# OGDEN-HINCKLEY AIRPORT TERMINAL REMODEL

Ogden, Utah 84401
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www.sandersarch.com

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MECHANICAL:

CUNNING AND ASSOCIATES 4685 W. 11600 N.

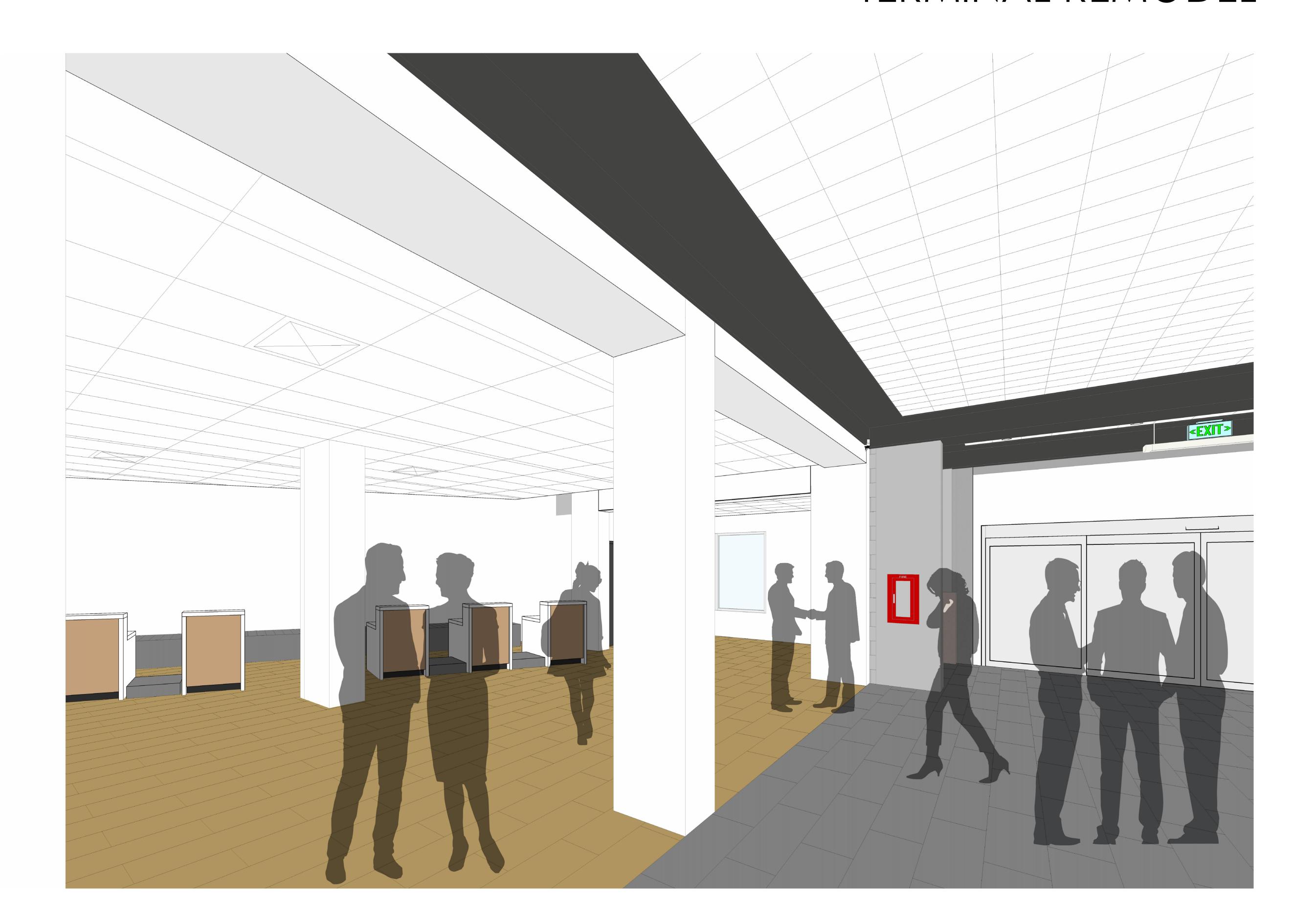
Tremonton, UT 84337

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ELECTRICAL:

BNA CONSULTING 635 S. State Street Salt Lake City, UT 84111

Contact: Josh Oakeson, PE Telephone: 801.532.2196



OGDEN-HINCKLEY AIRPORT

Description
3 BID DOCUMENTS

No.	Date	Description
1	11.14.23	BID DOCUMENTS
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No.	Date	Description
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COVER SHEET

Sheet Number

G1001

### KEYED NOTES - MASTER LIST

- 1.04 ASBESTOS TILE AT LANDING, DO NOT REMOVE 3.18 INSTALL CONCRETE FLOOR TOPPING TO RESLOPE (SLOPING) FLOOR, 1/4"
- PER 12" MAXIMUM SLOPE 5.51 METAL ACCESS LADDER 6.11 REMOVE EXISTING WALL FURRING FOR COLUMN AND DOOR
- CUTOUT-INSTALLATIONS. INSTALL NEW FURRING & DRYWALL. PATCH TO **EXISTING SURFACES**
- 7.13 2" ROOF TO WALL EXPANSION JOINT, REFER TO DETAILS
- 7.17 REMOVE EXIST. ROOF COPING AND WRAP WITH NEW PVC MEMBRANE 7.18 RUN ROOF EXPANSION JOINT VERT. ON PARAPET AND HORIZ. TO WALL JOINT, SEAL TO SHEET METAL COPING
- 10.02 SURFACE MOUNTED FIRE EXTINGUISHER 10.03 RECESSED FIRE EXTINGUISHER CABINET 10.06 EXISTING RECESSED FIRE EXTINGUISHER CABINET TO REMAIN FOR REUSE
- 10.07 EXISTING FIRE EXTINGUISHER TO BE REINSTALLED, SURFACE-MOUNT 11.01 SURFACE MOUNTED TV, BY OWNER, REFER TO ELECTRICAL
- 11.06 TSA SECURITY SCREENING EQUIPMENT, BY OTHERS, REFER TO ELECTRICAL
- 11.12 TSA COMPUTER TRAINING STATION, BY OTHERS 11.13 TSA EMPLOYEE LOCKERS, BY OTHERS, VERIFY SIZE
- 11.16 BAGGAGE ROLLERS, BY OWNER, VERIFY SIZE 11.17 RELOCATE EXISTING TICKETING KIOSKS, COORDINATE WITH OWNER. VERIFY
- WITH OWNER FOR REQUIRE LOCATIONS FOR NEW POWER/DATA IN FLOOR
- 12.01 FURNISHINGS BY OTHERS 23.03 RTU CLEARANCE, REFER TO MECHANICAL
- 23.04 EXISTING RTU TO REMAIN, REFER TO MECHANICAL 23.05 NEW RTU, REFER TO MECHANICAL
- 23.09 NEW AIR CURTAIN, REFER TO MECH
- 32.01 6" DIAMETER PIPE BOLLARD FILLED WITH CONCRETE, REFER TO DETAIL A1/AE403
- 32.13 PATCH WITH APHALT PAVING WHERE LANDING IS REMOVED 32.14 EXISTING PIPE BOLLARD TO REMAIN. (PAINT)
- D2.03 REMOVE EXISTING WALL
- D2.04 REMOVE EXISTING CEILING SYSTEM & LIGHTS
- D2.09 REMOVE EXISTING SITE CONCRETE, AS REQUIRED
- D2.13 REMOVE EXISTING EXTERIOR WOOD TABLE AND CANOPY
- D2.20 REMOVE EXISTING DOOR & FRAME
- D2.21 REMOVE EXISTING WINDOW D2.23 REMOVE EXISTING EXTERIOR CONCRETE STAIRS
- D2.25 REMOVE EXISTING SINK, CAP LINES, REFER TO PLUMBING D2.26 REMOVE EXISTING SURFACE-MOUNTED FIRE EXTINGUISHER, TO BE
- REINSTALLED D2.28 REMOVE EXISTING ROLLING BAGGAGE DOOR
- D2.29 REMOVE EXISTING BOLLARDS D2.31 REMOVE EXISTING CARPET FLOORING AND GLUE, RETURN CARPET TILE TO
- OWNER ON A PALLET D2.32 REMOVE EXISTING OVERHEAD DOOR & RELATED EQUIPMENT, TO BE REINSTALLED
- D2.39 REMOVE EXISTING EXTERIOR CONCRETE LANDING D2.47 REMOVE EXISTING SURFACE-MOUNTED DOWNSPOUT

### KEYED NOTES - MASTER LIST D2.48 REMOVE EXISTING EXTERIOR WALL-MOUNTED LIGHTS

D2.62 DISASSEMBLE AND REMOVE EXISTING DECOMMISSIONED BOILER

D2.72 REMOVE EXISTING SIGNAGE HANGING FROM CEILING

D2.74 REMOVE EXISTING FABRIC CANOPY & METAL FRAME

D2.85 REMOVE EXISTING CONCRETE BOX, FLOOR TO BE FILLED

D2.86 REMOVE EXISTING WALL-MOUNTED BULLETIN BOARD CASE

D2.80 CUT OPENING FOR NEW OVERHEAD DOOR

D2.96 REMOVE EXISTING PLAYGROUND EQUIPMENT

D2.113 REMOVE EXISTING WOOD PANELING ABOVE DOOR

& LIGHTS. SAW CUT 1" OFF EXISTING WALL.

FOR REINSTALLATION, REFER TO PLUMBING

AND PAPER TOWEL DISPENSOR FOR REINSTALLATION

D2.130 REMOVE EXISTING DRINKING FOUNTAIN, OPEN WALL FOR SHIFTING

D2.131 REMOVE DOORS, CUTOUT WALL FOR NEW DOOR TO MEET ADA

D2.133 REMOVE EXISTING RAILINGS AND HANDRAILS, PATCH WALLS

D2.134 REMOVE EXISTING STOREFRONT VESTIBULE INCLUDING SOFFIT

D2.137 REMOVE EXISTING CEILING GRID AS REQUIRED AT NEW ROOM

D2.139 CUTOUT WALL BELOW WINDOW TO FLOOR FOR NEW OPENING

D2.135 REMOVE EXISTING STOREFRONT, DOORS AND WINDOWS

D2.138 REMOVE EXISTING VESTIBULE SOFFIT STRUCTURE

D2.140 REPLACE TILE BASE AT WALL CUTOUTS

D2.63 DISASSEMBLE AND REMOVE EXISTING DECOMMISSIONED WATER HEATER

D2.79 CUT OPENING FOR NEW MAN DOOR, REFER TO STRUCTURAL FOR STEEL

D2.121 REMOVE EXISTING STEEL FRAMED ROOF OVERHANG, FASCIA, RAIN GUTTER,

D2.125 CUTOUT AND REMOVE EXISTING CONCRETE LANDING. (PATCH FACE OF

D2.127 REMOVE AND SALVAGE EXISTING RESTROOM COUNTER AND LAVATORY

D2.128 REMOVE AND SALVAGE EXISTING RESTROOM SOAP DISPENSOR, MIRROR

D2.132 CUTOUT AND REMOVE EXISTING CONCRETE RAMP LANDING TO EXISTING

PLUMBING FOR TWO NEW DRINKING FOUNTAINS CENTERED BETWEEN

D2.73 REMOVE EXISTING DROPPED ACOUSTIC GRID CEILING, REMOVE LIGHTS, TYP.

D2.51 REMOVE EXISTING CONCRETE COLUMN

D2.52 REMOVE EXISTING COUNTERTOP

D2.55 REMOVE EXISTING HANDRAILS

D2.83 REMOVE EXISTING SIGNAGE

D2.87 EXISTING WATER HEATER TO REMAIN

D2.124 EXISTING FIRE EXTINGUISHER TO REMAIN

D2.126 PATCH EXISTING EDGE CEILING TILES

DOORS, REFER TO PLUMBING

CLEARANCE REQUIREMENTS

EXISTING CONCRETE FOUNDATION)

FRAMING

**051200** METALS- SEE REQUIREMENTS ON GENERAL STRUCTURAL NOTES SHEETS PERTAINING TO SPECIAL INSPECTION FOR STEEL COMPONENTS; INSPECTION IS BY THE OWNERS AGENT.

OWNERS AGENT.

SPECIAL INSPECTIONS (2018 IBC)

**084413** SEISMIC RESISTANCE INSPECTION SHALL BE PROVIDED FOR STOREFRONT SYSTEMS PER IBC SECTION 1704.3.2 AND WIND RESISTANCE PER SECTION 1704.3.3. INSPECTION IS BY OWNERS AGENT.

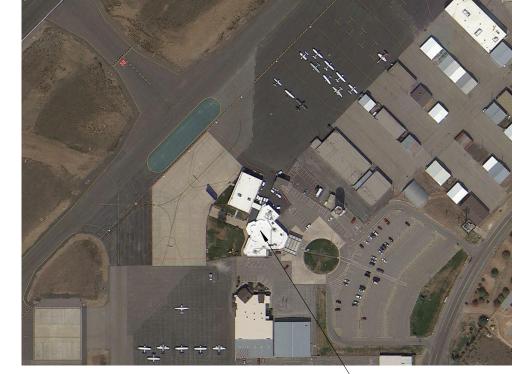
**092200** NON LOAD BEARING STEEL FRAMING, AS REQUIRED BY IBC 1705.12.5 "ARCHITECTURAL COMPONENTS". INSPECTION IS BY THE OWNERS AGENT.

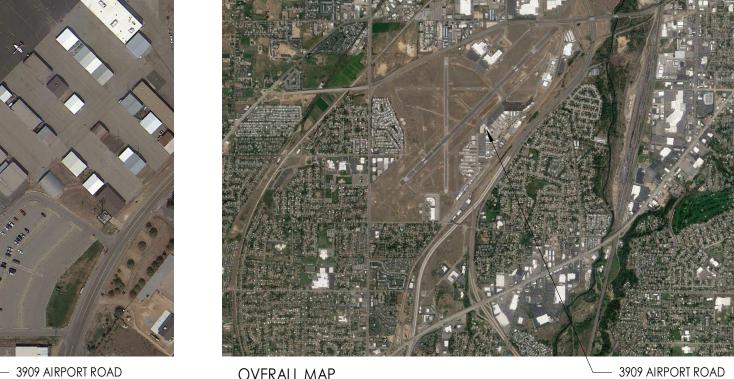
**092900** GYPSUM BOARD- COLD WEATHER PLACEMENT REQUIREMENTS AS LISTED IN THIS SPECIFICATION SECTION. INSPECTION IS BY THE OWNERS AGENT.

**095100** ACOUSTICAL CEILINGS- SPECIAL INSPECTION REQUIREMENTS AS LISTED IN THIS SPECIFICATION SECTION. INSPECTION IS BY THE OWNERS AGENT. **220548** MECHANICAL SEISMIC RESTRAINTS- AS REQUIRED BY IBC SECTION 1705.12.6 "SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE". INSPECTION IS BY THE

**260000** ELECTRICAL PER THE REQUIREMENTS OF ASCE 7, THE BUILDING OWNER WILL EMPLOY A SPECIAL INSPECTOR/S) TO OBSERVE THE CONSTRUCTION OF ALL DESIGNATED SEISMIC SYSTEMS IN ACCORDANCE WITH THE QUALITY ASSURANCE PLAN. PERIODIC SPECIAL INSPECTION DURING THE ANCHORAGE OF ELECTRICAL EQUIPMENT FOR EMERGENCY AND STANDBY POWER SYSTEMS, INCLUDING BUT NOT LIMITED TO:

A. EMERGENCY LIGHTING, WITH ASSOCIATED CONDUIT, WIRING AND DISTRIBUTION SYSTEM.





OVERALL MAP

# Vicinity Map

N.T.S.

CLOSER MAP

OGDEN, UT 84405

# **DEFERRED SUBMITTALS:**

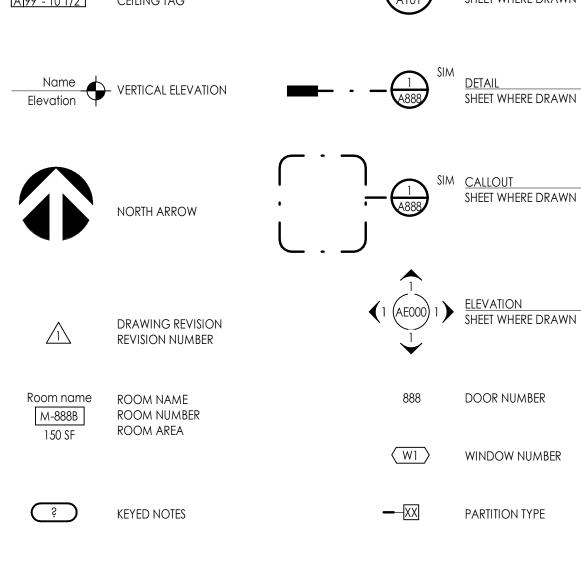
- CONTRACTOR IS RESPONSIBLE TO SUBMIT DEFERRED SUBMITTALS IN ACCORDANCE WITH IBC 107.3.4.1. AS PART OF THE SUBMITTAL PROCESS, THE CONTRACTOR IS TO SUBMIT ALL ICC-ES EVALUATION REPORTS FOR ITEMS
- SHORING FOR TEMPORARY STRUCTURAL SUPPORT. SUSPENDED CEILINGS
- MECHANICAL SEISMIC RESTAINTS ELECTRICAL SEISMIC RESTRAINTS

# **ALTERNATES**

1. ADDITIVE ALTERNATE #1: INTERIOR COLUMN REMOVAL AND NEW COLUMNS & BEAM. PROVIDE AN ADDITIVE ALTERNATE BID FOR THE RMEOVAL OF THE INTERIOR CONCRETE COLUMN AND INSTALLATION OF NEW COLUMNS AND BEAM.

# LEAD PAINT ABATEMENT:

PROVIDE LEAD PAINT ABATEMENT LOCATED AT EXISTING PLASTER CEILINGS AND CORNICE AREAS. (REFER TO DRAWINGS AD142 AND AD143.)



MATERIALS	; ;					
CONCRETE	EIFS	STEEL	MASONRY BRICK	GYPSUM BOARD	BLOCKING	EARTH
GRAVEL  EXIST. BUILDING	INSULATION RIGID	STONE	MASONRY CONCRETE BLOCK	FINISH WOOD	BATT INSULATION	PRECAST

HYD HYDRANT

# **ABBREVIATIONS**

DTL. DETAIL

#	NUMBER	DWGS.	DRAWINGS	I.D.	INSIDE DIAMETER	REINF.	REINFORCED
@	AT	EA.	EACH	I.F.	INSIDE FACE	req'd	REQUIRED
Ç Ø	CENTER LINE	E.F.	EACH FACE	IN.	INCHES	RM.	ROOM
Ø	DIAMETER	E.J.	EXPANSION JOINT	INFO.	INFORMATION	R.O.	ROUGH OPENING
L	ANGLE	EL.	ELEVATION	INSUL.	INSULATION	SCHED.	SCHEDULE
A.B.	ANCHOR BOLT	ELEV.	ELEVATION	LAV.	LAVATORY	SHR.	SHOWER
ABV.	ABOVE	EQ.	EQUAL	LT.	LIGHT	SHT.	SHEET
ADJ.	ADJUSTABLE	E.S.	EACH SIDE	LT. WT.	LIGHT WEIGHT	SIM.	SIMILAR
A.F.F.	ABOVE FINISH FLOOR	E.W.	EACH WAY	MAINT.	MAINTENANCE	SPEC.	SPECIFICATION
ALUM.	ALUMINUM	EXIST.	EXISTING	MANUF.	MANUFACTURER	STC	SOUND TRANSMISSIO
APPROX.	APPROXIMATE	EXPAN.	EXPANSION	MAX.	MAXIMUM		COEFFICIENT
ARCH.	ARCHITECTURAL	EXT.	EXTERIOR	MAT.	MATERIAL	STD.	STANDARD
A.S.T.M.	AMERICAN SOCIETY FOR	F.D.	FLOOR DRAIN	M.C.J.	MASONRY CONTROL JOINT	STIFF.	STIFFENER
	TESTING MATERIALS	FDN.	FOUNDATION	MECH.	MECHANICAL	STR.	STRUCTURAL
D.B.A.	DEFORMED BAR ANCHOR	F.E.	FIRE EXTINGUISHER	MFR.	MANUFACTURER	SUPER.	SUPERVISOR
BD.	BOARD	F.E.C.	FIRE EXTINGUISHER CABINET	MIN.	MINIMUM	SUSP.	SUSPENDED
BLDG.	BUILDING	F.F.	FINISH FLOOR	MISC.	MISCELLANEOUS	THRU	THROUGH
B.M.	BENCHMARK	FIN.	FINISH	M.O.	MASONRY OPENING	T.O.	TOP OF
B.O.	BOTTOM OF	FLR.	FLOOR	MTL.	METAL	T.O.A.	TOP OF ASPHALT
BOT.	BOTTOM	FT.	FEET	N.I.C.	NOT IN CONTRACT	T.O.C.	TOP OF CURB
B.P.	BASE PLATE	FTG.	FOOTING	NO.	NUMBER	T.O.P.	TOP OF PAVING
BRG.	BEARING	GA.	GAGE/GAUGE	N.T.S.	NOT TO SCALE	T.O.F.	TOP OF FOOTING
BTWN.	BETWEEN	GAL.	GALLON	O.C.	ON CENTER	T.O.S.	TOP OF SLAB
CER.	CERAMIC	GALV.	GALVANIZED	O.D.	OUTSIDE DIAMETER		OR SIDEWALK
C.J.	CONSTRUCTION JOINT	GND.	GROUND	O.F.	OUTSIDE FACE	T.O.W.	TOP OF WALL
CLG.	CEILING	GWB.	GYPSUM WALL BOARD	O.H.	OVERHEAD	TYP.	TYPICAL
CLR.	CLEAR	GYP. BD.	GYPSUM WALL BOARD	OHD	OVERHEAD DOOR	U.N.O.	UNLESS NOTED
CMU	CONCRETE MASONRY UNIT	HC.	HANDICAPPED	OPP.	OPPOSITE	0	OTHERWISE
COL.	COLUMN	HDW.	HARDWARE	PART.	PARTITION	VCT	VINYL COMPOSITION
CONC.	CONCRETE	H.M.	HOLLOW METAL	PL.	PLATE		TILE
CONT.	CONTINUOUS	HORIZ.	HORIZONTAL	PNTD.	PAINTED	VERT.	VERTICAL
CONST.	CONSTRUCTION	HR.	HOUR	PROT.	PROTECTION	VEST.	VESTIBULE
COORD.	COORDINATE	H.S.A.	HEADED STUD ANCHOR	P.S.F.	POUNDS PER SQUARE FOOT	VNR.	VENEER
DBL.	DOUBLE	HT.	HEIGHT	P.S.I.	POUNDS PER SQUARE INCH	W/	WITH
DEPT	DEPARTMENT	HVAC	HEATING/VENTILATION/	QTY.	QUANTITY	WD.	WOOD
DIA.	DIAMETER		AIR CONDITIONING	R.D.	ROOF DRAIN	W.W.F.	WELDED WIRE FABRIC
D1/ \.	DIT WITE LETT		/ III CONDITIONING	١٠.٠.	NOOT DIVIN	, , , , , , ,	THE PROPERTY OF THE PROPERTY O

RAD. RADIUS

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OGDEN, UT 84405

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GI005 ACCESSIBILITY DETAILS FOR NEW & EXISTING CONSTRUCTION GI006 ACCESSIBLITY DETAILS/ RAMPS & STAIRS/ SIGNAGE TYPES & DETAILS

ARCHITECTURAL

STRUCTURAL

MECHANICAL

PLUMBING

**ELECTRICAL** 

MP-000 MECH. / PLUMBING SYMBOL LEGEND, AND SCHEDULES

### 4. CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION ON THE DOCUMENTS.

MISCELLANEOUS GENERAL NOTES

THESE CONSTRUCTION DRAWINGS.

- 5. KEEP SITE CLEAN AND CLEAR OF DEBRIS AND IN ORDERLY CONDITION THAT DOES NOT DETRACT FROM THE SURROUNDING SITE AND REPAIR ANY DAMAGE CAUSED BY WORK OF THE CONTRACT
- 6. INSTALL SEALANT AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH WOULD ALLOW WATER OR AIR INFILTRATION EXCEPT

1. THE PROJECT MANUAL, UNDER SEPARATE COVER, IS AN INTEGRAL PART OF

"TYPICAL" SHALL APPLY TO ALL SITUATIONS OCCURRING THAT ARE THE SAME

2. PLANS, SECTIONS, ELEVATIONS, DETAILS AND DIMENSIONS LABELED

OR SIMILAR TO THOSE SPECIFICALLY NOTED ON THE DRAWINGS.

AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.

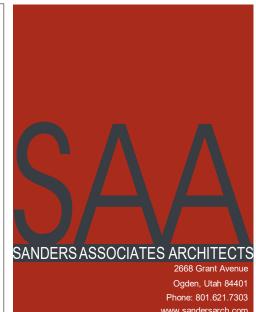
3. ALL WORK, MATERIALS, AND METHODS SHALL BE IN CONFORMANCE WITH

THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL

- AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ADJACENT SURFACE. COLOR REQUIRES ARCHITECTS APPROVAL. 7. ALL SPECIAL ACCESSIBLE FACILITIES SHALL BE IDENTIFIED WITH APPROVED
- 8. THE CONTRACTOR IS RESPONSIBLE FOR PRODUCING A WEATHER TIGHT BUILDING, DETAILS AND OMISSIONS TO DRAWINGS NOTWITHSTANDING. ALL DRAWING CONFLICTS WHICH MAY NOT ALLOW A WEATHERTIGHT
- CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. 9. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL SUBMIT SPECIFIC DISCREPANCIES FOR ARCHITECT REVIEW.
- 10. PROVIDE FULL METAL BACKING PLATE (16 GAUGE X 6" HIGH SECURED TO 3 STUDS MIN.) OR WOOD BLOCKING AS REQUIRED TO SECURELY ANCHOR ALL WALL MOUNTED EQUIPMENT (CABINETS, TOILET ROOM ACCESSORIES, HARDWARE, ETC.). BLOCKING SHALL PROVIDE A RIGID CONNECTION CAPABLE OF SUPPORTING DESIGN LOADS. PROVIDE A 16 GAUGE X 6" STL.
- STUD/TRACK SECURED TO 2 STUDS TO SECURELY SUPPORT ALL WALL STOPS (DOOR BUMPER). 11. COORDINATE WITH ALL TRADES, SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS OR BASES, AS WELL AS ELECTRIC POWER, WATER, AND DRAIN INSTALLATIONS, BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES' WORK, ANY CONCERNS, SPACE LIMITATIONS OR STRUCTURAL
- CONFLICTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. A REASONABLE RESPONSE TIME SHALL BE ALLOWED AS NOTED IN THE SPECIFICATIONS.
- 12. ALL FLOOR OR WALL OPENINGS REQUIRED FOR PIPES, DUCTS, CONDUITS, ETC. SHALL BE SEALED IN AN APPROVED MANNER. 13. FIRE SPRINKLER DESIGN TO BE DONE BY A CERTIFIED SUB-CONTRACTOR PRIOR TO SUBMITTAL TO ARCHITECT. SUBMITTAL TO THE ARCHITECT ALSO INDICATES THAT THE CONTRACTOR HAS REVIEWED AND COORDINATED FIRE-

SPRINKLER PIPING LOCATIONS WITH ALL TRADES.

- 14. ROOMS ENCLOSED WITH RATED WALLS REQUIRE RATED DOORS. ANY DUCTS PASSING THROUGH WALLS REQUIRE FIRE DAMPERS AND OR FIRE/SMOKE DAMPERS. ANY CONDUIT OR PIPING REQUIRES RATED SEALANT AT JOINTS. 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND LOCATE
- ELECTRICAL, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CASEWORK DOORS, ETC. 16. THE DRAWINGS AND SPECIFICATIONS INDICATE THE GENERAL SCOPE OF THE
- PROJECT IN TERMS OF THE ARCHITECTURAL AND STRUCTURAL DESIGN CONCEPT. THE DIMENSIONS OF THE BUILDING, THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL AND UTILITY SYSTEMS AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION AS "SCOPE" DOCUMENTS.



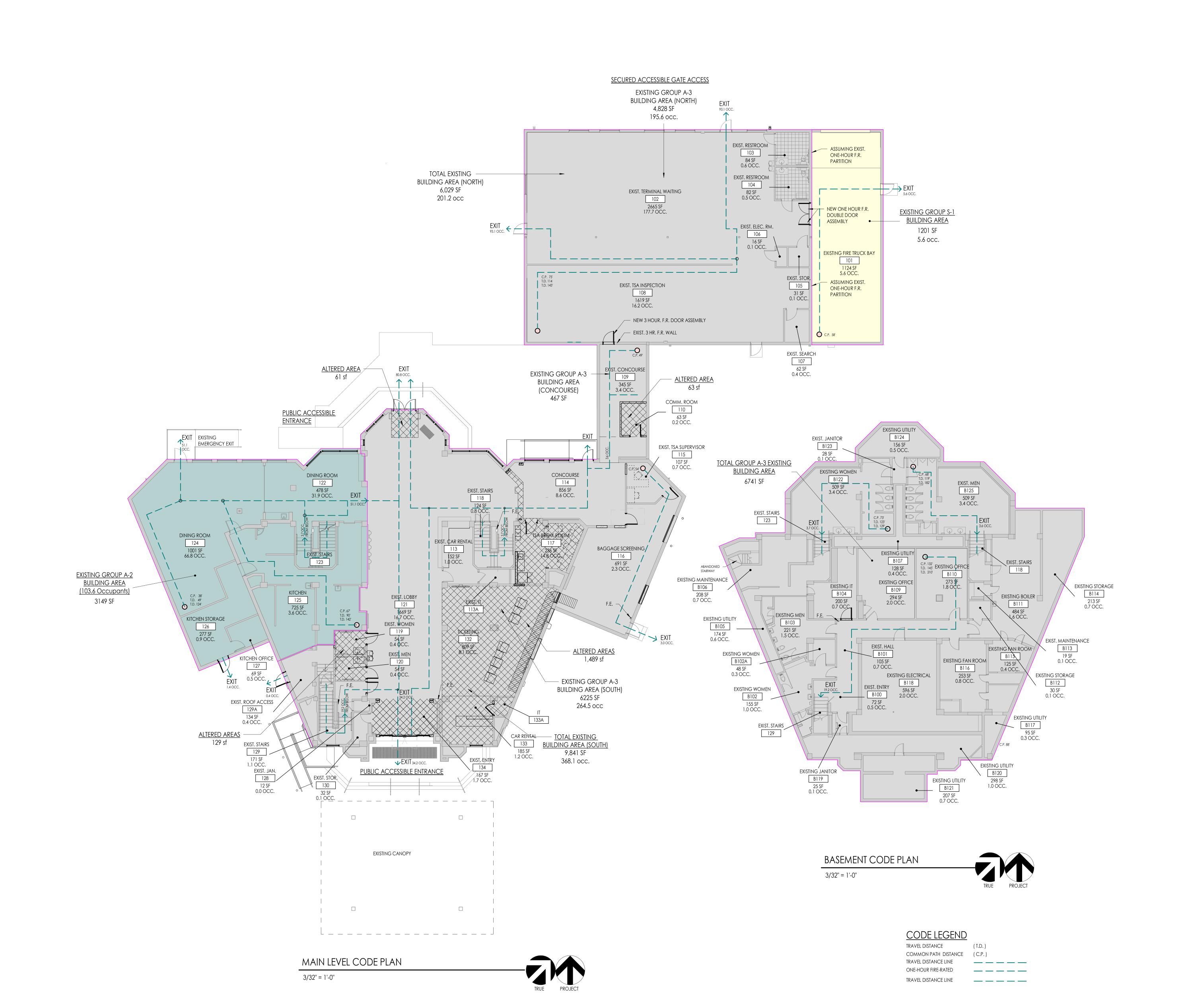


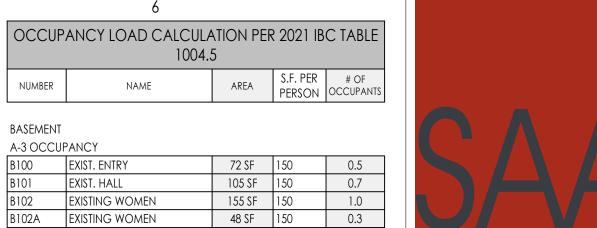
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No. Date Description
1 11.14.23 BID DOCUMENTS

Description

GENERAL INFORMATION





200 SF 300 174 SF 300

208 SF 300 128 SF 300 294 SF 149

273 SF 150

484 SF 300

19 SF 300

213 SF 300 125 SF 300

253 SF 300

95 SF 300 596 SF 300

25 SF 300

509 SF 150

28 SF 300 156 SF 300 509 SF 150



ANDERS ASSOCIATES ARCHITECT

Ogden, Utah 8440 Phone: 801.621.730

LEVEL 1 A-2 OCCUPANCY DINING ROOM DINING ROOM 1001 SF 15 725 SF 200 277 SF 300 69 SF 150 KITCHEN KITCHEN STORAGE KITCHEN OFFICE

102A EXISTING WOMEN

EXISTING UTILITY

EXISTING OFFICE

EXISTING BOILER

EXISTING STORAGE

EXIST. MAINTENANCE

**EXISTING FAN ROOM** EXISTING FAN ROOM

**EXISTING ELECTRICAL** 

EXISTING JANITOR

EXISTING UTILITY EXISTING WOMEN

EXISTING UTILITY

EXISTING UTILITY

B114 EXISTING STORAGE

EXISTING MAINTENANCE EXISTING UTILITY EXISTING OFFICE

B104 EXISTING IT

A-3 OCC	CUPANCY			103.0
102	EXIST. TERMINAL WAITING	2665 SF	15	177.7
103	EXIST. RESTROOM	84 SF	150	0.6
104	EXIST. RESTROOM	82 SF	150	0.5
105	EXIST. STOR.	31 SF	300	0.1
106	EXIST. ELEC. RM.	16 SF	300	0.1
107	EXIST. SEARCH	62 SF	150	0.4
108	EXIST. TSA INSPECTION	1619 SF	100	16.2
109	EXIST. CONCOURSE	345 SF	100	3.4
110	COMM. ROOM	63 SF	300	0.2
113	EXIST. CAR RENTAL	152 SF	150	1.0
113A	EXIST. IT	33 SF	300	0.1
114	CONCOURSE	856 SF	100	8.6
115	EXIST. TSA SUPERVISOR	107 SF	150	0.7
116	BAGGAGE SCREENING	691 SF	300	2.3
117	TSA BREAK ROOM	236 SF	16	14.8
118	EXIST. STAIRS	124 SF	150	0.8
119	EXIST. WOMEN	54 SF	150	0.4
120	EXIST. MEN	54 SF	150	0.4
121	EXIST. LOBBY	1669 SF	100	16.7
123	EXIST. STAIRS	124 SF	100	1.2
128	EXIST. JAN.	12 SF	300	0.0
129	EXIST. STAIRS	171 SF	150	1.1
129A	EXIST. ROOF ACCESS	134 SF	300	0.4
130	EXIST. STOR.	32 SF	300	0.1
132	TICKETING	809 SF	100	8.1
133	CAR RENTAL	185 SF	150	1.2
133A	IT	22 SF	300	0.1
134	EXIST. ENTRY	167 SF	100	1.7
	•			258 (

101 EXISTING FIRE TRUCK BAY 1124 SF 200 5.6

**BUILDING OCCUPANCY:** BASEMENT: 26.6 OCCUPANTS

MAIN LEVEL: 373.9 OCCUPANTS

399.5 TOTAL BUILDING OCCUPANTS:

OCCUPANCY GROUP LEGEND

NEW CONSTRUCTION - GROUP S-1 EXISTING - GROUP A-3 EXISTING - GROUP A-2

ALTERED - GROUP A-3 **BUILDING AREA TABULATIONS:** 

EXISTING A-3 NO ALTERED AREAS MAIN LEVEL: (SOUTH) EXISTING A-2 3,149 SF
EXISTING A-3 (SOUTH AREA) 6,225 SF
EXISTING A-3 (CONCOURSE) 467 SF
TOTAL BUILDING AREA (SOUTH) 9,841 SF ALTERED A-3 AREA 1,742 SF

(ALTERED AREA 18% OF EXISTING AREA MAIN LEVEL: (NORTH) EXISTING A-3 (NORTH) 4,828 SF EXISTING S-1 1,201 SF TOTAL BUILDING AREA (NORTH) 6,029 SF TOTAL MAIN FLOOR AREA 15,870 S

CODE SUMMARY PLANS

**AIRPORT** 

OGDEN-HINCKLEY

Io.DateDescription111.14.23BID DOCUMENTS

Description

Revision #

# CODE ANALYSIS

<b>APPLICA</b>	BLE CODES:		
2021	IEBC	International Existing Building Code Alterations – Level 2	
2021	IBC	International Building Code	
2021	IFC	International Fire Code	
2021	IPC	International Plumbing Code	
2021	IMC	International Mechanical Code	
2021	IFGC	International Fuel Gas Code	
2021	NEC	National Electrical Code	
2021	IECC	International Energy Conservation Code	
2017	ANSI	ICC/ANSI A117.1 &	
2023		Utah State/Local Amendments	
CENEDAL	CODE INCODIATIO		

GENERAL CODE INFORMATION

The International Existing Building Code (IEBC) is being used for this Project. No additional new building area is being added to the overall area of the building.

IEBC - Alterations - Level 2 (Work area compliance method)

Basement: Altered Area = 0 sf (0% of the Basement total area) (Only demolition of the abandoned boiler, abandoned water heat and replacing the IT door for security is occurring)

Main Floor: Altered Area = 1,742 sf (18% of the Main Floor total area) 1,742 / 9,841 x 100 = 17.7%

Total Existing Basement: 6,741 sf (A-3 Occupancy)

Total Existing Main Floor (North): 6,029 sf (A-3, S-1 Occupancies) Total Existing Main Floor (South): 9,841 sf (A-2, A-3 Occupancies) Construction Type: VB (Existing) (Refer to Chapter 6 items below) Building Area: (Refer to Section 506 & 506.2.1 below) Existing Building divided by 3 hour Fire Wall

Mixed Use - Non Separated (South Area): (Refer to Section 508 below)

Automatic Fire Sprinkler System: (Not Existing)

ZONING INFORMATION - OGDEN CITY

Mixed Use - Separated (North Area):

Zone: A-C (Airport Commercial) Maximum building height: Refer to Federal Aviation Regulation part 77 Front Yard Setback: 20' Side Yard Setback: 10', 20' when facing a street

Rear Yard Setback: 20' Maximum impervious coverage: 80%

Chapter 3	USE AND	OCCUPANCY CLASSIFIC	ATION (IBC	2021)
303.3	Assembly	Existing Restaurant	A-2	Main Level: 3,149 sf
303.4	Assembly	Existing Transportation Terminal	A-3	Basement: 6,741 sf Main Level: (South Area with Concourse) 6,692 sf Main Level: (North Area) 4,828 sf
311	Storage	Existing Fire Truck Bay	S-1	Main Level: 1,201 sf

311	Storage Existing Fir	e Truck Bay	S-1	Main Level: 1,201 sf
EIBC 2021 -	INTERNATIONAL EXISTIN	IG BUILDING	CODE ALTE	RATIONS – LEVEL 2
Chapter 3	PROVISIONS FOR ALI	COMPLIANC	E METHOD	S (EIBC 2021)
301.3	Alteration, addition or change of occupancy	existing build listed in Secti applicant. Se	lings shall co ion 301.1, 30 ections 301.3	or change of occupancy of all omply with one of the methods 01.2 or 301.3 as selected by the 1.1 through 301.3.3 shall not be 1.4 through other.
301.3.2	Work area compliance method	complying wi	th the applic f this Code s	d changes of occupancy able requirements of Chapters 6 shall be considered in compliance code.
301.5	Compliance with accessibility			s for existing building and Altered ne 2017 edition of ICCA117.1
302	General Provisions			
302.1	Dangerous conditions			ve the authority to require the deemed dangerous.
302.2	Additional codes	or relocation comply with t and changes	of, existing better provision of occupant	ions and changes of occupancy to, buildings and structures shall is for alterations, repairs, additions by or relocation, respectively, ion FC, IFGC, IMC, IPC and NFPA 70.
302.3	Existing materials	requirements erection or in	or approval	n a building in compliance with s in effect at the time of their all be permitted to remain in use code official to be unsafe.
302.4	New and replacement materials		the applicab	lired by this code, materials le code for new construction shall

		alterations, provided that unsafe conditions are not created. Hazardous materials shall not be used where the code for new construction would not permit their sue in building of similar occupancy, purpose and location.
302.4.1	New structural members and connections	New structural members and connections shall comply with the detailing provisions of the IBC for new buildings of similar structure, purpose and location. Exception: Where alternate design criteria are specifically permitted.
302.5	Occupancy and use	Where determining the appropriate application of the referenced sections of this code, the occupancy and use of a building shall be determined in accordance with Chapter 3 of the IBC.

be used. Like materials shall be permitted for repairs and

Chapter 6	CLASSIFICATION OF	WORK (EIBC 2021)
603	Alteration – Level 2	
603.1	Scope	Level 2 alternations include the reconfiguration of space the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.

Chapter 7	Alterations – Level 1	
603.2	Application	Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter 8.
		installation of any additional equipment.

Chapter 7	Alterations – Level 1	
<b>'01</b>	General	
701.2	Conformance	An existing building or portion thereof shall nor be altered such that the building becomes less safe than its existing condition.  Exception: Where the current level of safety or sanitation is proposed to be reduced, the portion altered shall conform to the requirements of the IBC.

Interior Finishes	Newly installed interior wall and ceiling finishes shall comply with Chapter 8 of the IBC.
Interior Trim	New interior trim materials shall comply with Section 806 of the IBC.

t r j	New work shall comply with the materials requirements in the IBC, IECC, IMC and IPC, as applicable, that specific material standard, detail of installation and connection, oints, penetrations and continuity of any element, component, or system in the building.
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703	Fire Protection	
703.1	Alterations shall be done on a manner that maintains the level of fire protection provided.	
704	Means of Egress	

702.3

702.6

707.1

Minimum Requirements

704	Means of Egress	
704.1	General	Alterations shall be done in a manner that maintains the level of protection for means of egress.
707	<b>Energy Conservation</b>	

Level 1 alterations to existing buildings or structures do not
require the entire building or structure to comply with the
energy requirements of the IECC. The alterations shall
conform to the energy requirements of the IRCC as they
relate to new construction only.

Chapter 8	Alterations – Level 2	(EIBC 2021)
801.2	Alterations Level 1 compliance	In addition to the requirements of this chapter, all work shall comply with the requirements of Chapter 7.
801.3	Compliance	New construction elements, components, systems, and spaces shall comply with the requirements of the IBC. Exceptions:
		<ol> <li>Where windows are added they are not required to comply with the light and ventilation requirements of IBC.</li> </ol>
		<ol><li>Newly installed electrical equipment shall comply with the requirements of Section 807.</li></ol>
		3 The length of dead and corridors in newly

3.	The length of dead-end corridors in newly
	constructed spaces shall only be required to comply
	with the provisions of section 805.6
4.	The minimum ceiling height of the newly created
	habitable and occupied spaces and corridors shall
	be 7 feet.
5.	(Not applicable)
•	Name at a standard for a such a second a such a standard library

New structural members and connections shall be permitted to comply with alternative design criteria in accordance with Section 302.

Chapter 5	GENERAL BUILDING	HEIGHTS AND AREAS (IBC 2021)
504	Building Height & Number of Stories	
Table 504.3	Allowable Building Hei	ght in Feet Above Grade Plane
	Occupancy Groups	A-2 (NS), A-3 (NS), S-1 (S)
	Construction Type	Type VB
	Allowable Height	40 feet
	Proposed Design	Existing Elevation 31'-8" (Existing Flue),
	Height	22'-0 (Existing Building)
Table 504.4	Allowable Number of	
	0: : :: 0 :	

Stories Above Grade

A-2 (NS), A-3 (NS), S-1 (NS) Occupancy Group Construction Type Allowable # Stories **Proposed Building** 

Type VB 1 (Most restrictive requirement)

506	Building Area
Table 506.2	Allowable Area Factor in Square Feet
	Occupancy Classification Type VB
506.2	Allowable Area Determination
Table 506.2	Allowable Area Factor in Square Feet

Table 506.2	Allowable Area Fa	actor in Square Feet
	A-2 (NS)	6,000
	A-3 (NS)	6,000
	S-1 (NS)	9,000
50000	Mr. J O	M. IC. C. D. ILI

Amount of Increase

Nonseparated

508.3.1

Mixed-Occupancy, Multistory Buildings (Based on Non-separate Occupancies) Equation 5-3  $A_a = [A_t + (NS \times I_f)]$ North Area: Aa = [ 6,000 + 10,200 sf Allowable Area > 6,029 sf actual

	North Area. Aa – [ 0,000 +	10,200 SI Allowable Area > 0,029 SI ac
	$(6,000 \times 0.70)$ ] = 10,200	(Building Size - Compliant)
	South Area: Aa = [ 6,000 +	10,320 sf Allowable Area > 9,841 sf ac
	$(6,000 \times 0.72)$ ] = 10,320	(Building Size - Compliant)
506.3.2	Minimum Frontage Distance	
Equation 5-4	$W = (L1 \times W1 + L2 \times W2 + L3 \times W$	3) / F

5-4	VV = ( L1 x W1 + L2 x W2 + L3 x W3) / F
	W = 38,430 / 1281 = <b>30</b> (Public Way Open Space more than 30 feet the entire perimeter)

If = [F/P - 0.25] W/30
North Area: If = [306 / 321 - 0.25 ] 30/30 = <b>0.70</b>
South Area: If = [517 / 532 - 0.25 ] 30/30 = <b>0.72</b>

	<del>60</del> 0	⊋
8	Mixed Use and	
	Occupancy	
8.2.3	Accessory occupancies	Aggregate accessory occupancy shall not occupy more
	Allowable building area	than 10% of the floor area of the story in which they are

sprinklered buildings in Table 506.2 for each accessory			
occupancy.			
Buildings or portions of buildings that comply with the			

nonseparated occupancies shall apply to the total

Occupancies	provisions of this section shall be considered as nonseparated occupancies.
Occupancy Classification	Nonseparated occupancies shall be individually classifi in accordance to Section 302.1. The requirements of the code shall apply of each portion of the building based of the occupancy classification of hat space. In addition, the most restrictive provisions of Chapter 9 that apply to the

nonseparated occupancy area.

3.2	Allowable building area and height	The allowable building area and height of the building or portion thereof shall be based on the most restrictive allowances for the occupancy groups under consideratio for the type of construction of the building in accordance with Section 503.1.
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508.3.3	Separation	No separation is required between nonseparated occupancies.
508.4	Separated Occupancies	Buildings or portions of the buildings that comply with provisions of this section shall be considered as separate occupancies.
508.4.2	Allowable building area	Sum of the ratios of the actual building area of each

	occupancies.
wable building area	Sum of the ratios of the actual building area of each
	separated occupancy divided by the allowable building area of each separate occupancy shall not exceed 1.
th Building Area	S-1 = 1,201 / 9,000 = 0.14
	A-3 = 4,828 / 6,000 = 0.81

Sum of the ratios = 0.14 + 0.81 = 0.95

Chapter 6 Ty	pes of Construction (IBC 2021)		
602.2	Construction Type VB		
Table 601	Fire-Resistance Rating Requirements for Building Elem	ents (Hours)	
	Primary Structural Frame	0	
	Bearing Walls - Exterior	0	
	Bearing Walls - Interior	0	
	Exterior Non-bearing Walls & Partitions	Refer to Table 602	
	Interior Non-bearing Walls & Partitions	0	
	Floor Construction & Associated Secondary Members	0	
	Roof Construction & Associated Secondary Members	0	

	Roof Construction & Assoc	ciated Secondary Members	0	
Table 602	Fire-Resistance Rating Reg'ts for Exterior Walls Based on Fire Separation Distance			
	Construction Type VB	Occupancy Group	·	
	Fire Separation Distance = x (ft)	Groups A-2, A-3, B		
	X < 5	1		

	2.0	80
Chapter 8	Interior Finishes	(IBC 2021
903	Wall 9 Calling Ele	alahaa

 803 Table 803.13	Wall & Ceiling Finishes Interior Wall & Ceiling Finish Requirements By Occupancy			
	Group	Exit Stairways, Ramps & Exit Passageways	Corridors & enclosure for exit access stairways	Rooms & enclosed spaces
	A-2:(NS)	Class B	Class B	Class B
	A-3:(NS)	Class B	Class B	Class C
	S-1:(NS)	Class C	Class C	Class C

napter 9	Fire Protection Systems (IBC 2021)		
6	Portable Fire Extinguishers		
6.1	Group A-2, A-3 & S-1	Portable fire extinguishers shall be installed as required	

		in Section 906
Chapter 10	Means of Egress	
1004.1	Occupant Load	(Refer to Occupancy Load Calculation per IBC 2018 Table 1004.5 located on drawing Gl003 for Total

Occupancy Load)

1005	Means of Egress Sizing

1005.3.2 Other Egress 0.2 inches x Occupant

Total occupants (North) = 201.2 201.2 x 0.2 = 40.24 total inches door clearance required (108 inches public exit / emergency exit door clearance

Total occupants (South) = 368.1

 $368.1 \times 0.2 = 73.62$  total inches door clearance required

(252 inches public exit / emergency exit door clearance

### Number of Exits and Access Doorways

1006.2.1 Egress based on Two exits, or exit access doorways, from any space shall Occupant Load and be provided where the Design Occupancy Load or the Common Path of Egress Common Path of Egress Travel distance exceeds the values listed in Table 1006.2.1

### Spaces with One Exit or Exit Access Doorway 1006.2.1

Occupancy:	Max. Occupant Load of Space	Without Sprinkler System
A-2, A-3	<u>&lt;</u> 30	75 feet
A-2, A-3	>30	75 feet
S-1	<u>&lt;</u> 30	75 feet
S-1	>30	100 feet

### Min. Number of Exits or Access to Exits per Story 1006.3.2

Occupant Load per Story	Min. Number of exits or Access to Exits from a Story
1-500	2
501-1000	3
More than 1000	4

### 1009 Accessible Means of Egress

1009.1	# of Required Accessible Means of Egress is Reg'd	Not less than one accessible means of egress is required, or not less than Two accessible means of
	means of Egress is frequ	egress is required where more than one means of egress is required.

		is required.
09.2	Continuity	Each required accessible means of egress shall be continuous to a public way.

Accessible Routes	Comply with Section 1104
Interior Exit Stairways	Comply with Section 1009.3 & 1019.4
Exit Access Stairways	Comply with Section 1009.3 & 1019.3 or 1019.4
Exterior Exit Stairways	Comply with Section 1009 & 1027
Elevators	Comply with Section 1009.4
Horizontal Exits	Comply with Section 1026
Ramps	Comply with Section 1012

1009.3	Stairways	Exception 2: Clear width of 48 inches between handrails for accessible stairways is not required with automatic fire sprinklers installed.

1	Stairways	
1.2	Width & Capacity	The required capacity of stairways shall be determined specified in Section 1005.1 but not less than 44 inches min. required, or as indicated in Section 1009.3

min. required, or as indicated in Section 1009.3 Exception 1. Stairways serving an occupant load of less than 50 shall have a width of not less than 36 inches.

Length of any dead-end corridor shall not exceed 20 feet.

### Exit Access Travel Distance Table 1017.2 Occupancy Distance without sprinkler system Group A 200 feet Group S-1

Corridors Corridor Fire-Resist	ance Rating	
Occupancy	Occupant Load Served by Corridor	Required Fire Resistance Rating w/ Sprinklers
Group A, S	Not greater than 30	Not Required
	Corridor Fire-Resist Occupancy	Occupancy Occupant Load Served by Corridor

			Sprinklers
	Group A, S	Not greater than 30	Not Required
Table 1020.2	Minimum Corridor Width		
	Occupancy	Minimum Width (inches)	
	Any facilities not listed below	44 inches	
	Occupant load less than 50	36 inches	

Chapter 11	ACCESSIBILITY	
1104	Accessible Route	
1104.1	Site Arrival Points	At least one accessible route within the site shall be provided from public transportation stops, accessible parking, accessible loading zones, and public streets or sidewalks to the accessible entrance served.
1104.3	Connected Spaces	Accessible buildings shall have at least one accessible route to each portion of the building, to accessible

1104.3	Connected Spaces	Accessible buildings shall have at least one accessible route to each portion of the building, to accessible building entrances connecting accessible pedestrian walkways and to the public way.
1104.4	Multistory Buildings and Facilities	At least one accessible route shall connect each accessible story, mezzanine & occupied roofs on multilevel buildings and facilities.

1105.1	Public Entrances	At least 60% of all pubic entrances shall be accessible. (All public entrances are accessible)
Chapter 12	Interior Environment (IBC	C 2021)
1207.2	Minimum Ceiling Heights	Occupiable spaces, habitable spaces and corridors shall have a ceiling height of not less than 7'-6". Bathrooms

		have a ceiling height of not less than 7'-6". Bathrooms, toilet rooms, kitchens, storage rooms and laundry rooms shall have a ceiling height of not less than 7 feet.	
1207.2.1	Furred Ceiling	Any room with a furred ceiling shall be required to have	

Furred Ceiling	Any room with a furred ceiling shall be required to have
9	the minimum ceiling height in two-thirds of the area
	thereof, but in no case shall the height of the furred-
	ceiling be less than 7 feet.

### Chapter 29 Plumbing Fixtures (IBC 2021) Table 2902.1 Min. Number of Plumbing Fixtures

**Dead Ends** 

Group A-3 (North) Transportation Terminal (Main Floor)	195.6 Occupants (98 Men – 98 Women)				
do construir de la construir d	Requirement	Men	Women		
Water Closets	1/500	0.2 required	0.2 required		
Lavatories	1/750	0.2 required	0.2 required		
Drinking Fountain	1/1000 0.2 required				
Service Sink	1 required				
Group S-1 Garage	5.6 Occupants (3	Men - 3 Women)	,		
	Requirement	Men	Women		
Water Closets	1/100	0.1 required	0.1 required		
Lavatories	1/100	0.1 required	0.1 required		
Drinking Fountain	1/1000	0.1 required	-5 2%		

Group A-2 Restaurant	103.6 Occupants (52 Men – 52 Women)		
	Requirement	Men	Women
Water Closets/Urinals	1/75	0.7 required	0.7 required
Lavatories	1/200	0.3 required	0.3 required
Drinking Fountain	1/500	0.2 required	•
Service Sink	1 required		

Transportation Terminal	Group A-3	264.5 Occupants (133 Me	n - 133 Women)
(Wall Floor)	Transportation Terminal (Main Floor)		

		ń.
Requirement	Men	Women
1/500	0.3 required	0.3 required
1/750	0.2 required	0.2 required
1/1000	0.6 required	•
1 required		
	1/500 1/750 1/1000	1/500       0.3 required         1/750       0.2 required         1/1000       0.6 required

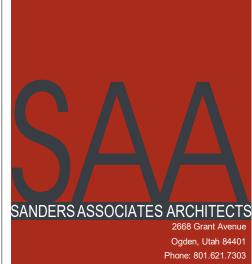
Group A-3 Transportation Terminal (Basement)	25.4 Occupants (14 Men – 14 Women)				
	Requirements	Men	Women		
Water Closets	1/500	0.1	0.1		
Lavatories	1/750	0.1	0.1		
Drinking Fountain	1/1000 0.1 1 required				
Service Sink					

Main Floor (North)	Men	Women			
Water Closets/Urinals	0.3 required (1 provided)	0.3 required (1 provided			
Lavatories	0.3 required (1 provided) 0.3 required (1 pro				
Drinking Fountains	1.0 required (2 drinking fo	1.0 required (2 drinking fountains provided – 1 AL			
Service Sinks	1 required (1 provided)	\$0.			
Main Floor (South)	Men	Women			
Water Closets/Urinals	1 required (1 provided)	1 required (1 provided)			
Lavatories	1 required (1 provided)	1 required (1 provided)			
Drinking Fountains	0.8 required (2 provided – 1 ADA)				
Service Sink	1 required (1 provided)				
Basement	Men	Women			
Water Closets/Urinals	0.1 required (9 provided)	0.1 required (4 provided			
Lavatories	0.1 required (4 provided)	0.1 required (4 provided			

1 required (1 provided)

(Existing basement area is to remain as existing conditions)

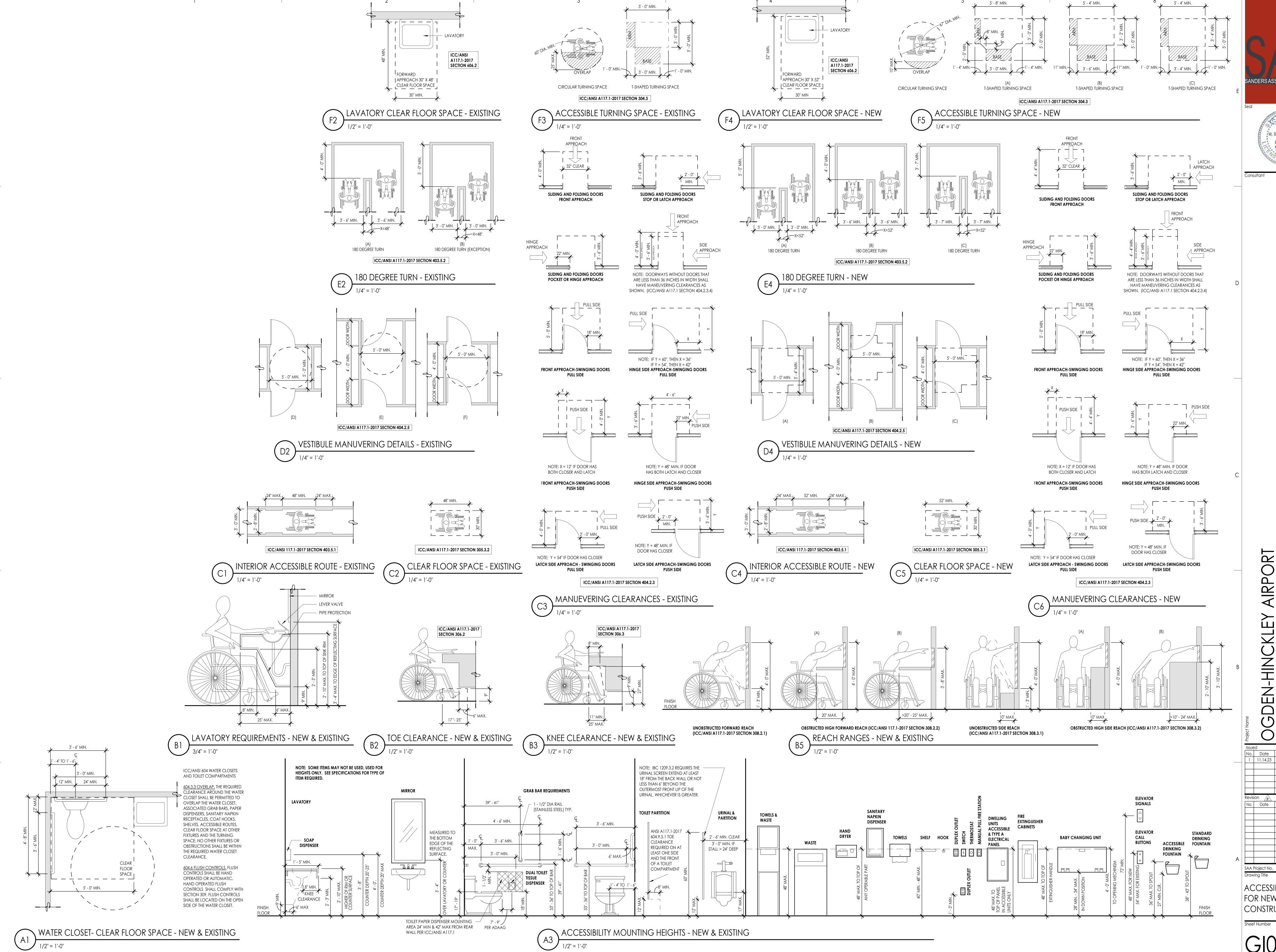
0.1 required (0 provided – existing conditions)

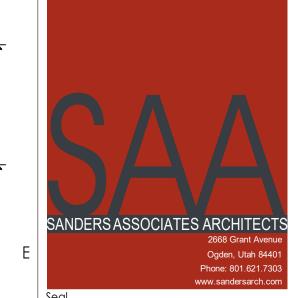


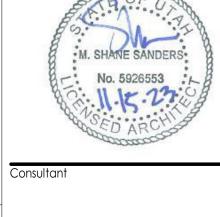


Description

CODE SUMMARY





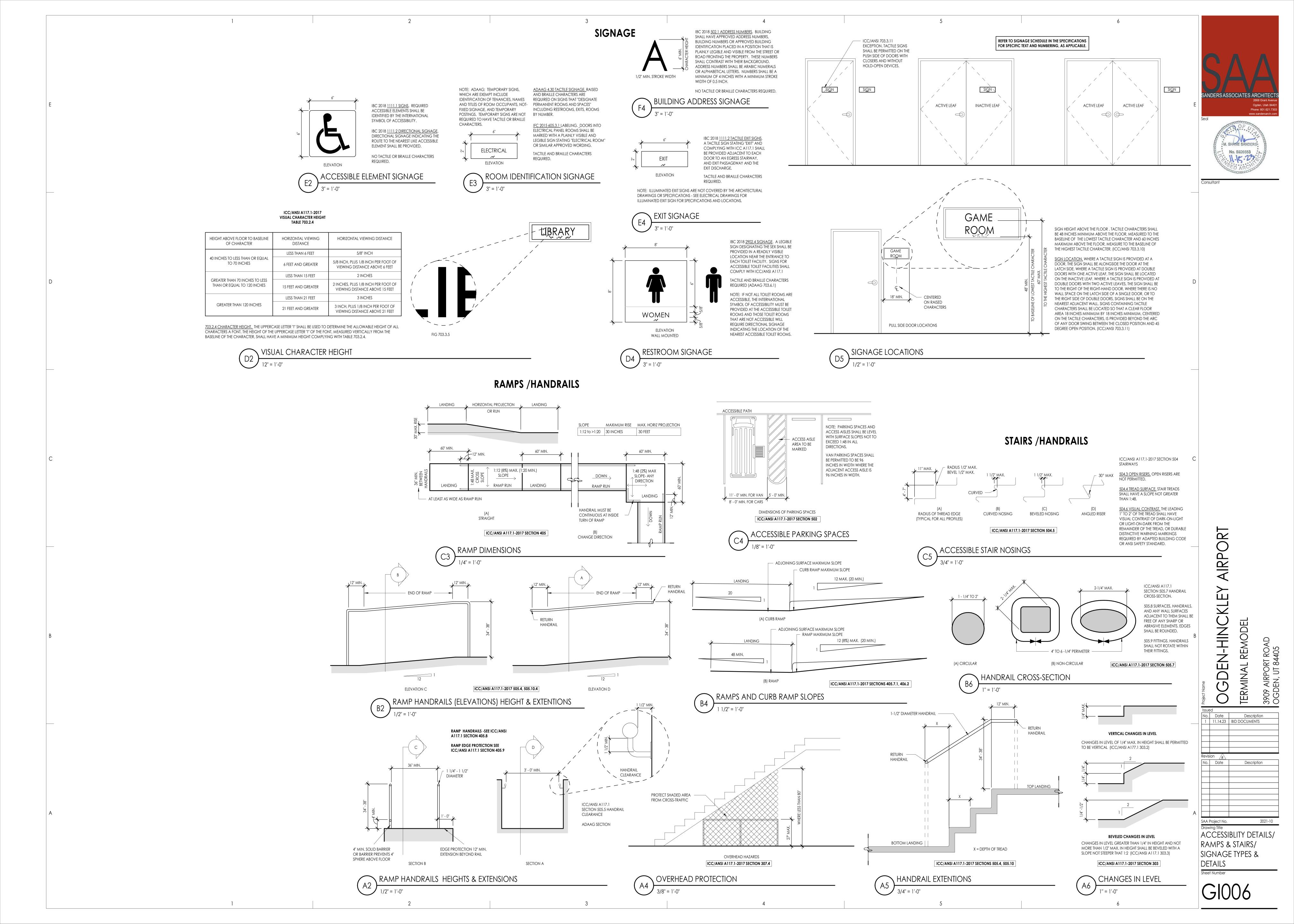


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No. Date Description
1 11.14.23 BID DOCUMENTS Description No. Date Description

ACCESSIBILITY DETAILS FOR NEW & EXISTING CONSTRUCTION

Sheet Number



KEYED NOTES

SEE KEYED NOTES - MASTER LIST ON SHEET G1002 IF KEYNOTE MISSING D2.20 REMOVE EXISTING DOOR & FRAME

D2.62 DISASSEMBLE AND REMOVE EXISTING DECOMMISSIONED BOILER D2.63 DISASSEMBLE AND REMOVE EXISTING DECOMMISSIONED WATER HEATER D2.87 EXISTING WATER HEATER TO REMAIN





<u>DEMOLITION LEGEND</u>

EXISTING BUILDING AREAS TO REMAIN UNDISTURBED

# GENERAL DEMOLITION NOTES

1. CONTRACTOR TO REMOVE ALL SIGNAGE IN CORRIDORS NOT INDICATED TO BE REINSTALLED. (COORDINATE WITH OWNER).

2. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND CONDITIONS

- INCLUDING EXISTING UTILITIES AS THE LOCATIONS SHOWN IN THE DOCUMENTS ARE APPROXIMATED. ALL VARIANCES NOT SHOWN IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 3. CONTRACTOR TO COORDINATE WITH ELECTRICAL, MECHANICAL AND FIRE PROTECTION PLANS FOR LOCATIONS OF ALL EXISTING AND NEW EQUIPMENT, SYSTEMS, AND DEVICES. 4. AS SOME DEMOLITION WORK WILL BE SPECIFIC TO DIVISION 22, 23, 26, THE
- CONTRACTOR SHALL CROSS REFERENCE WITH ELECTRICAL AND MECHANICAL PLANS FOR ADDITIONAL DEMOLITION WHICH IS REQUIRED, BUT NOT REFLECTED ON ARCHITECTURAL DRAWINGS.
- 5. INTERIOR WALLS AND PARTITIONS TO REMAIN, UNLESS OTHERWISE INDICATED. (PROTECT FROM DAMAGE).
- 6. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE EXISTING STRUCTURE, FINISHES, AND SITE ELEMENTS NOT CALLED FOR DEMOLITION DURING REMODEL OF WALLS, FLOORING MATERIAL, CASEWORK, DOORS, WINDOWS, CEILINGS, AND SITE.
- 7. ALL EXISTING INTERIOR FINISHES, MATERIALS, STRUCTURE, SYSTEMS, LANDSCAPING, AND SITE FEATURES, ETC., NOT IDENTIFIED FOR DEMOLITION THAT ARE DAMAGED DURING THE PROCESS OF CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR REPLACED TO MATCH AT
- THE CONTRACTORS EXPENSE. 8. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL FLOORING, WALLS, & CEILING SYSTEMS AS SHOWN ON THE DRAWINGS. 9. ALL EXISTING FINISHED SURFACES DAMAGED DUE TO WORK UNDER THIS
- CONTRACT SHALL BE PATCHED & FINISHED TO MATCH EXISTING ADJACENT SURFACES. 10. THE GENERAL CONTRACTOR SHALL BRING TO THE ATTENTION OF THE
- ARCHITECT FOR IMMEDIATE RESOLUTION, ANY CODE VIOLATIONS, INCORRECT CONSTRUCTIONS OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.
- 11. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE SCOPE IN REMODEL AS INDICATED ON ALL ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND FIRE PROTECTION SHEETS AND COORDINATE AND PROVIDE DEMOLITION AS NEEDED. WORK AS DESCRIBED FOR REMODEL THAT IS IN CONFLICT WITH EXISTING CONDITION IS TO BE BROUGHT TO THE ATTENTION OF ARCHITECT PRIOR TO DEMOLITION. CONTRACTOR MUST CONTACT OWNER IF SUSPECTED ASBESTOS IS DISCOVERED.

KEYED PLAN - DEMO

SAA Project No.

Description

No. Date Description
1 11.14.23 BID DOCUMENTS

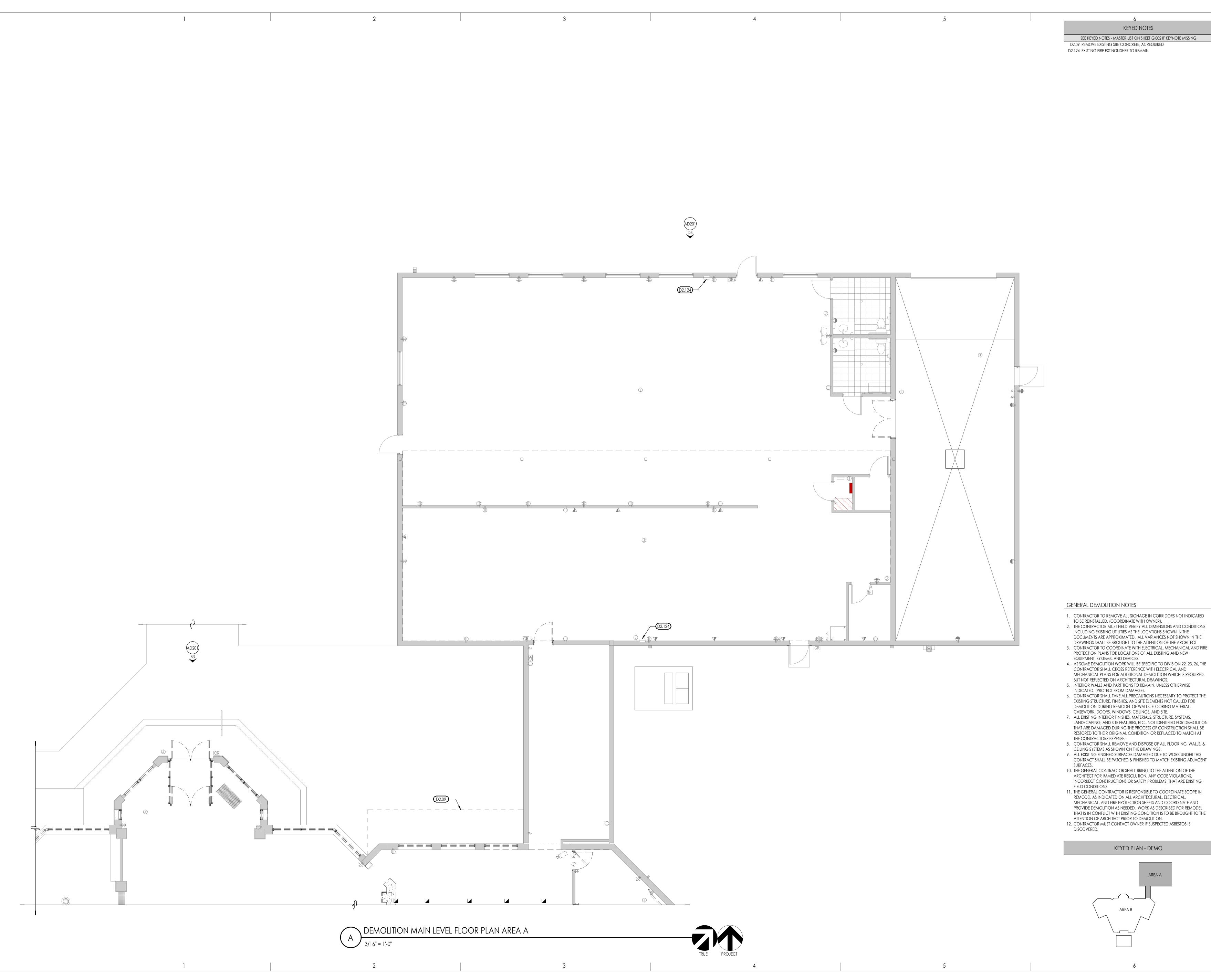
No. Date

**AIRP** 

DEMOLITION BASEMENT FLOOR PLAN

DEMOLITION BASEMENT FLOOR PLAN

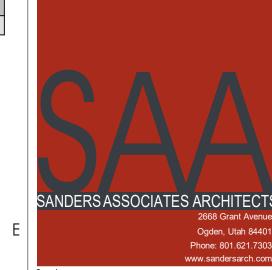
3/16" = 1'-0"



KEYED NOTES

D2.09 REMOVE EXISTING SITE CONCRETE, AS REQUIRED

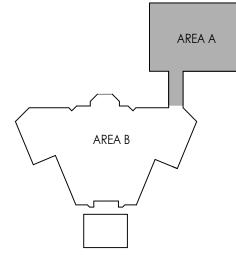
SEE KEYED NOTES - MASTER LIST ON SHEET G1002 IF KEYNOTE MISSING D2.124 EXISTING FIRE EXTINGUISHER TO REMAIN





- 1. CONTRACTOR TO REMOVE ALL SIGNAGE IN CORRIDORS NOT INDICATED TO BE REINSTALLED. (COORDINATE WITH OWNER). 2. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND CONDITIONS
- INCLUDING EXISTING UTILITIES AS THE LOCATIONS SHOWN IN THE DOCUMENTS ARE APPROXIMATED. ALL VARIANCES NOT SHOWN IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. 3. CONTRACTOR TO COORDINATE WITH ELECTRICAL, MECHANICAL AND FIRE
- PROTECTION PLANS FOR LOCATIONS OF ALL EXISTING AND NEW EQUIPMENT, SYSTEMS, AND DEVICES. 4. AS SOME DEMOLITION WORK WILL BE SPECIFIC TO DIVISION 22, 23, 26, THE CONTRACTOR SHALL CROSS REFERENCE WITH ELECTRICAL AND
- MECHANICAL PLANS FOR ADDITIONAL DEMOLITION WHICH IS REQUIRED, BUT NOT REFLECTED ON ARCHITECTURAL DRAWINGS. 5. INTERIOR WALLS AND PARTITIONS TO REMAIN, UNLESS OTHERWISE
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KEYED PLAN - DEMO



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KEYED NOTES

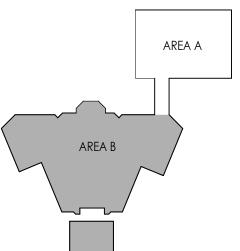
SEE KEYED NOTES - MASTER LIST ON SHEET G1002 IF KEYNOTE MISSING

SANDERS ASSOCIATES ARCHITEC<sup>\*</sup>

- 32.14 EXISTING PIPE BOLLARD TO REMAIN. (PAINT)
- D2.20 REMOVE EXISTING DOOR & FRAME
- D2.21 REMOVE EXISTING WINDOW
- D2.25 REMOVE EXISTING SINK, CAP LINES, REFER TO PLUMBING
- D2.28 REMOVE EXISTING ROLLING BAGGAGE DOOR
- D2.32 REMOVE EXISTING OVERHEAD DOOR & RELATED EQUIPMENT, TO BE
- D2.39 REMOVE EXISTING EXTERIOR CONCRETE LANDING D2.47 REMOVE EXISTING SURFACE-MOUNTED DOWNSPOUT
- D2.51 REMOVE EXISTING CONCRETE COLUMN
- D2.79 CUT OPENING FOR NEW MAN DOOR, REFER TO STRUCTURAL FOR STEEL
- D2.80 CUT OPENING FOR NEW OVERHEAD DOOR
- D2.85 REMOVE EXISTING CONCRETE BOX, FLOOR TO BE FILLED
- D2.86 REMOVE EXISTING WALL-MOUNTED BULLETIN BOARD CASE
- D2.125 CUTOUT AND REMOVE EXISTING CONCRETE LANDING. (PATCH FACE OF EXISTING CONCRETE FOUNDATION)
- D2.127 REMOVE AND SALVAGE EXISTING RESTROOM COUNTER AND LAVATORY FOR REINSTALLATION, REFER TO PLUMBING
- D2.128 REMOVE AND SALVAGE EXISTING RESTROOM SOAP DISPENSOR, MIRROR AND PAPER TOWEL DISPENSOR FOR REINSTALLATION
- D2.130 REMOVE EXISTING DRINKING FOUNTAIN, OPEN WALL FOR SHIFTING PLUMBING FOR TWO NEW DRINKING FOUNTAINS CENTERED BETWEEN
- D2.131 REMOVE DOORS, CUTOUT WALL FOR NEW DOOR TO MEET ADA CLEARANCE REQUIREMENTS
- D2.132 CUTOUT AND REMOVE EXISTING CONCRETE RAMP LANDING TO EXISTING
- D2.134 REMOVE EXISTING STOREFRONT VESTIBULE INCLUDING SOFFIT D2.135 REMOVE EXISTING STOREFRONT, DOORS AND WINDOWS
- D2.139 CUTOUT WALL BELOW WINDOW TO FLOOR FOR NEW OPENING

EXISTING BUILDING AREAS TO REMAIN

- 1. CONTRACTOR TO REMOVE ALL SIGNAGE IN CORRIDORS NOT INDICATED
- TO BE REINSTALLED. (COORDINATE WITH OWNER). 2. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND CONDITIONS INCLUDING EXISTING UTILITIES AS THE LOCATIONS SHOWN IN THE
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SAA Project No. DEMOLITION MAIN LEVEL FLOOR PLAN AREA B

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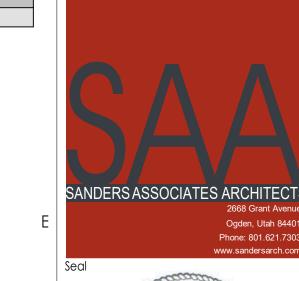
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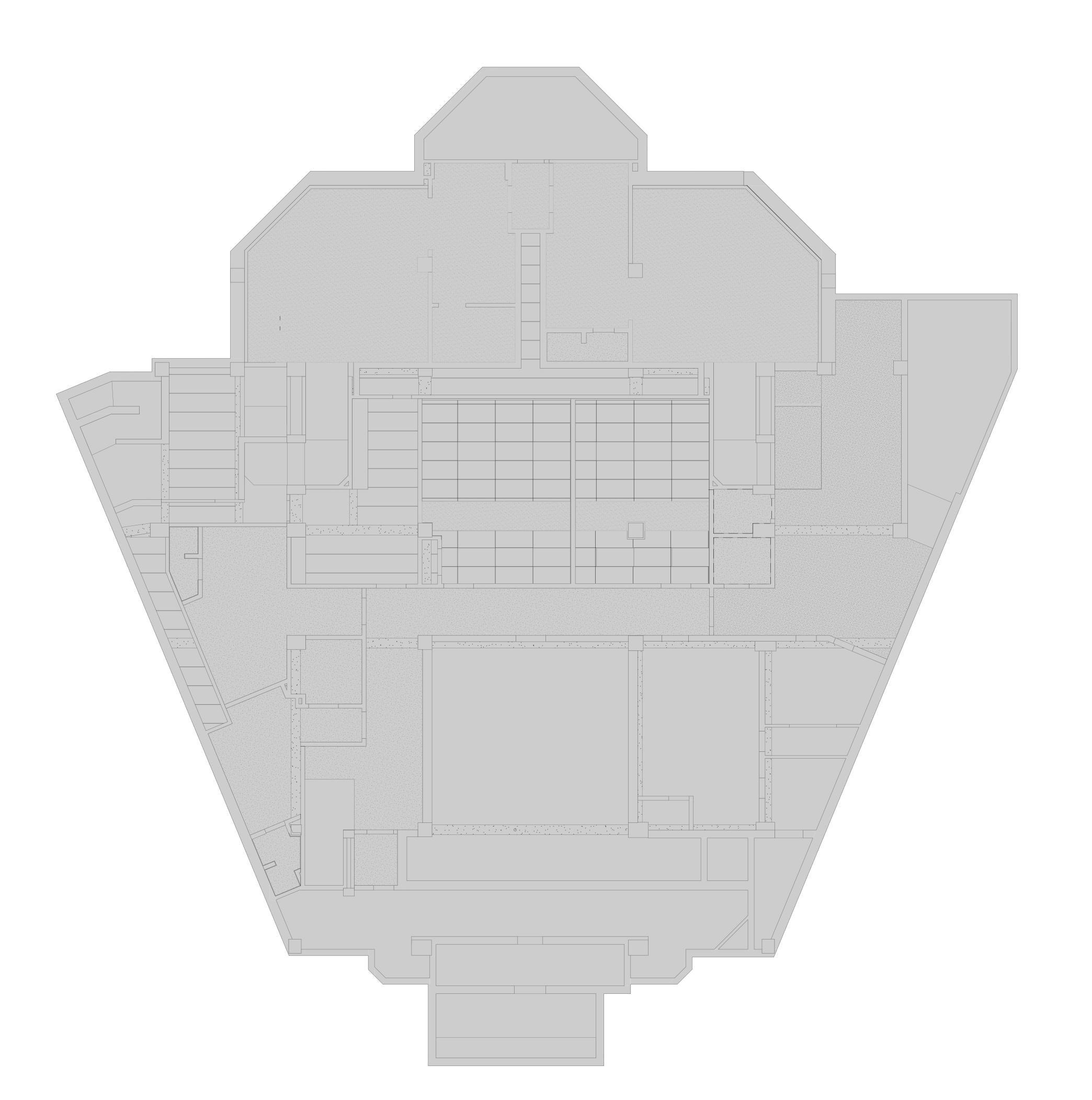
KEYED NOTES

SEE KEYED NOTES - MASTER LIST ON SHEET G1002 IF KEYNOTE MISSING





Consultant



DEMOLITION LEGEND

# GENERAL DEMOLITION NOTES

CONTRACTOR TO REMOVE ALL SIGNAGE IN CORRIDORS NOT INDICATED TO BE REINSTALLED. (COORDINATE WITH OWNER).
 THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND CONDITIONS

EXISTING BUILDING AREAS TO REMAIN UNDISTURBED

- INCLUDING EXISTING UTILITIES AS THE LOCATIONS SHOWN IN THE DOCUMENTS ARE APPROXIMATED. ALL VARIANCES NOT SHOWN IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

  3. CONTRACTOR TO COORDINATE WITH ELECTRICAL, MECHANICAL AND FIRE PROTECTION PLANS FOR LOCATIONS OF ALL EXISTING AND NEW
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  5. INTERIOR WALLS AND PARTITIONS TO REMAIN, UNLESS OTHERWISE
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   CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE EXISTING STRUCTURE, FINISHES, AND SITE ELEMENTS NOT CALLED FOR
- DEMOLITION DURING REMODEL OF WALLS, FLOORING MATERIAL, CASEWORK, DOORS, WINDOWS, CEILINGS, AND SITE.

  7. ALL EXISTING INTERIOR FINISHES, MATERIALS, STRUCTURE, SYSTEMS, LANDSCAPING, AND SITE FEATURES, ETC., NOT IDENTIFIED FOR DEMOLITION THAT ARE DAMAGED DURING THE PROCESS OF CONSTRUCTION SHALL BE
- THE CONTRACTORS EXPENSE.

  8. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL FLOORING, WALLS, & CEILING SYSTEMS AS SHOWN ON THE DRAWINGS.

  9. ALL EXISTING FINISHED SURFACES DAMAGED DUE TO WORK UNDER THIS

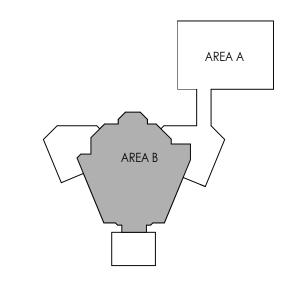
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KEYED PLAN - DEMO

 CONTRACTOR MUST CONTACT OWNER IF SUSPECTED ASBESTOS IS DISCOVERED.



SAA Project No. 2021-10
Drawing Title

DEMOLITION BASEMENT REFLECTED CEILING PLAN
Sheet Number

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DEMOLITION BASEMENT REFLECTED CEILING PLAN

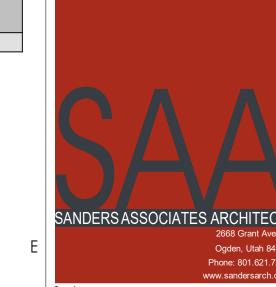
3/16" = 1'-0"

TRUE

EXIST. RESTROOM 103 EXIST. RESTROOM EXIST. TERMINAL WAITING EXISTING FIRE TRUCK BAY 106 WAP WAP EXIST. STOR. 105 EXIST. TSA INSPECTION 108 EXIST. SEARCH EXIST. CONCOURSE WAP DEMOLITION MAIN LEVEL REFLECTED CEILING PLAN AREA A

KEYED NOTES

SEE KEYED NOTES - MASTER LIST ON SHEET G1002 IF KEYNOTE MISSING D2.137 REMOVE EXISTING CEILING GRID AS REQUIRED AT NEW ROOM





GENERAL DEMOLITION NOTES

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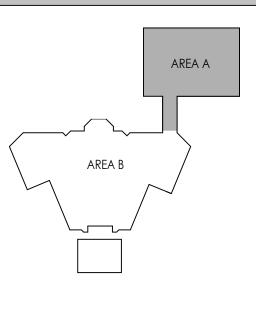
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KEYED PLAN - DEMO



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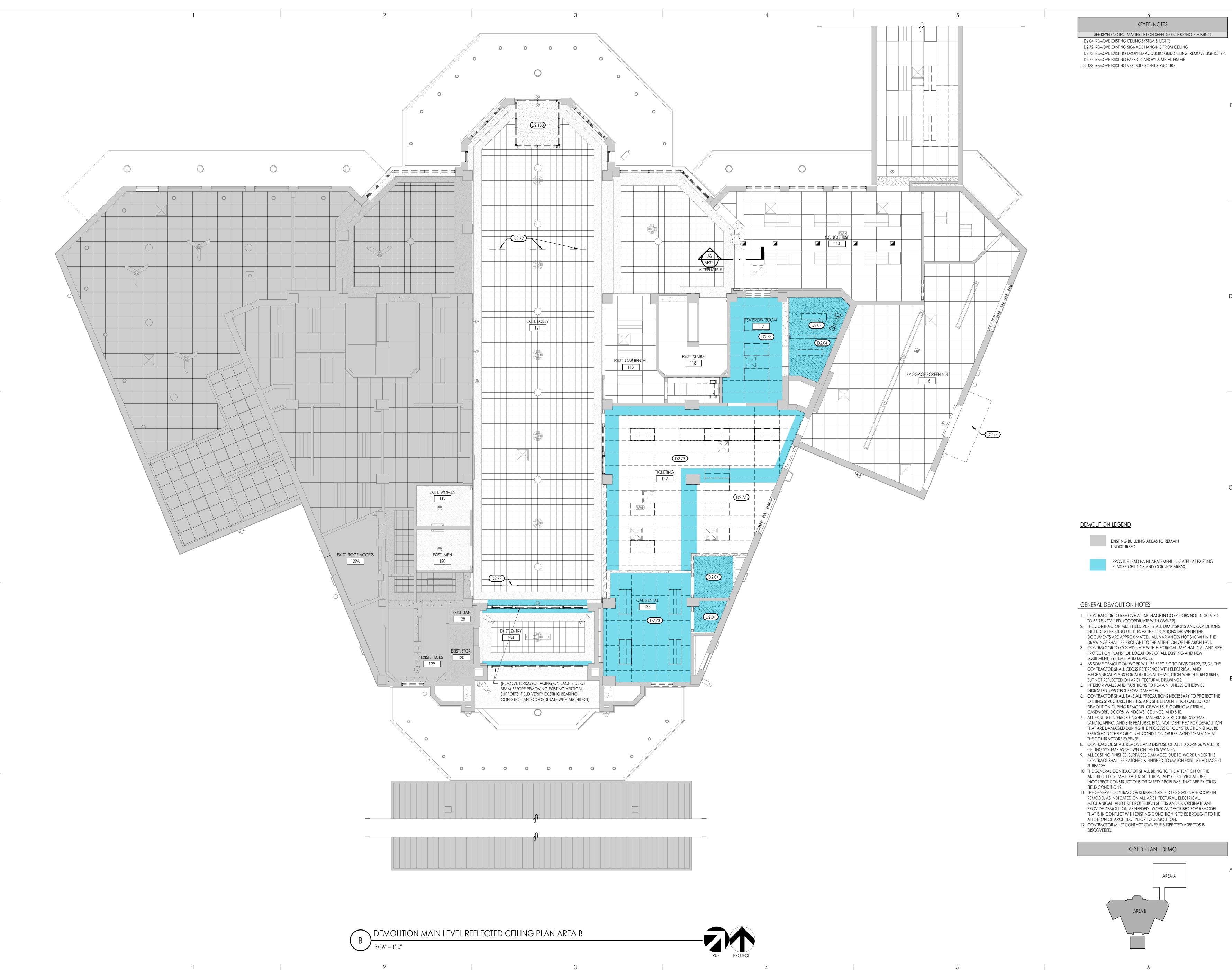
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SANDERS ASSOCIATES ARCHITECT
2668 Grant Avenue



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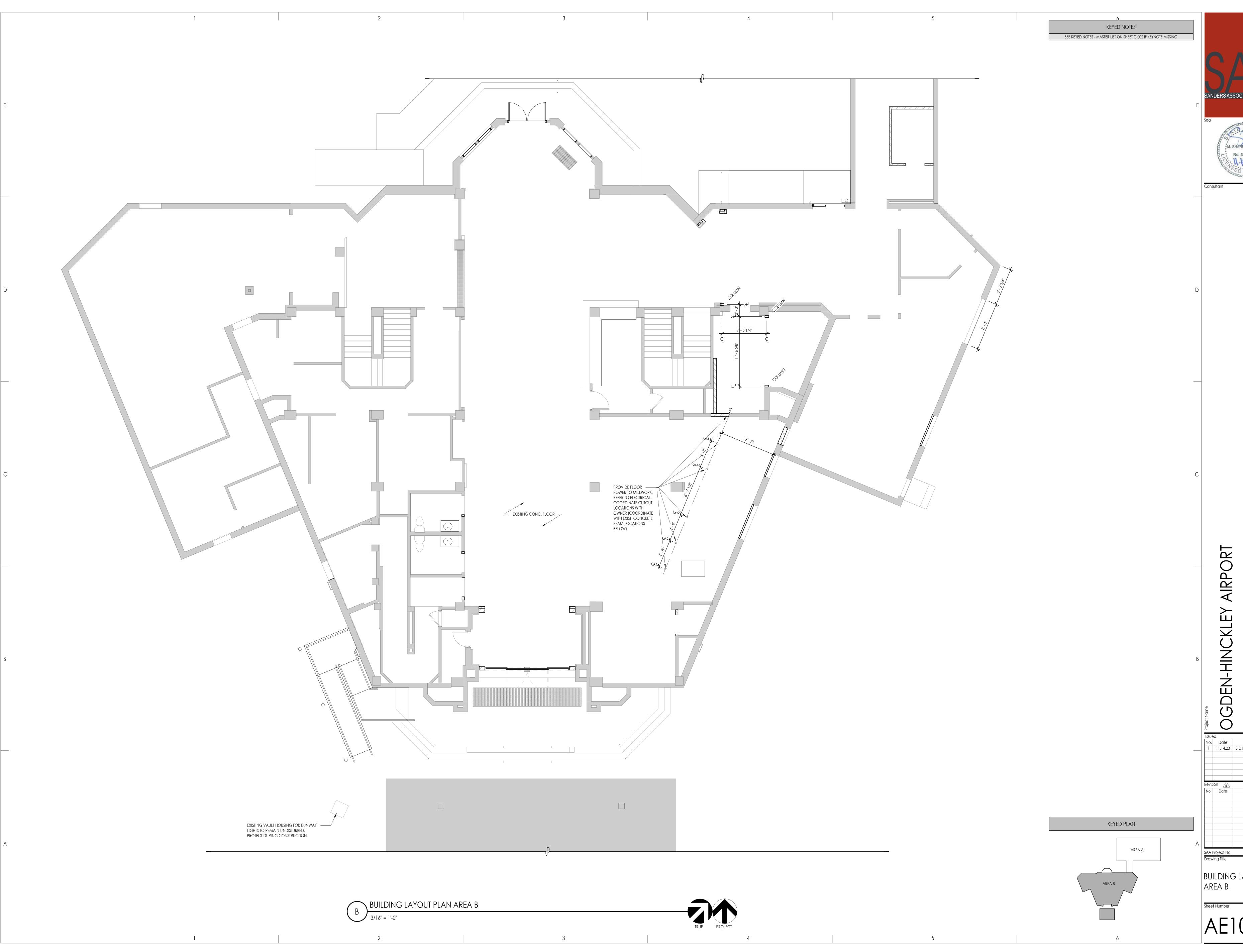


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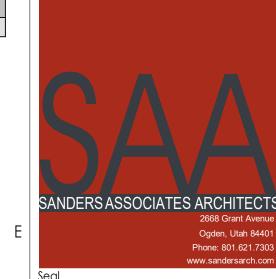
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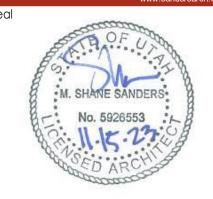
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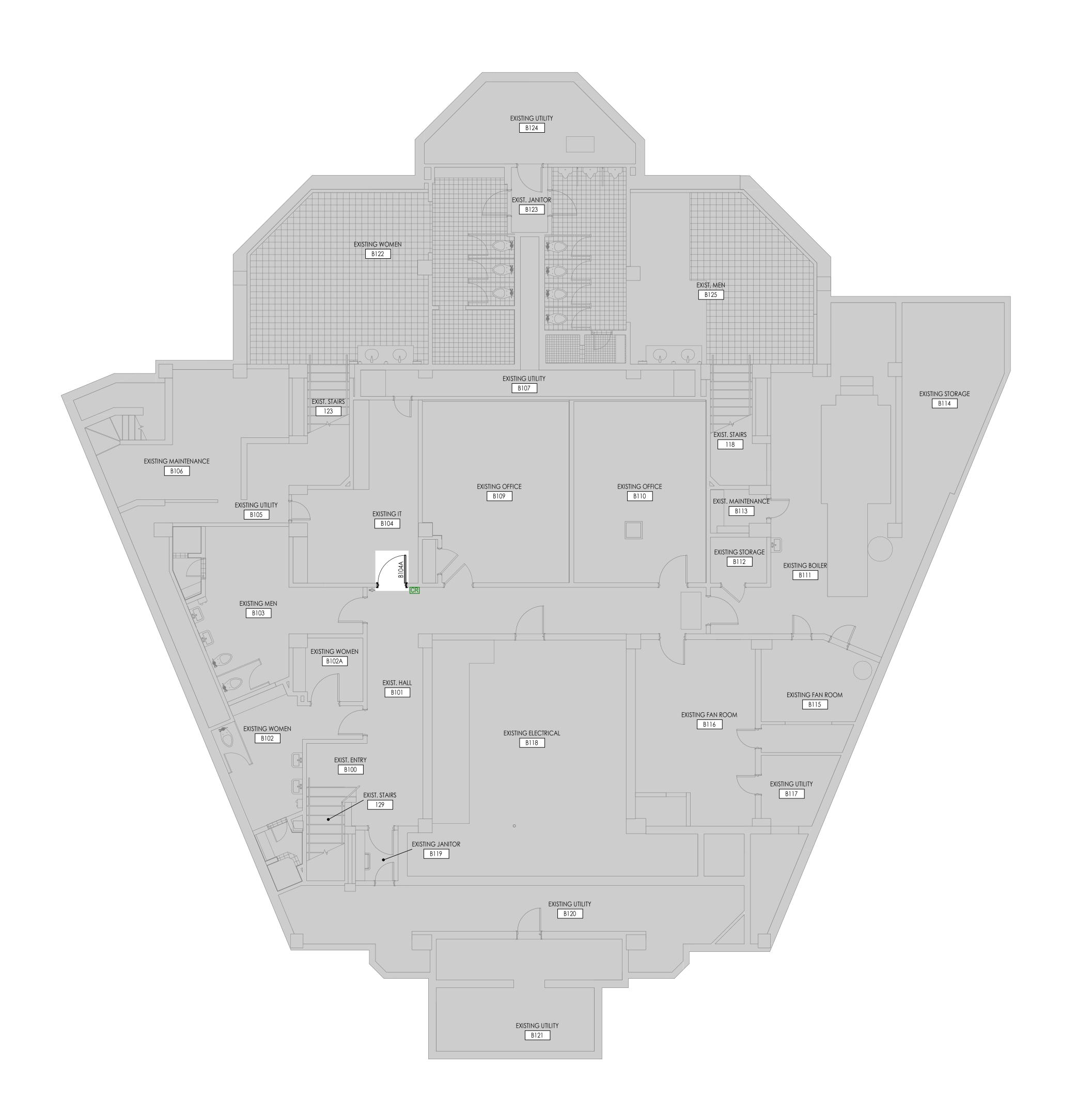


BUILDING LAYOUT PLAN





Consultant



Project Name
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Revision #

Revision #
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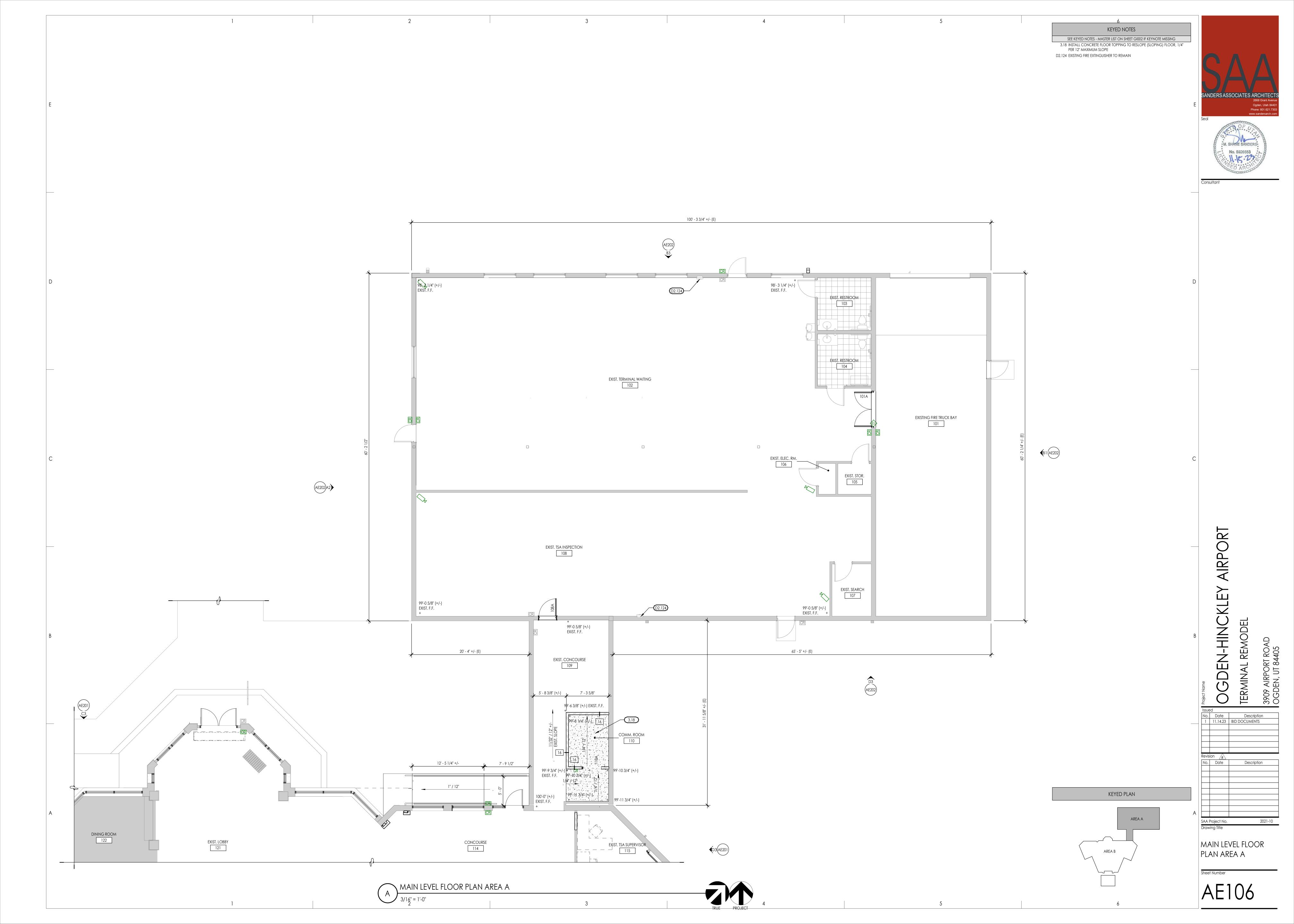
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SAA Project No. 2021-10
Drawing Title

BASEMENT FLOOR PLAN

BASEMENT FLOOR PLAN

3/16" = 1'-0"





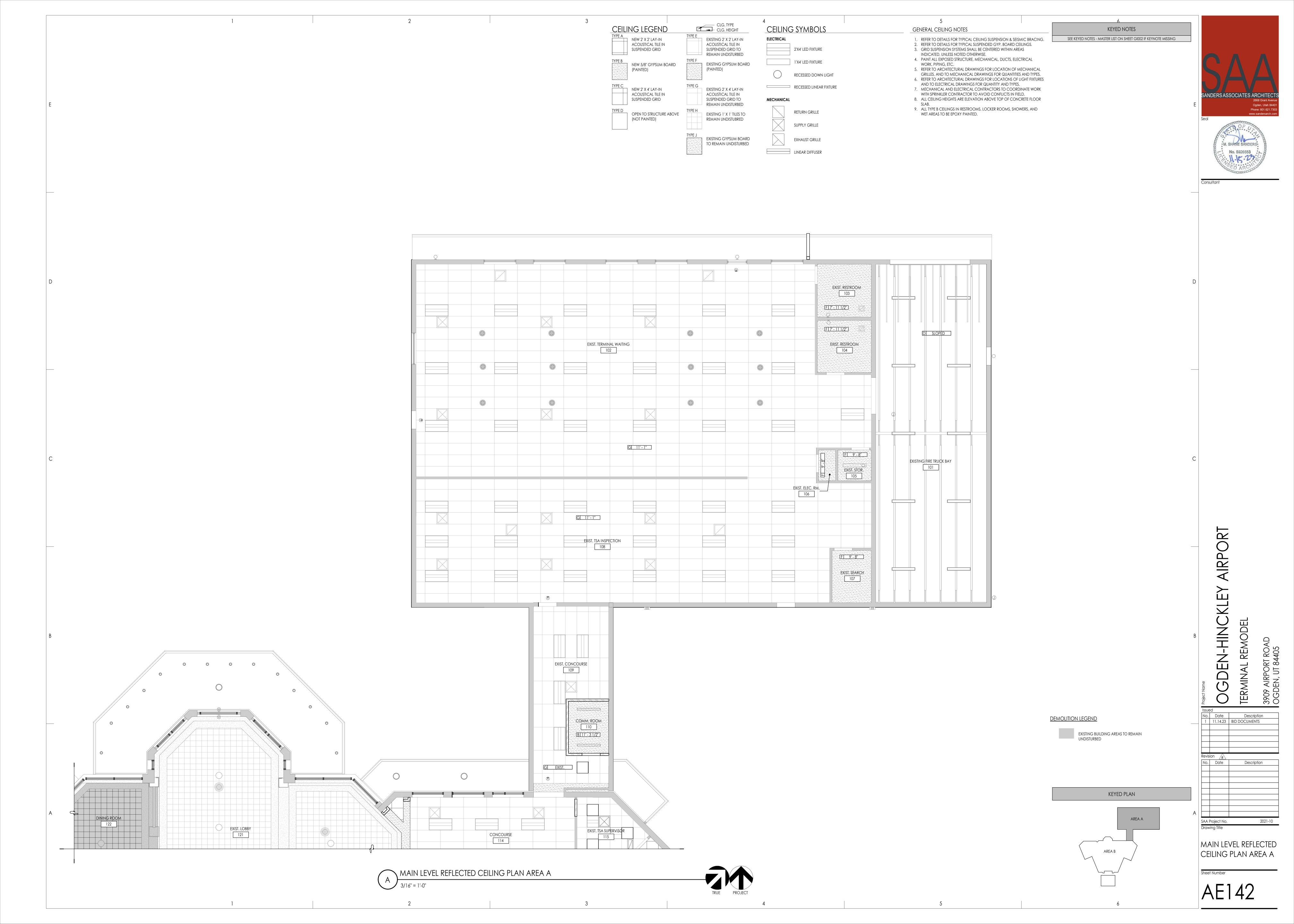


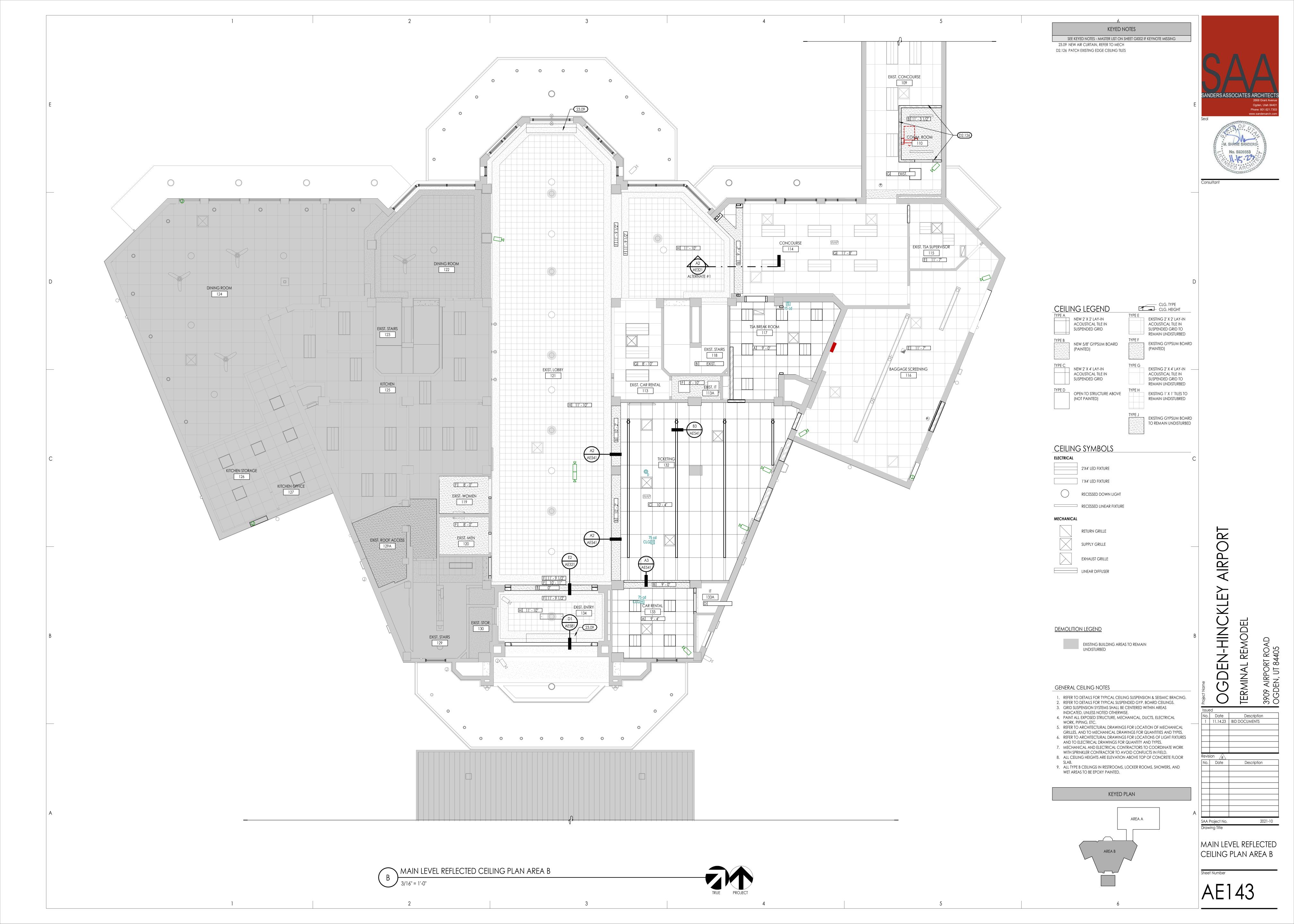


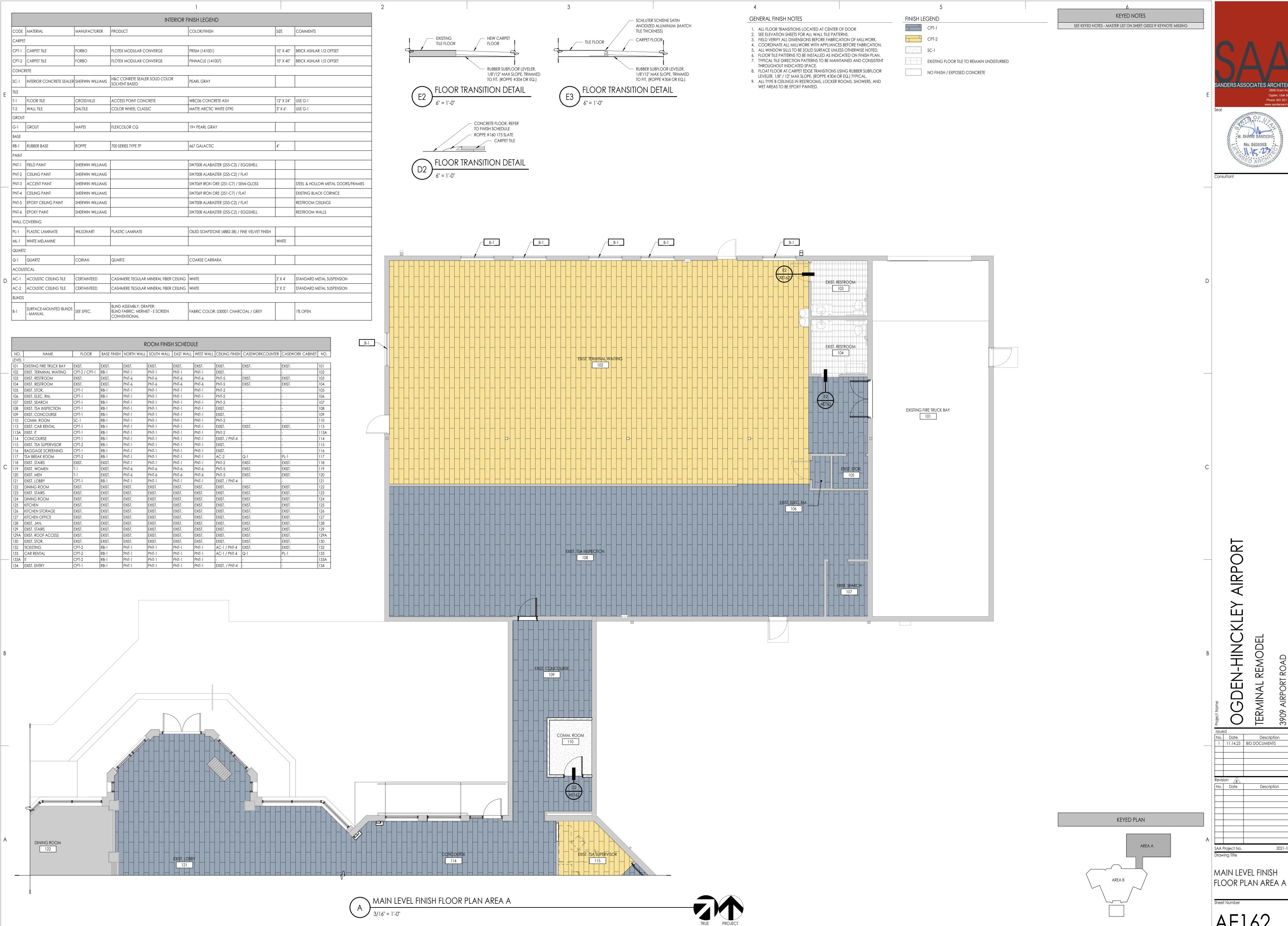
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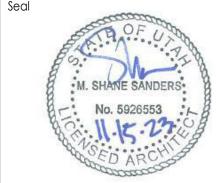
MAIN LEVEL FLOOR





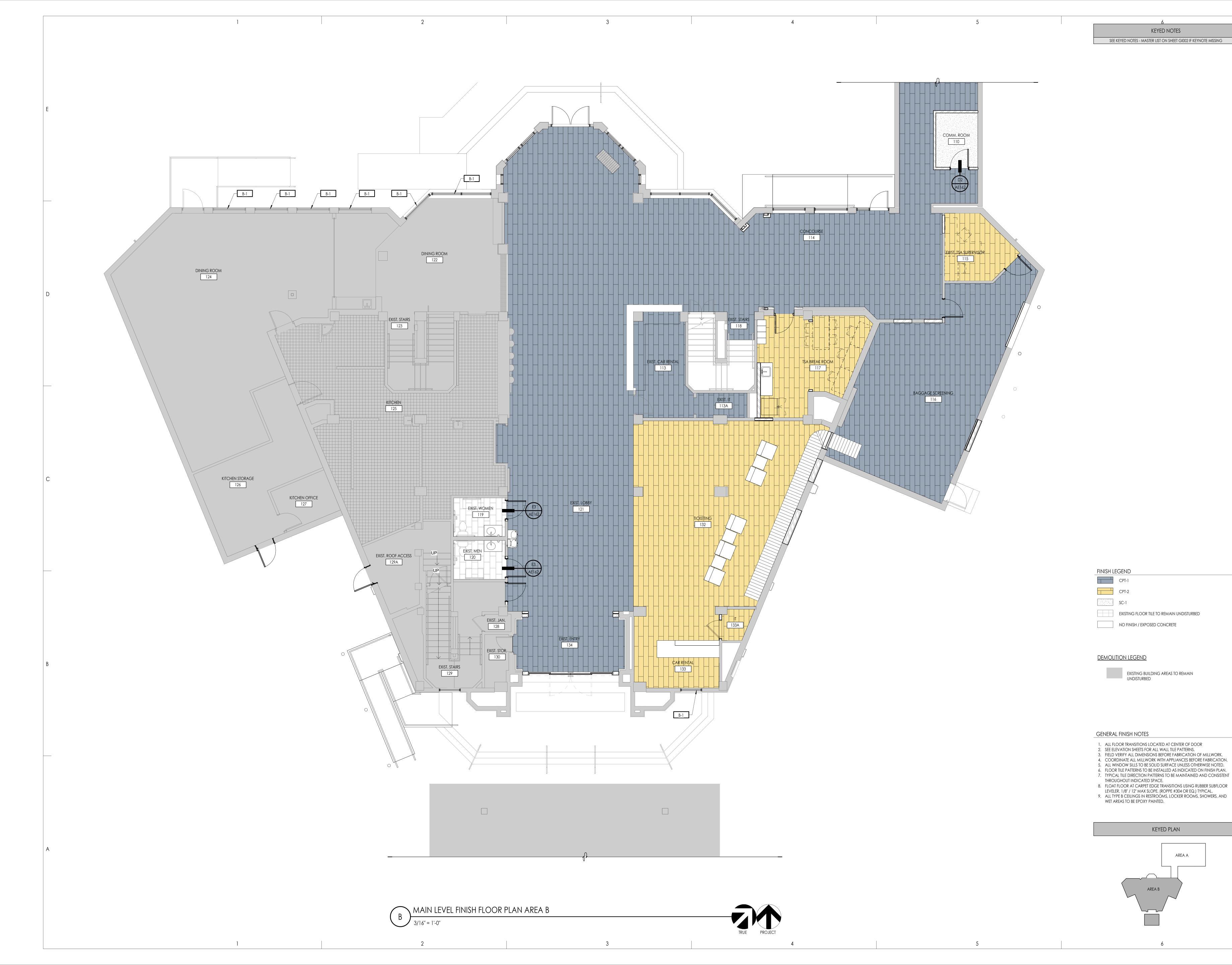


ANDERS ASSOCIATES ARCHITECT Ogden, Utah 84401 Phone: 801.621.7303



Description

MAIN LEVEL FINISH



SANDERS ASSOCIATES ARCHITEC

2668 Grant Aven
Ogden, Utah 844
Phone: 801.621.73
www.sandersarch.co



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SAA Project No. 2021-Drawing Title

MAIN LEVEL FINISH FLOOR PLAN AREA B

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