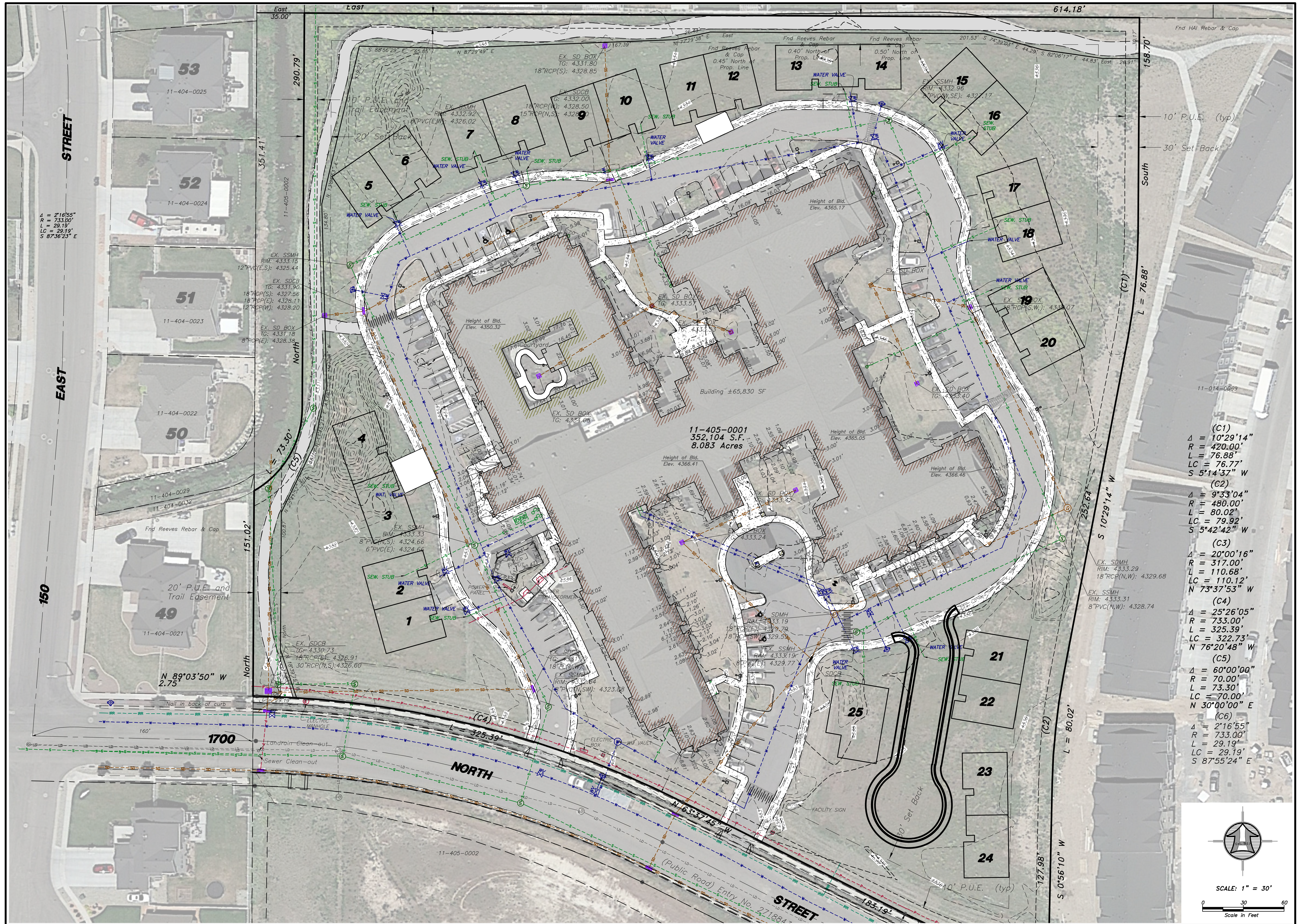
Drawn By: MBJ Date: 7-6-15
 Designed By:
 Checked By:
 Approved By: JAMES R. FLINN
 Scale: 1" = 30'
 Drawing File: 14-5-14 V15.DWG
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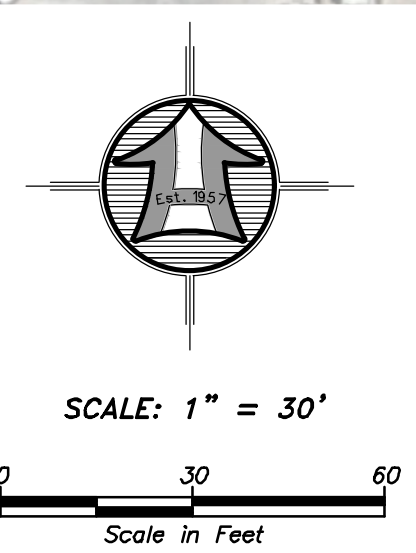
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UTILITY PLAN FOR
**CANYON VIEW SENIOR LIVING
 LIVING - NORTH OGDEN**
 (PERMIT SET - 07/09/15)

Sheet
C5
 of
5
 Sheets



- (C1)
 $\Delta = 10^{\circ}29'14''$
 $R = 420.00'$
 $L = 76.88'$
 $LC = 76.77'$
 $S = 5^{\circ}14'37'' W$
- (C2)
 $\Delta = 9^{\circ}33'04''$
 $R = 480.00'$
 $L = 80.02'$
 $LC = 79.92'$
 $S = 5^{\circ}42'42'' W$
- (C3)
 $\Delta = 20^{\circ}00'16''$
 $R = 317.00'$
 $L = 110.68'$
 $LC = 110.12'$
 $N = 73^{\circ}37'53'' W$
- (C4)
 $\Delta = 25^{\circ}26'05''$
 $R = 733.00'$
 $L = 325.39'$
 $LC = 322.73'$
 $N = 76^{\circ}20'48'' W$
- (C5)
 $\Delta = 60^{\circ}00'00''$
 $R = 70.00'$
 $L = 73.30'$
 $LC = 70.00'$
 $N = 30^{\circ}00'00'' E$
- (C6)
 $\Delta = 2^{\circ}16'55''$
 $R = 733.00'$
 $L = 29.19'$
 $LC = 29.19'$
 $S = 87^{\circ}55'24'' E$



Drawn By: SRH Date: 12/19/22
 Designed By: _____
 Checked By: _____
 Approved By: _____
 Scale: 1" = 40'
 Drawing File: 18-3-166v15
 JOB NUMBER: 18-3-168

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HAI

ALTA AS-BUILT SURVEY FOR
CANYON VIEW SENIOR LIVING CENTER
 204 East 1700 North Street
 North Ogden, Weber County, Utah
 A Part of the Northeast Quarter of Section 5,
 Township 6 North, Range 1 West, S.L.B.&M.

No.	Date	By	Revision

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1
 of
1
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DRAFT
NOT FOR
CONSTRUCTION

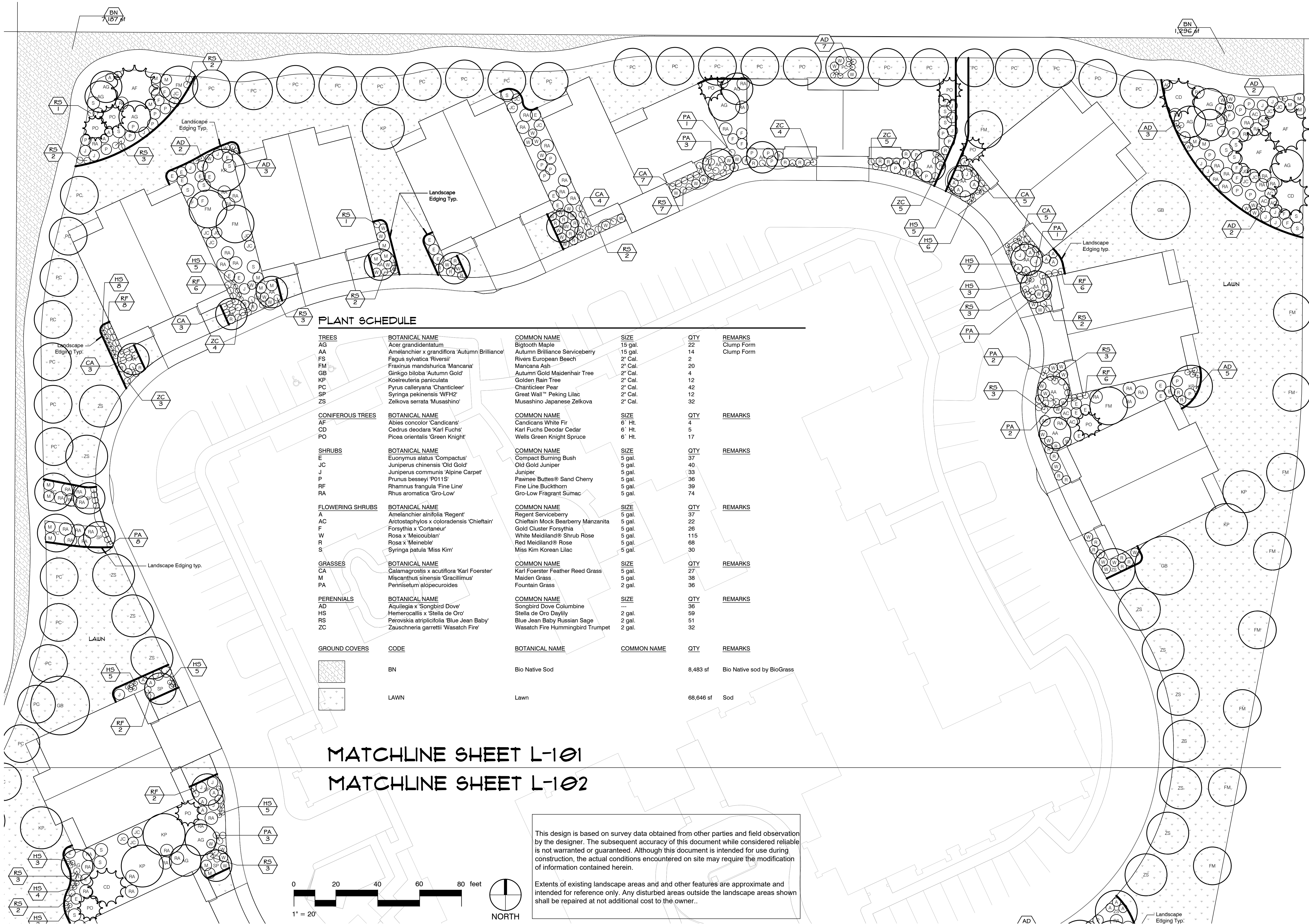
MEDCORE
COTTAGES AT NORTH OGDEN SENIOR CENTER
204 E 1700 N, NORTH OGDEN, 84414

SHEET

L-101

LANDSCAPE

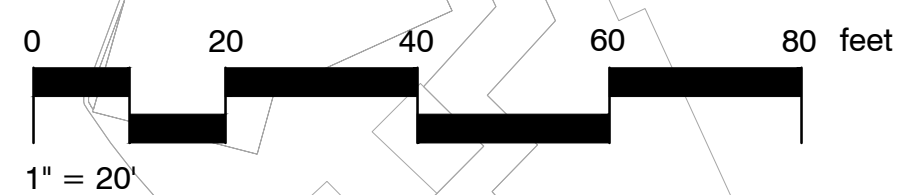
PLANTING PLAN



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
AG	Acer grandidentatum	Bigtooth Maple	15 gal.	22	Clump Form
AA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	15 gal.	14	Clump Form
FS	Fagus sylvatica 'Riversii'	Rivers European Beech	2" Cal.	2	
FM	Fraxinus mandshurica 'Mancana'	Mancana Ash	2" Cal.	20	
GB	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	2" Cal.	4	
KP	Koelreuteria paniculata	Golden Rain Tree	2" Cal.	12	
PC	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2" Cal.	42	
SP	Syringa pekinensis 'WF12'	Great Wall™ Peking Lilac	2" Cal.	12	
ZS	Zeakova serrata 'Musashino'	Musashino Japanese Zelkova	2" Cal.	32	
CONIFEROUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
AF	Abies concolor 'Candicans'	Candicans White Fir	6" Ht.	4	
CD	Cedrus deodara 'Karl Fuchs'	Karl Fuchs Deodar Cedar	6" Ht.	5	
PO	Picea orientalis 'Green Knight'	Wells Green Knight Spruce	6" Ht.	17	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
E	Euonymus alatus 'Compactus'	Compact Burning Bush	5 gal.	37	
JC	Juniperus chinensis 'Old Gold'	Old Gold Juniper	5 gal.	40	
J	Juniperus communis 'Alpine Carpet'	Juniper	5 gal.	33	
P	Prunus besseyi 'P011S'	Pawnee Buttes® Sand Cherry	5 gal.	36	
RF	Rhamnus frangula 'Fine Line'	Fine Line Buckthorn	5 gal.	39	
RA	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	74	
FLOWERING SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
A	Amelanchier alnifolia 'Regent'	Regent Serviceberry	5 gal.	37	
AC	Arctostaphylos x coloradensis 'Chieftain'	Chieftain Mock Bearberry Manzanita	5 gal.	22	
F	Forsythia x 'Cortaneur'	Gold Cluster Forsythia	5 gal.	26	
W	Rosa x 'Meioubian'	White Meidiland® Shrub Rose	5 gal.	115	
R	Rosa x 'Meineble'	Red Meidiland® Rose	5 gal.	68	
S	Syringa patula 'Miss Kim'	Miss Kim Korean Lilac	5 gal.	30	
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
CA	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	5 gal.	27	
M	Miscanthus sinensis 'Gracillimus'	Maiden Grass	5 gal.	38	
PA	Pennisetum alopecuroides	Fountain Grass	2 gal.	36	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
AD	Aquilegia x 'Songbird Dove'	Songbird Dove Columbine	—	36	
HS	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	2 gal.	59	
RS	Perovskia atriplicifolia 'Blue Jean Baby'	Blue Jean Baby Russian Sage	2 gal.	51	
ZC	Zauschneria garrettii 'Wasatch Fire'	Wasatch Fire Hummingbird Trumpet	2 gal.	32	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	QTY	REMARKS
	BN		Bio Native Sod	8,483 sf	Bio Native sod by BioGrass
	LAWN		Lawn	68,646 sf	Sod

MATCHLINE SHEET L-101
MATCHLINE SHEET L-102



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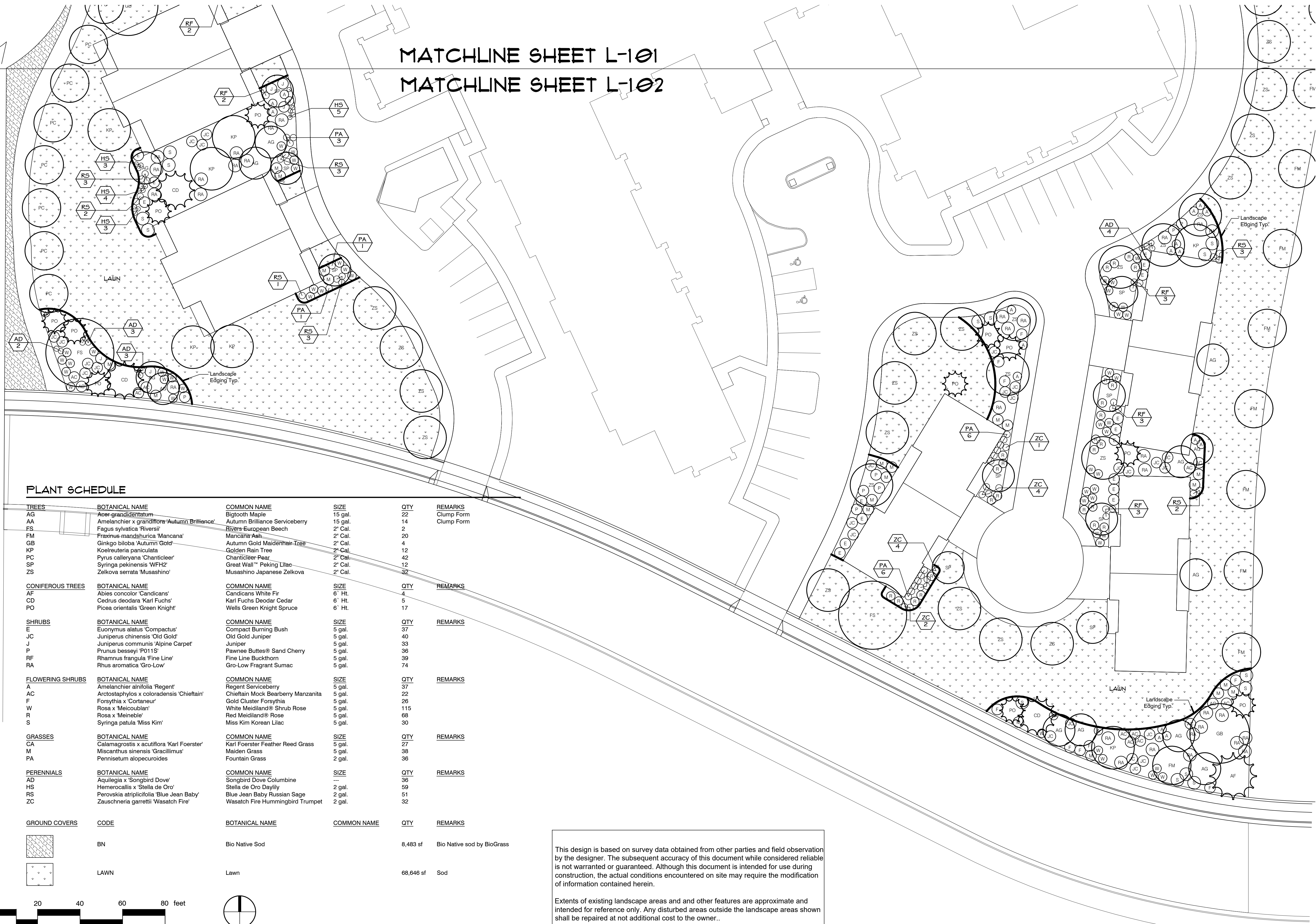
Extents of existing landscape areas and other features are approximate and intended for reference only. Any disturbed areas outside the landscape areas shown shall be repaired at not additional cost to the owner.

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SHEET
L-102
LANDSCAPE
PLANTING PLAN

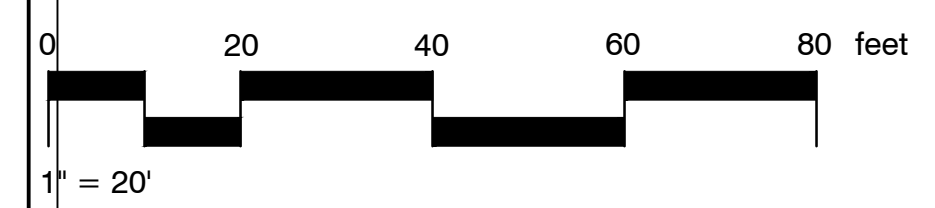
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PLANT SCHEDULE

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SP	Syringa pekinensis 'WFH2'	Great Wall™ Peking Lilac	2' Cal.	12	
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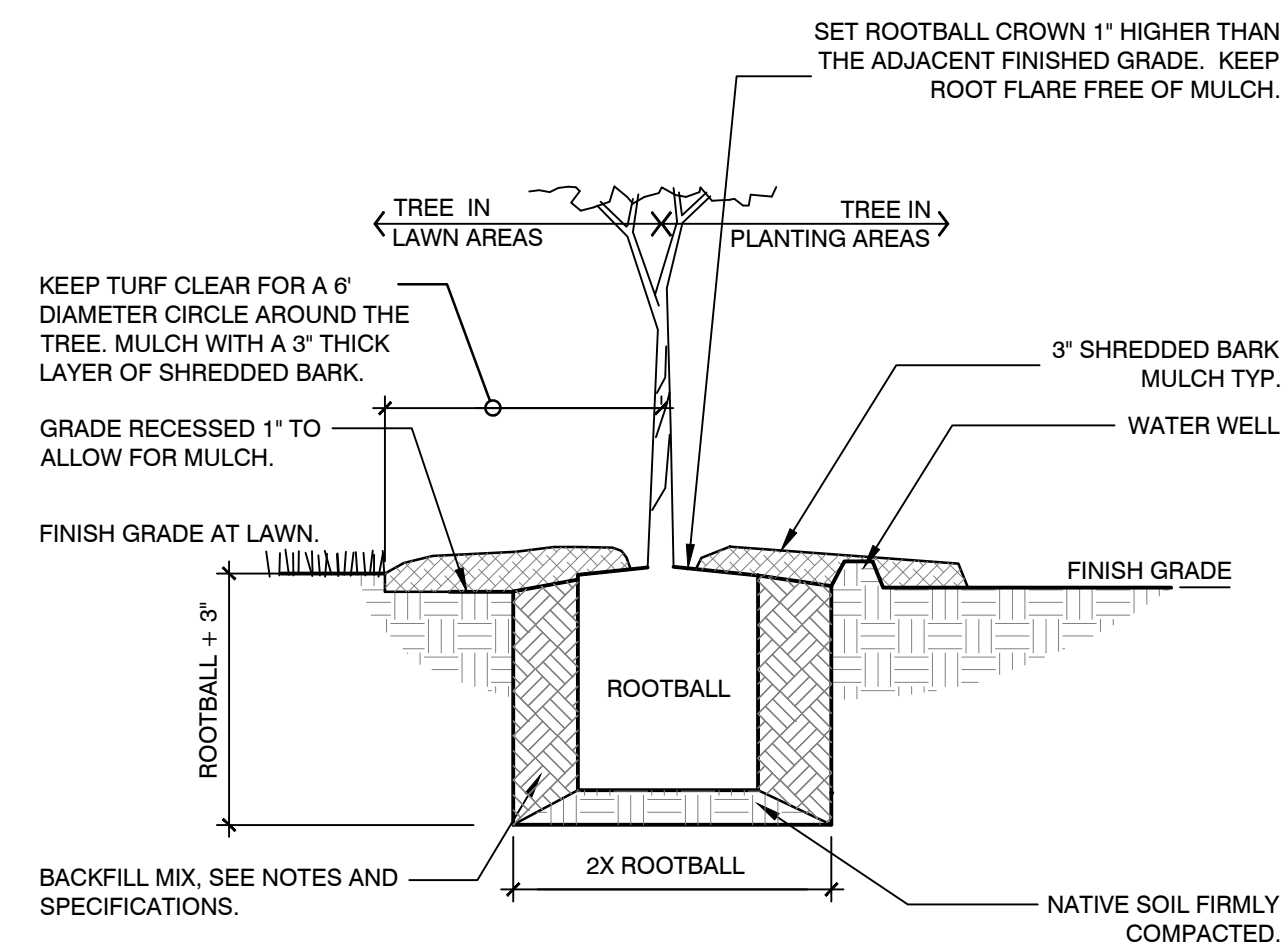
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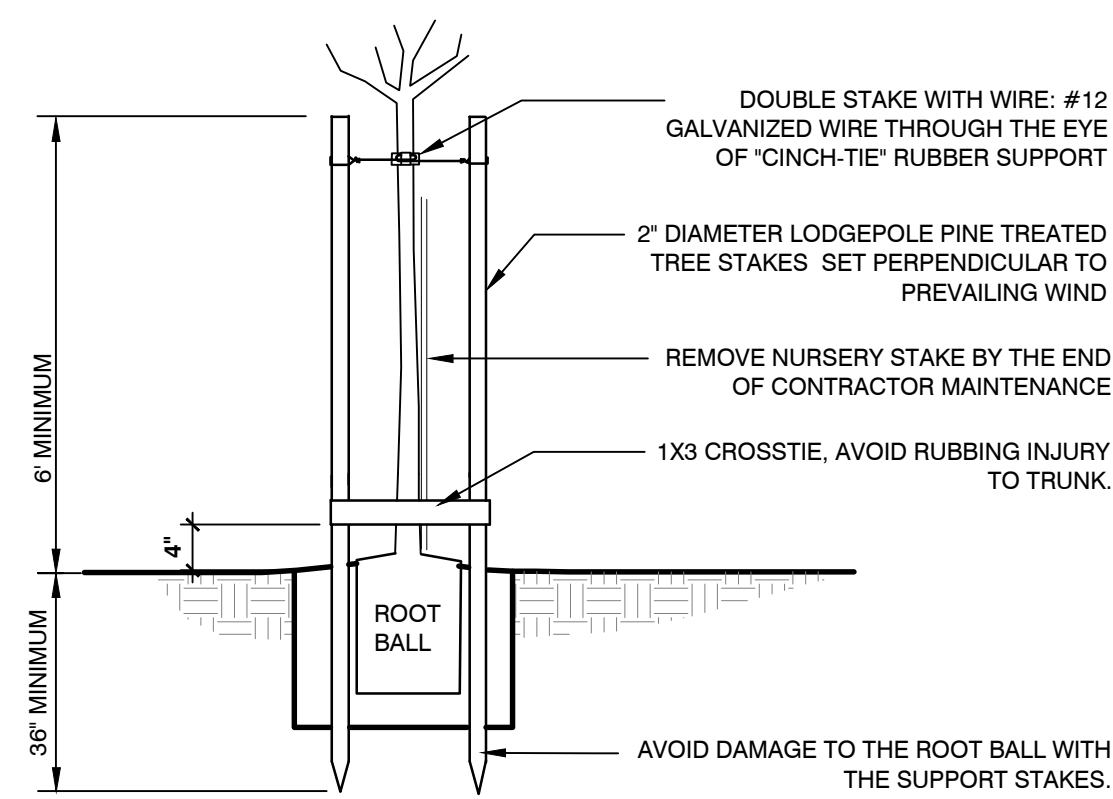
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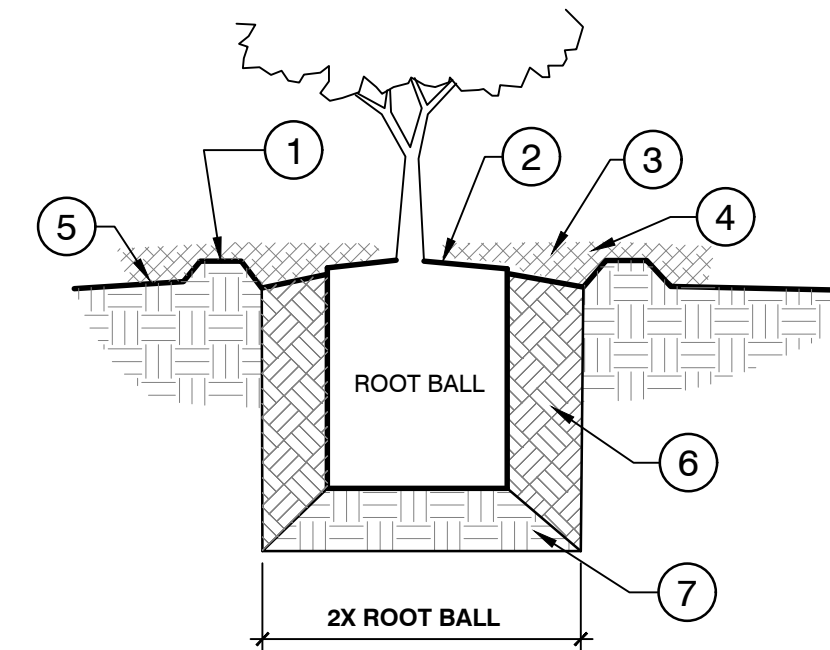


PLANT PIT DETAIL

NOTE: INSTALL TREE STAKES AS PER
DETAIL OR APPROVED EQUAL METHOD



STAKING DETAIL



- ① WATER WELL
- ② SET ROOT BALL CROWN 1" HIGHER THAN SURROUNDING FINISHED GRADE. KEEP BASE OF SHRUB CLEAR OF MULCH.
- ③ SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOT BALL
- ④ 3" SHREDDED BARK MULCH TYP.
- ⑤ FINISH GRADE
- ⑥ AMENDED TOPSOIL
- ⑦ NATIVE SOIL FIRMLY COMPACTED

2 SHRUB PLANTING

1" = 1'-0"

P-NOC-07

1 TREE PLANTING WITH DOUBLE STAKES

1" = 1'-0"

P-NOC-11

Notes:

The contractor shall examine the site conditions under which the work is to be performed and notify the Owner's Authorized Representative (OAR) in writing of any unsatisfactory conditions. Do not proceed until conditions have been rectified.

The contractor shall coordinate with all other associated trades to best facilitate the progress of the project.

Before any excavation the contractor shall notify blue stakes and coordinate with the OAR for the location of all sleeves, conduits, utilities, etc.

The contractor is responsible for finish grade elevations in the landscape areas. Allow for and provide 3" shredded bark mulch in all landscape and planted areas. Trees planted in lawn areas shall be installed with a 6' diameter circle of shredded bark mulch. All mulched areas to receive weed barrier fabric.

All plant materials must meet sizes indicated in schedules. The OAR reserves the right to refuse plant materials which do not meet the quality required of the project or industry standards. All deciduous trees shall have full, well shaped heads and a single vertical leader when appropriate to species.

Lawn areas shall be irrigated with overhead spray placing heads with 85% coverage. All trees and shrubs shall be irrigated separately from lawn areas. Piping shall be sized to maintain velocities less than 5 feet per second. Zones shall be established to maintain the minimum operating pressure needed for all irrigation equipment.

All plant quantities are shown for convenience only. The contractor shall verify all quantities and provide plants necessary to complete the plantings as shown.

Amended topsoil is required - 6" minimum depth in all planting areas, 4" minimum depth for all sod areas, and as backfill for all plants.

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SHEET

L-103

LANDSCAPE

DETAILS & NOTES