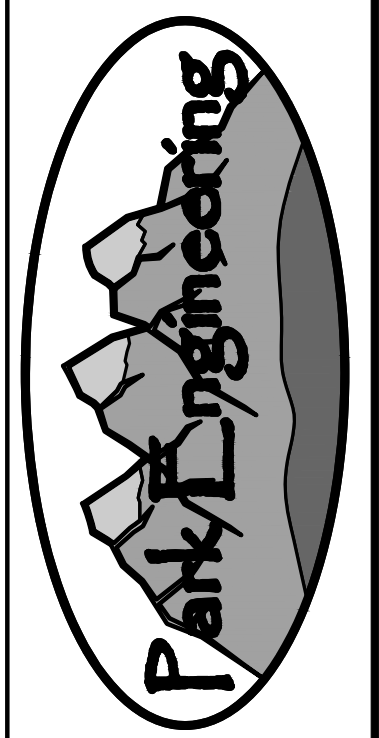


- PROPERTY/ROW LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED STORM DRAIN LINE
- EXISTING STORM DRAIN LINE
- PROPOSED SEWER LINE
- EXISTING SEWER LINE
- PROPOSED WATER LINE
- EXISTING WATER LINE
- EXISTING FENCE
- INVERT ELEVATION
- PROPOSED
- EXISTING
- FINISHED GRADE
- FINISHED FLOOR ELEVATION
- GRADE BREAK
- FINISH GRADE CONTOUR LINES
- EXISTING GRADE CONTOUR LINES
- FINISH GRADE SLOPE
- FOUND MONUMENT



NO.	REVISIONS	BY	DATE

**PARK ENGINEERING, LLC**  
 90 WEST 200 SOUTH, SUITE 1  
 HERRON CITY, UT 84032  
 PHONE: 435-654-1468  
 TOLL FREE FAX: 1-800-975-2156



**30TH STREET APARTMENTS**  
**EXISTING SITE PLAN**  
**451 & 475 30TH STREET - OGDEN, UTAH**

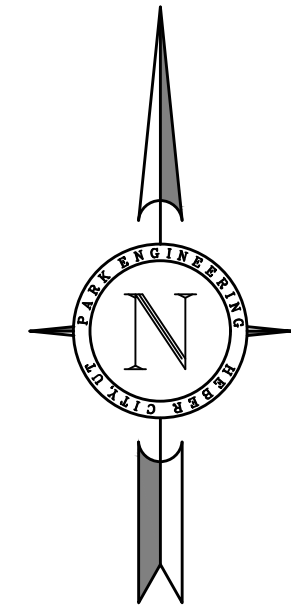
PROJECT ENGINEER: DGB  
 DESIGNER: DGB

# 30TH STREET

FOUND MONUMENT  
30TH & WASHINGTON  
ELEV: 4325.35

FOUND MONUMENT  
30TH & ADAMS  
ELEV: 4333.12

S89° 02' 00"E (BASIS OF BEARING)  
786.49 SURVEY TIE



SCALE IN FEET

LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	=====
EXISTING FENCE	-x-
PROPOSED FENCE	o-o
CONCRETE AREA	[Pattern]
LANDSCAPE AREA	[Pattern]
PAVED AREA	[Pattern]
ROOF AREA	[Pattern]
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
BACK OF SIDEWALK	BOW

**SITE DATA**

LOT AREA:	34,463	SF (0.79 ACRES)
BUILDING AREA:	7,887	SF ± 22.2%
PAVEMENT AREA:	16,039	SF ± 46.5%
LANDSCAPE AREA:	10,537	SF ± 31.3%

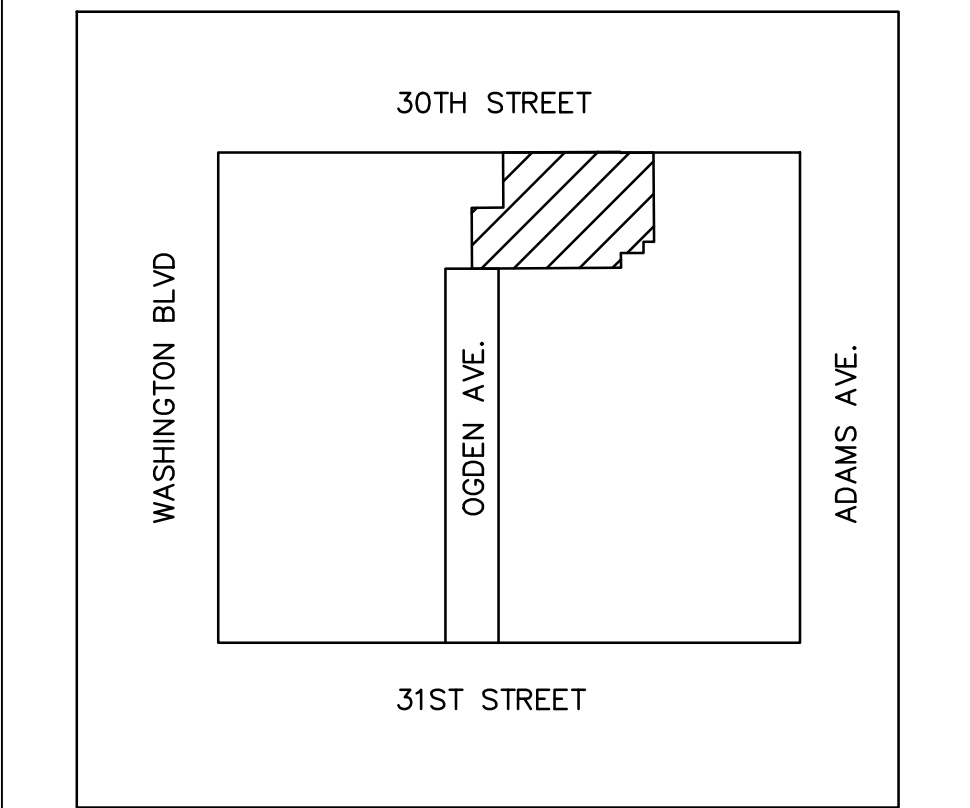
ZONING: R3  
PROPOSED USE: MULTI FAMILY  
ADJACENT USE: SINGLE FAMILY

**PARKING TABULATION**

REQUIRED:	18 UNITS X 1.5 STALL/UNIT = 27 STALLS
PROVIDED:	29 STALLS 2 ADA STALL

**BUILDING DATA:**

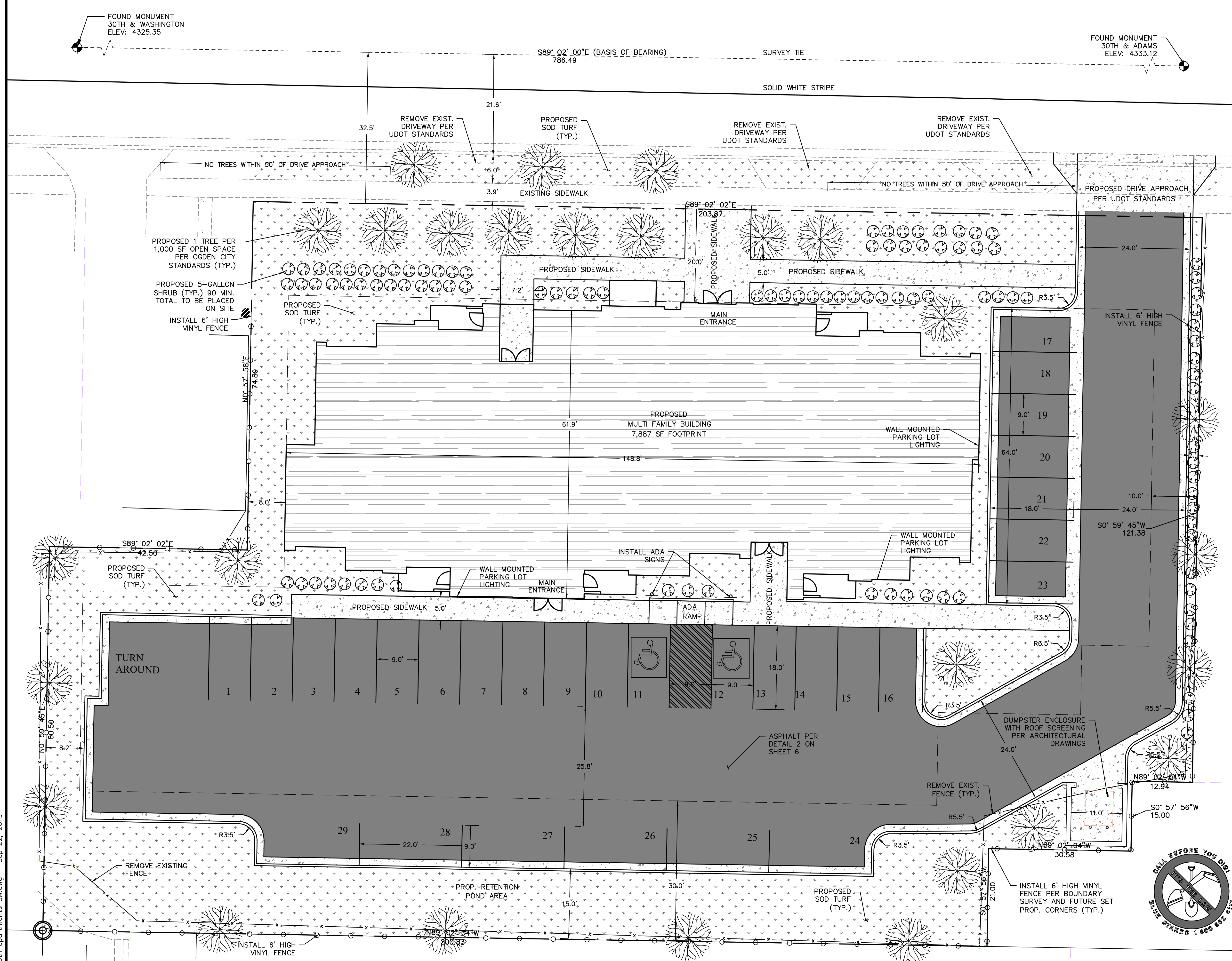
3 LEVELS; 18 UNITS TOTAL (15-2 BEDROOM, 3-1 BEDROOM)
LEVEL 1 = 7,654 SF
LEVEL 2 = 7,654 SF
LEVEL 3 = 7,654 SF
TOTAL = 22,962 SF



VICINITY MAP

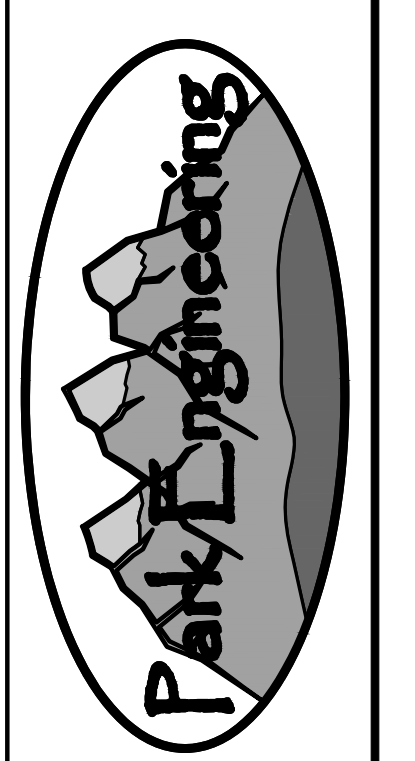


CALL BEFORE YOU DIG!  
BLUE STAKES 1 800 865 6371



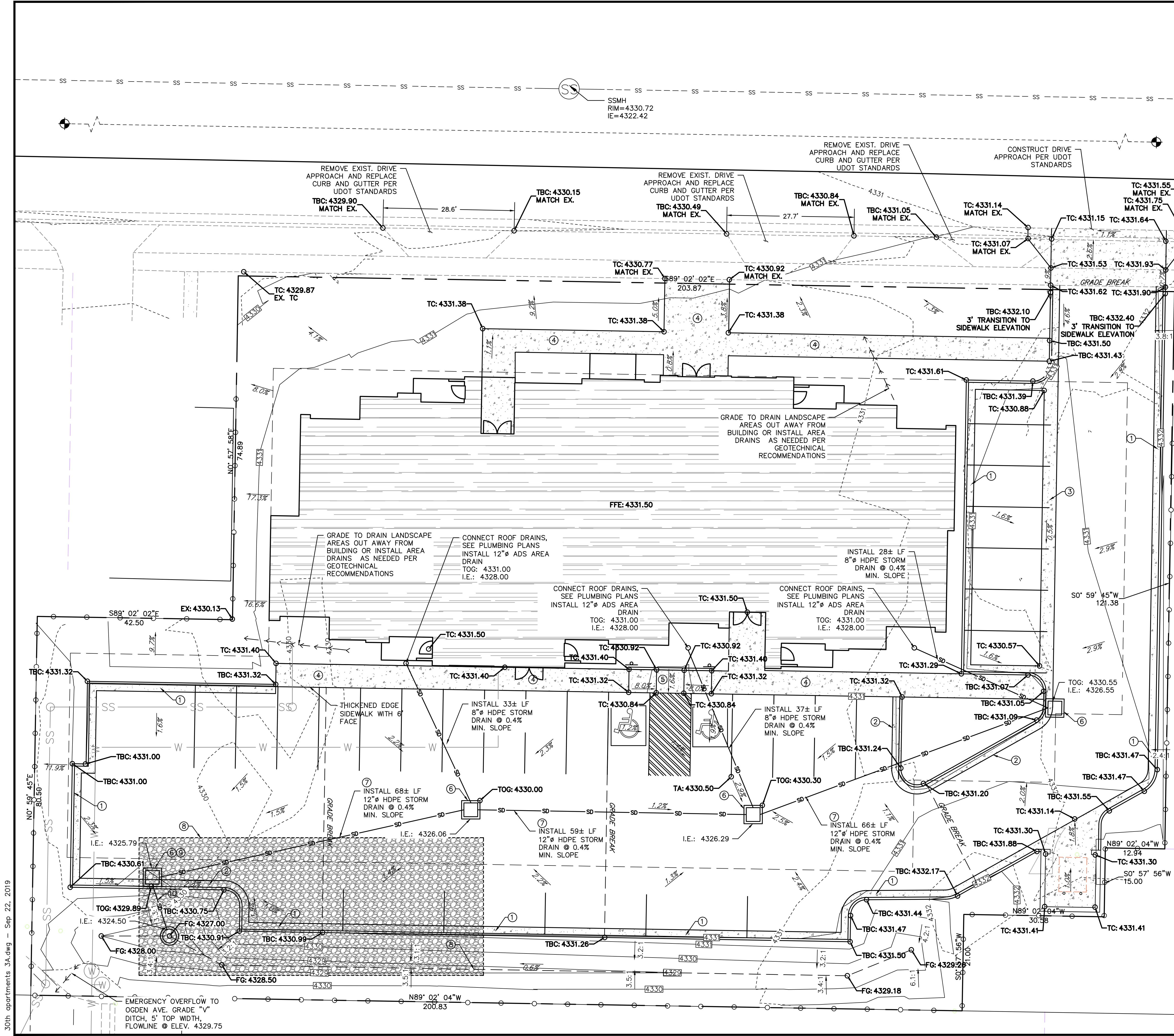
NO.	REVISIONS	BY	DATE

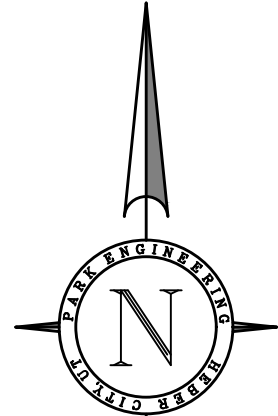
**PARK ENGINEERING, LLC**  
90 WEST 200 SOUTH, SUITE 1  
HEBER CITY, UT 84032  
PHONE: 435-654-1468  
TOLL FREE FAX: 1-800-975-2156




**30TH STREET APARTMENTS**  
SITE PLAN  
451 & 475 30TH STREET - OGDEN, UTAH

SHEET: **2/6**  
PROJECT ID:  
FILE NAME: SCALE: 1"=10'






SCALE IN FEET




PROPERTY/ROW LINE	---
EXISTING CURB AND GUTTER	==
PROPOSED CURB AND GUTTER	==
PROPOSED STORM DRAIN LINE	SD
EXISTING STORM DRAIN LINE	SD
PROPOSED SEWER LINE	SS
EXISTING SEWER LINE	SS
PROPOSED WATER LINE	W
EXISTING WATER LINE	W
EXISTING FENCE	x
INVERT ELEVATION	IE
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
TOP BACK OF CURB	TBC
TOP OF ASPHALT	TA
TOP OF CONCRETE	TC
TOP OF GRATE	TOG
GRADE BREAK	--- GRADE BREAK ---
FINISH GRADE CONTOUR LINES	--- 4330 ---
EXISTING GRADE CONTOUR LINES	--- 4330 ---
FINISH GRADE SLOPE	--- SLOPE ---
FOUND MONUMENT	⊙

- DESIGN KEY NOTES:**
- ① INSTALL "REVERSE PAN" CURB AND GUTTER PER APWA PLAN NO. 205 TYPE "E"
  - ② INSTALL "CATCH" CURB AND GUTTER PER APWA PLAN NO. 205 TYPE "E"
  - ③ INSTALL 3' WIDE WATERWAY PER APWA PLAN NO. 211
  - ④ INSTALL SIDEWALK PER APWA PLAN NO. 231, WIDTH AS SHOWN ON PLANS
  - ⑤ INSTALL ADA RAMP EXAMPLE 5 PER APWA PLAN NO. 236
  - ⑥ INSTALL 3'x3' (INSIDE DIMENSION) INLET BOX PER APWA PLAN NO. 332
  - ⑦ PIPE ZONE BACKFILL PER APWA PLAN NO. 382
  - ⑧ 30"x75"x7" DEEP ROCK SEEPAGE BED AND RETENTION SWALE. CAPACITY: 6619 CF  
HWE: 4329.00  
OVERFLOW ELEV: 4329.75  
EXCAVATE AND INSTALL SEEPAGE BED 2' INTO FREE DRAINING MATERIAL. NOTIFY ENGINEER IF GROUND WATER IS PRESENT. SEE SHEET 6 FOR RETENTION BED DETAIL
  - ⑨ INSTALL OIL/WATER SNOUT WITH 3' SUMP. SEE DETAIL 3 ON SHEET 6
  - ⑩ INSTALL 10± LF 12" HDPE STORM DRAIN @ 13% SLOPE
- NOTES:**
1. SEE GEOTECHNICAL REPORT BY GORDON GEOTECHNICAL ENGINEERING INC. DATED APRIL 5, 2019 FOR ALL GRADING, EXCAVATION AND FILL DETAILS AND SPECIFICATIONS.



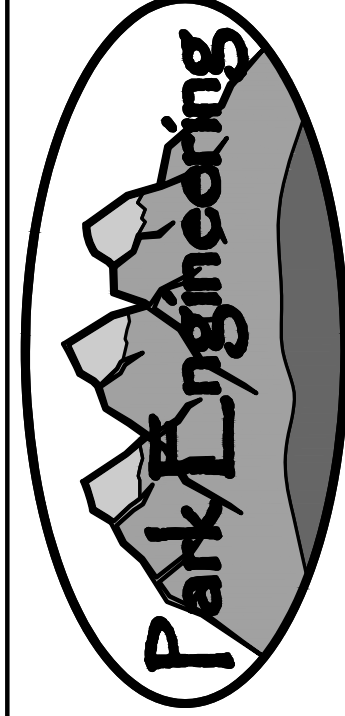
CALL BEFORE YOU DIG  
BLUE STAKES 1 800 882 8711



PROFESSIONAL ENGINEER  
6601635  
DEAN O. BARKER  
9/23/19  
STATE OF UTAH

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: DCB    DESIGNER: DCB



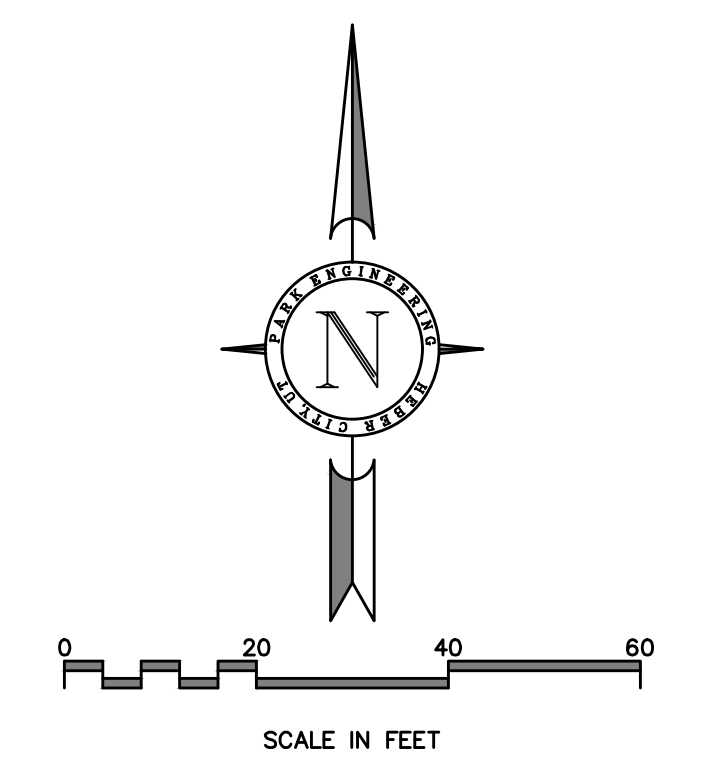
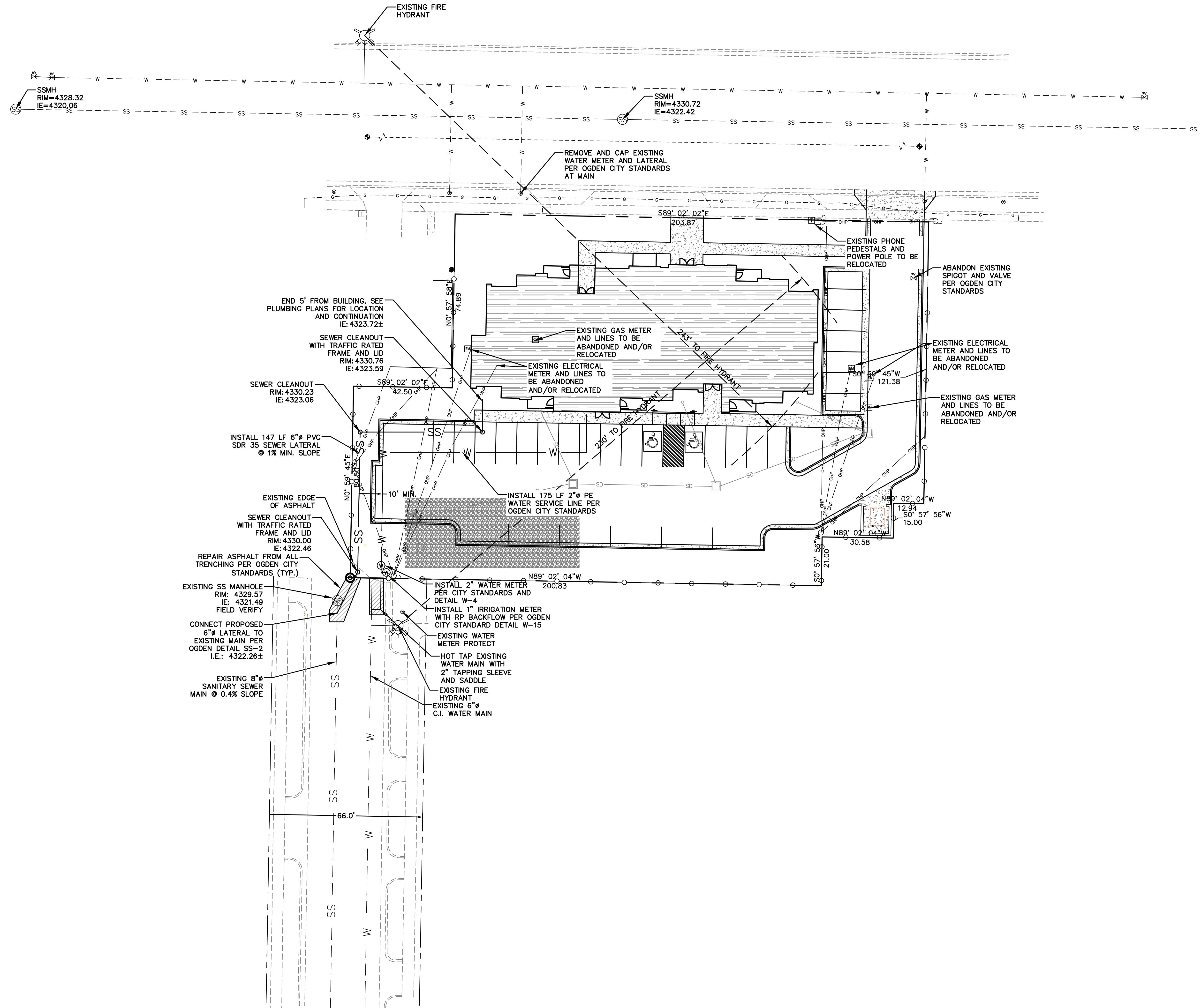
**Park Engineering**

**30TH STREET APARTMENTS  
GRADING AND DRAINAGE PLAN  
451 & 475 30TH STREET - OGDEN, UTAH**

SHEET: **3/6**

PROJECT ID: \_\_\_\_\_  
FILE NAME: \_\_\_\_\_ SCALE: 1"=10'

30th apartments 3A.dwg - Sep 22, 2019

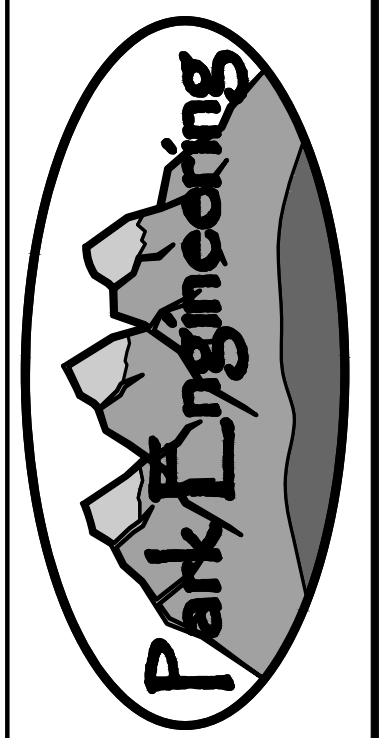


**LEGEND**

- EXISTING SEWERLINE ——— SS ———
  - PROPOSED SEWERLINE ——— SS ———
  - EXISTING WATERLINE ——— W ———
  - PROPOSED WATERLINE ——— W ———
  - EXISTING POWER LINE ——— OHP ———
  - EXISTING GAS LINE ——— G ———
  - EXISTING CURB AND GUTTER ——— C ———
  - PROPOSED CURB AND GUTTER ——— C ———
- 
- FLOW DIRECTION ARROW ———>———
  - EXISTING FIRE HYDRANT (Symbol)
  - PROPOSED FIRE HYDRANT (Symbol)
  - EXISTING WATER VALVE (Symbol)
  - PROPOSED WATER VALVE (Symbol)
  - EXISTING WATER METER (Symbol)
  - PROPOSED WATER METER (Symbol)
  - EXISTING SEWER MANHOLE (Symbol)

NO.	REVISIONS	BY	DATE

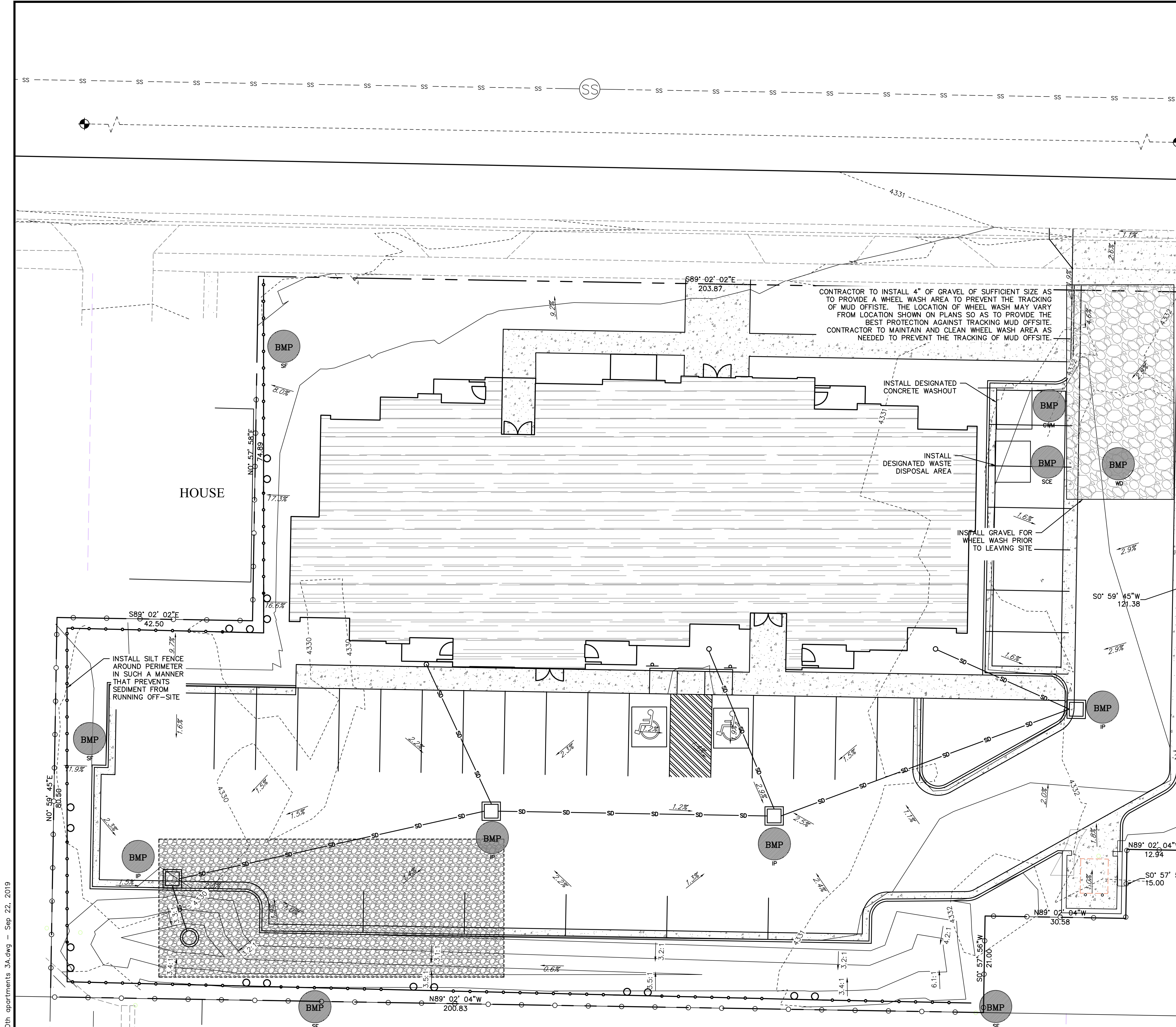
**PARK ENGINEERING, LLC**  
 90 WEST 200 SOUTH, SUITE 1  
 HEBER CITY, UT 84032  
 PHONE: 435-654-1456  
 TOLL FREE FAX: 1-800-975-2156



**30TH STREET APARTMENTS**  
**UTILITY PLAN**  
**451 & 475 30TH STREET - OGDEN, UTAH**

SHEET: **4/6**  
 PROJECT ID:  
 FILE NAME: SCALE: 1"=20'





SCALE IN FEET

0 10 20 30

PROPERTY/ROW LINE	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	=====
PROPOSED STORM DRAIN LINE	SD
EXISTING STORM DRAIN LINE	SD
PROPOSED SEWER LINE	SS
EXISTING SEWER LINE	SS
PROPOSED WATER LINE	W
EXISTING WATER LINE	W
EXISTING FENCE	x
INVERT ELEVATION	IE
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
TOP BACK OF CURB	TBC
TOP OF ASPHALT	TA
TOP OF CONCRETE	TC
GRADE BREAK	GRADE BREAK
FINISH GRADE CONTOUR LINES	4.330
EXISTING GRADE CONTOUR LINES	4.330
FINISH GRADE SLOPE	SLOPE
FOUND MONUMENT	+

SILT FENCE

BEST MANAGEMENT PRACTICE

BMP

**CONSTRUCTION BMP SUMMARY**

THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE USED DURING CONSTRUCTION:

- IP INLET PROTECTION
- PT PORTABLE TOILETS
- VEC VEHICLE AND EQUIPMENT CLEANING
- MS MATERIAL STORAGE
- VEF VEHICLE AND EQUIPMENT FUELING
- CP COMPACTION
- DC DUST CONTROLS
- SF SILT FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- CWM CONCRETE WASTE MANAGEMENT
- WD WASTE DISPOSAL

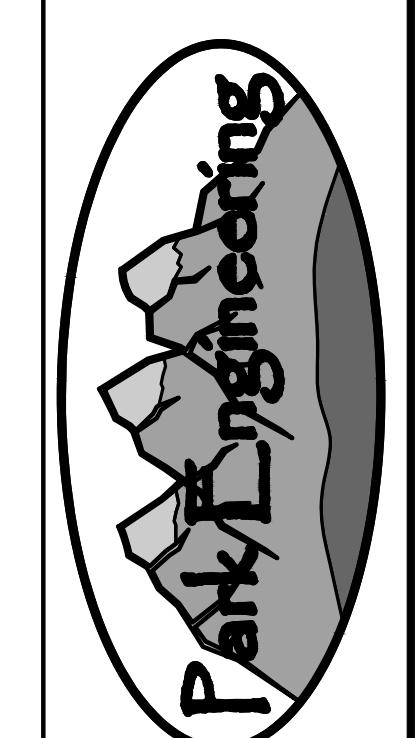
NOTES:

1. ALL CONSTRUCTION PERIOD BEST MANAGEMENT PRACTICES (BMP'S) ARE TO BE INSPECTED AND MAINTAINED AT LEAST EVERY 14 DAYS AND BEFORE AND AFTER EACH STORM EVENT.
2. CONTRACTOR SHALL BE REQUIRED TO MAINTAIN A LOG OF ALL INSPECTIONS AND MAINTENANCE OF BEST MANAGEMENT PRACTICES ON SITE WITH THE SWPPP.



NO.	REVISIONS	BY	DATE

**PARK ENGINEERING, LLC**  
 90 WEST 200 SOUTH, SUITE 1  
 HERRING CITY, UT 84032  
 PHONE: 435-654-1456  
 TOLL FREE FAX: 1-800-975-2156

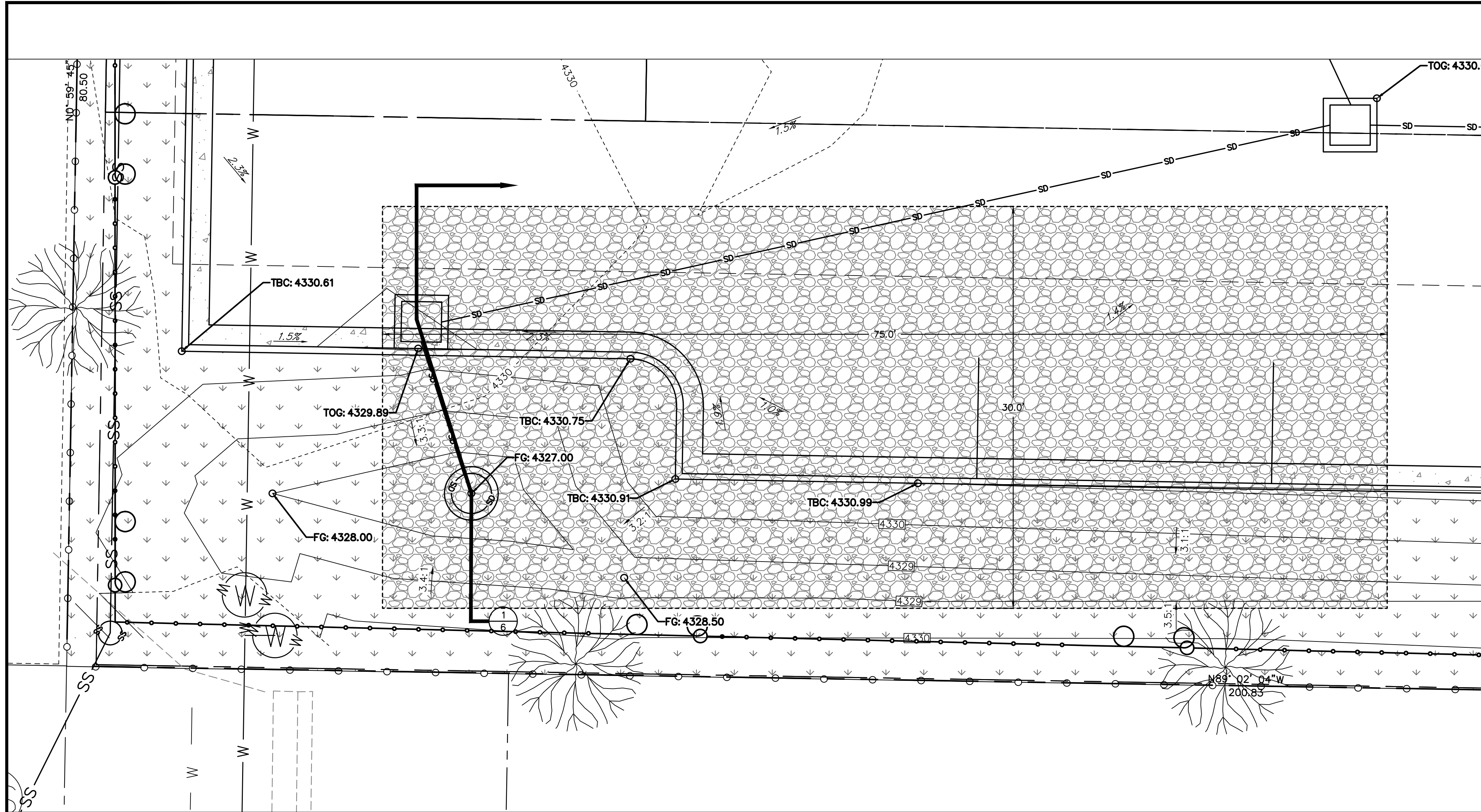


**30TH STREET APARTMENTS**  
**SWPPP**  
**451 & 475 30TH STREET - OGDEN, UTAH**

SHEET: **5/6**  
 PROJECT ID:  
 FILE NAME: SCALE: 1"=10'

30th apartments 3A.dwg - Sep 22, 2019

PROJECT ENGINEER: DCB DESIGNER: DCB



**DRAINAGE CALCS FOR 30TH STREET APARTMENTS**

Restriction Rate: 0.00 cfs/acre      100 Year flood design

Runoff Coefficient

Roof Area	7654 ft²	C <sub>roof</sub>	0.90
Paved Area	16039 ft²	C <sub>paved</sub>	0.90
Landscaped	10770 ft²	C <sub>landscaped</sub>	0.25
Total Area	34463 ft²	Weighted C	0.70
	0.79 acres	CA	24016 ft²

Lapsed Time (min)	Accum Rainfall (in)	"CA" (ft²)	Accum Flow (ft³)	Allow Discharge (ft³)	Required Storage (ft³)
5	0.595	24016	1191	0	1191
10	0.904	24016	1809	0	1809
15	1.12	24016	2242	0	2242
30	1.51	24016	3022	0	3022
60	1.87	24016	3743	0	3743
120	2.08	24016	4163	0	4163
180	2.13	24016	4263	0	4263
360	2.34	24016	4683	0	4683
720	2.91	24016	5824	0	5824
1440	3.28	24016	6564	0	6564

**Summary**

Required retention storage = 6564 ft³  
 Unit storage per acre = 8297.24 ft³/acre  
 Allowable release rate = 0.00 ft³/sec

Storage Provided within Retention Swale

Elevation	Area (ft²)	Volume (ft³)	Acc. Volume (ft³)
4327.00	0	0	0
4328.00	75	38	38
4329.00	488	282	319
4330.00	1784	1136	1455

HWE

Storage Provided within Rock Seepage Bed

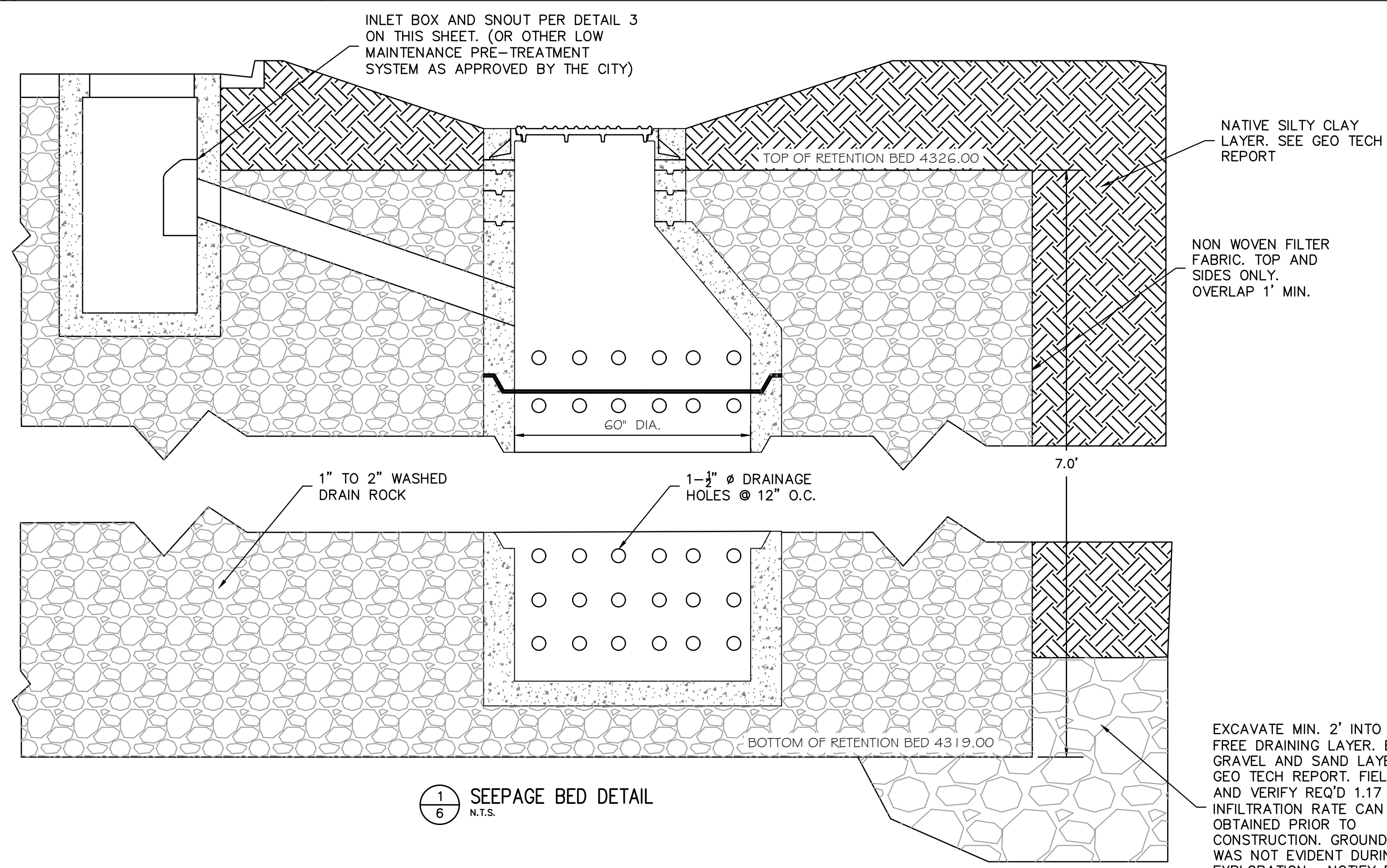
Depth (ft)	Length (ft)	Width (ft)	Total Volume (ft³)	40% Void Volume (ft³)
7.00	75	30	15750	6300

Total Capacity: 6619 cf

Seepage Bed Drain time (Req'd to Drain Within 72 hours)

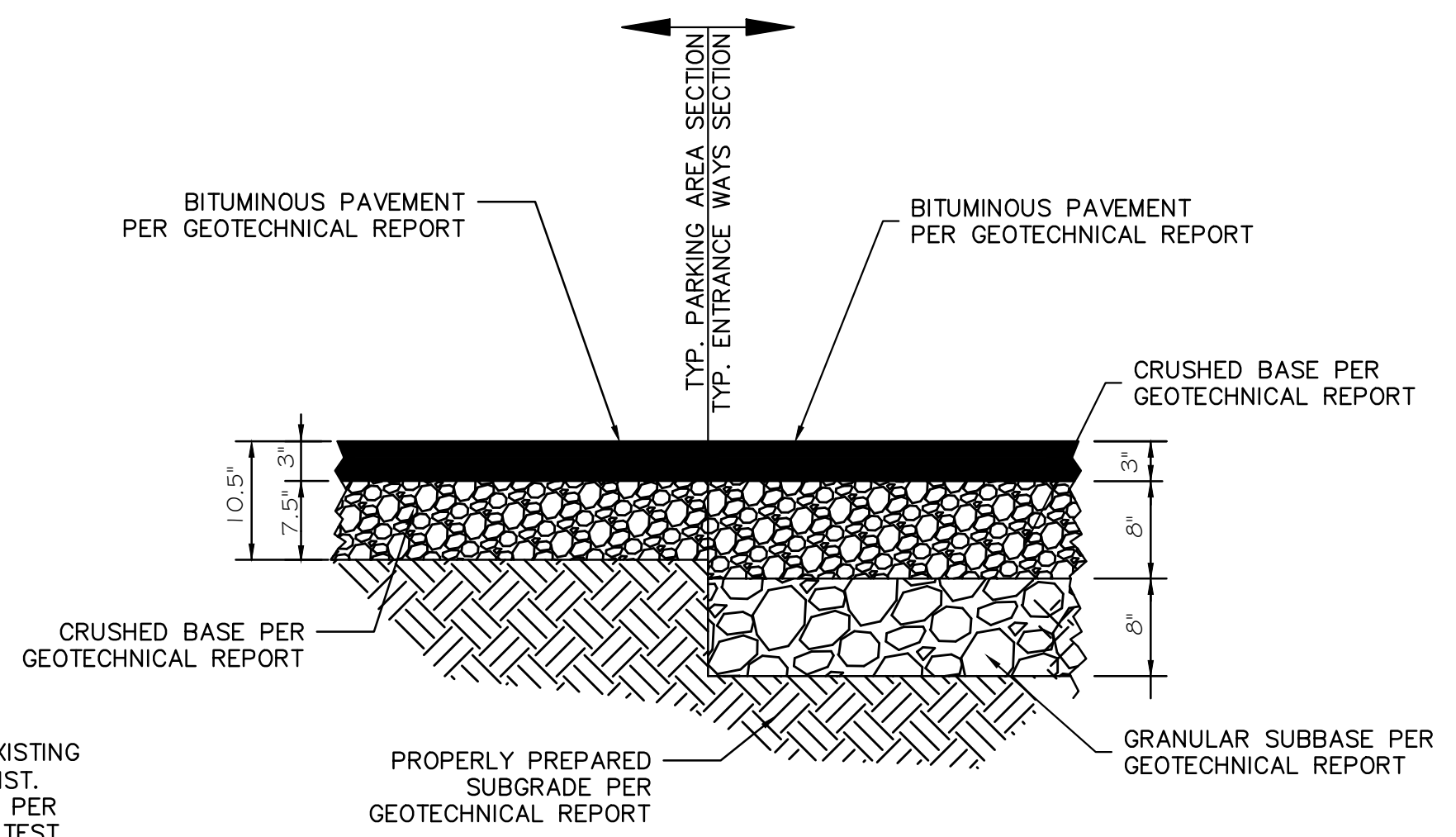
Volume (ft³)	Depth (ft)	Volume/LF (ft³)	Rate (ft³/hour)	Req'd Infiltration Rate (in/hour)
6564	7	937.78	13.02	1.17

\*\*\*Field verify prior to construction

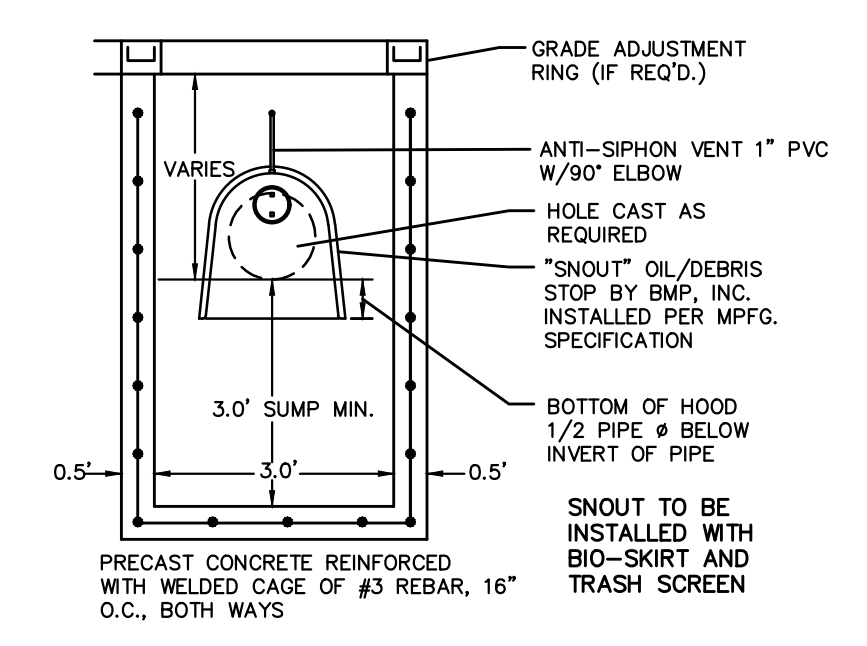


1 SEEPAGE BED DETAIL  
N.T.S.

EXCAVATE MIN. 2' INTO EXISTING FREE DRAINING LAYER. EXIST. GRAVEL AND SAND LAYER PER GEO TECH REPORT. FIELD TEST AND VERIFY REQ'D 1.17 IN/HR INFILTRATION RATE CAN BE OBTAINED PRIOR TO CONSTRUCTION. GROUNDWATER WAS NOT EVIDENT DURING EXPLORATION. NOTIFY ENGINEER IF GROUND WATER FOUND



NOTES:  
1. SEE GEOTECHNICAL REPORT BY GORDON GEOTECHNICAL ENGINEERING INC. DATED APRIL 5, 2019 FOR DETAILS AND SPECIFICATIONS.

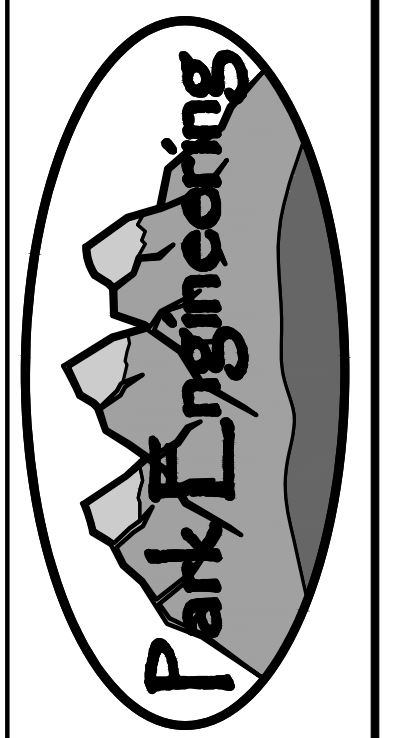


3 SNOOT OIL & DEBRIS STOP  
N.T.S.



NO.	REVISIONS	BY	DATE

PARK ENGINEERING, LLC  
 90 WEST 200 SOUTH, SUITE 1  
 HEBER CITY, UT 84032  
 PHONE: 435-654-1468  
 TOLL FREE FAX: 1-800-975-2156



30TH STREET APARTMENTS  
 DRAINAGE CALCULATIONS AND DETAILS  
 451 & 475 30TH STREET - OGDEN, UTAH

PROJECT ENGINEER: DCB  
 DESIGNER: DCB